



AGENDA ATTACHMENTS

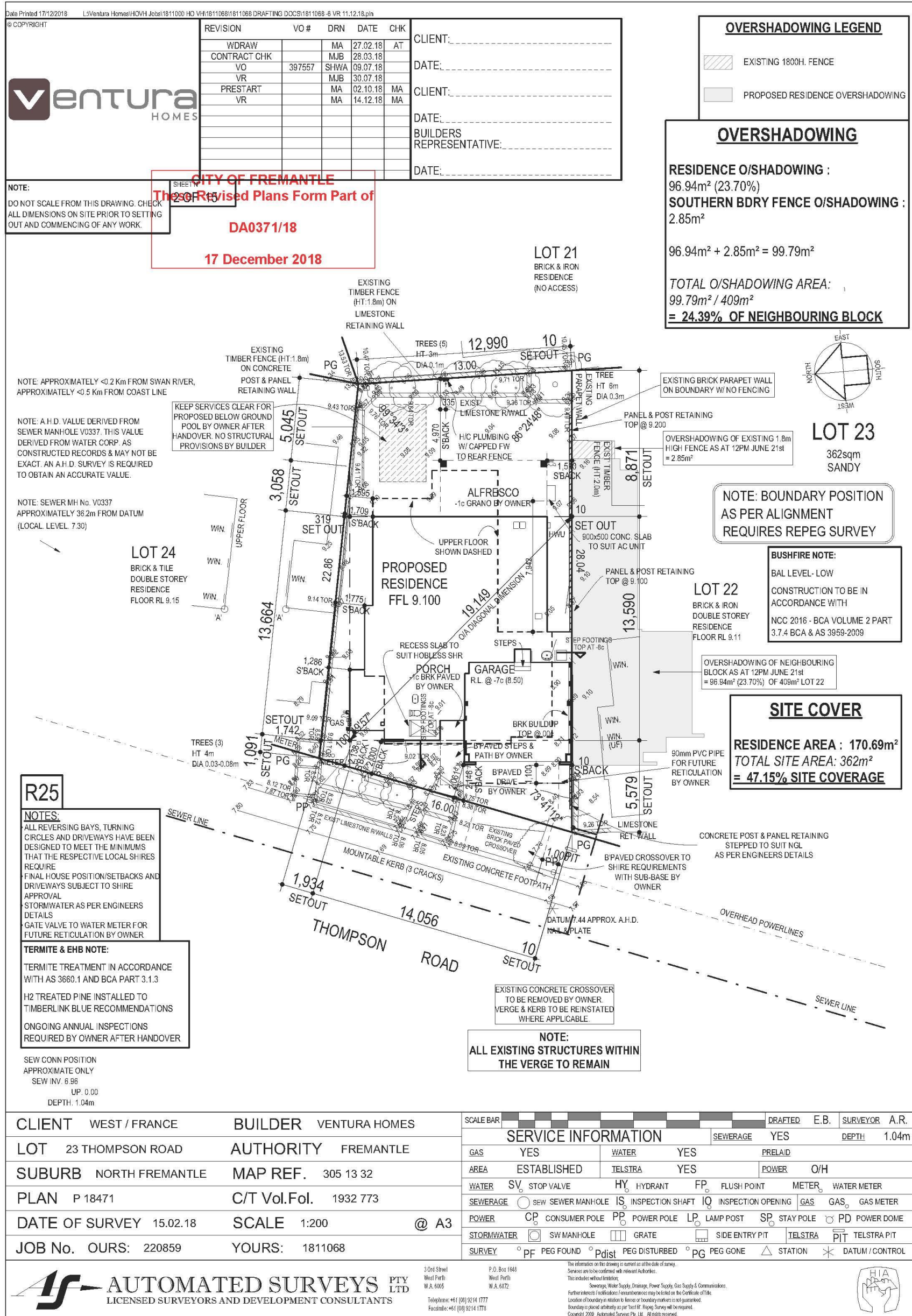
Planning Committee

Wednesday, 16 January 2019, 6.00 pm

<u>Agenda Attachments</u>		1
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PC1901 -1 THOMPSON ROAD NO.89 (LOT 23), NORTH FREMANTLE - DEMOLITION OF EXISTING SINGLE HOUSE AND CONSTRUCTION OF TWO STOREY SINGLE HOUSE (JL DA0371/18)

ATTACHMENT 1 –Development Plans



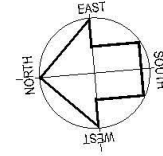
Date Printed 17/12/2018 L:\Ventura Homes\HOV\H Jobs\1811000 HO VH\1811068\1811068 DRAFTING\DOCS\1811068-6 VR 11.12.18.pln

REVISION	VO #	DRN	DATE	CHK
WDRAW		MA	27.02.18	AT
CONTRACT CHK		MJB	28.03.18	
VO	397557	SHWA	09.07.18	
VR		MJB	30.07.18	
PRESTART		MA	02.10.18	MA
VR		MA	14.12.18	MA

CLIENT: _____
DATE: _____
CLIENT: _____
DATE: _____
BUILDERS REPRESENTATIVE: _____
DATE: _____

NOTE:
DO NOT SCALE FROM THIS DRAWING. CHECK ALL DIMENSIONS ON SITE PRIOR TO SETTING OUT AND COMMENCING OF ANY WORK.

CITY OF FREMANTLE
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DA0371/18
17 December 2018



NOTE: APPROXIMATELY <0.2 Km FROM SWAN RIVER, APPROXIMATELY <0.5 Km FROM COAST LINE

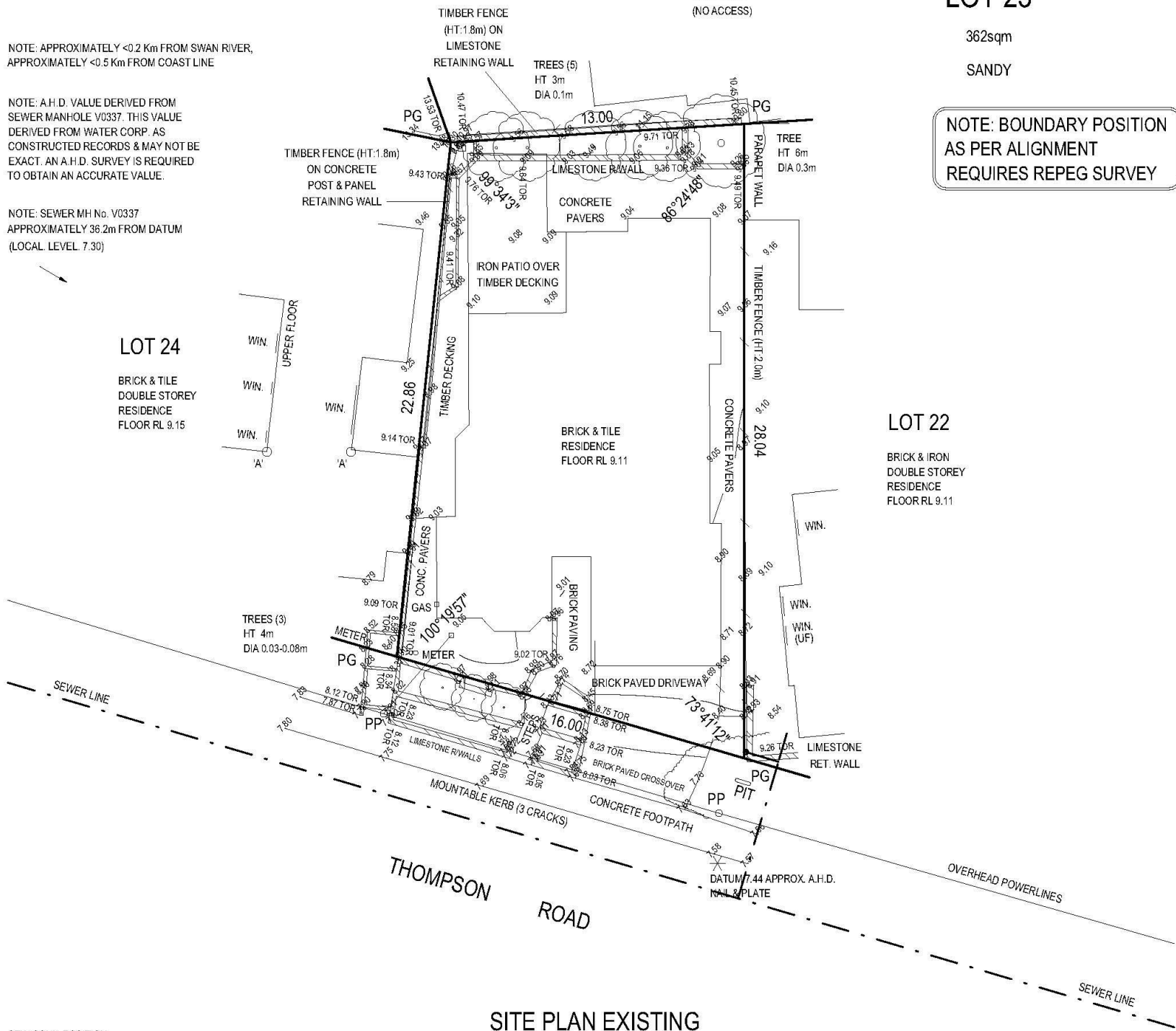
NOTE: A.H.D. VALUE DERIVED FROM SEWER MANHOLE V0337. THIS VALUE DERIVED FROM WATER CORP. AS CONSTRUCTED RECORDS & MAY NOT BE EXACT. AN A.H.D. SURVEY IS REQUIRED TO OBTAIN AN ACCURATE VALUE.

NOTE: SEWER MH No. V0337 APPROXIMATELY 36.2m FROM DATUM (LOCAL LEVEL 7.30)

LOT 21
BRICK & IRON RESIDENCE (NO ACCESS)

LOT 23
362sqm
SANDY

NOTE: BOUNDARY POSITION AS PER ALIGNMENT REQUIRES REPEG SURVEY



SITE PLAN EXISTING
SCALE 1:200

SEW CONN POSITION APPROXIMATE ONLY
SEW INV. 6.96
UP. 0.00
DEPTH. 1.04m

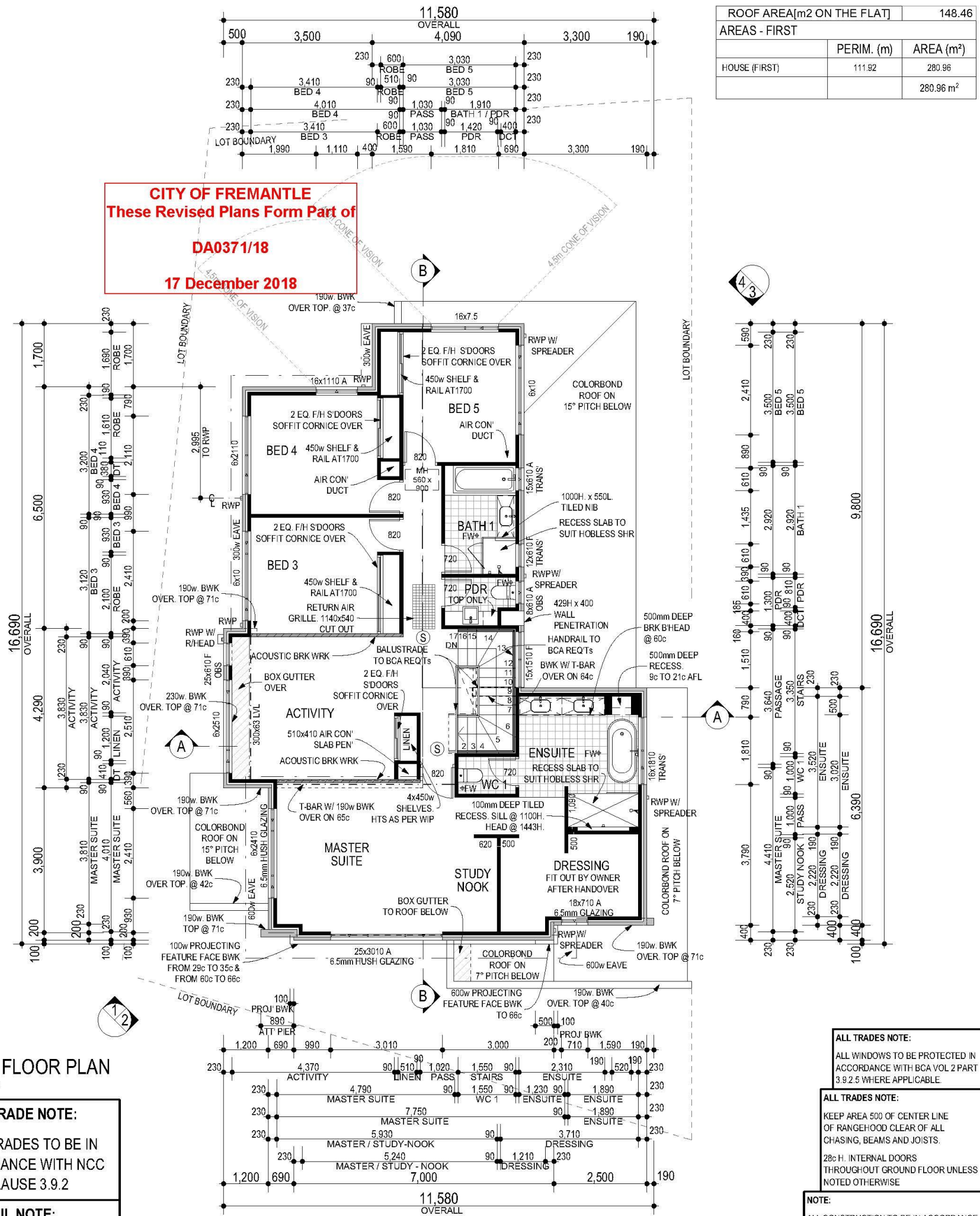
CLIENT	WEST / FRANCE	BUILDER	VENTURA HOMES	SCALE BAR	DRAFTED	E.B.	SURVEYOR	A.R.		
LOT	23 THOMPSON ROAD	AUTHORITY	FREMANTLE	SERVICE INFORMATION			SEWERAGE	YES	DEPTH	1.04m
SUBURB	NORTH FREMANTLE	MAP REF.	305 13 32	GAS	YES	WATER	YES	PRELAD		
PLAN	P 18471	C/T Vol.Fol.	1932 773	AREA	ESTABLISHED	TELSTRA	YES	POWER	O/H	
DATE OF SURVEY	15.02.18	SCALE	1:200	WATER	SV STOP VALVE	HY HYDRANT	FP FLUSH POINT	METER	WATER METER	
JOB No. OURS:	220859	YOURS:	1811068	SEWERAGE	SEW SEWER MANHOLE	IS INSPECTION SHAFT	IQ INSPECTION OPENING	GAS	GAS	GAS METER
				POWER	CP CONSUMER POLE	PP POWER POLE	LP LAMP POST	SP STAY POLE	PD POWER DOME	
				STORMWATER	SW MANHOLE	GRATE	SIDE ENTRY PIT	TELSTRA	PIT	TELSTRA PIT
				SURVEY	PF PEG FOUND	Pdist PEG DISTURBED	PG PEG GONE	STATION	*	DATUM / CONTROL

AS AUTOMATED SURVEYS PTY LTD
LICENSED SURVEYORS AND DEVELOPMENT CONSULTANTS

3 Ord Street
West Perth
W.A. 6005
Telephone: +61 (0) 9214 1777
Facsimile: +61 (0) 9214 1778

P.O. Box 1648
West Perth
W.A. 6072
The information on this drawing is current as at the date of survey.
Services are to be confirmed with relevant Authorities.
This includes without limitation:
Sewerage, Water Supply, Drainage, Power Supply, Gas Supply & Communications.
Further interests / notifications / encumbrances may be listed on the Certificate of Title.
Location of boundary in relation to fences or boundary markers is not guaranteed.
Boundary is placed arbitrarily as per best fit. Repeg Survey will be required.
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These Revised Plans Form Part of
DA0371/18
17 December 2018

FIRST FLOOR PLAN
SCALE 1:100

BALUSTRADE NOTE:
BALUSTRADES TO BE IN ACCORDANCE WITH NCC VOL 2 CLAUSE 3.9.2

HANDRAIL NOTE:
HANDRAILS TO BE IN ACCORDANCE WITH NCC VOL 2 CLAUSE 3.9.2.4

ALL TRADES NOTE:
ALL WINDOWS TO BE PROTECTED IN ACCORDANCE WITH BCA VOL 2 PART 3.9.2.5 WHERE APPLICABLE

ALL TRADES NOTE:
KEEP AREA 500 OF CENTER LINE OF RANGEHOOD CLEAR OF ALL CHASING, BEAMS AND JOISTS.
28c H. INTERNAL DOORS THROUGHOUT GROUND FLOOR UNLESS NOTED OTHERWISE

NOTE:
ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL ENGINEERS DETAILS, ALL RELEVANT AUSTRALIAN STANDARDS & THE BUILDING CODE OF AUSTRALIA

NOTE:
DO NOT SCALE FROM THIS DRAWING CHECK ALL DIMENSIONS ON SITE PRIOR TO SETTING OUT AND COMMENCING OF ANY WORK.



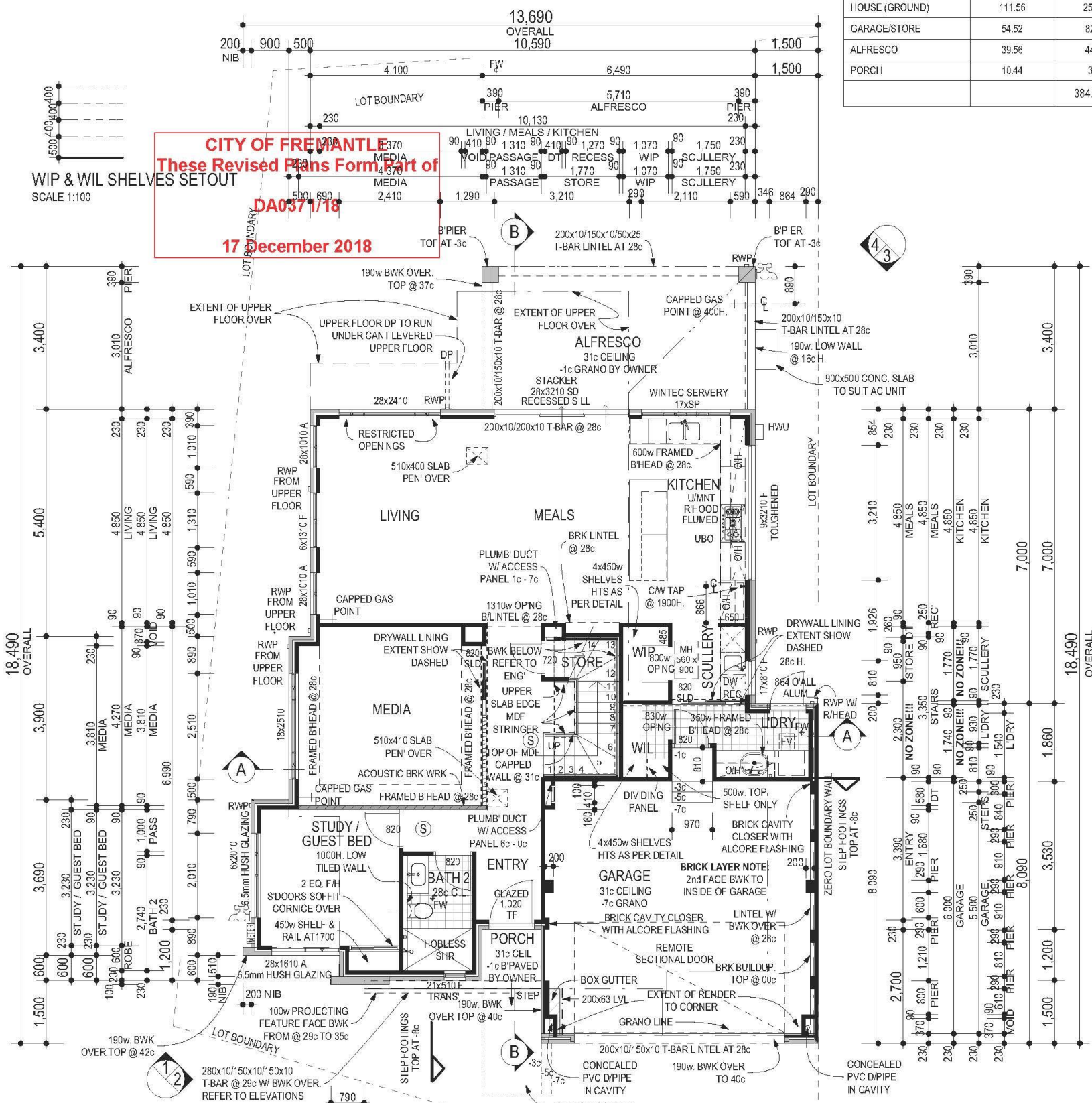
REVISION	VO #	DRN	DATE	CHK
WDRAW		MA	27.02.18	AT
CONTRACT CHK		MJB	28.03.18	
VO	397557	SHWA	09.07.18	
VR		MJB	30.07.18	
PRESTART		MA	02.10.18	MA
VR		MA	14.12.18	MA

CLIENT: _____
DATE: _____
CLIENT: _____
DATE: _____
BUILDERS REPRESENTATIVE: _____
DATE: _____

CLIENT: WEST & FRANCE
ADDRESS: LOT 23 (#89)
THOMPSON ROAD
NORTH FREMANTLE

SPECIAL	
SPEC	DATE
V-SPEC	
VERSION N°	WIND RATING
	N2
MAP REF.	ENGINEERS DETAIL
305 13 32	REFER ENG
JOB N°	SHEET N°
1811068	6 OF 15

ROOF AREA[m2 ON THE FLAT]		55.40
AREAS - GROUND		
	PERIM. (m)	AREA (m ²)
HOUSE (GROUND)	111.56	254.68
GARAGE/STORE	54.52	82.72
ALFRESCO	39.56	44.14
PORCH	10.44	3.38
		384.92 m ²

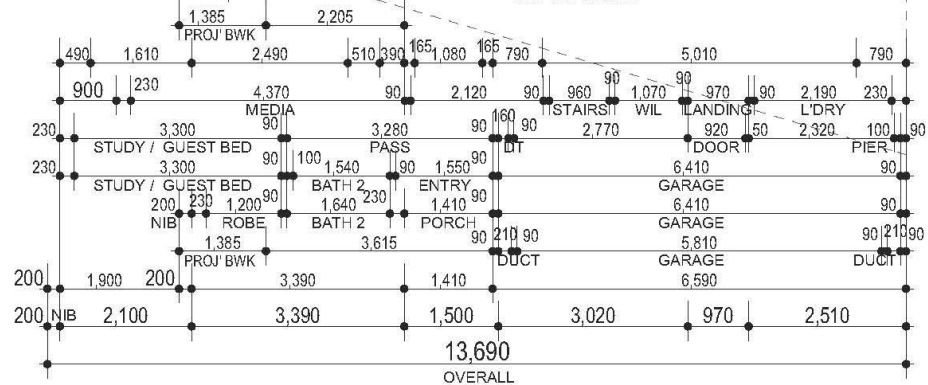


GROUND FLOOR PLAN

SCALE 1:100

BUSHFIRE NOTE:
BAL LEVEL- LOW
CONSTRUCTION TO BE IN ACCORDANCE WITH
NCC 2016 - BCA VOLUME 2 PART 3.7.4 BCA & AS 3959-2009

TERMITE & EHB NOTE:
TERMITE TREATMENT IN ACCORDANCE WITH AS 3660.1 AND BCA PART 3.1.3
H2 TREATED PINE INSTALLED TO TIMBERLINK BLUE RECOMMENDATIONS
ONGOING ANNUAL INSPECTIONS REQUIRED BY OWNER AFTER HANDOVER



ALL TRADES NOTE:
KEEP AREA 500 OF CENTER LINE OF RANGEHOOD CLEAR OF ALL CHASING, BEAMS AND JOISTS.
28c H. INTERNAL DOORS THROUGHOUT GROUND FLOOR UNLESS NOTED OTHERWISE

NOTE:
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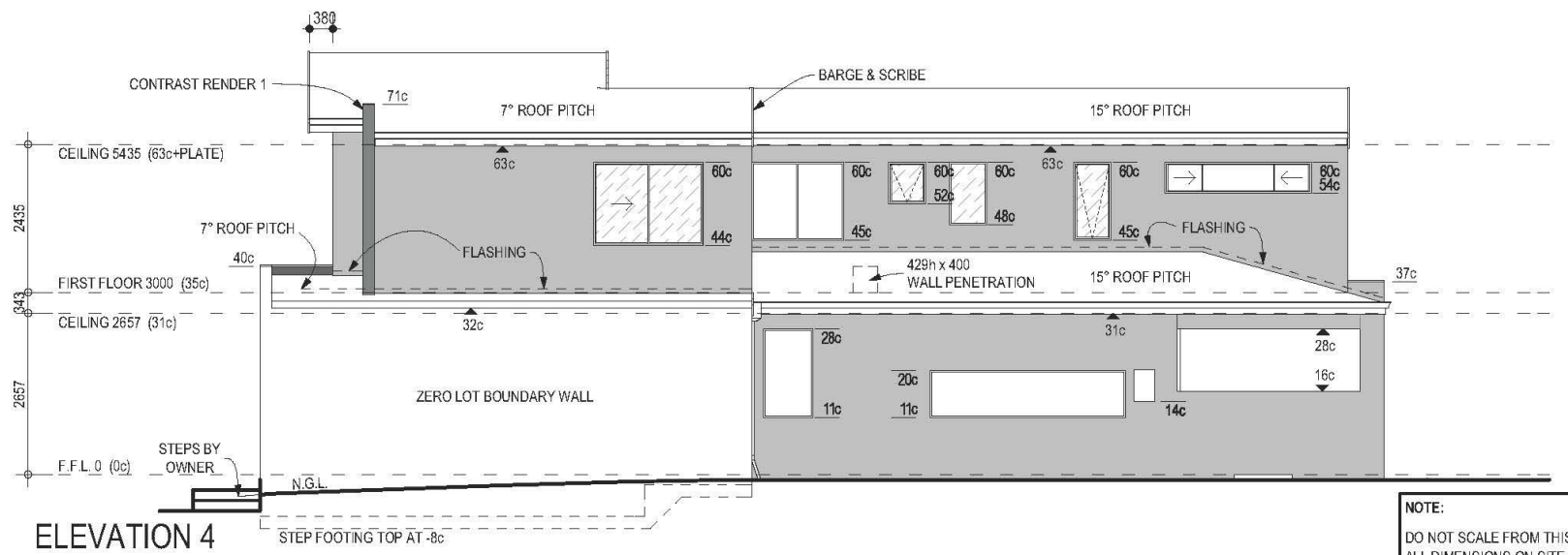
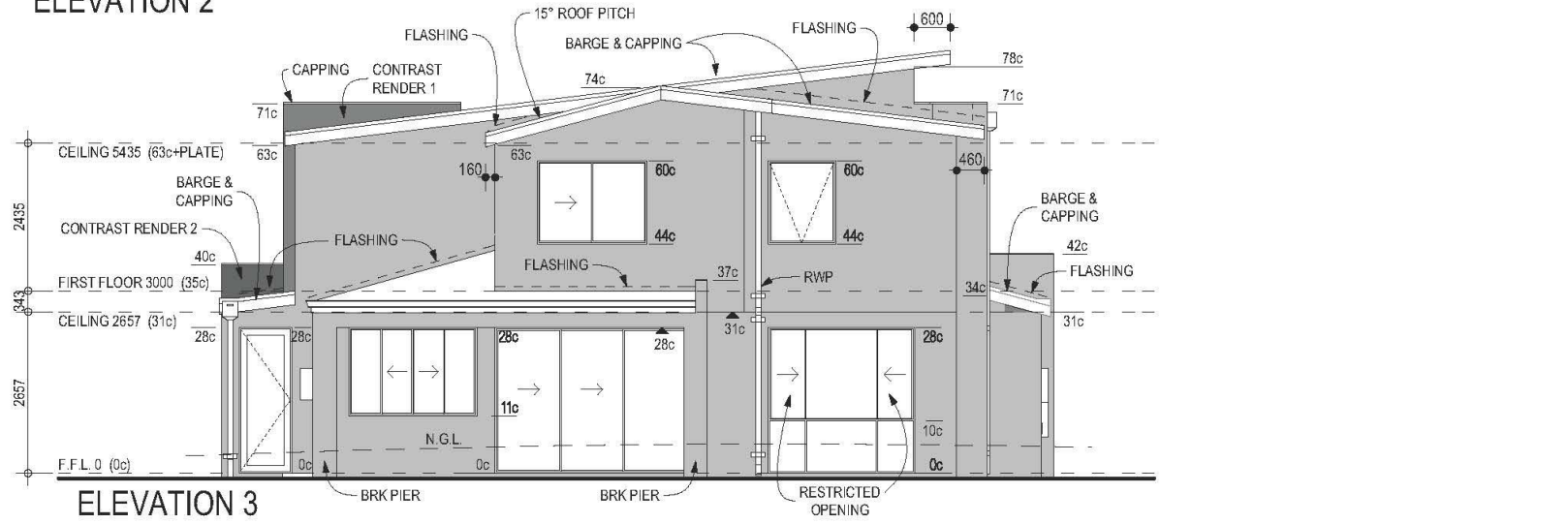
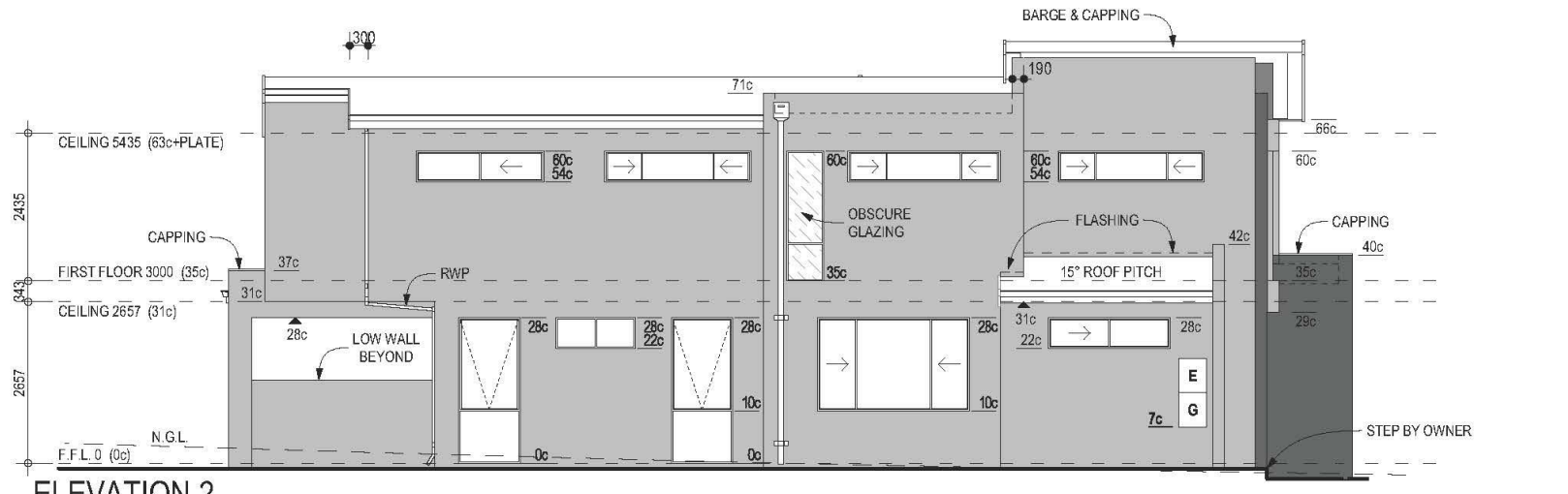
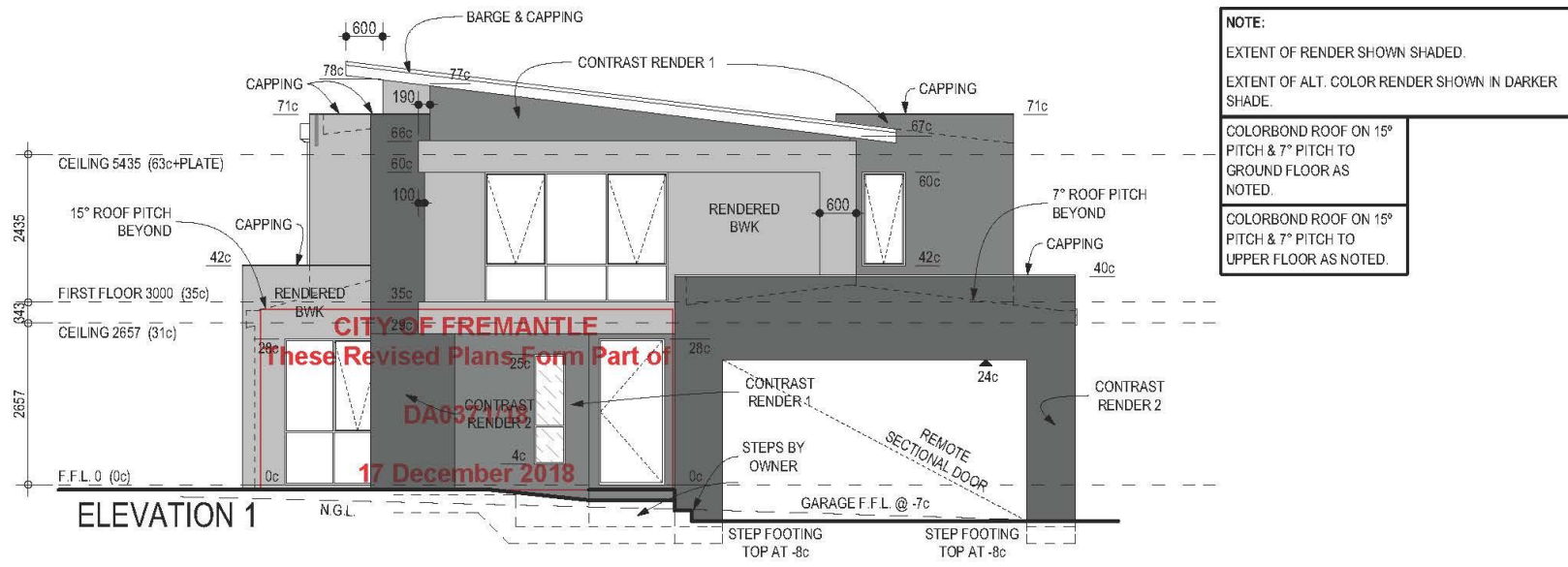


REVISION	VO #	DRN	DATE	CHK
WDRAW		MA	27.02.18	AT
CONTRACT CHK		MJB	28.03.18	
VO	397557	SHWA	09.07.18	
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CLIENT: _____
DATE: _____
CLIENT: _____
DATE: _____
BUILDERS REPRESENTATIVE: _____
DATE: _____

CLIENT: WEST & FRANCE
ADDRESS: LOT 23 (#89)
THOMPSON ROAD
NORTH FREMANTLE

SPECIAL	
SPEC	DATE
V-SPEC	
VERSION N°	WIND RATING
	N2
MAP REF.	ENGINEERS DETAIL
305 13 32	REFER ENG
JOB N°	SHEET N°
1811068	5 OF 15



NOTE:
DO NOT SCALE FROM THIS DRAWING. CHECK ALL DIMENSIONS ON SITE PRIOR TO SETTING OUT AND COMMENCING OF ANY WORK.

	REVISION	VO #	DRN	DATE	CHK	CLIENT: _____	CLIENT: WEST & FRANCE ADDRESS: LOT 23 (#89) THOMPSON ROAD NORTH FREMANTLE	SPECIAL SPEC: V-SPEC VERSION N°: MAP REF. 305 13 32 JOB N° 1811068 SHEET N° 7 OF 15
	WDRAW		MA	27.02.18	AT	DATE: _____		
	CONTRACT CHK		MJB	28.03.18		CLIENT: _____		
	VO	397557	SHWA	09.07.18		DATE: _____		
	VR		MJB	30.07.18		BUILDERS REPRESENTATIVE: _____		
PRESTART		MA	02.10.18	MA	DATE: _____			
VR		MA	14.12.18	MA	DATE: _____			

ATTACHMENT 2 – Site Photo's

ATTACHMENT 2: Site Photo's



Subject site and existing dwelling



Southern neighbouring site – No.2 Binns Court, North Fremantle

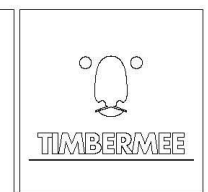
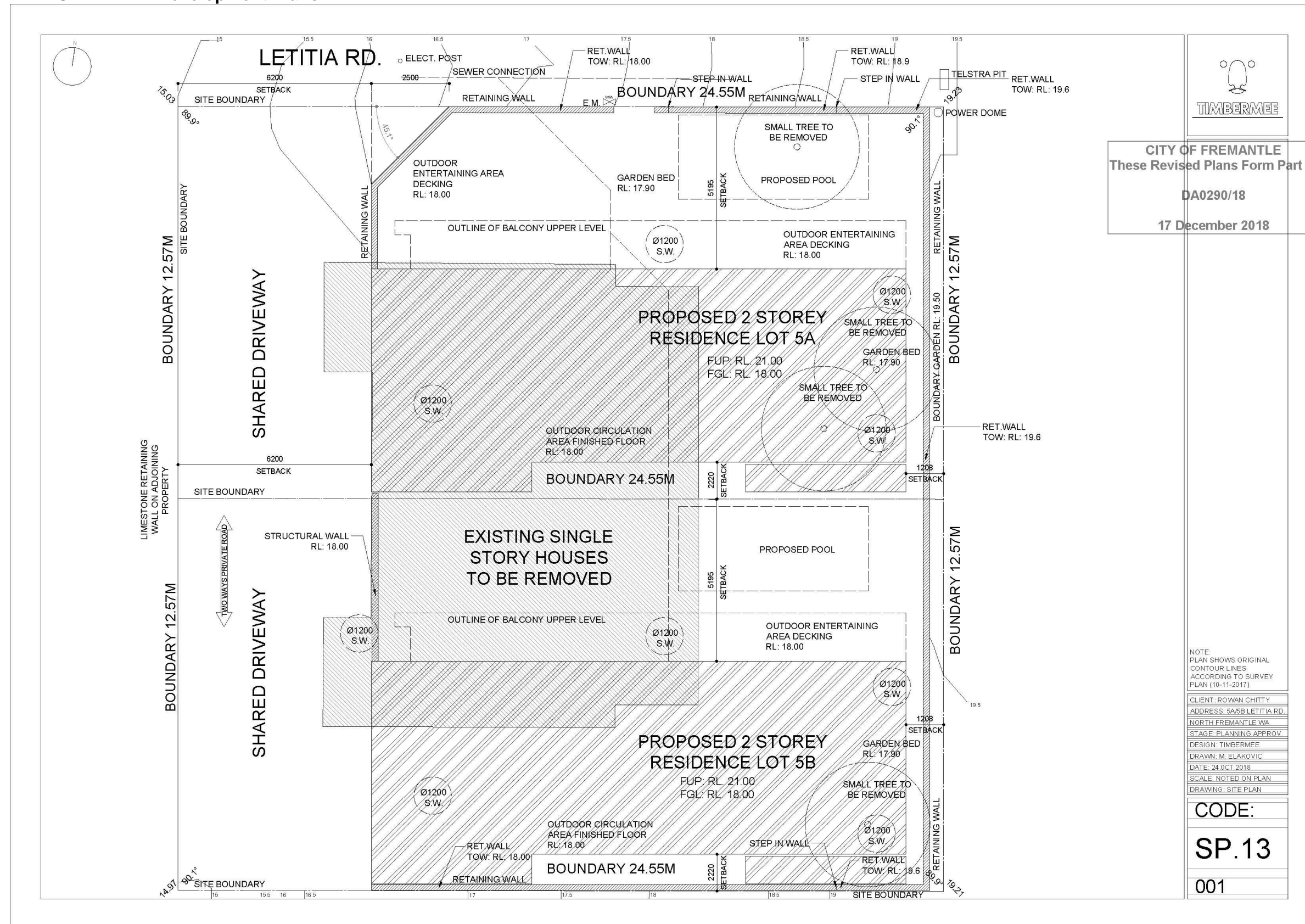


Two neighbouring northern sites (No. 85 and 87 Thompson Street, North Fremantle)



View of the existing prevailing streetscape pattern of this section of Thompson Road

PC1901 -2 LETITIA ROAD NOS. 5A AND 5B (LOTS 1 AND 2 SSP 78737), NORTH FREMANTLE - TWO, TWO STOREY WITH UNDERCROFT GROUPED DWELLINGS - (NB DA0290/18)
ATTACHMENT 1: Development Plans



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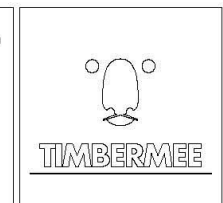
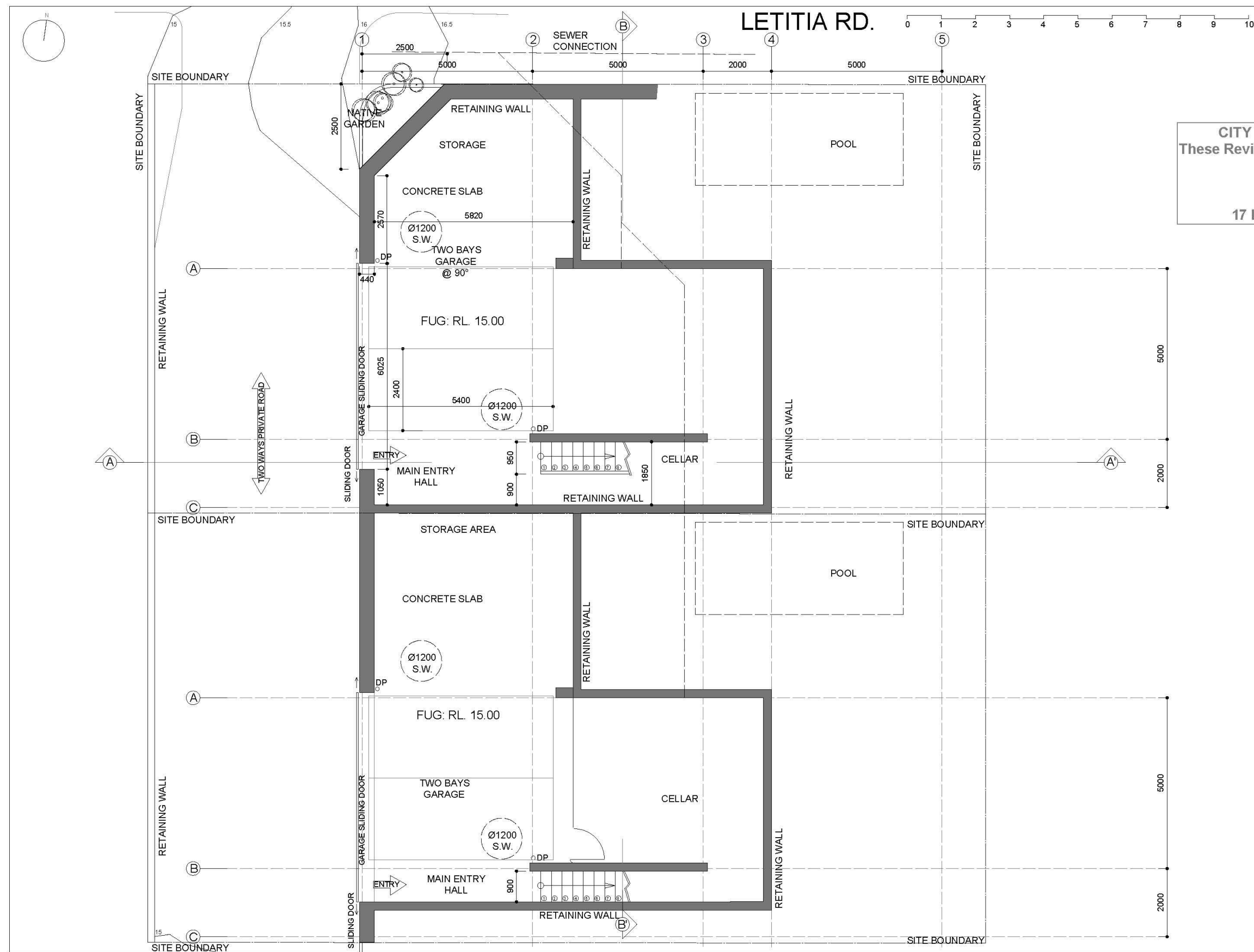
NOTE:
PLAN SHOWS ORIGINAL
CONTOUR LINES
ACCORDING TO SURVEY
PLAN (10-11-2017)

CLIENT: ROWAN CHITTY
ADDRESS: 5A/5B LETITIA RD,
NORTH FREMANTLE WA
STAGE: PLANNING APPROV.
DESIGN: TIMBERMEE
DRAWN: M. ELAKOVIC
DATE: 24.OCT.2018
SCALE: NOTED ON PLAN
DRAWING: SITE PLAN

CODE:

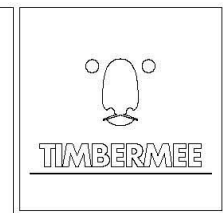
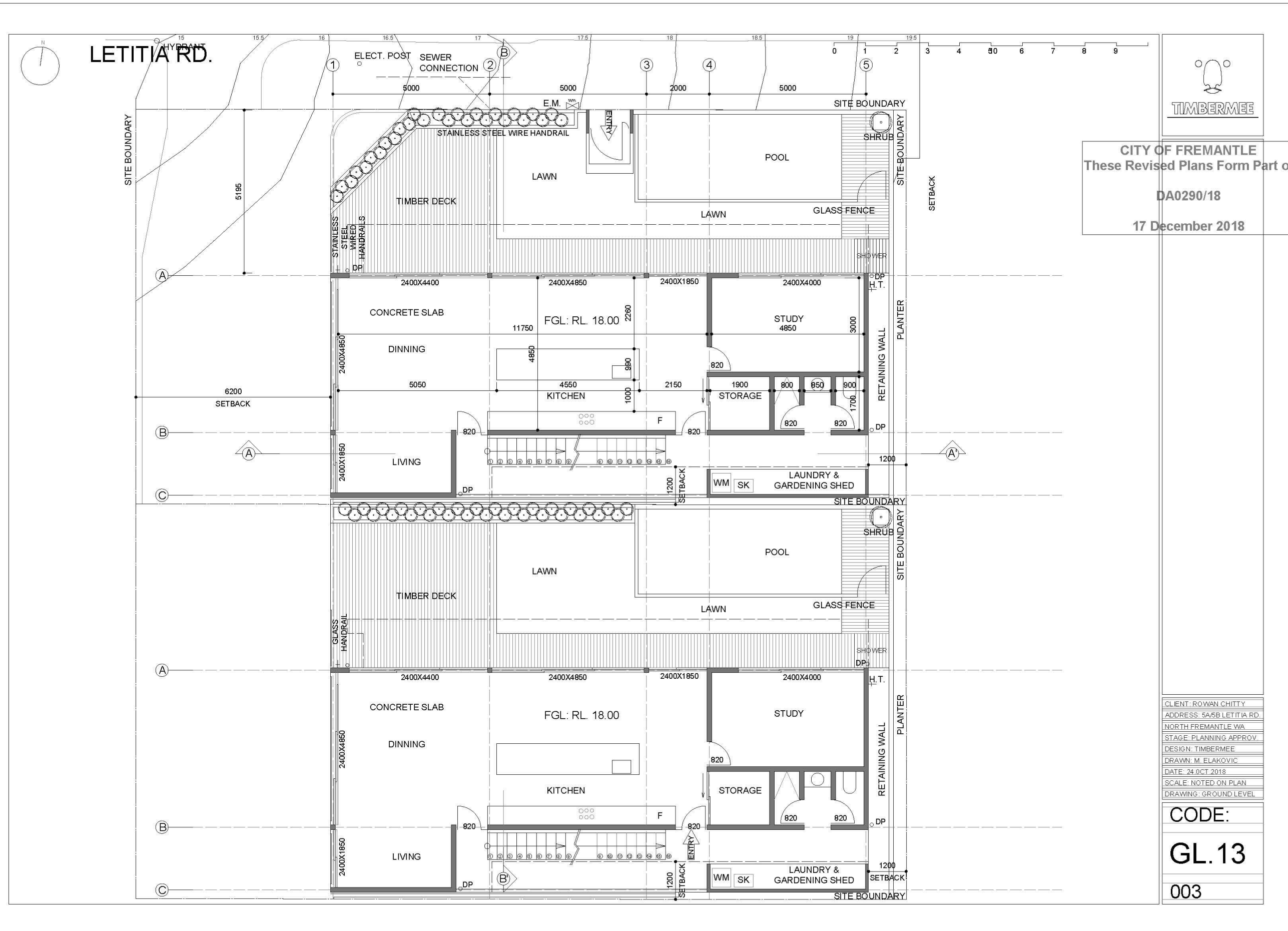
SP.13

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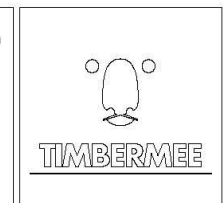
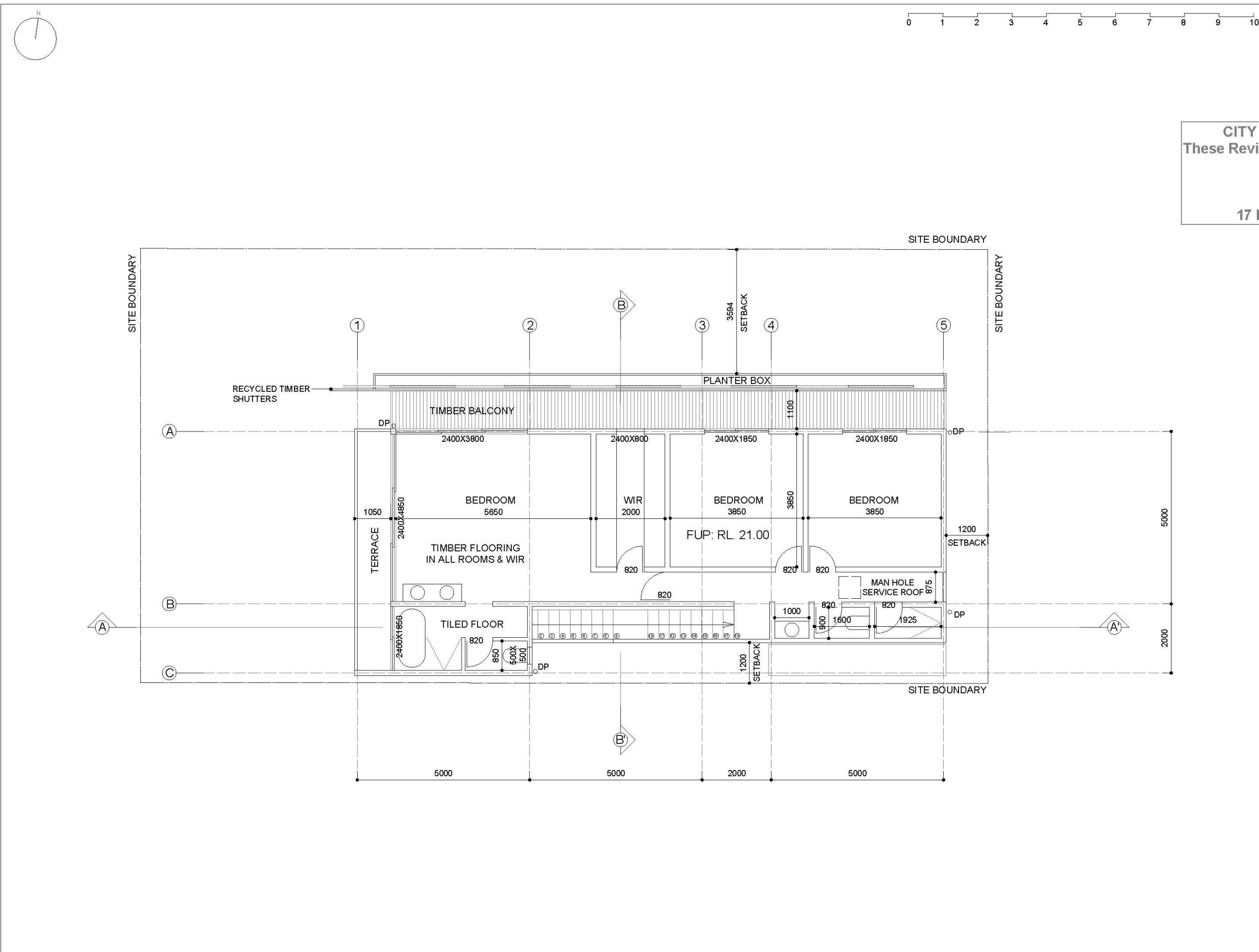
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DA0290/18
17 December 2018

CLIENT: ROWAN CHITTY
ADDRESS: 5A/5B LETITIA RD
NORTH FREMANTLE WA
STAGE: PLANNING APPROV.
DESIGN: TIMBERMEE
DRAWN: M. ELAKOVIC
DATE: 24 OCT 2018
SCALE: NOTED ON PLAN
DRAWING: UNDERGROUND
CODE:
UL.13
002



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17 December 2018

CLIENT: ROWAN CHITTY
ADDRESS: 5A/5B LETITIA RD
NORTH FREMANTLE WA
STAGE: PLANNING APPROV.
DESIGN: TIMBERMEE
DRAWN: M. ELAKOVIC
DATE: 24 OCT 2018
SCALE: NOTED ON PLAN
DRAWING: GROUND LEVEL
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GL.13
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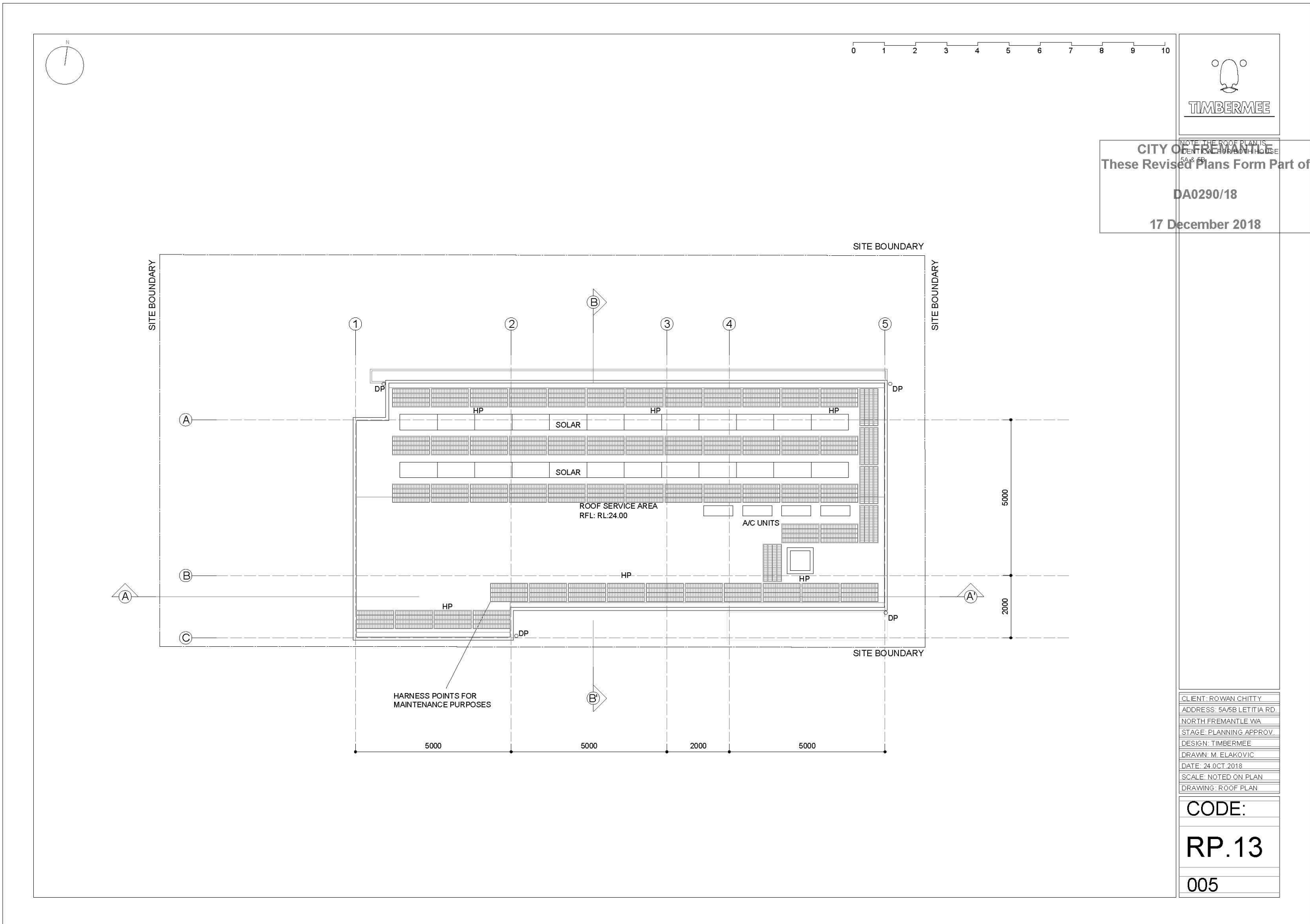


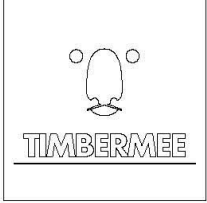
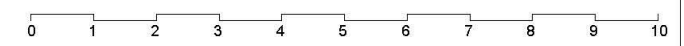
CITY OF FREMANTLE
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17 December 2018

NOTE: THE UPPER FLOOR
PLAN IS IDENTICAL TO THE
HOUSE 5A & 5B

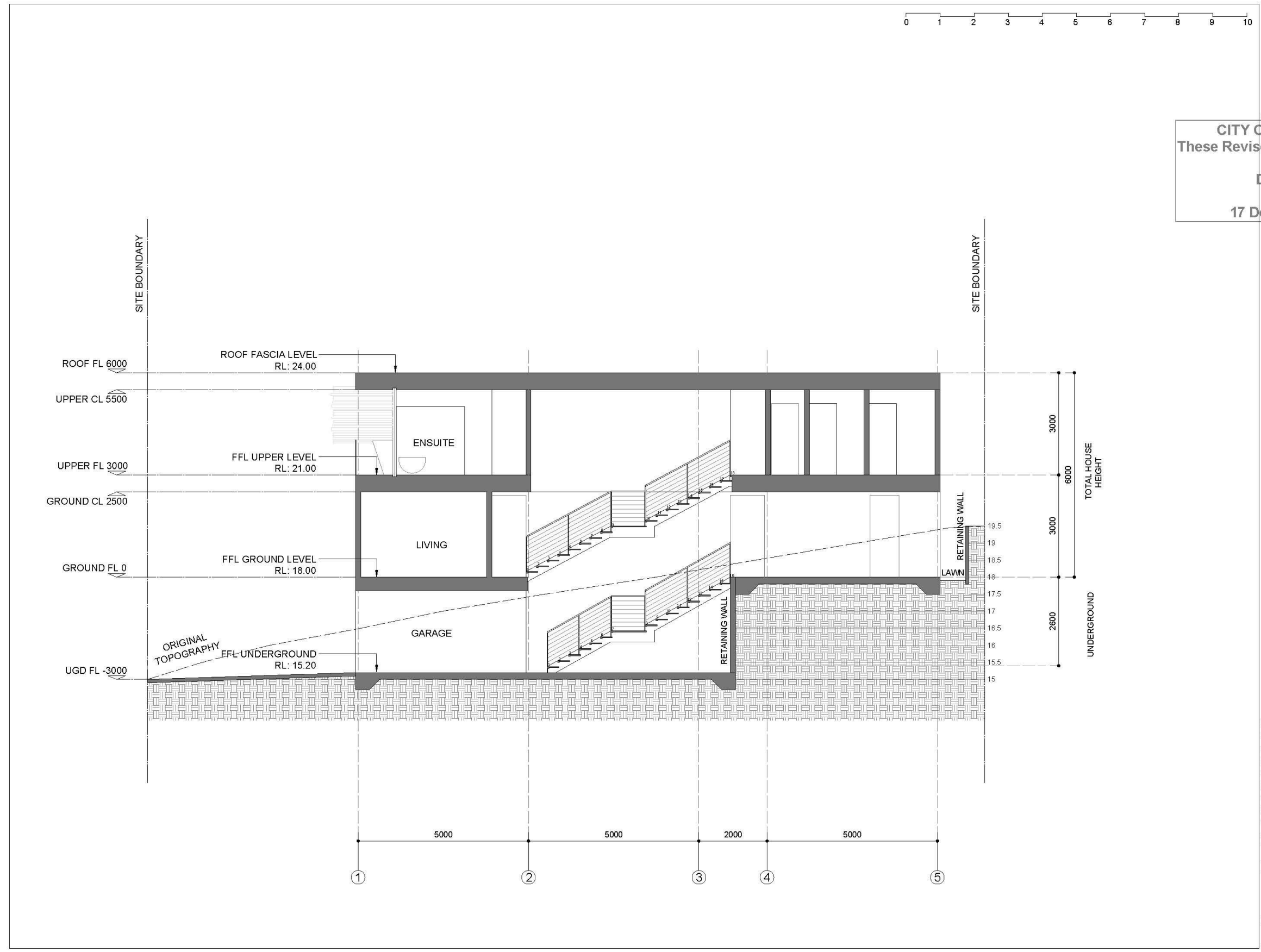
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ADDRESS: 5A/5B LETITIA RD
NORTH FREMANTLE WA
STAGE: PLANNING APPROV.
DESIGN: TIMBERMEE
DRAWN: M. ELAKOVIC
DATE: 24 OCT 2018
SCALE: NOTED ON PLAN
DRAWING: UPPER LEVEL

CODE:
UL.13
004

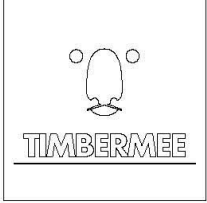
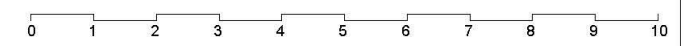




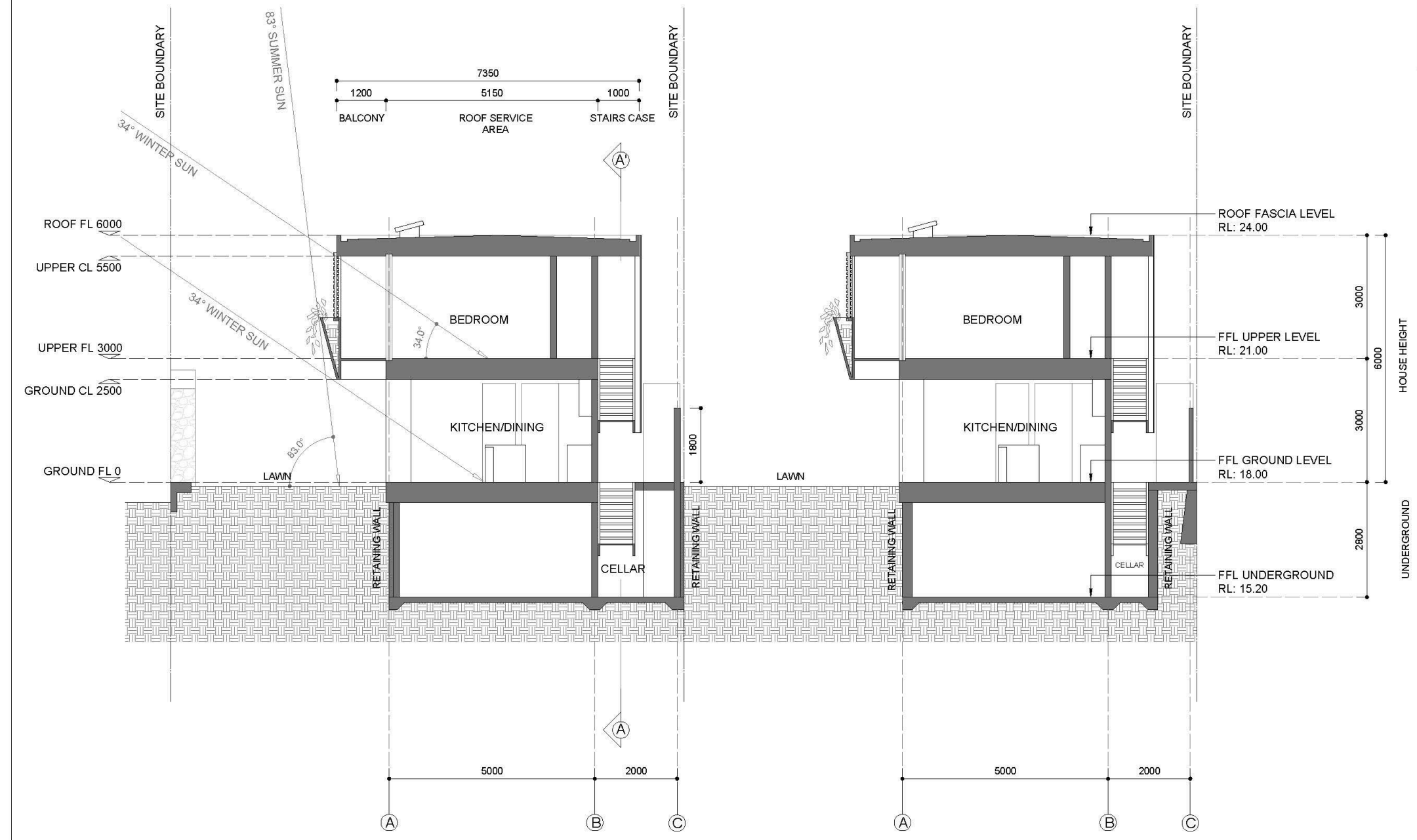
NOTE: THE ROOF PLANS ARE SHOWN IN THESE REVISED PLANS.
CITY OF FREMANTLE
These Revised Plans Form Part of
DA0290/18
17 December 2018



CLIENT: ROWAN CHITTY
ADDRESS: 5A/5B LETITIA RD
NORTH FREMANTLE WA
STAGE: PLANNING APPROV.
DESIGN: TIMBERMEE
DRAWN: M. ELAKOVIC
DATE: 24 OCT 2018
SCALE: NOTED ON PLAN
DRAWING: SECTION A-A'
CODE:
SA.13
006



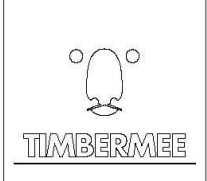
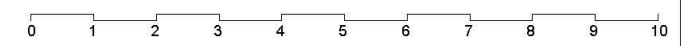
CITY OF FREMANTLE
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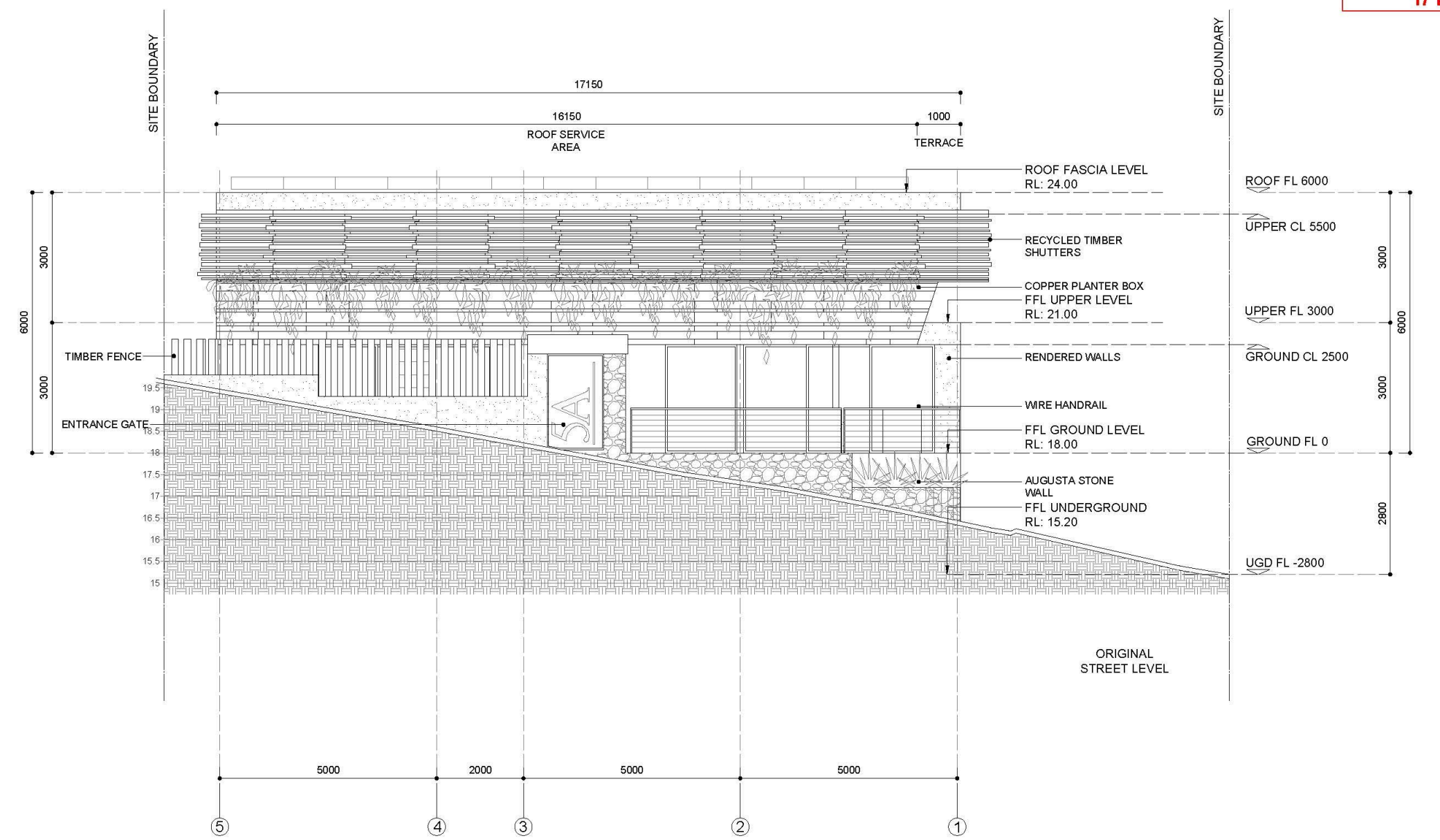
HOUSE HEIGHT
6000
3000
3000
UNDERGROUND
2800

CLIENT: ROWAN CHITTY
ADDRESS: 5A/5B LETITIA RD
NORTH FREMANTLE WA
STAGE: PLANNING APPROV.
DESIGN: TIMBERMEE
DRAWN: M. ELAKOVIC
DATE: 24 OCT 2018
SCALE: NOTED ON PLAN
DRAWING: SECTION B-B'

CODE:
SB.13
007



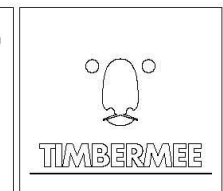
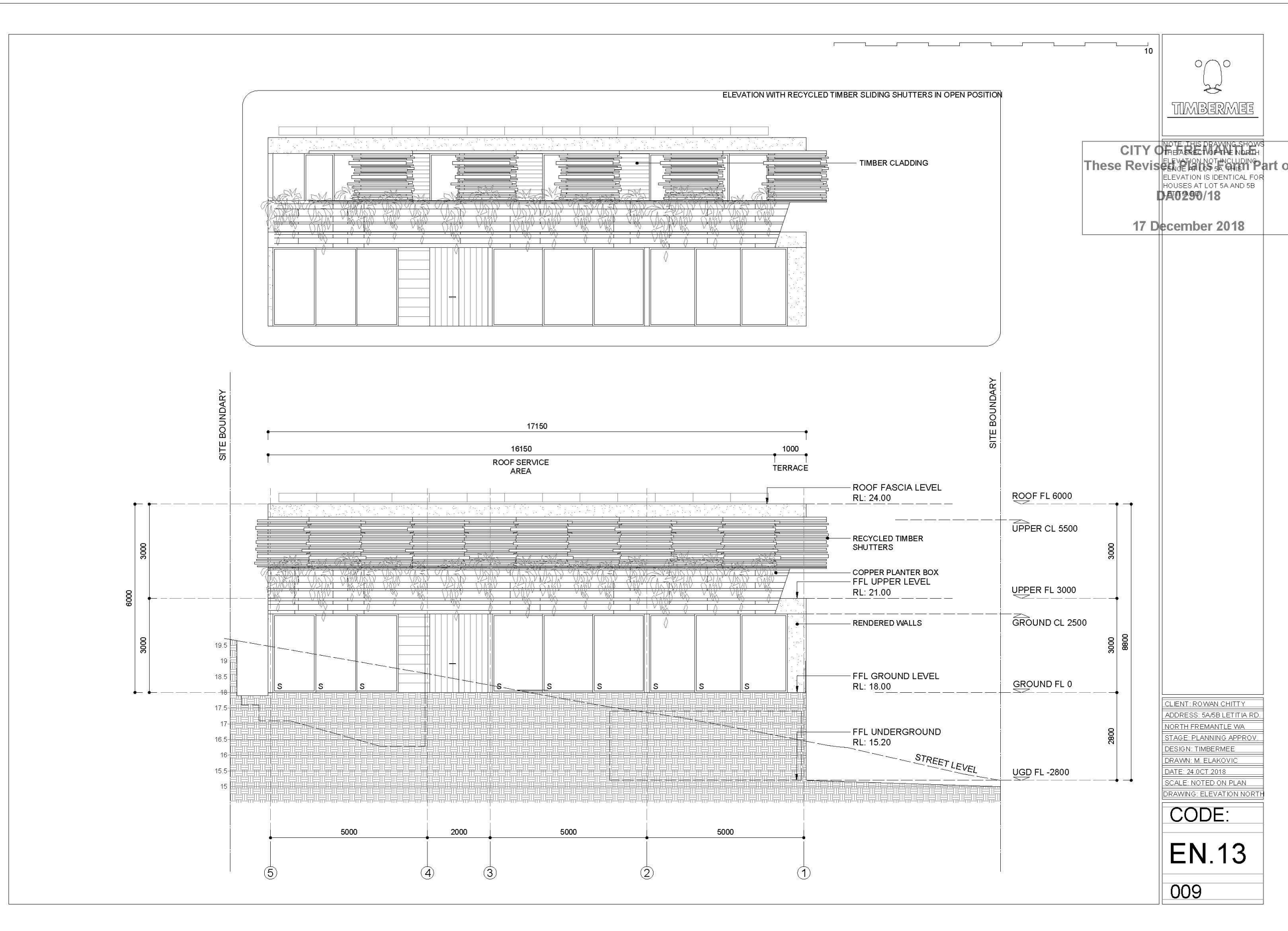
CITY OF FREMANTLE
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DA0290/18
17 December 2018



NOTE: THIS DRAWING SHOWS
 ELEVATION INCLUDING
 HOUSE AT 5B DOES NOT
 INCLUDE FENCE NOR GATE
 IS SHOWN IN A SEPARATE
 DRAWING.

CLIENT: ROWAN CHITTY
 ADDRESS: 5A/5B LETITIA RD
 NORTH FREMANTLE WA
 STAGE: PLANNING APPROV.
 DESIGN: TIMBERMEE
 DRAWN: M. ELAKOVIC
 DATE: 24 OCT 2018
 SCALE: NOTED ON PLAN
 DRAWING: NORTH ELEVATION

CODE:
EN.13
 008

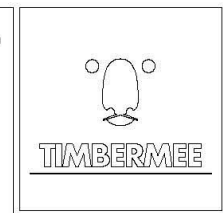
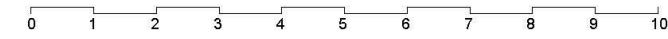


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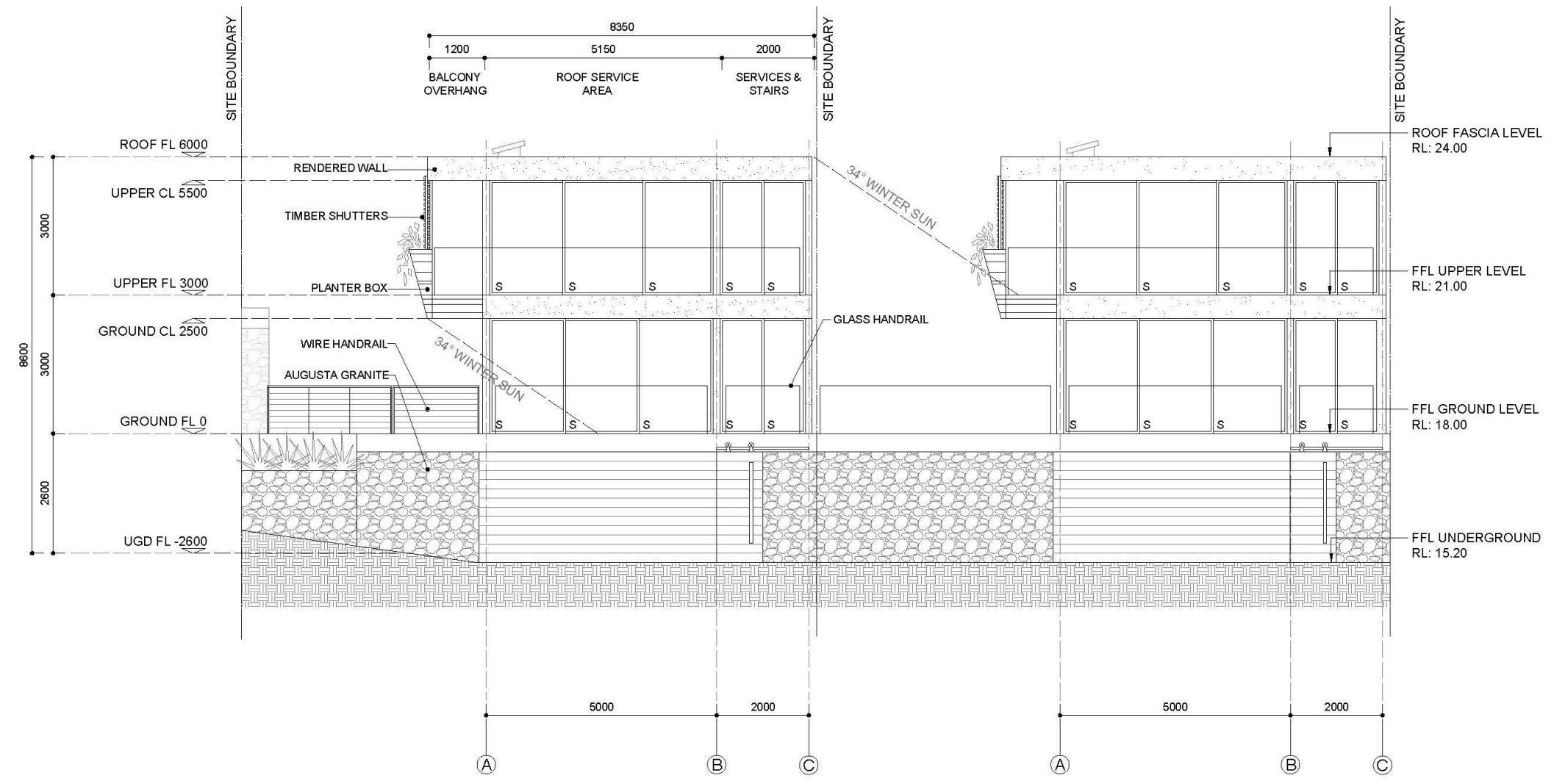
NOTE: THIS DRAWING SHOWS
REVISIONS TO THE ORIGINAL
ELEVATION NOT INCLUDING
ELEVATION IS IDENTICAL FOR
HOUSES AT LOT 5A AND 5B

CLIENT: ROWAN CHITTY
ADDRESS: 5A/5B LETITIA RD
NORTH FREMANTLE WA
STAGE: PLANNING APPROV.
DESIGN: TIMBERMEE
DRAWN: M. ELAKOVIC
DATE: 24 OCT 2018
SCALE: NOTED ON PLAN
DRAWING: ELEVATION NORTH

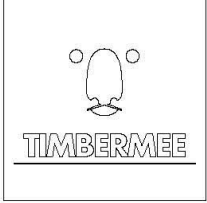
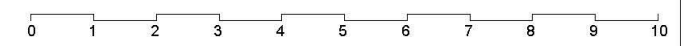
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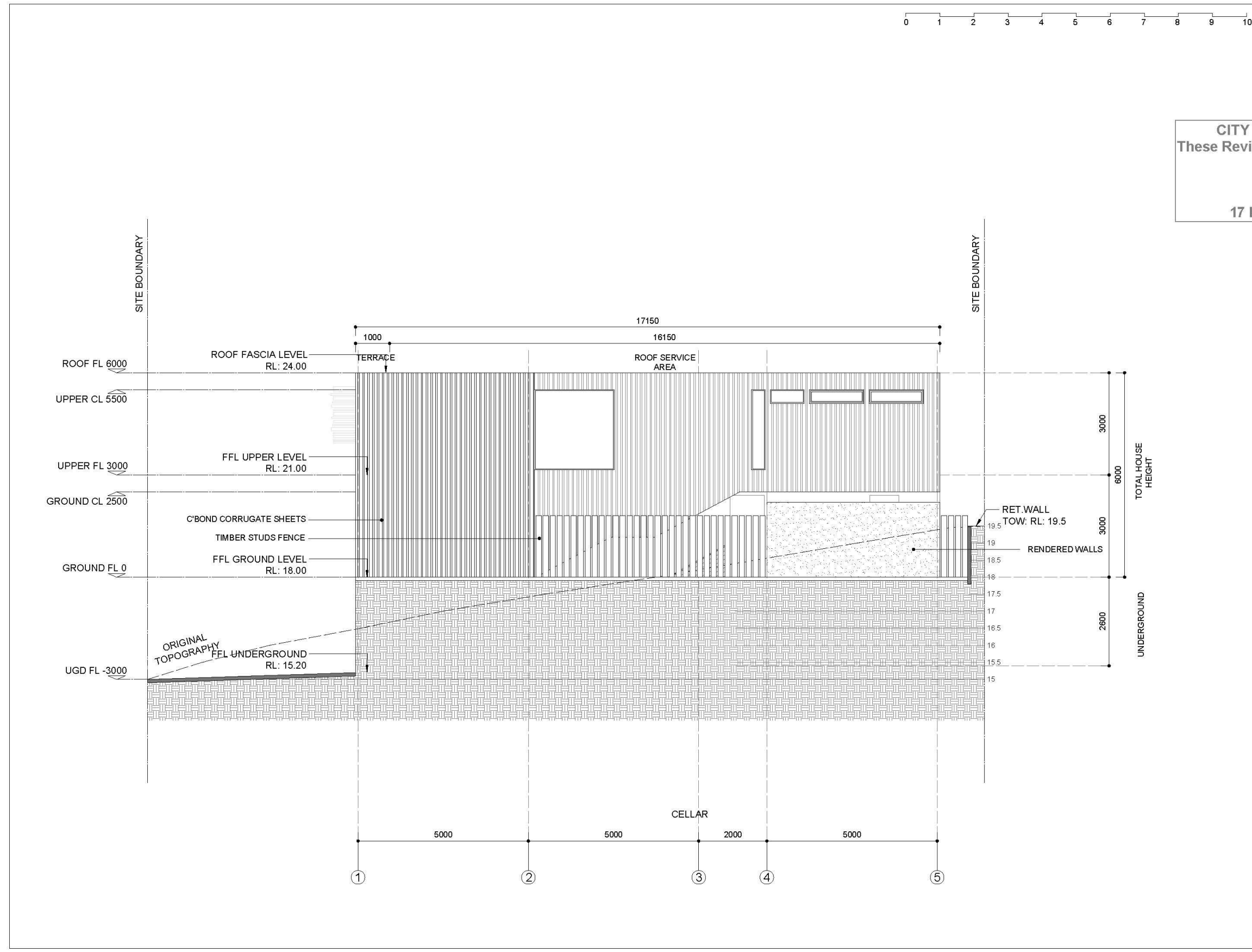
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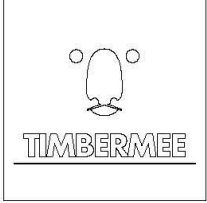
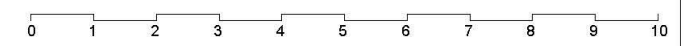
CLIENT: ROWAN CHITTY
ADDRESS: 5A/5B LETITIA RD
NORTH FREMANTLE WA
STAGE: PLANNING APPROV.
DESIGN: TIMBERMEE
DRAWN: M. ELAKOVIC
DATE: 24 OCT 2018
SCALE: NOTED ON PLAN
DRAWING: ELEVATION WEST
CODE:
EW.13
010



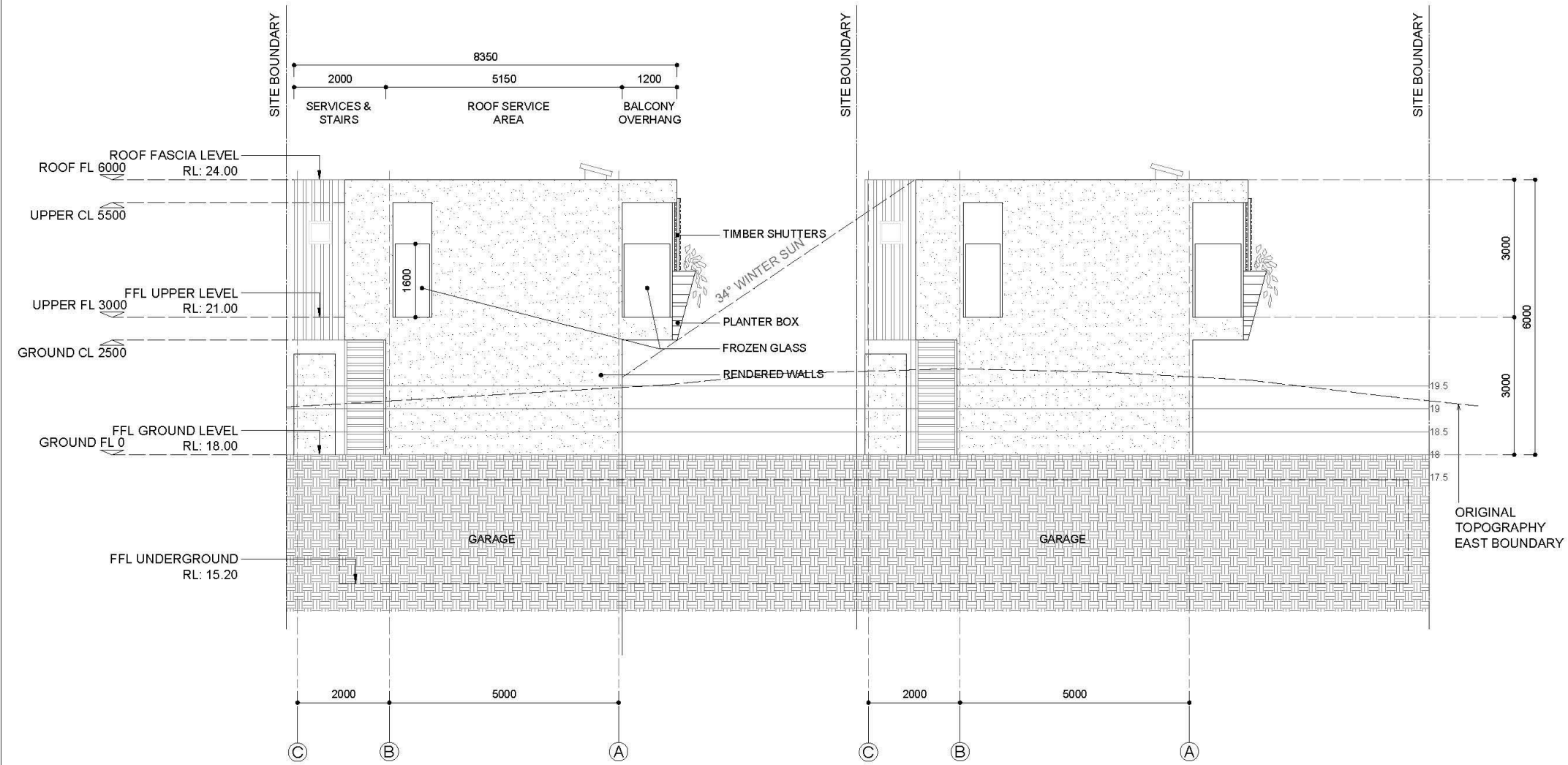
NOTE THE SOUTH ELEVATION FOR BOTH HOUSE 5A & 5B
CITY OF FREMANTLE
 These Revised Plans Form Part of
DA0290/18
 17 December 2018



CLIENT: ROWAN CHITTY
ADDRESS: 5A/5B LETITIA RD
NORTH FREMANTLE WA
STAGE: PLANNING APPROV.
DESIGN: TIMBERMEE
DRAWN: M. ELAKOVIC
DATE: 24 OCT 2018
SCALE: NOTED ON PLAN
DRAWING: ELEVATION SOUTH
CODE:
ES.13
011

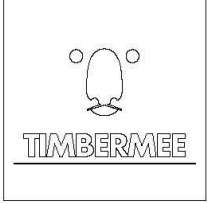
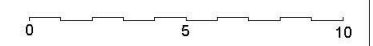
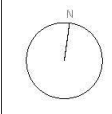


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17 December 2018

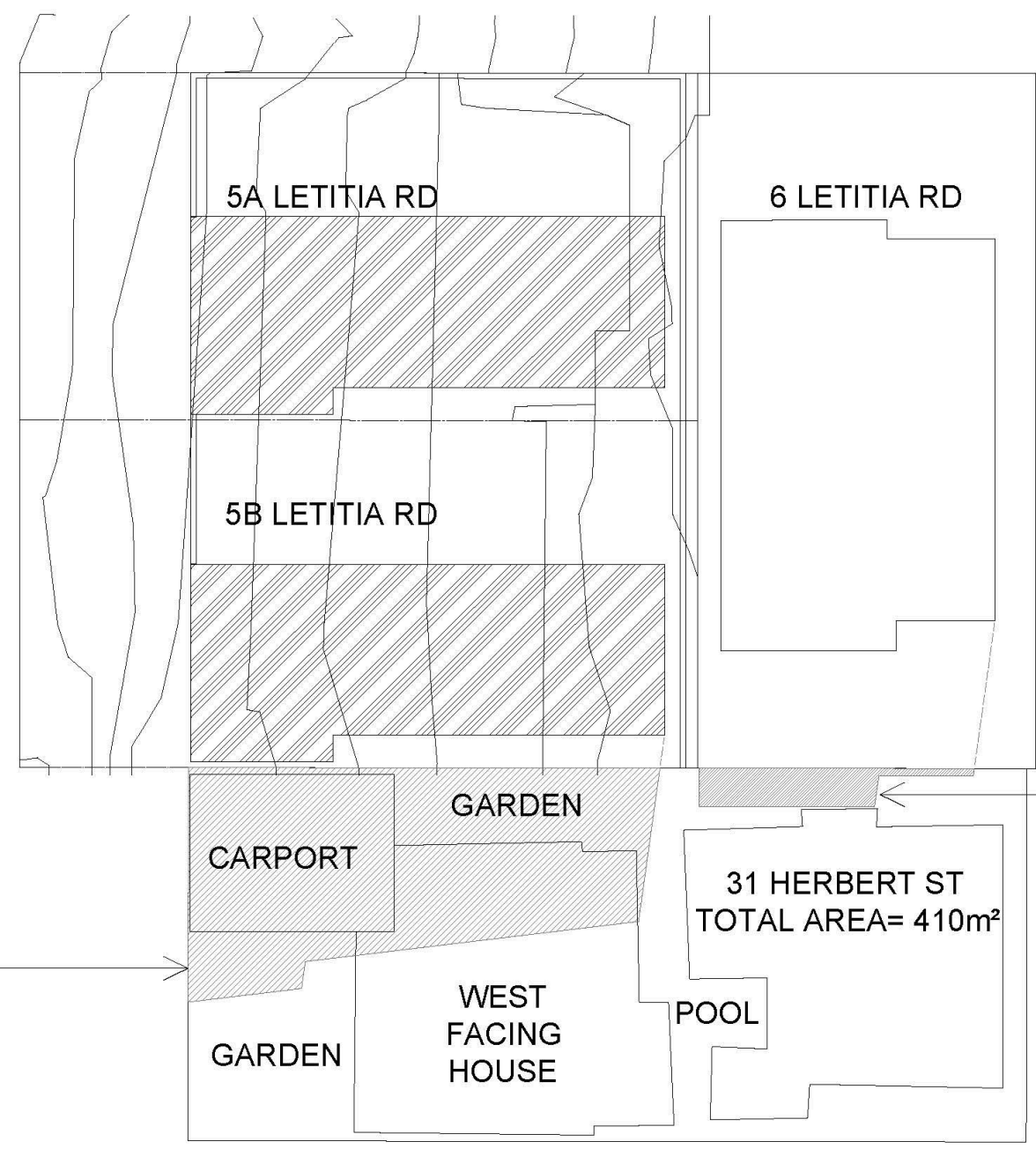


CLIENT: ROWAN CHITTY
ADDRESS: 5A/5B LETITIA RD
NORTH FREMANTLE WA
STAGE: PLANNING APPROV.
DESIGN: TIMBERMEE
DRAWN: M. ELAKOVIC
DATE: 24 OCT 2018
SCALE: NOTED ON PLAN
DRAWING: ELEVATION EAST

CODE:
EE.13
012



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17 December 2018



OVERSHADOW AREA
FROM 5B LETITIA RD
= 112.8 m² (27.5%)

OVERSHADOW AREA
FROM 6 LETITIA RD
= 9.8 m² (2.4%)

CLIENT: ROWAN CHITTY
ADDRESS: 5A/5B LETITIA RD
NORTH FREMANTLE WA
STAGE: PLANNING APPROV.
DESIGN: TIMBERMEE
DRAWN: M. ELAKOVIC
DATE: 24 OCT 2018
SCALE: NOTED ON PLAN
DRAWING: OVERSHADOWING
CODE:
SP.13
013

ATTACHMENT 2: Applicant's Justification



Our Ref: 18-486

12 December 2018

Nathan Blumenthal
Senior Planning Officer
City of Fremantle
Fremantle Oval
70 Parry Street
Fremantle WA 6160

Via Email: NathanB@fremantle.wa.gov.au

Dear Nathan

DEVELOPMENT APPLICATION – PROPOSED TWO GROUPED DWELLINGS AT 5A AND 5B LETITIA ROAD, NORTH FREMANTLE – PROVISION OF ADDITIONAL JUSTIFICATION IN SUPPORT OF APPLICATION

Further to the meeting held at the City on the 27 November 2018 in relation to the above application, I welcome the opportunity to provide additional justification in support of the application. This letter builds upon the justification previously provided to the City in our letter dated 25 October 2018.

To supplement the previous plans provided, please find enclosed the following revised plans at Attachment A to this letter:

- Revised roof plan depicting additional solar panels to improve energy efficiency outcomes for the proposed development; and
- Revised overshadow diagram as requested by the City.

As previously stated by the designer of the proposed development, Mr Mihajlo Elakovic, the site is unique and presents unique opportunities for a site responsive development. Firstly, the site has a dramatic cross fall in topography, with the highest point of the site at the eastern end being 19.6 AHD and the lowest point of the site being 14.97 AHD, representing a total cross fall of 4.63 metres. The natural topography of the site makes it difficult to achieve compliance with the prescribed building heights within the City's planning framework, and in our view, warrants a flexible approach.

Secondly, the site has access to views of significance, being the incredible vistas available across the ocean to Rottnest Island. The proposed development has been oriented in a way which maximises access to these views, while also maintaining view corridors through the site by way of configuring the two dwellings in an east-west alignment which creates two corridors of open space to retain views to the ocean for the property to the east. This orientation makes it difficult to comply with the prescribed building height at the lower part of the site, particularly if the site is to utilise the available views out to Rottnest Island.

Level 18, 191 St Georges Terrace, Perth Western Australia 6000. PO Box 7375 Cloisters Square, Perth Western Australia 6850
T. (08) 9289 8300 – E. hello@elementwa.com.au – elementwa.com.au
Element Advisory Pty Ltd

Proposed Two Grouped Dwellings – 5A and 5B Letitia Road, North Fremantle
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The proposed design also utilises the principles of passive solar design to make the best use of natural light and this will save a considerable amount of energy during winter. Also as previously stated by Mr Elakovic, the capacity of the proposed building to cast shadows over its façade is desirable as a method of natural cooling during the summer months. The development will also utilise the prevailing south-westerly breezes to ensure natural cooling in the afternoons.

Another unique characteristic of the site is that it is serviced by both Letitia Road and Herbert Street. The proposed development seeks to utilise this opportunity by aligning the driveway that services the two dwellings with the Herbert Street alignment to facilitate access onto both Letitia Road and Herbert Street. The intersection of the driveway with Letitia Road effectively replicates a corner site configuration.

The lot dimensions are also a consideration, with each lot being only 12.57m in width and totalling 309 sqm each. The building footprint for each dwelling is therefore constrained when taking into account open space, setback and other requirements.

With the unique context of the site in mind, we provide the following response to the relevant design principles relating to the components of the development where discretion is sought in relation to the deemed-to-comply criteria of the City's planning framework.

Building Height

Schedule 8 of the City's LPS4 for the North Fremantle precinct specifies a maximum external wall height of 5.5m. Clause 4.8.1.2 of LPS 4, provides Council the discretion to vary the maximum height requirements of Schedule 8 by up to 0.5m, where there is a variation in ground level over a development footprint of greater than one metre.

Clause 4.1.2 of LPS 4 requires that the City has due regard to any relevant local planning policy, including design guidelines, which have effect in the Scheme area.

The City's adopted Design Guideline 13 (DGN13) is applicable to the subject site and guides the discretion of the City with respect to building height and other matters.

Clause 5.1.6 of the R-Codes specify additional design principles to guide the discretion in relation to building height, and these, in addition to the requirements of DGN13, are addressed in the following table.

Building Height Criteria	Development Response
Building height may be averaged provided that no portion of the external wall exceeding the maximum height limit by greater than 1.5 metres	The average height of the proposed development is 5.975m which is well below the overall height permitted by DGN13 of 7.7m (ridge height). The maximum height wall height limit prescribed by DGN13 for a sloping block is 7.2m. It is noted that the maximum wall height of the proposed development is 7.45m, which exceeds this requirement by 250mm. Discretion is therefore sought by applying the relevant design principles.
Compliance with City's cut and fill policy	Cut and fill is not considered an issue as it has been previously acknowledged by the City that it is necessary to undertake substantial earthworks on this site to address the substantial cross fall in elevation. Neighbours who have previously been consulted also did not raise an issue with respect to earthworks.

Proposed Two Grouped Dwellings – 5A and 5B Letitia Road, North Fremantle
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<p>that the proposal is consistent with predominant height patterns of properties in the street block and the policy area generally</p>	<p>There are not many examples of modern two storey development along Letitia Road, however it is noted that a modern three storey development has been constructed on 23 Herbert Street at the intersection of Herbert and Fay Streets.</p>
<p>the proposal would not be detrimental to the amenity of adjoining properties</p>	<p>It is considered that the proposal is not detrimental to the amenity of adjoining properties on the following basis:</p> <ul style="list-style-type: none"> • it will not obstruct existing access to views of significance; • it will not excessively overshadow the property to the south; • it maintains required levels of visual privacy setbacks; • it provides sufficient setbacks to boundaries to allow for solar access, ventilation and privacy.
<p>Building height that creates no adverse impact on the amenity of adjoining properties or the streetscape, including road reserves and public open space reserves, and where appropriate maintains:</p> <ul style="list-style-type: none"> • adequate access to direct sun into buildings and appurtenant open spaces; • adequate daylight to major openings into habitable rooms; and • access to views of significance. 	<p>The proposed development responds to these principles as per below:</p> <ul style="list-style-type: none"> • the proposed development demonstrates compliance with the relevant design principles with respect to solar access as addressed elsewhere in this submission; • the proposed development will not impact on adequate daylight to major openings of adjoining dwellings; • the non conforming part of the building relates to the lowest portion of the property and therefore will not have an impact on views of significance available from adjacent properties.
<p>The relevant requirements of Clause 67 of Schedule 2 of the <i>Planning and Development (Local Planning Schemes) Regulations 2015</i> is set out below:</p> <p>(m) the compatibility of the development with its setting including the relationship of the development to development on adjoining land or on other land in the locality including, but not limited to, the likely effect of the height, bulk, scale, orientation and appearance of the development;</p> <p>(n) the amenity of the locality including the following –</p> <ul style="list-style-type: none"> (i) environmental impacts of the development; (ii) the character of the locality; 	<p>It is considered that the proposed development is compatible with its setting and will not have an undue impact on the amenity of the locality with respect to bulk and scale. The ground floor level has been set based on the level at the centre of the property and the overall wall height of the building exceeds the maximum wall height specified in DGN13 by only 250mm, which is at the lowest point of the property where the impact will be the least. The development is not inconsistent with the established streetscape along Letitia Road.</p> <p>The proposed development will not have any undue environmental or social impacts and is generally consistent with the character of the locality for reasons set out within this letter.</p>

Proposed Two Grouped Dwellings – 5A and 5B Letitia Road, North Fremantle
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(iii) social impacts of the development.	
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On the basis of the above, it is considered that the minor height variation of 250mm can be supported in this instance.

Upper Floor Front Setback

The proposed setback to the upper floor of proposed Lot 1 to Letitia Road is 5.195m in lieu of 7m as required pursuant to the City’s Local Planning Policy 2.9 (LPP 2.9). LPP 2.9 provides where variations to street setbacks may be considered, and requires the proposed development to meet at least one of the following:

- i. The proposed setback of the building is consistent with the setback of buildings of comparable height within the prevailing streetscape; or
- ii. The proposed setback of the building does not result in a projecting element into an established streetscape vista by virtue of the road and/or lot layout in the locality or the topography of the land; or
- iii. The proposed setback of the building will facilitate the retention of a mature, significant tree deemed by the Council to be worthy of retention (Refer also to LPP2.10 Landscaping of Development and Existing Vegetation on Development Sites); or
- iv. Where there is no prevailing streetscape; or
- v. Where the proposed development is on a lot directly adjoining a corner lot, Council will consider a reduced setback that considers the setback of the corner lot in addition to buildings in the prevailing streetscape.

We are of the view that the following discretionary criteria are applicable in this instance:

- 1. The proposed setback of the building does not result in a projecting element into an established streetscape vista by virtue of the topography of the land; and
- 2. There is no prevailing streetscape along Letitia Road.

The following 3D perspective at Figure 1 illustrates the proposed development within the context of Letitia Street. It is considered that the proposed development does not detract or unduly impose itself on the streetscape. Partly the reason for this is the substantial drop in elevation down Letitia Street which means there is not a strong visual connection between the alignment of each dwelling along the streetscape given that each dwelling sits lower than the immediate property to the east. This fall in topography also preserves vistas to the ocean for the development to the east, as the proposed development will sit lower than the upper level of 6 Letitia Road. Therefore, the proposed reduced upper level setback will not project into an established streetscape vista in this instance.

Proposed Two Grouped Dwellings – 5A and 5B Letitia Road, North Fremantle
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Figure 1: 3D perspective from Letitia Road looking generally west



Secondly, we are of the view that there is no prevailing streetscape along Letitia Road owing to the fact that there are substantial variations to setbacks along dwellings on the southern side of Letitia and also due to the fact that the dwellings to the north of Letitia Road are oriented towards Alfred Road and many have reduced setbacks and/or have their sheds and garages positioned on the boundary shared with Letitia Road.

The following site photo is taken from 5 Letitia Road and depicts the streetscape on the northern side of Letitia Road immediately adjacent the site.

Figure 2: Looking north across Letitia Road from 5 Letitia Road



Proposed Two Grouped Dwellings – 5A and 5B Letitia Road, North Fremantle
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The google aerial image below demonstrates that there is not a consistent street setback on either side of Letitia Road. Particularly evident is the reduced setbacks to both 3 and 4 Letitia Road as well as 47 Thompson Road and 33A Rule Street at each bookend to the street. This equates to 4 of the nine properties that currently have frontage to the southern side of Letitia Road having reduced setbacks to that proposed by this application. It is also noted that the second level of the dwelling at 2 Letitia Road is provided with a 2.9m setback to the primary street, representing a 4.1m (58.6%) variation. Reduced upper level setbacks are also provided to 4 and 6 Letitia Road either side of the proposed development and therefore we contend that there is not a prevailing streetscape that is required to be adhered to in this instance.

Figure 3: Aerial view depicting irregularity of setbacks to Letitia Road



Proposed Two Grouped Dwellings – 5A and 5B Letitia Road, North Fremantle
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Solar Access

The proposed development does not comply with the deemed-to-comply provisions of the R-Codes with respect to solar access to the property to the south, being 31 Herbert Street. Notwithstanding, we are of the view that the proposed development can demonstrate compliance with the relevant design principles as follows:

Design Principle	Development Response
P2.1 Effective solar access for the proposed development and protection of the solar access.	The development has been configured in such a way as to allow solar access into the habitable and outdoor living areas of both dwellings to maximise passive solar design opportunities.
P2.2 Development designed to protect solar access for neighbouring properties taking account the potential to overshadow existing: <ul style="list-style-type: none"> • Outdoor living areas; • North facing major openings to habitable rooms, within 15 degrees of north in each facing direction; or • Roof mounted solar collectors. 	<p>While the proposed development exceeds the overshadowing requirement, it is noted that the proposed overshadowing will not impact on outdoor living areas, windows to habitable rooms or roof mounted solar collectors. The overshadowing is primarily limited to the roof of an existing carport and front setback area. The northern setback area of the dwelling to the south is effectively a service area and is not used for outdoor living. Therefore, the proposed development demonstrates compliance with the relevant design principles.</p> <p>While not a permanent fixture, it is noted that the landowner of the property to the south has planted mature trees along the northern boundary which has the effect of shading the northern part of the site regardless of the overshadowing of the proposed development. Figure 4 below depicts the existing vegetation located along the northern boundary of the southern lot.</p> <p>It is also noted that the landowner of the property to the south has chosen to cover a majority of the outdoor living area to the rear of the property by way of a patio.</p>

Figure 4: Existing vegetation on 31 Herbert Street northern boundary



Proposed Two Grouped Dwellings – 5A and 5B Letitia Road, North Fremantle
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Lot Boundary Setbacks

The relevant design principles are addressed below with respect to the reduced setbacks proposed to the southern boundary.

Design Principle	Development Response
<p>5.1.3 Lot boundary setback P3.1 Buildings set back from lot boundaries so as to:</p> <ul style="list-style-type: none"> • reduce impacts of building bulk on adjoining properties; • provide adequate direct sun and ventilation to the building and open spaces on the site and adjoining properties; and • minimise the extent of overlooking and resultant loss of privacy on adjoining properties. 	<ul style="list-style-type: none"> • While the proposed development does propose an overheight wall on the southern boundary, it is proposed in a location adjacent to an existing boundary wall associated with the carport on the property to the south. This has the effect of limiting the impact of the tallest part of the building to the carport and front setback area of the dwelling to the south so as not to impact on any habitable or outdoor living areas of the dwelling. • As previously discussed, the proposed development will only overshadow non habitable areas of the property to the south and can demonstrate compliance with the relevant design principles relating to solar access. • The proposed development will not cause any privacy issues with the dwelling to the south and the boundary wall will actually increase privacy separation between the two properties.
<p>P3.2 Buildings built up to boundaries (other than the street boundary) where this:</p> <ul style="list-style-type: none"> • makes more effective use of space for enhanced privacy for the occupant/s or outdoor living areas; • does not compromise the design principle contained in clause 5.1.3 P3.1; • does not have any adverse impact on the amenity of the adjoining property; • ensures direct sun to major openings to habitable rooms and outdoor living areas for adjoining properties is not restricted; and • positively contributes to the prevailing context and streetscape. 	<ul style="list-style-type: none"> • Due to the narrow linear nature of the subject site, it is preferable to have a portion of the dwelling on the boundary so as to maximise the width available for useable indoor and outdoor living areas. • It is considered that the overheight boundary wall being positioned adjacent to the boundary wall associated with the carport on the southern property will limit any impact on the enjoyment of the property to the south. • This modern, architecturally designed home is in keeping with the Fremantle aesthetic and the transitioning nature of this prime real estate area which is conveniently positioned to overlook the Indian Ocean, Swan River and within walking distance to the North Fremantle Train Station. It is considered that the development provides a modern response to the unique site context and will be viewed as providing a positive contribution to the street once constructed.

Proposed Two Grouped Dwellings – 5A and 5B Letitia Road, North Fremantle
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Outdoor Living Areas

The following provides justification in support of the outdoor living area located within the front setback area.

Design Principle	Development Response
5.3.1 Outdoor living areas P1.1 Outdoor living areas which provide spaces: <ul style="list-style-type: none"> • Capable of use in conjunction with a habitable room of the dwelling; • Open to winter sun and ventilation; and • Optimise use of the northern aspect of the site. 	<ul style="list-style-type: none"> • The outdoor living area for the dwelling fronting Letitia Road has been positioned in this location to maximise exposure to the northern aspect. The outdoor living area will be able to be used in conjunction with a habitable room and will also have sufficient privacy by way of fencing to the front boundary. Letitia Road is not a high traffic volume road and therefore private use and enjoyment of this front outdoor living area will not be unduly compromised.

Site Works and Retaining Walls

Due to the severe cross fall in topography of the lot, it is necessary to undertake significant earthworks and retaining to create a functional platform for the future development. It is noted that the submissions received from adjoining landowners did not raise an issue with site works, and in some instances supported the site works, and it is considered that the site works will not have a detrimental impact on the adjoining properties.

Visual Privacy

The following section addresses the identified areas of non-compliance with respect to visual privacy.

West

While the outdoor decks are positioned 6.2m from the western boundary in lieu of the required 7.5m, the overlooking does not impact on any habitable room or outdoor living area of the dwelling to the west. The following site photo demonstrates the extent of overlooking from the balcony of the previous dwelling on the subject site. It should be noted that the proposed outdoor decks will be setback a greater distance to the western boundary compared to the previous dwellings' balcony and therefore the overlooking will be reduced. This photo demonstrates that the proposed development will overlook a back of house area and not any habitable rooms or outdoor living areas. It is therefore respectfully requested that the City apply its discretion in this instance.

Proposed Two Grouped Dwellings – 5A and 5B Letitia Road, North Fremantle
Submission of Revised Plans

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Figure 5: View from previous dwelling balcony overlooking the property to the west



East

Frosted glazing is proposed to the major openings and the portion of balconies facing east to prevent overlooking. This will limit any overlooking from the upper level balcony to the front setback area of the property to the east only, which complies with the acceptable development criteria of the R-Codes.

South

All windows on the southern elevation are highlight only, apart from a window associated with the internal stairwell which is not a habitable room. Therefore, it is considered that the southern elevation complies with visual privacy.

Conclusion

I trust that the revised plans and additional justification in support of the application are sufficient for the City to provide a favourable recommendation to the Council's Planning Committee. Please do not hesitate to contact the undersigned on (08) 9289 8300 should you wish to discuss this application in further detail.

Yours sincerely
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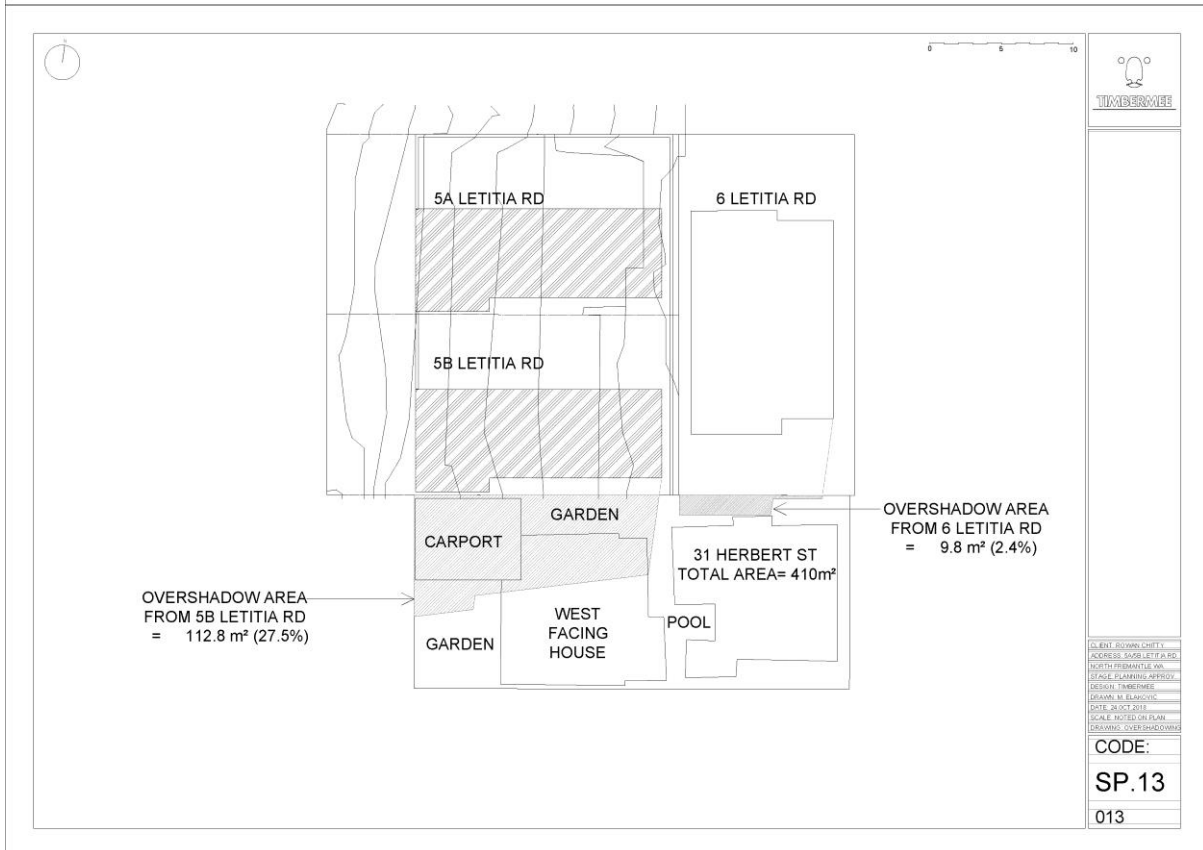
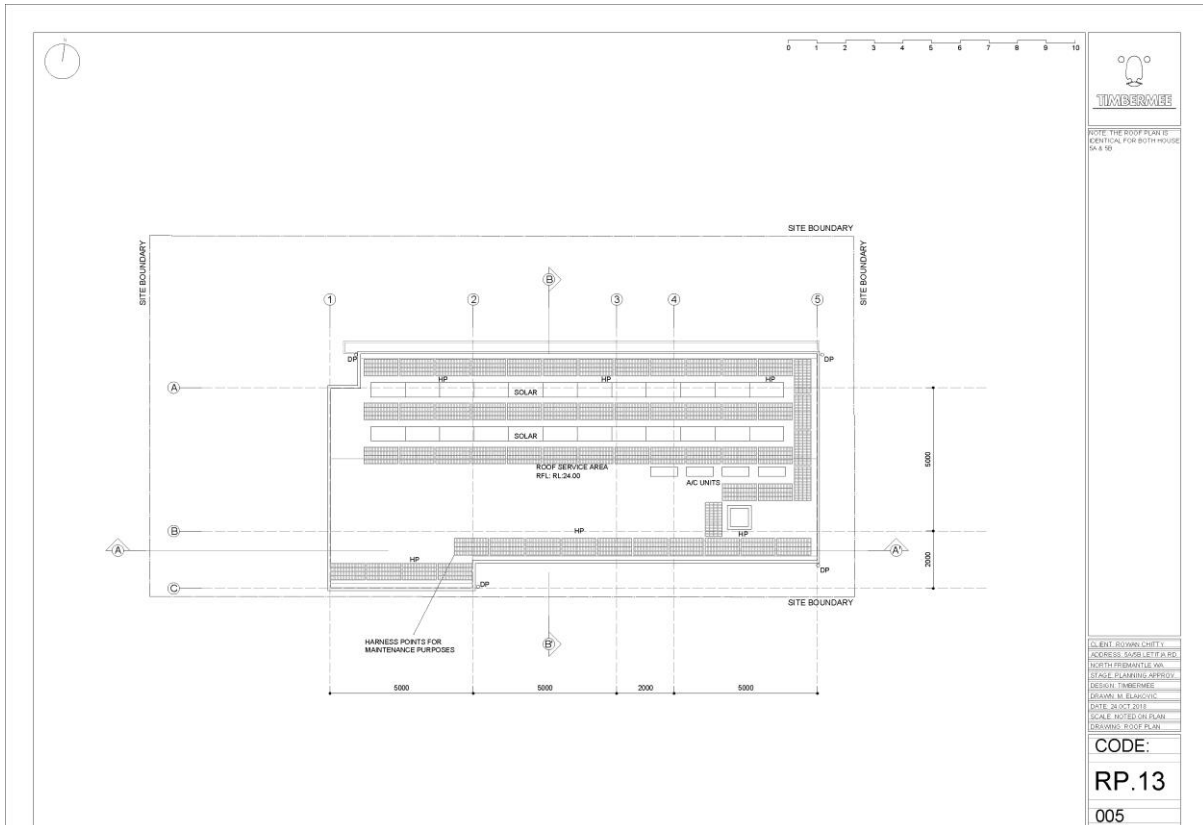
Mike Davis
Associate

cc Mr. Rowan Chitty

Proposed Two Grouped Dwellings – 5A and 5B Letitia Road, North Fremantle
Submission of Revised Plans

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ATTACHMENT A
REVISED PLANS



ATTACHMENT 3: Site Photos



Photo 1: Streetscape looking towards the east



Photo 2: Streetscape looking towards the west



Photo 3: Prevailing streetscape to the west



Photo 4: Adjoining western lot (4 Letitia Rd) from subject driveway



Photo 5: Interior of lot towards rear (31 Herbert Street)

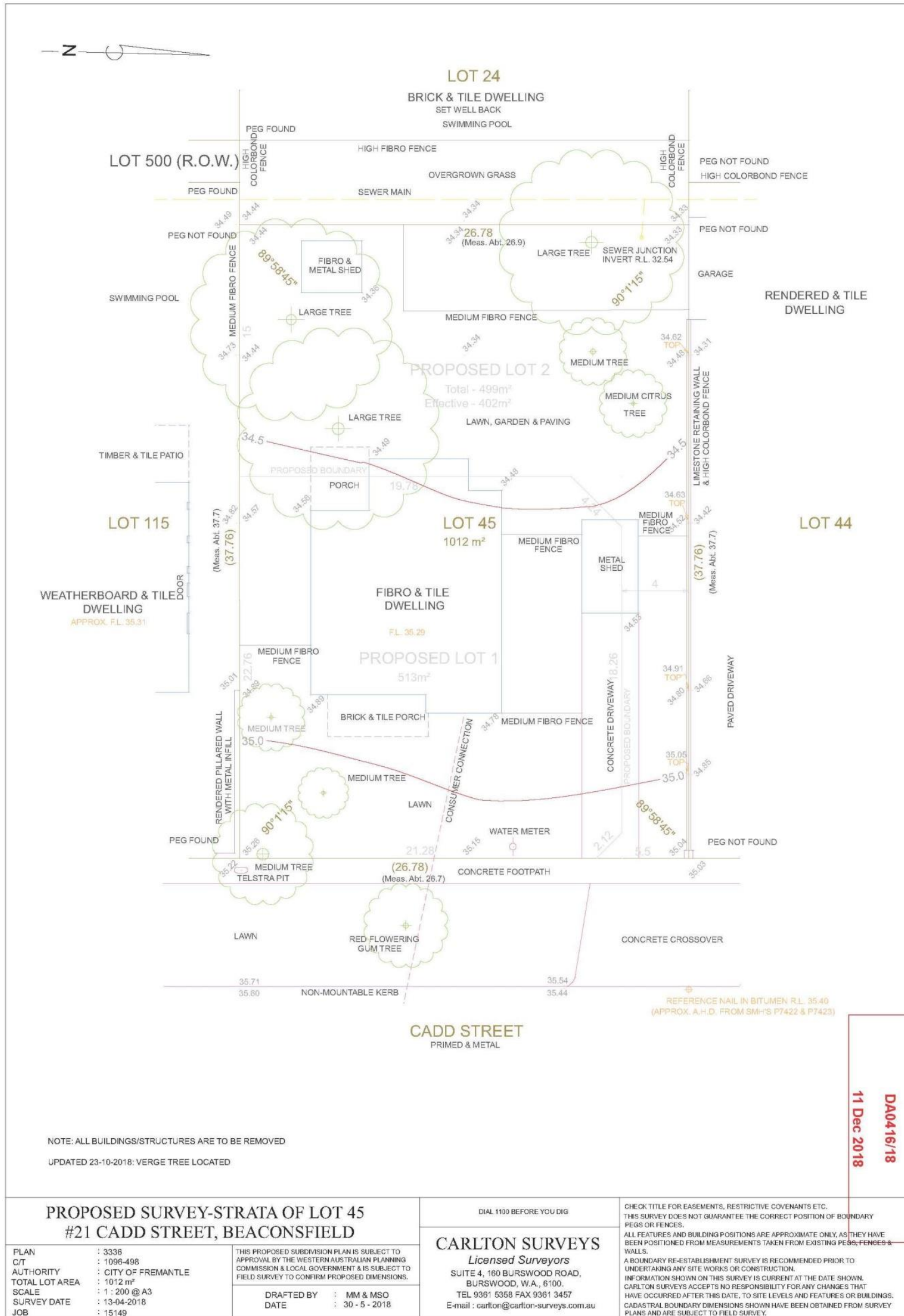


Photo 6: Interior of lot towards east (6 Letitia Rd)



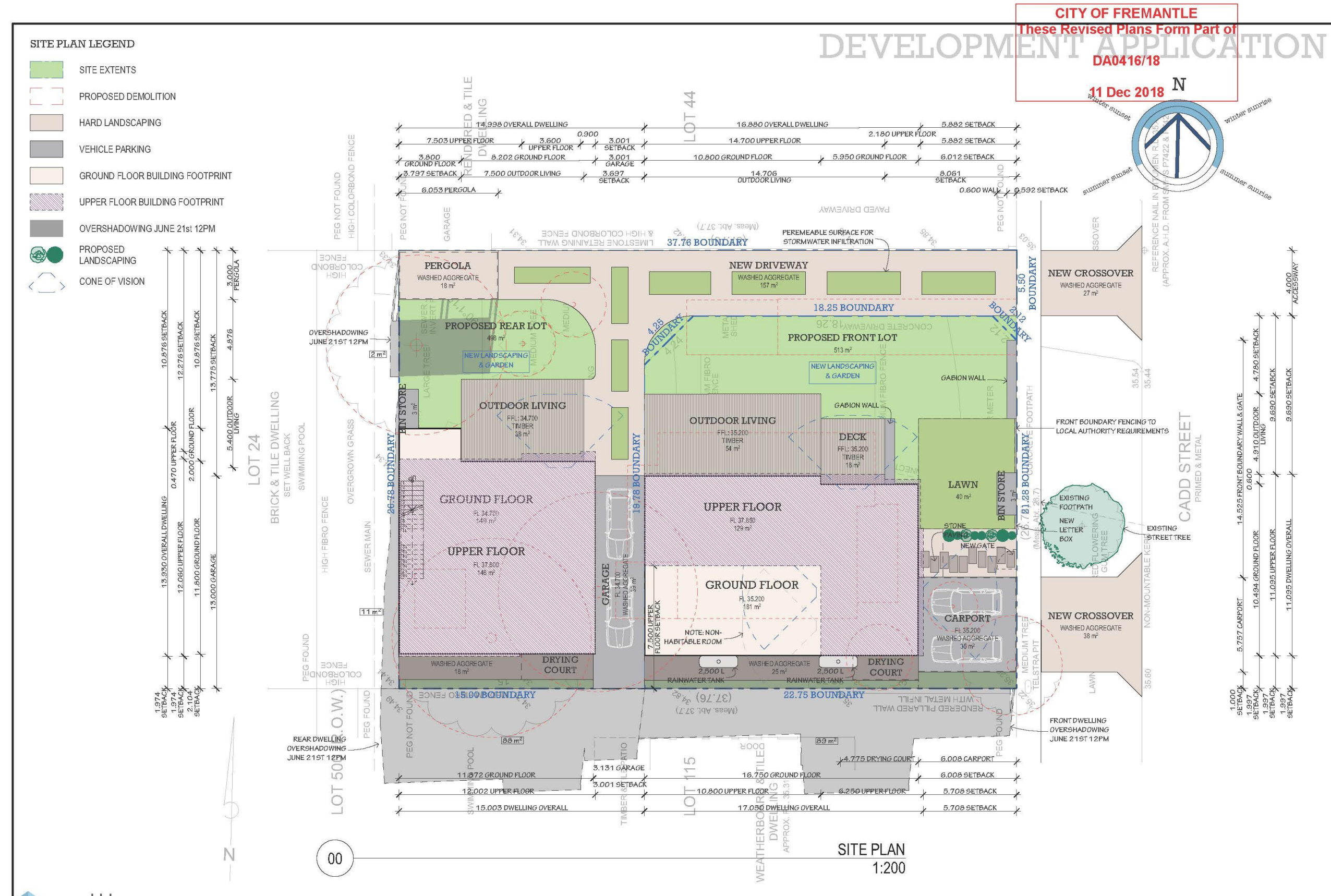
Photo 7: Herbert Street elevation

PC1901 -3 CADD STREET, NO. 21 (LOT 45), BEACONSFIELD - TWO, TWO STOREY GROUPED DWELLINGS - (CJ DA0416/18)
ATTACHMENT 1 – Development plans



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<p>PROPOSED SURVEY-STRATA OF LOT 45 #21 CADD STREET, BEACONSFIELD</p>		<p>DIAL 1100 BEFORE YOU DIG</p> <p>CARLTON SURVEYS <i>Licensed Surveyors</i> SUITE 4, 160 BURSWOOD ROAD, BURSWOOD, W.A., 6100. TEL 9361 5358 FAX 9361 3457 E-mail : carlton@carlton-surveys.com.au</p>	<p>CHECK TITLE FOR EASEMENTS, RESTRICTIVE COVENANTS ETC. THIS SURVEY DOES NOT GUARANTEE THE CORRECT POSITION OF BOUNDARY PEGS OR FENCES. ALL FEATURES AND BUILDING POSITIONS ARE APPROXIMATE ONLY, AS THEY HAVE BEEN POSITIONED FROM MEASUREMENTS TAKEN FROM EXISTING PEGS, FENCES & WALLS. A BOUNDARY RE-ESTABLISHMENT SURVEY IS RECOMMENDED PRIOR TO UNDERTAKING ANY SITE WORKS OR CONSTRUCTION. INFORMATION SHOWN ON THIS SURVEY IS CURRENT AT THE DATE SHOWN. CARLTON SURVEYS ACCEPTS NO RESPONSIBILITY FOR ANY CHANGES THAT HAVE OCCURRED AFTER THIS DATE, TO SITE LEVELS AND FEATURES OR BUILDINGS. CADASTRAL BOUNDARY DIMENSIONS SHOWN HAVE BEEN OBTAINED FROM SURVEY PLANS AND ARE SUBJECT TO FIELD SURVEY.</p>
<p>PLAN : 3336 C/T : 1096-498 AUTHORITY : CITY OF FREMANTLE TOTAL LOT AREA : 1012 m² SCALE : 1 : 200 @ A3 SURVEY DATE : 13-04-2018 JOB : 15149</p>	<p>THIS PROPOSED SUBDIVISION PLAN IS SUBJECT TO APPROVAL BY THE WESTERN AUSTRALIAN PLANNING COMMISSION & LOCAL GOVERNMENT & IS SUBJECT TO FIELD SURVEY TO CONFIRM PROPOSED DIMENSIONS.</p> <p>DRAFTED BY : MM & MSO DATE : 30 - 5 - 2018</p>		



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address : 33|211 Beaufort Street Perth WA 6000
phone : 0428 473 790 | email : sid@sidthoo.com
www.sidthoo.com

CLIENT/PROJECT:
Montgomery
Lot 45 No 21 Cadd Street Beaconsfield WA 6162

DRAWING TITLE
SITE PLAN, SITE SURVEY, SITE LEGEND

PROJECT STATUS:
DEVELOPMENT
APPLICATION

ARCHITECT:
S2
DRAWN:
DR

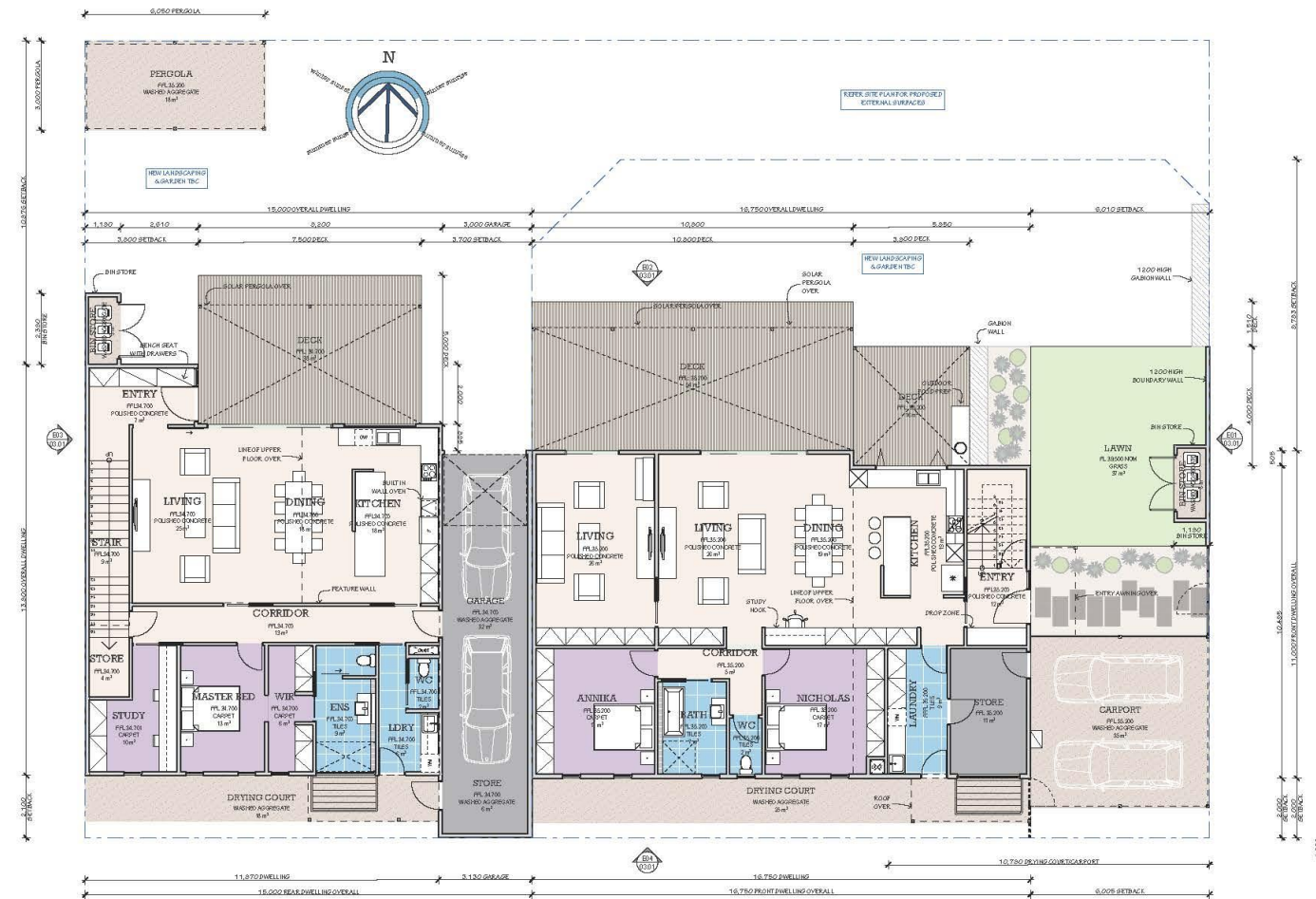
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DEVELOPMENT APPLICATION

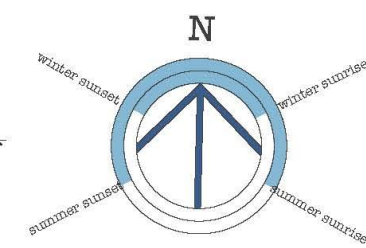
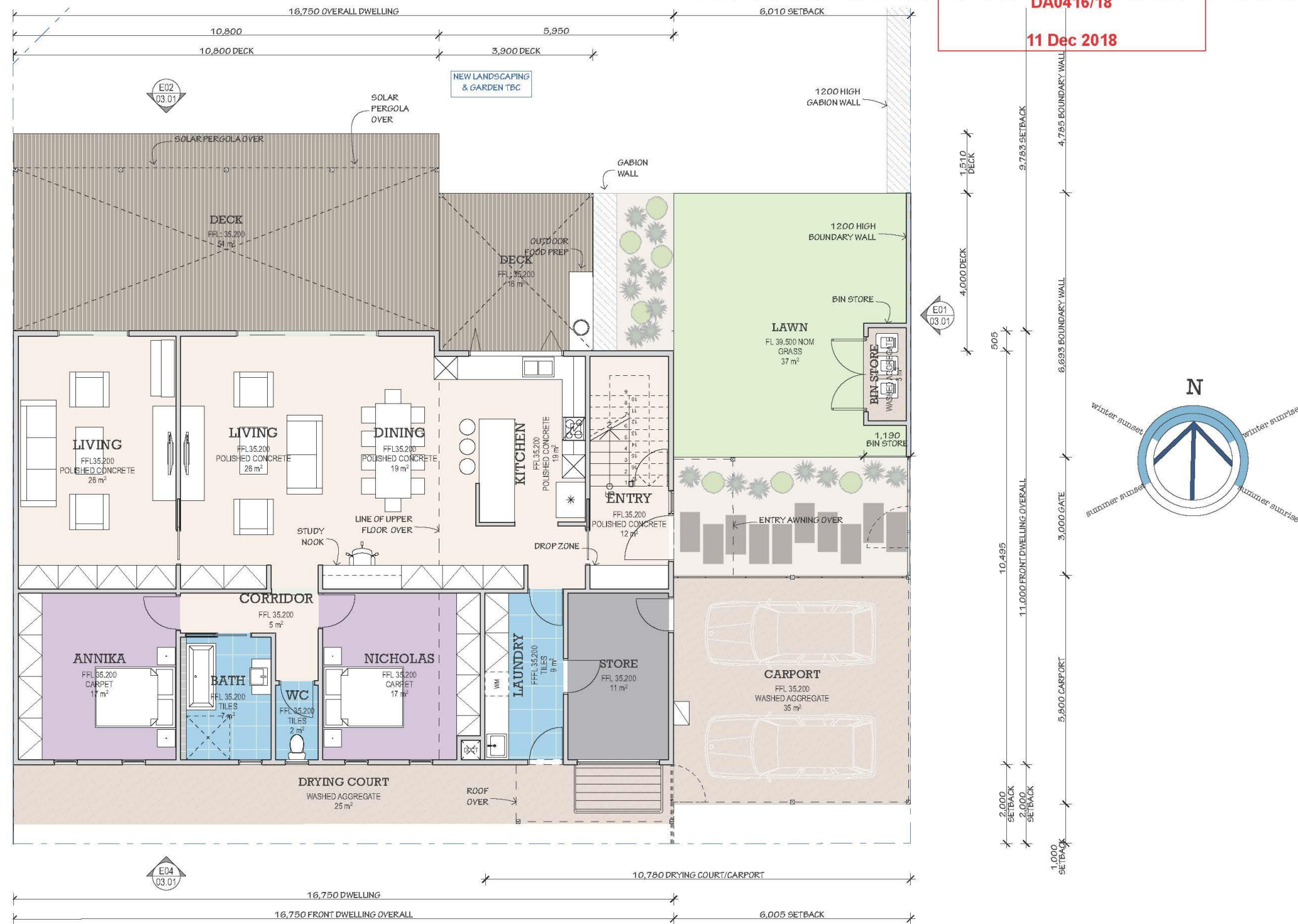


01

GROUND FLOOR PLAN (OVERALL)
1:200

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DEVELOPMENT APPLICATION



01 GROUND FLOOR PLAN (FRONT DWELLING)
1:100



address : 33|211 Beaufort Street Perth WA 6000
phone : 0428 473 790 | email : sid@sidthoo.com
www.sidthoo.com

CLIENT/PROJECT:
Montgomery
Lot 45 No 21 Cadd Street Beaconsfield WA 6162

DRAWING TITLE
GROUND FLOOR PLAN (FRONT DWELLING),
GROUND FLOOR PLAN

PROJECT STATUS:
DEVELOPMENT
APPLICATION

ARCHITECT:
S2
DRAWN:
DR

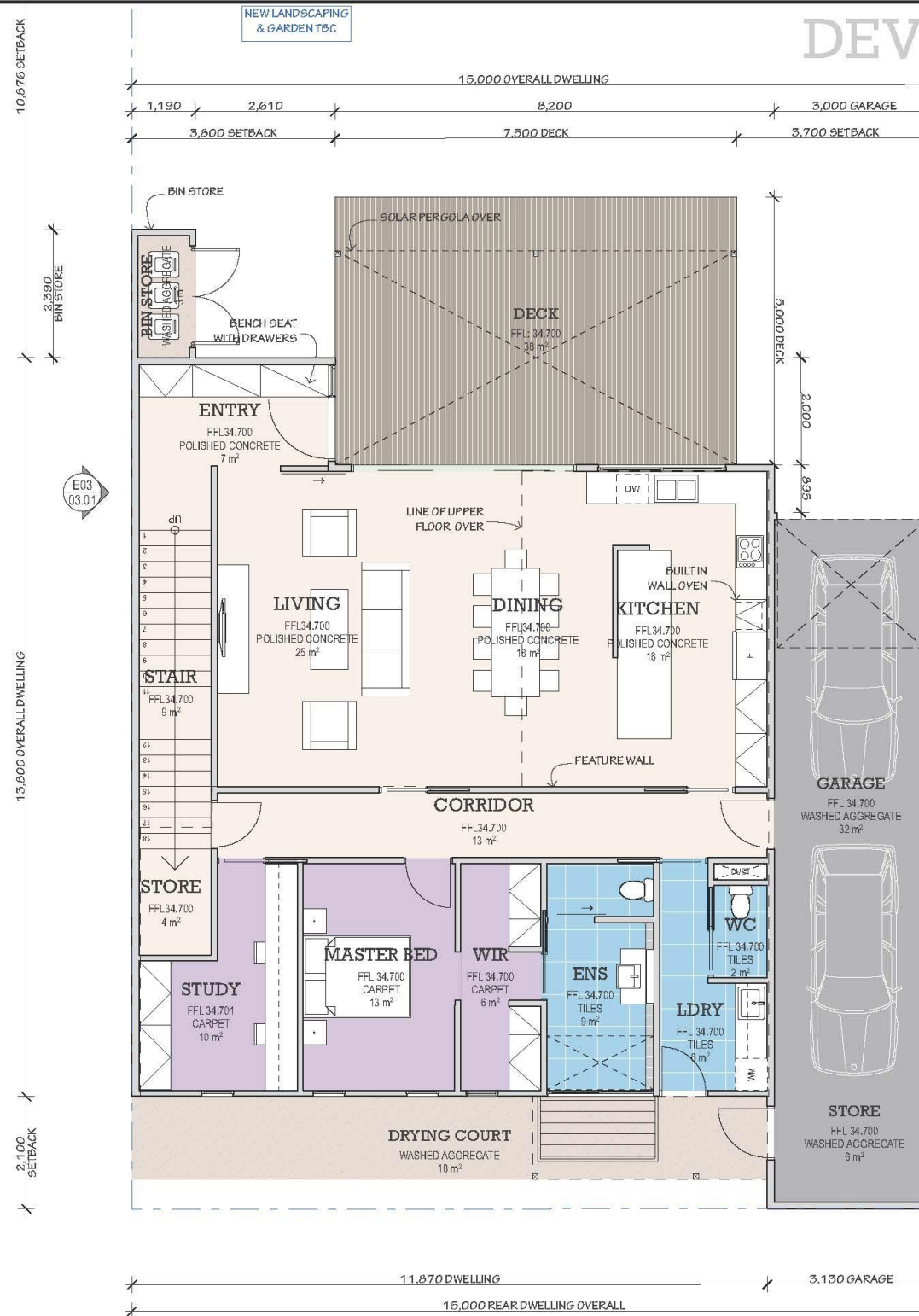
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DWG NO:
02.03

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11 Dec 2018

DEVELOPMENT APPLICATION



01

GROUND FLOOR PLAN (REAR DWELLING)
1:100



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phone : 0428 473 790 | email : sid@sidthoo.com
www.sidthoo.com

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Montgomery
Lot 45 No 21 Cadd Street Beaconsfield WA 6162

DRAWING TITLE
GROUND FLOOR PLAN (REAR DWELLING),
GROUND FLOOR PLAN

PROJECT STATUS:
DEVELOPMENT
APPLICATION

ARCHITECT:
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DRAWN:
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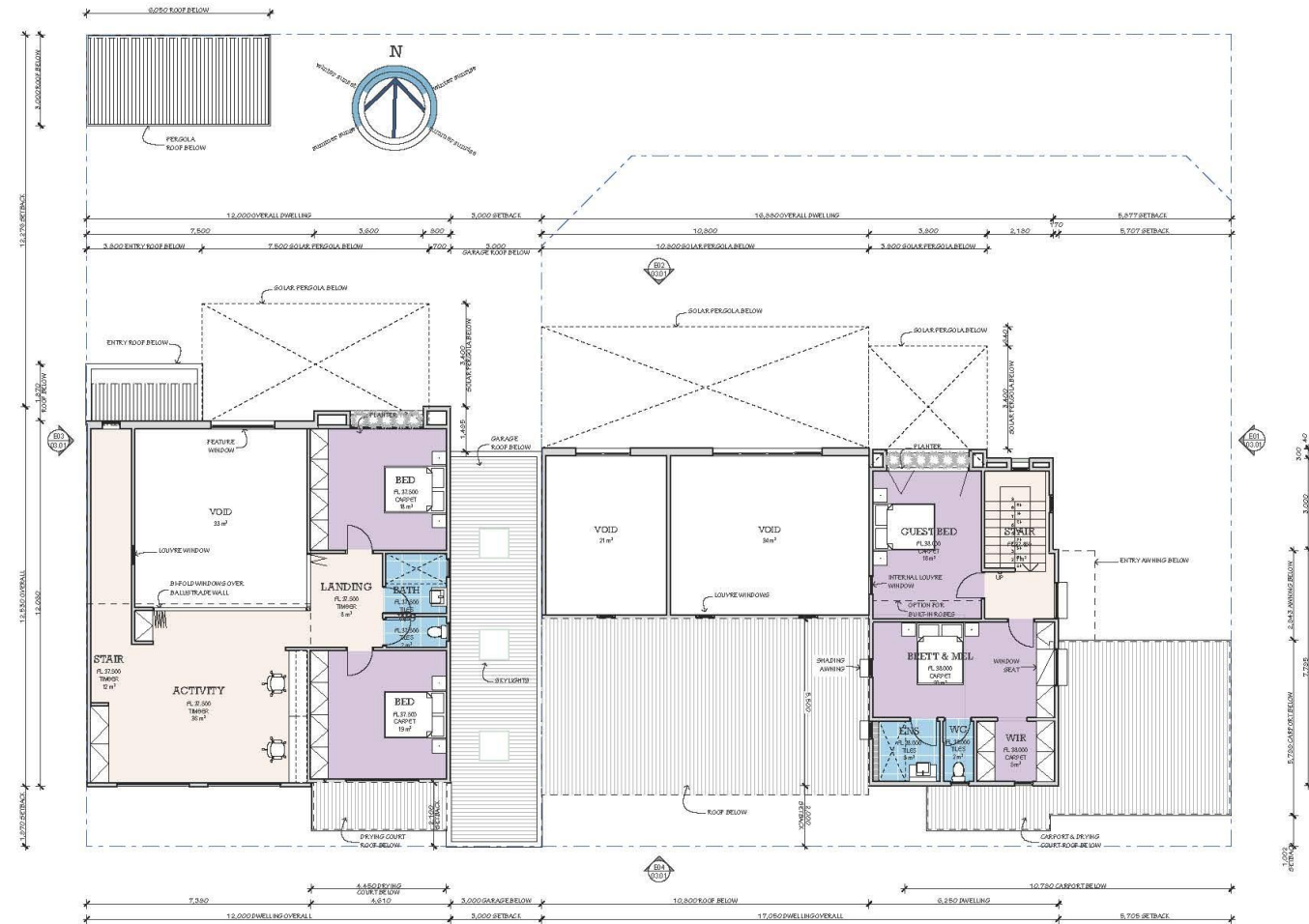
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PRINT DATE:
11/12/18

PROJECT NO:
2018-10 CAD
REVISION
C

DWG NO:
02.05

CITY OF FREMANTLE
These Revised Plans Form Part of
DA0416/18
11 Dec 2018

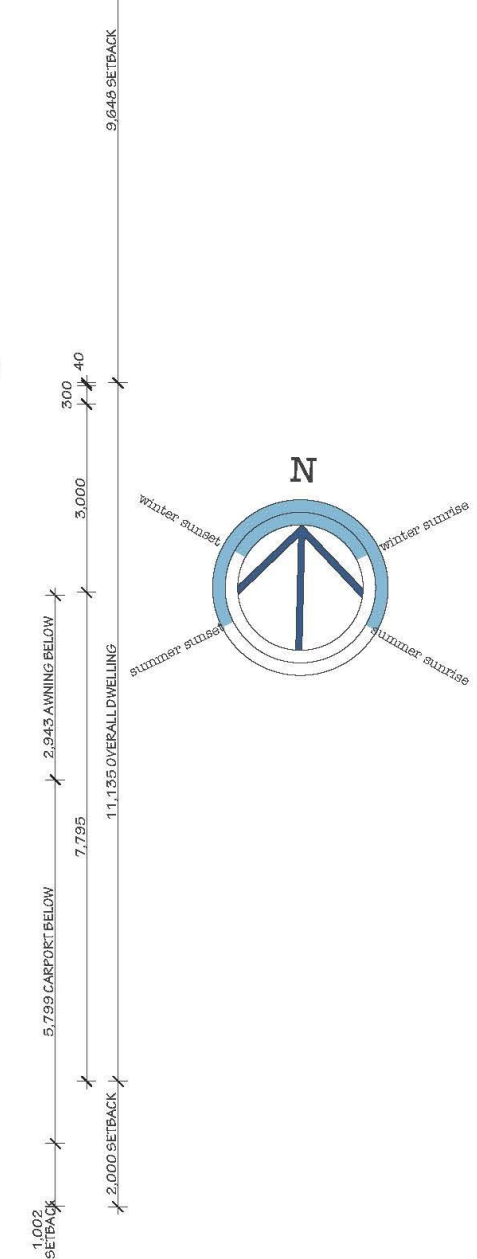
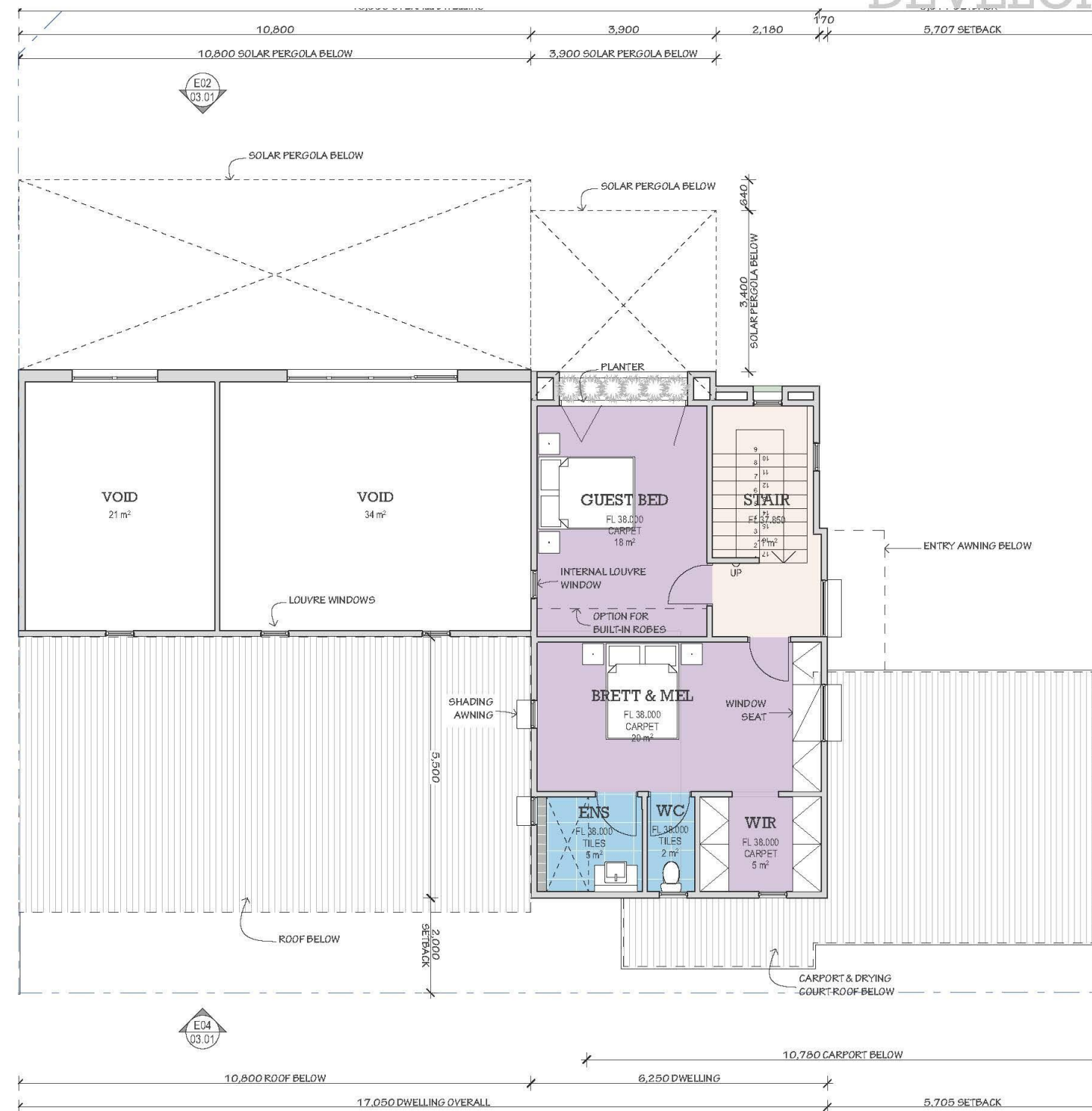
DEVELOPMENT APPLICATION



01 UPPER FLOOR PLAN (OVERALL) 1:200

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11 Dec 2018

DEVELOPMENT APPLICATION



03 UPPER FLOOR PLAN (FRONT DWELLING) 1:100



address : 33|211 Beaufort Street Perth WA 6000
phone : 0428 473 790 | email : sid@sidthoo.com
www.sidthoo.com

CLIENT|PROJECT:
Montgomery
Lot 45 No 21 Cadd Street Beaconsfield WA 6162

DRAWING TITLE
UPPER FLOOR PLAN (FRONT DWELLING), UPPER
FLOOR PLAN

PROJECT STATUS:
DEVELOPMENT
APPLICATION

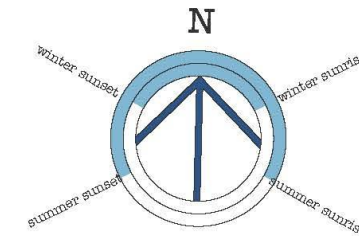
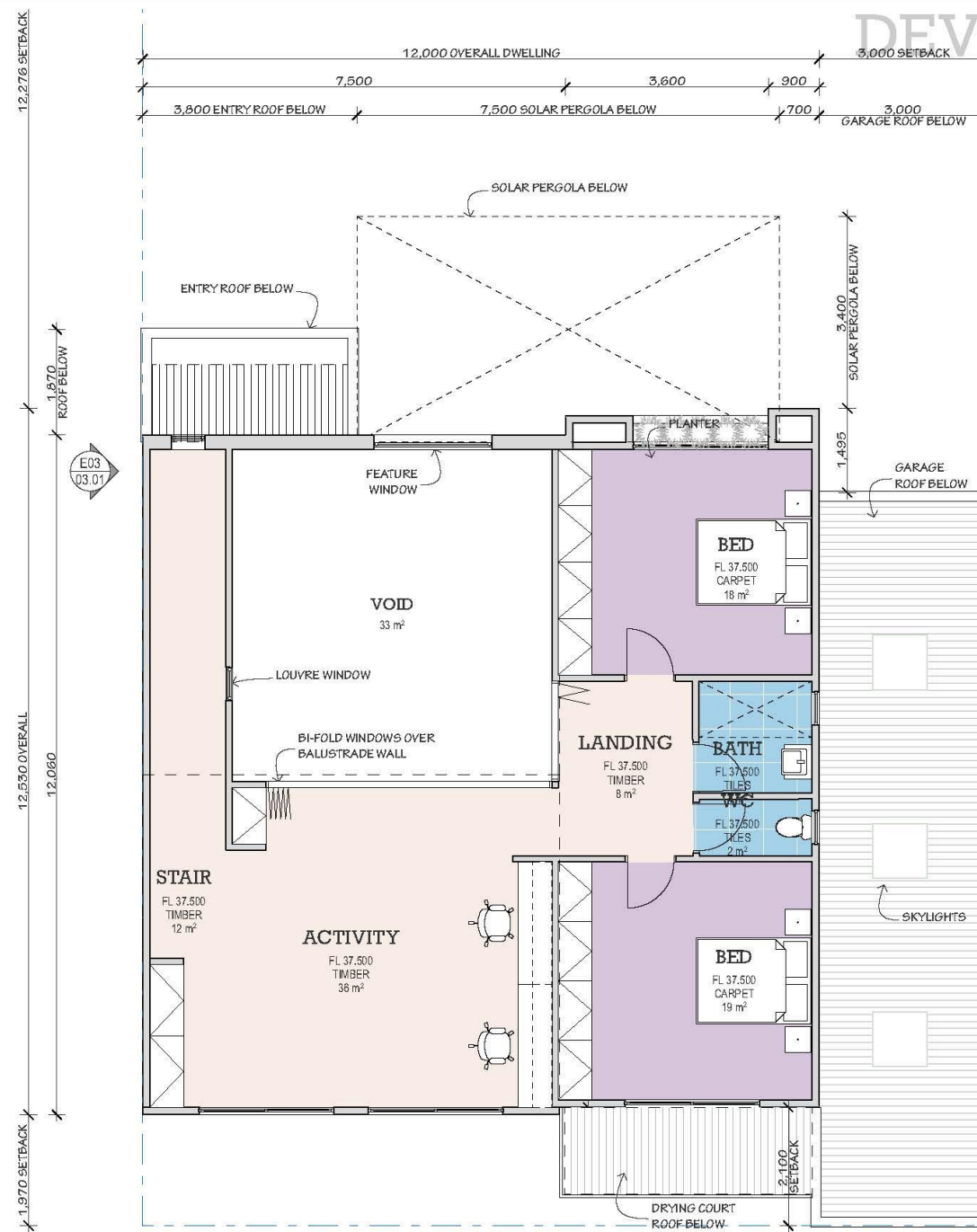
ARCHITECT:
S2
DRAWN:
DR

SCALE:
1:100
PRINT DATE:
11/12/18

PROJECT NO:
2018-10 CAD
REVISION
C

DWG NO:
02.04

CITY OF FREMANTLE
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11 Dec 2018



01

UPPER FLOOR PLAN (REAR DWELLING)
1:100



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phone : 0428 473 790 | email : sid@sidthoo.com
www.sidthoo.com

CLIENT/PROJECT:
Montgomery
Lot 45 No 21 Cadd Street Beaconsfield WA 6162

DRAWING TITLE
UPPER FLOOR PLAN (REAR DWELLING), UPPER
FLOOR PLAN

PROJECT STATUS:
DEVELOPMENT
APPLICATION

ARCHITECT:
S2
DRAWN:
DR









SCALE:
1:100
PRINT DATE:
11/12/18

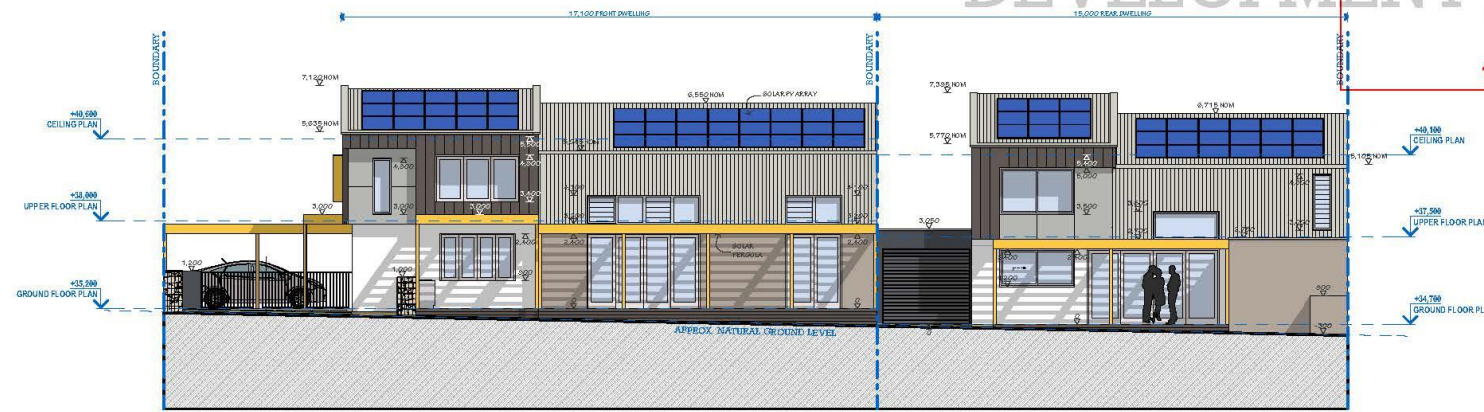
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2018-10 CAD
REVISION
C

DWG NO:
02.06

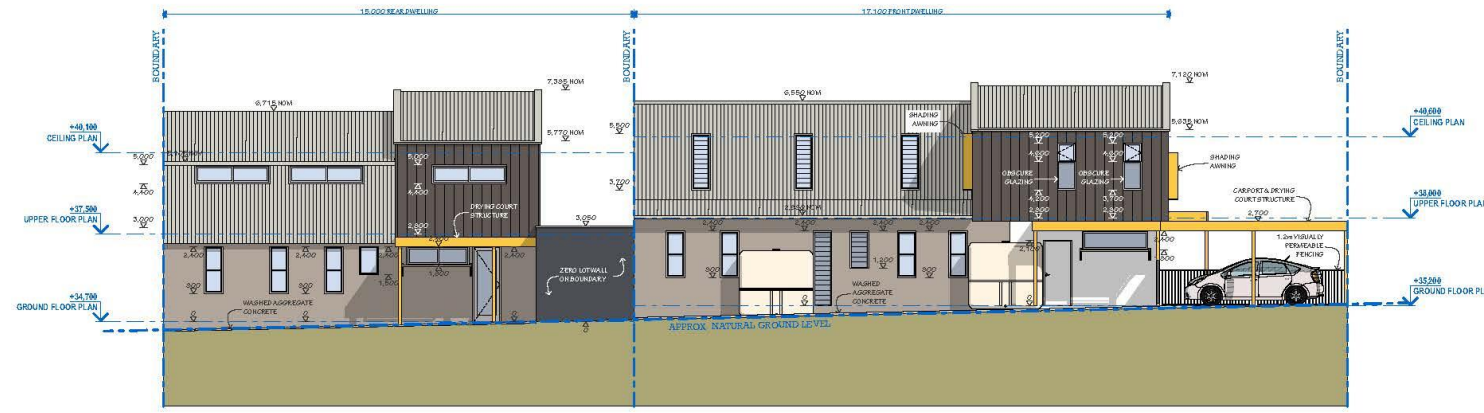
CITY OF FREMANTLE
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DA0416/18
11 Dec 2018

MATERIALS LEGEND:

-  COLORBOND CUSTOM ORB SURFMIST
-  WEATHERTEX WEATHERGROOVE NATURAL 300mm
-  NATURAL FINISH
CSR BARESTONE PANEL 1200mm x 3000mm
-  MEDIUM COLOUR ACRYLIC TEXTURE COAT RENDER
-  LIGHT COLOUR ACRYLIC TEXTURE COAT RENDER
-  DARK COLOUR ACRYLIC TEXTURE COAT RENDER
-  GABION WALL
-  WINDOW GLAZING & FRAME



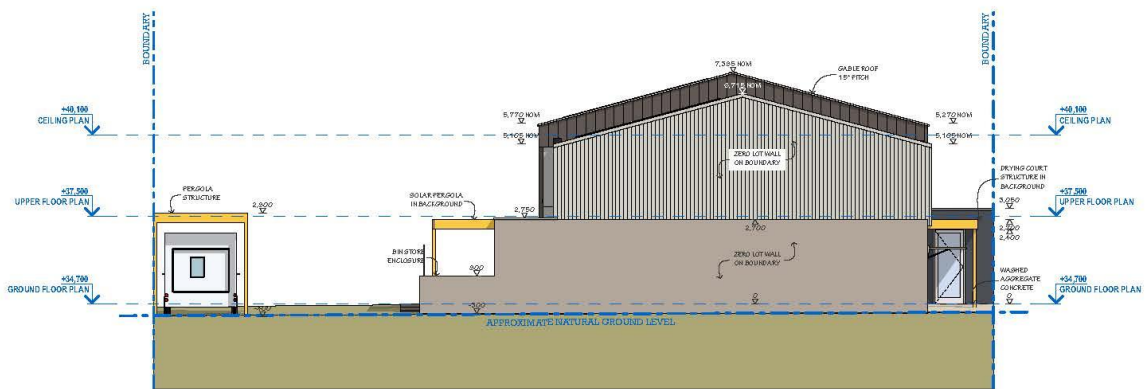
E02 NORTH ELEVATION (OVERALL)
1:200



E04 SOUTH ELEVATION (OVERALL)
1:200



E01 EAST ELEVATION (OVERALL)
1:200



E03 WEST ELEVATION (OVERALL)
1:200



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phone : 0428 473 790 | email : sid@sidthoo.com
www.sidthoo.com

CLIENT/PROJECT:
Montgomery
Lot 45 No 21 Cadd Street Beaconsfield WA 6162

DRAWING TITLE
NORTH ELEVATION (OVERALL), EAST ELEVATION
(OVERALL), WEST ELEVATION (OVERALL), SOUTH
ELEVATION (OVERALL)

PROJECT STATUS:
DEVELOPMENT
APPLICATION

ARCHITECT:
S2
DRAWN:
DR

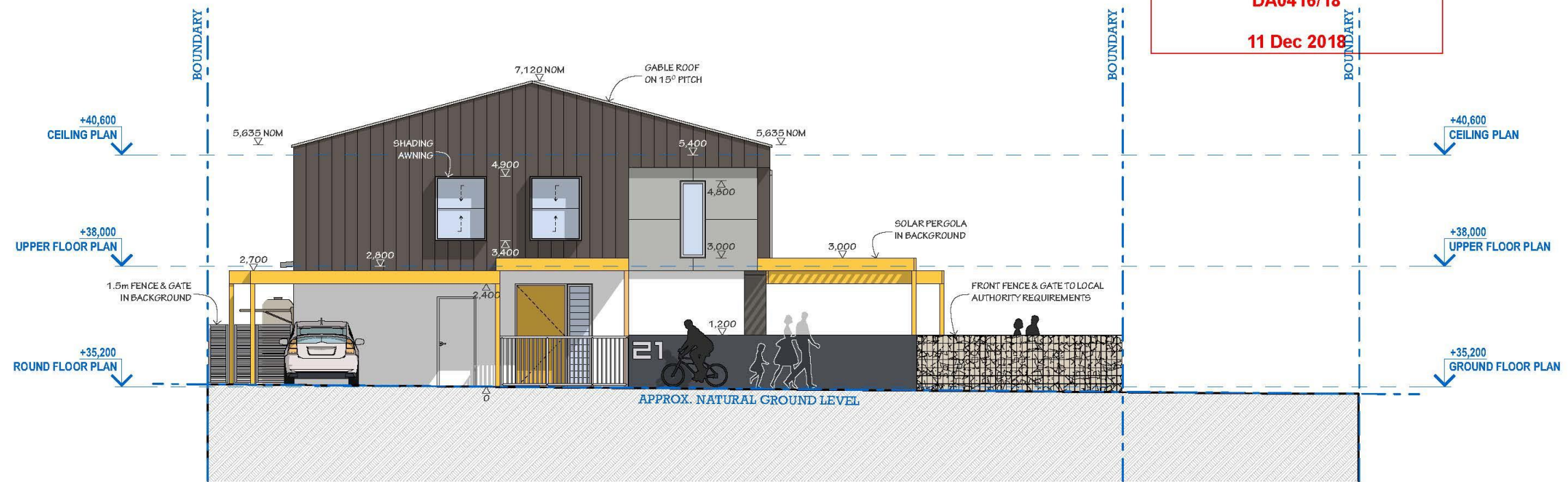
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PRINT DATE:
11/12/18

PROJECT NO:
2018-10 CAD
REVISION
C

DWG NO:
03.01

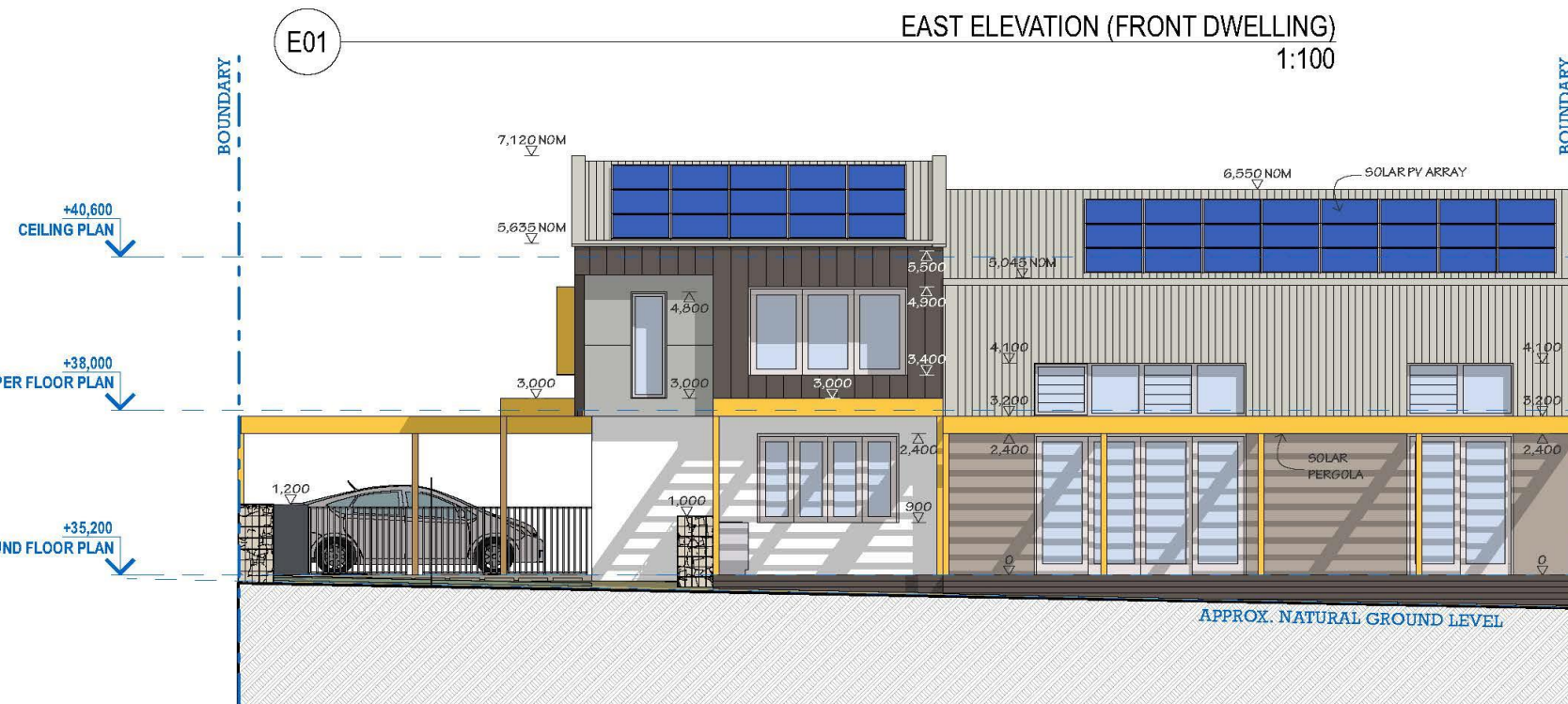
CITY OF FREMANTLE
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11 Dec 2018

DEVELOPMENT APPLICATION



MATERIALS LEGEND:

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- WEATHERTEX WEATHERGROOVE NATURAL 300mm
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- MEDIUM COLOUR ACRYLIC TEXTURE COAT RENDER
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- GABION WALL
- WINDOW GLAZING & FRAME



address : 33|211 Beaufort Street Perth WA 6000
phone : 0428 473 790 | email : sid@sidthoo.com
www.sidthoo.com

CLIENT/PROJECT:
Montgomery
Lot 45 No 21 Cadd Street Beaconsfield WA 6162

DRAWING TITLE
NORTH ELEVATION (FRONT DWELLING), EAST
ELEVATION (FRONT DWELLING)

PROJECT STATUS:
DEVELOPMENT
APPLICATION

ARCHITECT:
S2
DRAWN:
DR

SCALE:
1:100
PRINT DATE:
11/12/18









PROJECT NO:
2018-10 CAD
REVISION
C

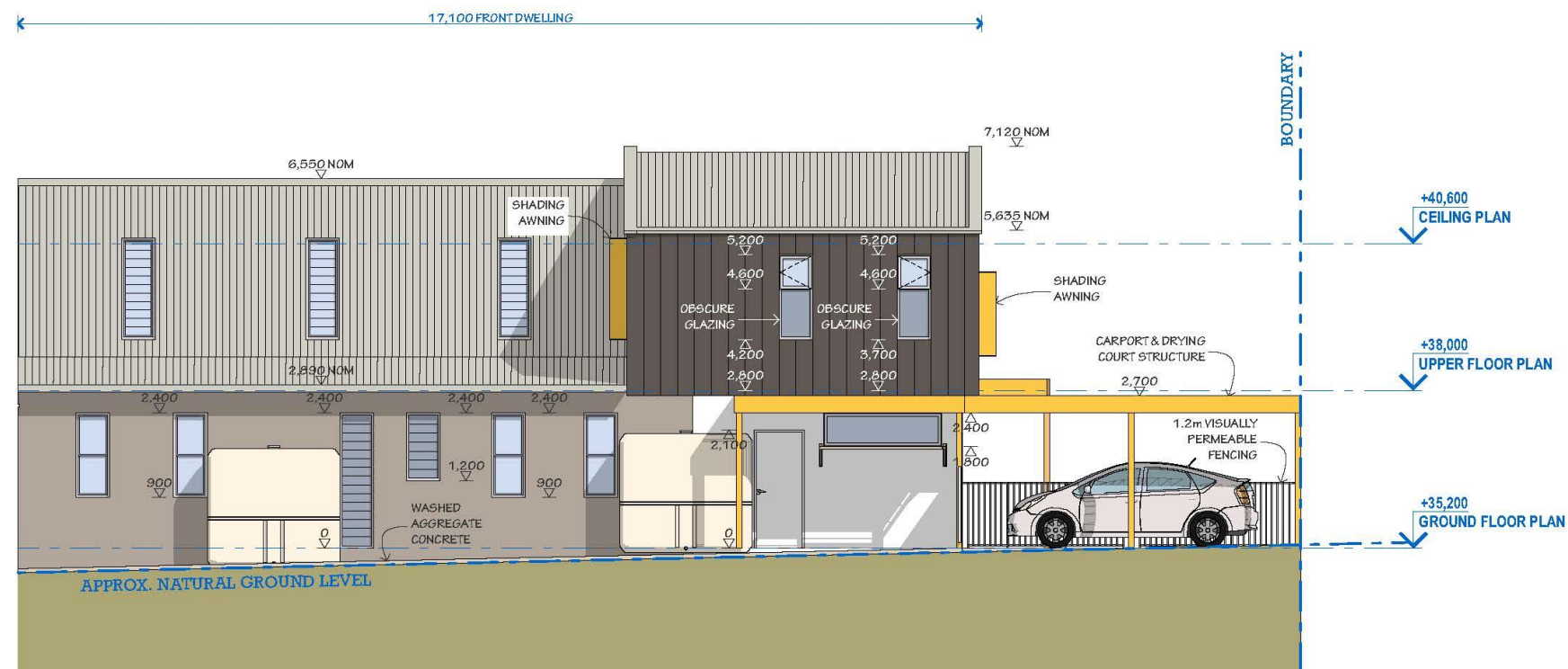
DWG NO:
03.02

CITY OF FREMANTLE
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DA0416/18
11 Dec 2018

DEVELOPMENT APPLICATION

MATERIALS LEGEND:

-  COLORBOND CUSTOM ORB SURFMIST
-  WEATHERTEX WEATHERGROOVE NATURAL 300mm
-  NATURAL FINISH
CSR BARESTONE PANEL 1200mm x 3000mm
-  MEDIUM COLOUR ACRYLIC TEXTURE COAT RENDER
-  LIGHT COLOUR ACRYLIC TEXTURE COAT RENDER
-  DARK COLOUR ACRYLIC TEXTURE COAT RENDER
-  GABION WALL
-  WINDOW GLAZING & FRAME



E04

SOUTH ELEVATION (FRONT DWELLING)
1:100



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phone : 0428 473 790 | email : sid@sidthoo.com
www.sidthoo.com

CLIENT|PROJECT:
Montgomery
Lot 45 No 21 Cadd Street Beaconsfield WA 6162

DRAWING TITLE
SOUTH ELEVATION (FRONT DWELLING)

PROJECT STATUS:
DEVELOPMENT
APPLICATION

ARCHITECT:
S2
DRAWN:
DR

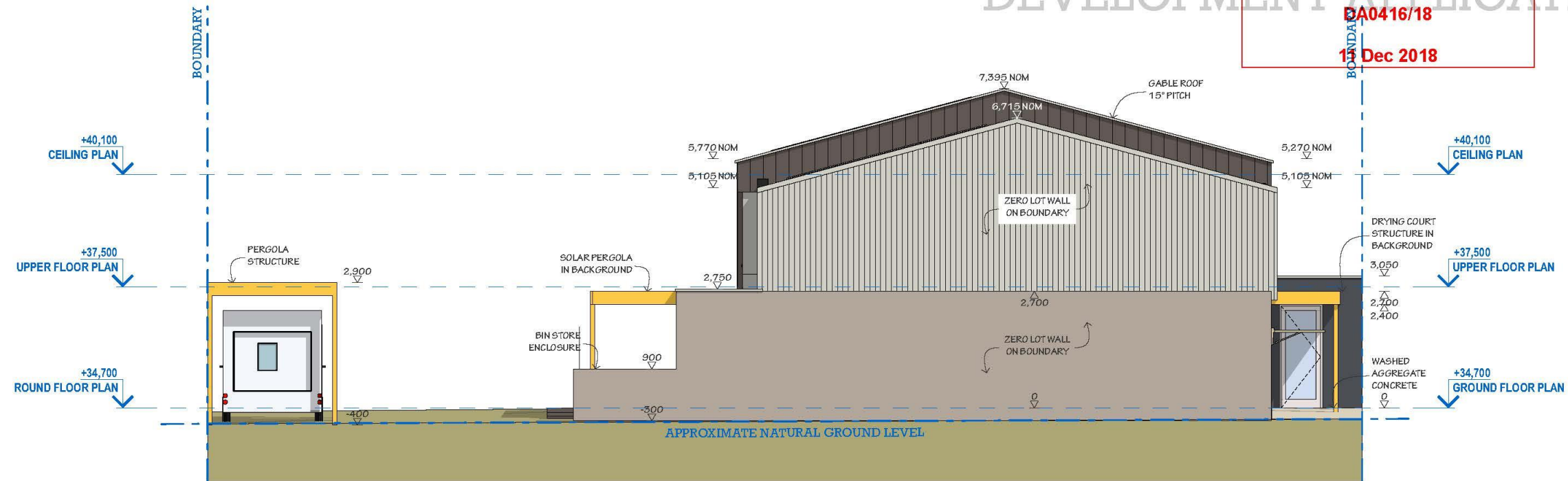
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1:100
PRINT DATE:
11/12/18

PROJECT NO:
2018-10 CAD
REVISION
C

DWG NO:
03.03

CITY OF FREMANTLE
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11 Dec 2018

DEVELOPMENT APPLICATION



WEST ELEVATION (REAR DWELLING)

1:100

E03

MATERIALS LEGEND:

- COLORBOND CUSTOM ORB SURFMIST
- WEATHERTEX WEATHERGROOVE NATURAL 300mm
- NATURAL FINISH CSR BARESTONE PANEL 1200mm x 3000mm
- MEDIUM COLOUR ACRYLIC TEXTURE COAT RENDER
- LIGHT COLOUR ACRYLIC TEXTURE COAT RENDER
- DARK COLOUR ACRYLIC TEXTURE COAT RENDER
- GABION WALL
- WINDOW GLAZING & FRAME



NORTH ELEVATION (OVERALL)

1:100

E02



address : 33|211 Beaufort Street Perth WA 6000
phone : 0428 473 790 | email : sid@sidthoo.com
www.sidthoo.com

CLIENT/PROJECT:
Montgomery
Lot 45 No 21 Cadd Street Beaconsfield WA 6162

DRAWING TITLE
WEST ELEVATION (REAR DWELLING), NORTH
ELEVATION (OVERALL), MATERIALS LEGEND

PROJECT STATUS:
DEVELOPMENT
APPLICATION

ARCHITECT:
S2
DRAWN:
DR

SCALE:
1:100
PRINT DATE:
11/12/18








PROJECT NO:
2018-10 CAD
REVISION
C

DWG NO:
03.04

CITY OF FREMANTLE
These Revised Plans Form Part of
DA0416/18
11 Dec 2018

DEVELOPMENT APPLICATION

MATERIALS LEGEND:

-  COLORBOND CUSTOM ORB SURFMIST
-  WEATHERTEX WEATHERGROOVE NATURAL 300mm
-  NATURAL FINISH
CSR BARESTONE PANEL 1200mm x 3000mm
-  MEDIUM COLOUR ACRYLIC TEXTURE COAT RENDER
-  LIGHT COLOUR ACRYLIC TEXTURE COAT RENDER
-  DARK COLOUR ACRYLIC TEXTURE COAT RENDER
-  GABION WALL
-  WINDOW GLAZING & FRAME



E04

SOUTH ELEVATION (REAR DWELLING)
1:100



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phone : 0428 473 790 | email : sid@sidthoo.com
www.sidthoo.com

CLIENT|PROJECT:
Montgomery
Lot 45 No 21 Cadd Street Beaconsfield WA 6162

DRAWING TITLE
SOUTH ELEVATION (REAR DWELLING),
MATERIALS LEGEND

PROJECT STATUS:
DEVELOPMENT
APPLICATION

ARCHITECT:
S2
DRAWN:
DR

SCALE:
1:100
PRINT DATE:
11/12/18

PROJECT NO:
2018-10 CAD
REVISION
C

DWG NO:
03.05

CITY OF FREMANTLE
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11 Dec 2018

DEVELOPMENT APPLICATION



01

PERSPECTIVE FROM NORTH EAST



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phone : 0428 473 790 | email : sid@sidthoo.com
www.sidthoo.com

CLIENT|PROJECT:
Montgomery
Lot 45 No 21 Cadd Street Beaconsfield WA 6162

DRAWING TITLE
PERSPECTIVE FROM NORTH EAST

PROJECT STATUS:
DEVELOPMENT
APPLICATION

ARCHITECT:
S2
DRAWN:
DR

SCALE:
1:12.59
PRINT DATE:
11/12/18

PROJECT NO:
2018-10 CAD
REVISION
C

DWG NO:
09.01

CITY OF FREMANTLE
These Revised Plans Form Part of
DA0416/18
11 Dec 2018

DEVELOPMENT APPLICATION



02

PERSPECTIVE FROM NORTH-WEST



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phone : 0428 473 790 | email : sid@sidthoo.com
www.sidthoo.com

CLIENT|PROJECT:
Montgomery
Lot 45 No 21 Cadd Street Beaconsfield WA 6162

DRAWING TITLE
PERSPECTIVE FROM NORTH-WEST

PROJECT STATUS:
DEVELOPMENT
APPLICATION

ARCHITECT:
S2
DRAWN:
DR

SCALE:
1:12.82
PRINT DATE:
11/12/18

PROJECT NO:
2018-10 CAD
REVISION
C

DWG NO:
09.02

CITY OF FREMANTLE
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11 Dec 2018

DEVELOPMENT APPLICATION



03

PERSPECTIVE FROM SOUTH-EAST



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phone : 0428 473 790 | email : sid@sidthoo.com
www.sidthoo.com

CLIENT|PROJECT:
Montgomery
Lot 45 No 21 Cadd Street Beaconsfield WA 6162

DRAWING TITLE
PERSPECTIVE FROM SOUTH-EAST

PROJECT STATUS:
DEVELOPMENT
APPLICATION

ARCHITECT:
S2
DRAWN:
DR

SCALE:
1:12.82
PRINT DATE:
11/12/18

PROJECT NO:
2018-10 CAD
REVISION
C

DWG NO:
09.03

ATTACHMENT 2 – Site photos

Site photographs – 21 Cadd Street, Beaconsfield – DA0416/18



Photo 1 – 21 Cadd Street as viewed from across street



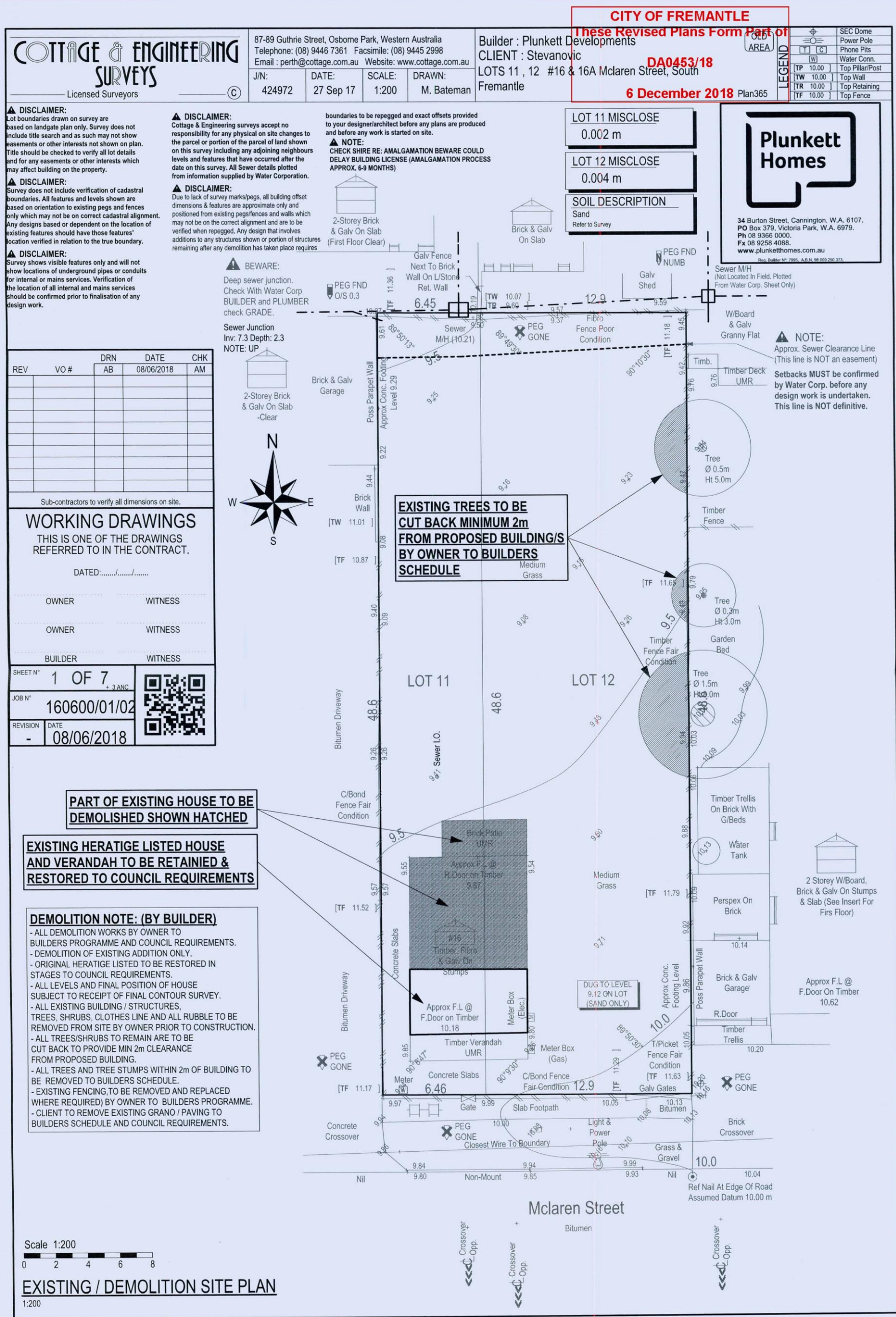
Photo 2 – South side of site



Photo 3- North side of site



Photo 4 - 21 Cadd Street



CITY OF FREMANTLE
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COTTAGE & ENGINEERING SURVEYS
Licensed Surveyors

87-89 Guthrie Street, Osborne Park, Western Australia
Telephone: (08) 9446 7361 Facsimile: (08) 9445 2986
Email: perth@cottage.com.au Website: www.cottage.com.au
J/N: 424972 DATE: 27 Sep 17 SCALE: 1:200 DRAWN: M. Baleman

Builder: Plunkett Developments DA0453/18
CLIENT: Stevanovic
LOTS 11, 12 #16 & 16A McLaren Street, South Fremantle
December 2018

SEC: Dome	10.00	Top Retaining
Power Pole	10.00	Top Fence
Phone Pits	10.00	Top Retaining
Water Cans	10.00	Top Retaining
Top Pile/Post	10.00	Top Retaining
Top Wall	10.00	Top Retaining
Top Retaining	10.00	Top Retaining
Top Fence	10.00	Top Retaining

DISCLAIMER:
Lot boundaries shown on survey are based on landgate plan only. Survey does not include title search and as such may not show easements or other interests not shown on plan. Title should be checked to verify all lot details and for any easements or other interests which may affect building on the property.

DISCLAIMER:
Survey does not include verification of cadastral boundaries. All features and levels shown are based on orientation to existing pegs and fences only which may not be on correct cadastral alignment. Any designs based or dependent on the location of existing features should have those features' location verified in relation to the true boundary.

DISCLAIMER:
Survey shows visible features only and will not show locations of underground pipes or conduits for internal or mains services. Verification of the location of all internal and mains services should be confirmed prior to finalisation of any design work.

DISCLAIMER:
Cottage & Engineering surveys accept no responsibility for any physical on site changes to the parcel or portion of the parcel of land shown on this survey including any adjoining neighbours levels and features that have occurred after the date of this survey. All sewer details plotted from information supplied by Water Corporation.

DISCLAIMER:
Due to lack of survey marks/pegs, all building offset dimensions & features are approximate only and positioned from existing pegs/fences and walls which may not be on the correct alignment and are to be verified when repegged. Any design that involves sections to any structures shown or portion of structures remaining after any demolition has taken place requires boundaries to be repegged and exact offsets provided to your design/architect before any plans are produced and before any work is started on site.

NOTE:
CHECK SHIRE RE: AMALGAMATION BEWARE COULD DELAY BUILDING LICENSE (AMALGAMATION PROCESS APPROX. 6-9 MONTHS)



FENCE NOTE:
ANY NEW 1.8m HIGH COLORBOND BOUNDARY FENCING TO BE BY OWNER ON HIGH SIDE OF ANY RETAINING WALLS. ANY FENCING THAT FALLS WITHIN THE SETBACK AREA TO HAVE A MAXIMUM HEIGHT OF 1200mm ABOVE GL (ANY FENCE OR LETTERBOX WITHIN VISUAL TRUNCATIONS TO HAVE A MAX HEIGHT 750mm ABOVE GL).

FENCE REMOVAL NOTE:
OWNER TO LIASE WITH NEIGHBOUR IN REGARDS TO THE REMOVAL AND REINSTATEMENT OF EXISTING BOUNDARY FENCING TO BUILDERS PROGRAMME.

COASTAL CONDITIONS APPLICABLE:
THIS PROJECT FALLS WITHIN 1km OF THE COASTLINE AND IN ACCORDANCE WITH TABLE 3.4.2 & TABLE 3.3.2 "PROTECTIVE COATINGS FOR STEELWORK" OF THE BUILDING CODE OF AUSTRALIA, ALL EXTERNAL STEELWORK IS TO BE HOT-DIP GALVANISED AS PER A.S. 4680.

STORMWATER REQUIREMENTS
- TOTAL IMPERVIOUS AREAS = 733.08m²
- 733.08m² x RAINFALL (0.015)
- TOTAL TO CONTAIN = 10.996m³
- 15000 x 900D SOAKWELL = 1.59m³ x 7
- TOTAL SOAKWELL CAPACITY = 11.13m³

Plunkett Homes DEVELOPMENTS

34 Burton Street, Cannington, W.A. 6107.
PO Box 379, Victoria Park, W.A. 6979.
Ph 08 9366 0000.
Fx 08 9258 4088.
www.plunkethomes.com.au
Reg. Builder No. 7296, A.B.N. 98 009 250 375.

LOT 11 MISCLOSE
0.002 m

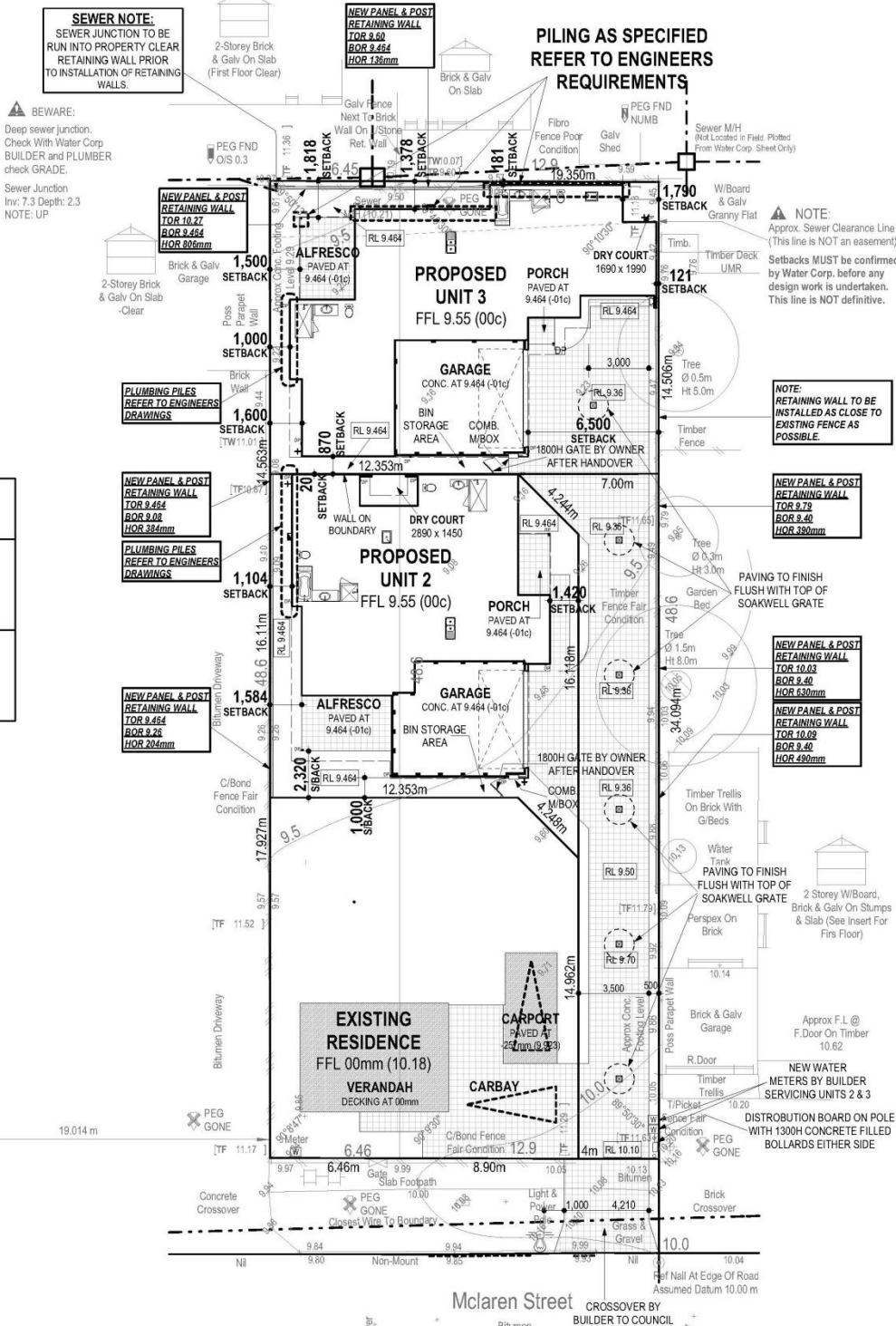
LOT 12 MISCLOSE
0.004 m

SOIL DESCRIPTION
Sand
Refer to Survey

ZONED R30
PLANNING REQUIRED: YES

OPEN SPACE CALCS. - UNIT 2
SITE COVERAGE
SITE AREA = 247.30 + 46.93(CP) = 294.23m²
REQ. OPEN SPACE = 132.40m² 45%
HOUSE & GARAGE/STORE AREA = 151.43m²
ACTUAL OPEN SPACE = 142.80m² 48.53%

OPEN SPACE CALCS. - UNIT 3
SITE COVERAGE
SITE AREA = 281.49 + 46.93(CP) = 328.42m²
REQ. OPEN SPACE = 147.79m² 45%
HOUSE & GARAGE/STORE AREA = 166.06m²
ACTUAL OPEN SPACE = 162.36m² 50.56%



SPECIAL (UNIT-2)
TYPE: STD 250 B/WK SPECIFICATION - CLASSIC
MODEL N°

© COPYRIGHT E & OE

REV	VO #	DRN	DATE	CHK
1	390127	WK	30-04-18	AM
2	390488	AB	1-08-18	WK
3	390514	AB	29/08/18	AB

Sub-contractors to verify all dimensions on site.

THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT.

DATED: 31/08/18

OWNER: _____ WITNESS: _____

OWNER: _____ WITNESS: _____

BUILDER: _____ WITNESS: _____

SHEET N° 3 OF 5
JOB N° 160601
REVISION DATE 31/08/18

SPECIAL (UNIT-3)
TYPE: STD 250 B/WK SPECIFICATION - CLASSIC
MODEL N°

© COPYRIGHT E & OE

REV	VO #	DRN	DATE	CHK
1	390128	WK	30-04-18	AM
2	390515	AB	01-08-18	WK
		AB	31/08/18	AB

Sub-contractors to verify all dimensions on site.

THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT.

DATED: 31/08/18

OWNER: _____ WITNESS: _____

OWNER: _____ WITNESS: _____

BUILDER: _____ WITNESS: _____

SHEET N° 3 OF 6
JOB N° 160602
REVISION DATE 31/08/18



SITE PLAN (PROPOSED RESTORATION & ADDITION)
1:200

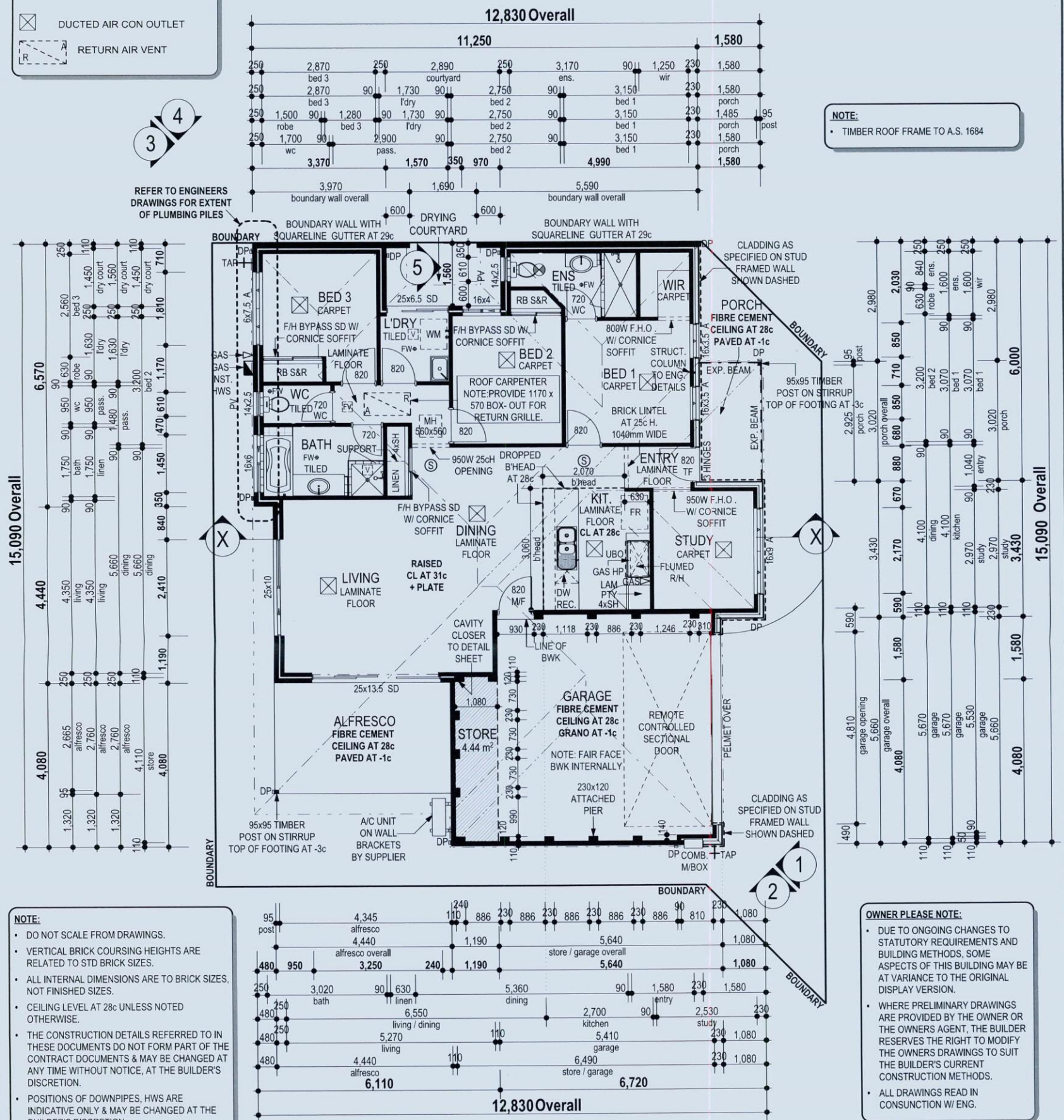
CITY OF FREMANTLE
These Revised Plans Form Part of
DA0453/18
6 December 2018

PLAN LEGEND

- ⊕ EXHAUST FAN - CEILING MOUNTED (FLUMED TO EXTERNAL AIR)
- Ⓢ DIRECT WIRED INTERCONNECTED SMOKE DETECTOR TO A.S. 3786.2014
- ☐ CEILING VENT - FLUMED
- ☐ CEILING VENT - UNFLUMED
- ☐ DUCTED AIR CON OUTLET
- ☐ RETURN AIR VENT

Floor Areas

Floor	Location	Area	Perimeter
Ground floor	HOUSE	113.85	53.44
	GARAGE/STORE	37.58	25.22
	ALFRESCO	12.25	14.40
	PORCH	4.77	9.20
		168.45 m²	



- NOTE:**
- DO NOT SCALE FROM DRAWINGS.
 - VERTICAL BRICK COURSING HEIGHTS ARE RELATED TO STD BRICK SIZES.
 - ALL INTERNAL DIMENSIONS ARE TO BRICK SIZES, NOT FINISHED SIZES.
 - CEILING LEVEL AT 28c UNLESS NOTED OTHERWISE.
 - THE CONSTRUCTION DETAILS REFERRED TO IN THESE DOCUMENTS DO NOT FORM PART OF THE CONTRACT DOCUMENTS & MAY BE CHANGED AT ANY TIME WITHOUT NOTICE, AT THE BUILDER'S DISCRETION.
 - POSITIONS OF DOWNPIPES, HWS ARE INDICATIVE ONLY & MAY BE CHANGED AT THE BUILDER'S DISCRETION.
 - PROVIDE INSULATION TO HOUSE CEILINGS AS PER ADDENDA.
 - PROVIDE CORNER BEADS TO ALL INTERNAL PLASTERED CORNERS EXCLUDING WINDOW & DOOR REVEALS, SILLS & HEADS.

- OWNER PLEASE NOTE:**
- DUE TO ONGOING CHANGES TO STATUTORY REQUIREMENTS AND BUILDING METHODS, SOME ASPECTS OF THIS BUILDING MAY BE AT VARIANCE TO THE ORIGINAL DISPLAY VERSION.
 - WHERE PRELIMINARY DRAWINGS ARE PROVIDED BY THE OWNER OR THE OWNERS AGENT, THE BUILDER RESERVES THE RIGHT TO MODIFY THE OWNERS DRAWINGS TO SUIT THE BUILDER'S CURRENT CONSTRUCTION METHODS.
 - ALL DRAWINGS READ IN CONJUNCTION W/ ENG.

FLOOR PLAN
1:100

Plunkett Homes DEVELOPMENTS

34 Burton Street, Cannington, W.A. 6107.
PO Box 379, Victoria Park, W.A. 6979.
Ph 08 9366 0000.
Fx 08 9258 4088.
www.plunkett-homes.com.au

REV	VO #	DRN	DATE	CHK
1	390127	WK	30-04-18	AM
2	390488	AB	29/08/18	WK
3	390514	AB	31/08/18	AB

THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT.

DATED: _____

OWNER: _____ WITNESS: _____

OWNER: _____ WITNESS: _____

BUILDER: _____ WITNESS: _____

Sub-contractors to verify all dimensions on site.

CLIENT: STEVANOVIC

ADDRESS: PROP. S/ LOT 2 (UNIT 2)
FORMERLY LOT 11 & 12 (#16)
McLAREN STREET
SOUTH FREMANTLE

SPECIAL (UNIT-2)

MODEL N° _____

DATE: 31/08/18

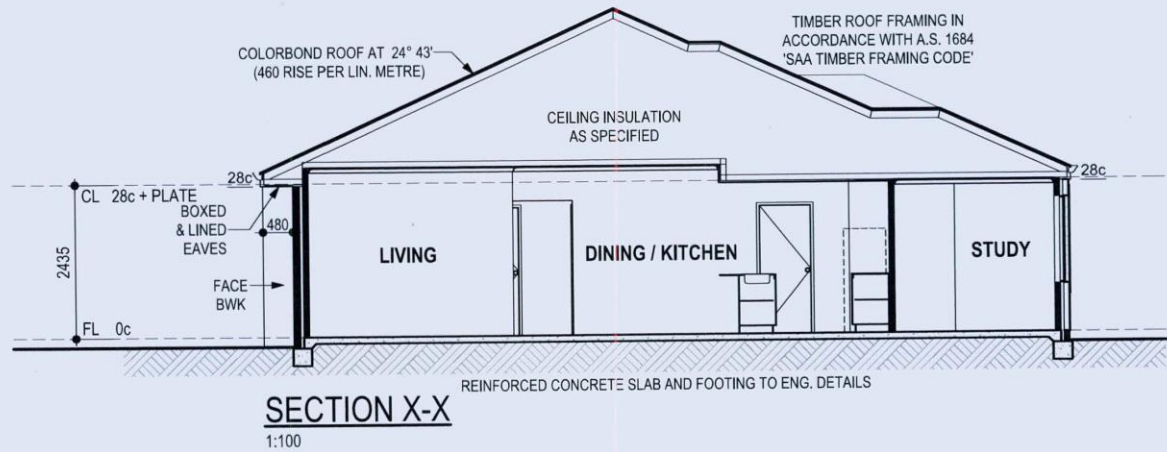
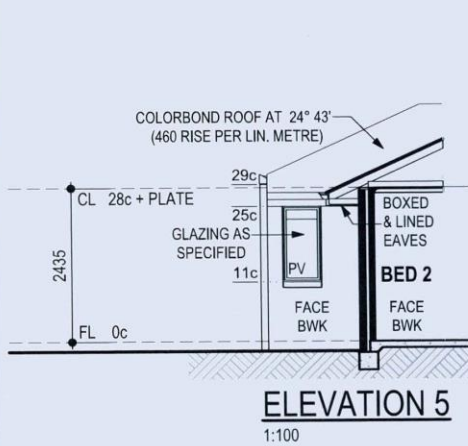
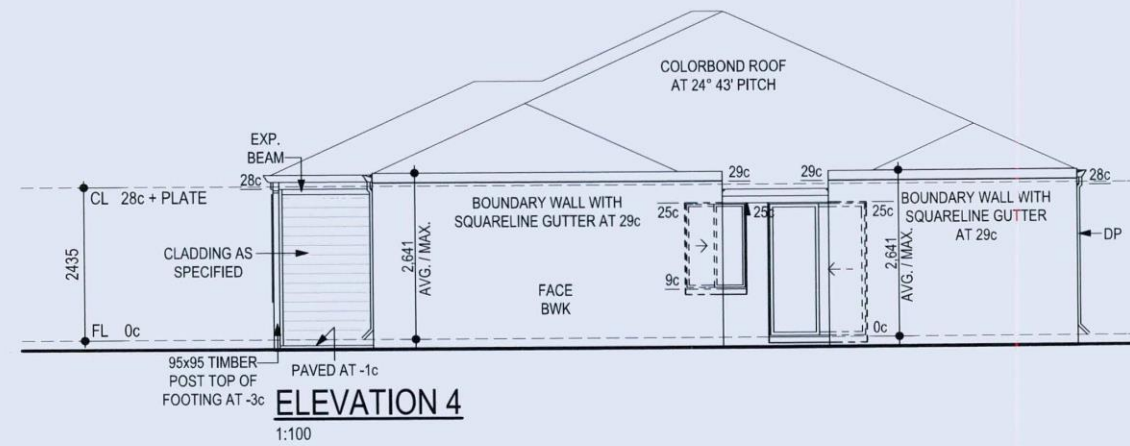
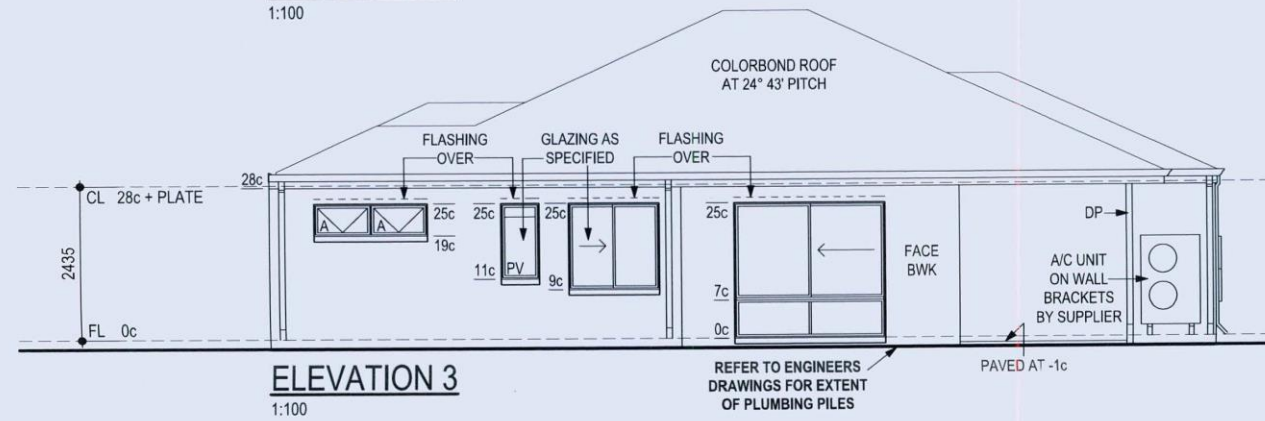
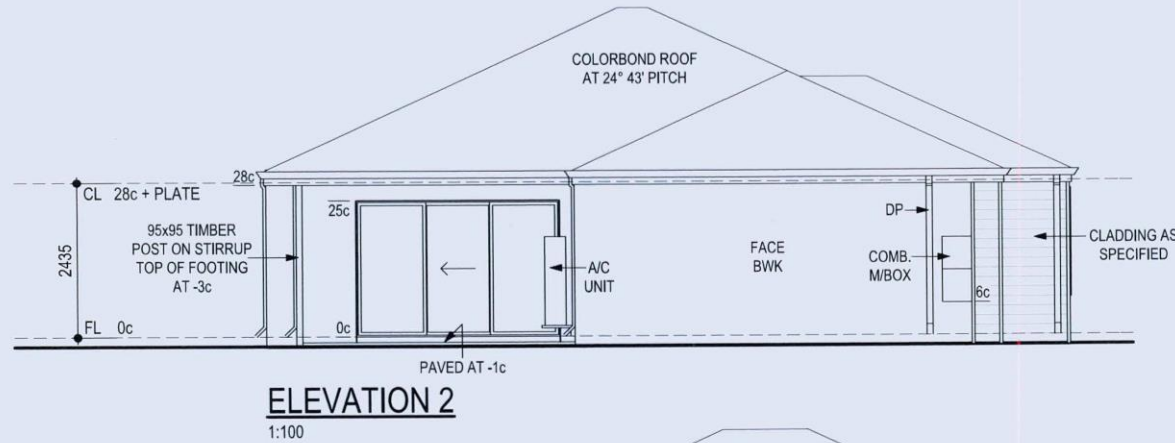
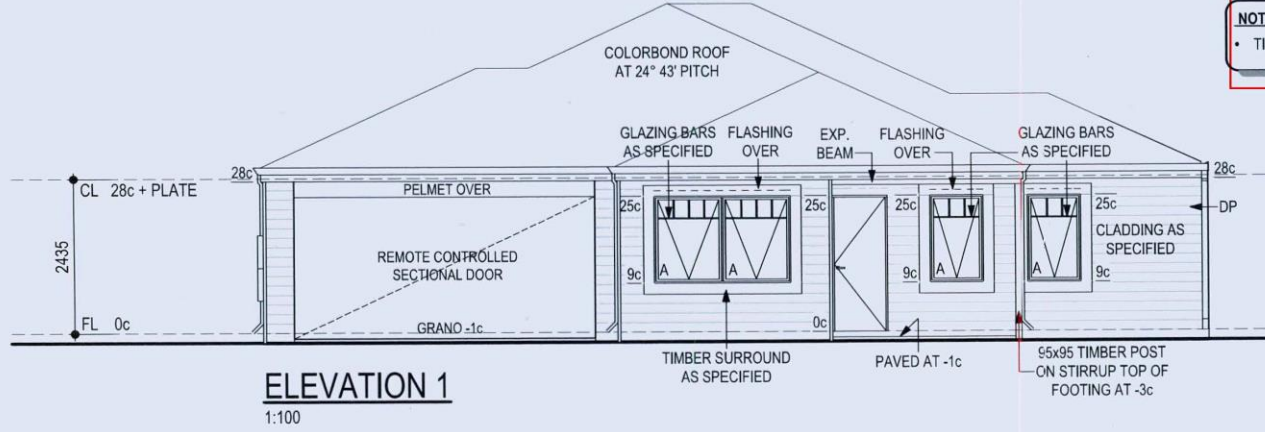
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SHEET N° 2 OF 5

JOB N° 160601

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NOTE:
DA0453/18
• TIMBER ROOF FRAME TO A.S. 1684
6 December 2018



<p>34 Burton Street, Cannington, W.A. 6107. PO Box 379, Victoria Park, W.A. 6979. Ph 08 9366 0000. Fx 08 9258 4088. www.plunkett-homes.com.au</p>	<table border="1"> <thead> <tr> <th>REV</th> <th>VO #</th> <th>DRN</th> <th>DATE</th> <th>CHK</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>390127</td> <td>VV</td> <td>30-04-18</td> <td>AM</td> </tr> <tr> <td>2</td> <td>390488</td> <td>AB</td> <td>29/08/18</td> <td>AB</td> </tr> <tr> <td>3</td> <td>390514</td> <td>AB</td> <td>31/08/18</td> <td>AB</td> </tr> </tbody> </table>	REV	VO #	DRN	DATE	CHK	1	390127	VV	30-04-18	AM	2	390488	AB	29/08/18	AB	3	390514	AB	31/08/18	AB	<p>THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT.</p> <p>DATED:</p> <p>OWNER: _____ WITNESS: _____</p> <p>OWNER: _____ WITNESS: _____</p> <p>BUILDER: _____ WITNESS: _____</p>	<p>CLIENT: STEVANOVIC</p> <p>ADDRESS: PROP. S/ LOT 2 (UNIT 2) FORMERLY LOT 11 & 12 (#16) MCLAREN STREET SOUTH FREMANTLE</p>	<p>SPECIAL (UNIT-2)</p> <p>TYPE: ATD 2000 SPECIFICATION CLASSIC</p> <p>MODEL N° _____</p> <p>© COPYRIGHT _____</p> <p>SHEET N° 3 OF 5 + 3 ANG</p> <p>JOB N° 160601</p>	<p>REVISION 3</p> <p>DATE 31/08/18</p> <p>E & OE</p>
	REV	VO #	DRN	DATE	CHK																				
	1	390127	VV	30-04-18	AM																				
2	390488	AB	29/08/18	AB																					
3	390514	AB	31/08/18	AB																					
<p>Sub-contractors to verify all dimensions on site.</p>																									
<p>Plunkett Homes Developments logo and contact information.</p>																									

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PLAN LEGEND

- EXHAUST FAN - CEILING MOUNTED (FLUMED TO EXTERNAL AIR)
- DIRECT WIRED INTERCONNECTED SMOKE DETECTOR TO A.S. 3786:2014
- CEILING VENT - FLUMED
- CEILING VENT - UNFLUMED
- DUCTED AIR CON OUTLET
- RETURN AIR VENT

Floor Areas

Floor	Location	Area	Perimeter
Ground floor	HOUSE	127.87	64.64
	GARAGE/STORE	38.19	24.78
	ALFRESCO	11.14	13.62
	PORCH	1.77	5.32
	TOTAL	178.97 m²	

SPECIAL (UNIT-3)
TYPE: STD 250 BWK SPECIFICATION: CLASSIC
6 December 2018
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Fx 08 9258 4088.
www.plunkethomes.com.au
Reg. Builder No: 7995, A.B.N. 98 009 250 373.

REV	VO #	DRN	DATE	CHK
1	390128	TK	30-04-18	AM
2	390515	AB	31/08/18	AB

Sub-contractors to verify all dimensions on site.

THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT.

DATED:...../...../.....

OWNER	WITNESS
OWNER	WITNESS
BUILDER	WITNESS

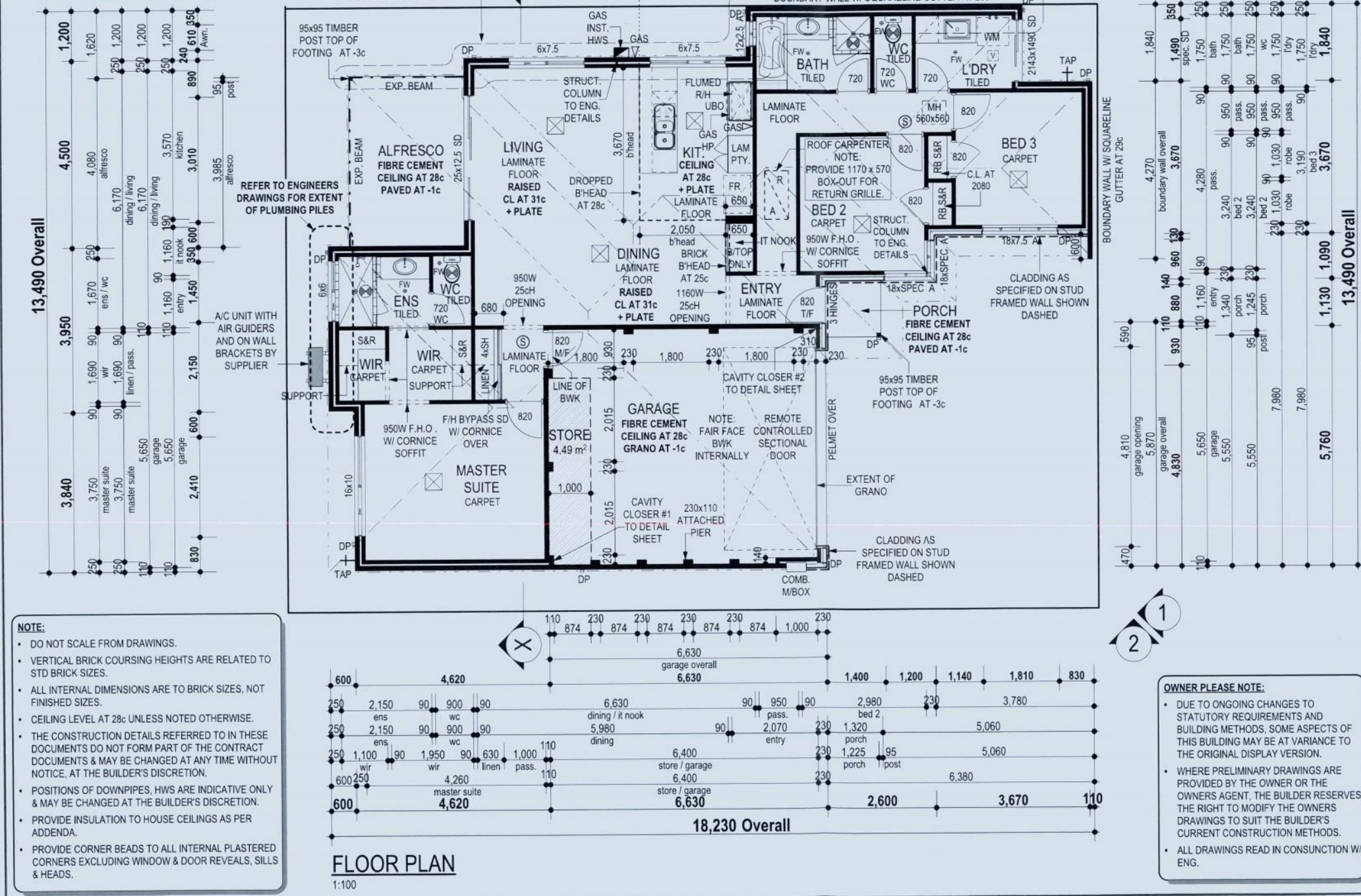
CLIENT:
STEVANOVIC

ADDRESS:
PROP. S/ LOT 3 (UNIT 3)
FORMERLY LOT 11&12 (#16A)
MCLAREN STREET
SOUTH FREMANTLE

SHEET N° **2 OF 6**
JOB N° **160602**
REVISION DATE **2 31/08/18**



NOTE:
• TIMBER ROOF FRAME TO A.S. 1684



NOTE:

- DO NOT SCALE FROM DRAWINGS.
- VERTICAL BRICK COURSE HEIGHTS ARE RELATED TO STD BRICK SIZES.
- ALL INTERNAL DIMENSIONS ARE TO BRICK SIZES, NOT FINISHED SIZES.
- CEILING LEVEL AT 28c UNLESS NOTED OTHERWISE.
- THE CONSTRUCTION DETAILS REFERRED TO IN THESE DOCUMENTS DO NOT FORM PART OF THE CONTRACT DOCUMENTS & MAY BE CHANGED AT ANY TIME WITHOUT NOTICE, AT THE BUILDER'S DISCRETION.
- POSITIONS OF DOWNPIPES, HWS ARE INDICATIVE ONLY & MAY BE CHANGED AT THE BUILDER'S DISCRETION.
- PROVIDE INSULATION TO HOUSE CEILINGS AS PER ADDENDA.
- PROVIDE CORNER BEADS TO ALL INTERNAL PLASTERED CORNERS EXCLUDING WINDOW & DOOR REVEALS, SILLS & HEADS.

FLOOR PLAN
1:100

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SPECIAL (UNIT-3)

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REV	VO #	DRN	DATE	CHK
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OWNER: _____ WITNESS: _____
OWNER: _____ WITNESS: _____
BUILDER: _____ WITNESS: _____

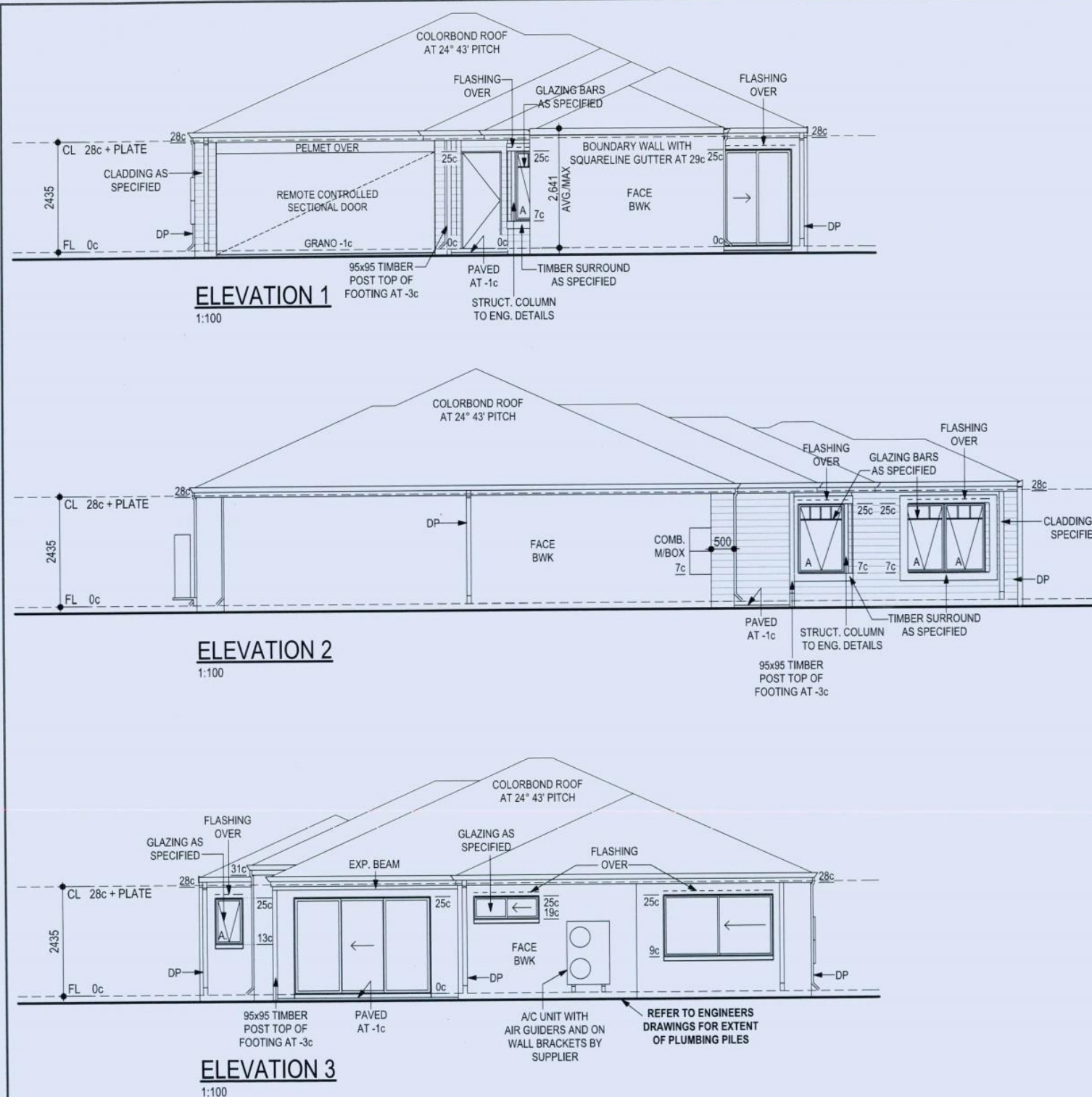
CLIENT:
STEVANOVIC

ADDRESS:
PROP. S/ LOT 3 (UNIT 3)
FORMERLY LOT 11&12 (#16A)
McLAREN STREET
SOUTH FREMANTLE

SHEET N° **3 OF 6**
JOB N° **160602**
REVISION **2** DATE **31/08/18**



NOTE:
• TIMBER ROOF FRAME TO A.S. 1684



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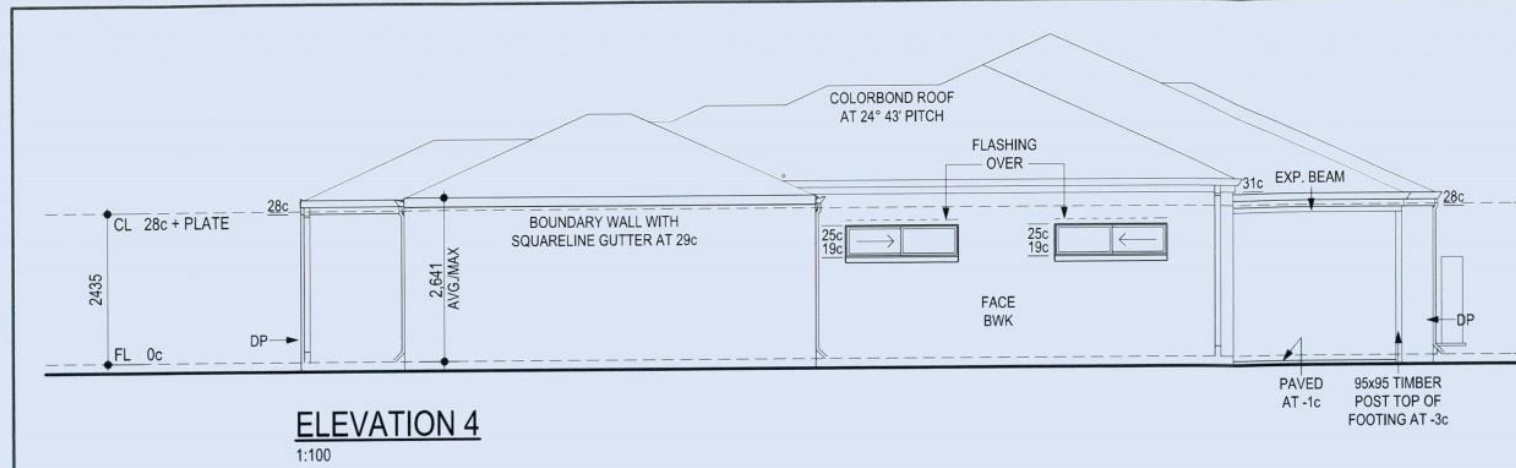
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+ 4 ANC

JOB N° 160602

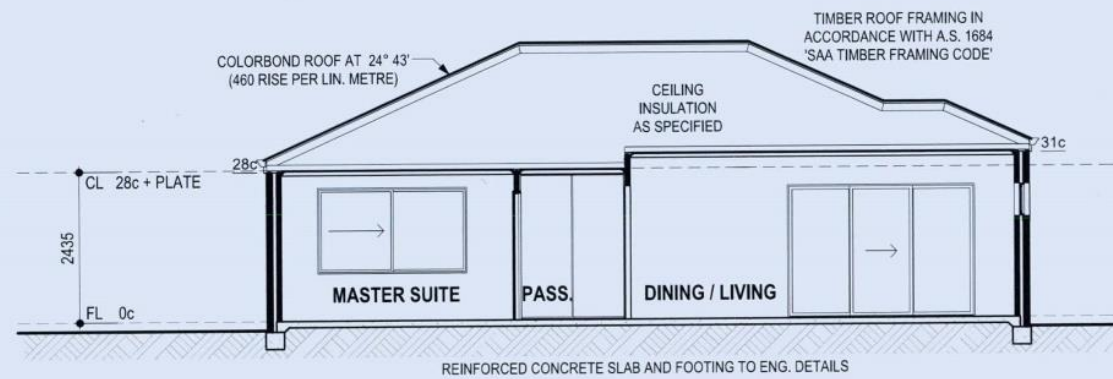
REVISION DATE
2 31/08/18



NOTE:
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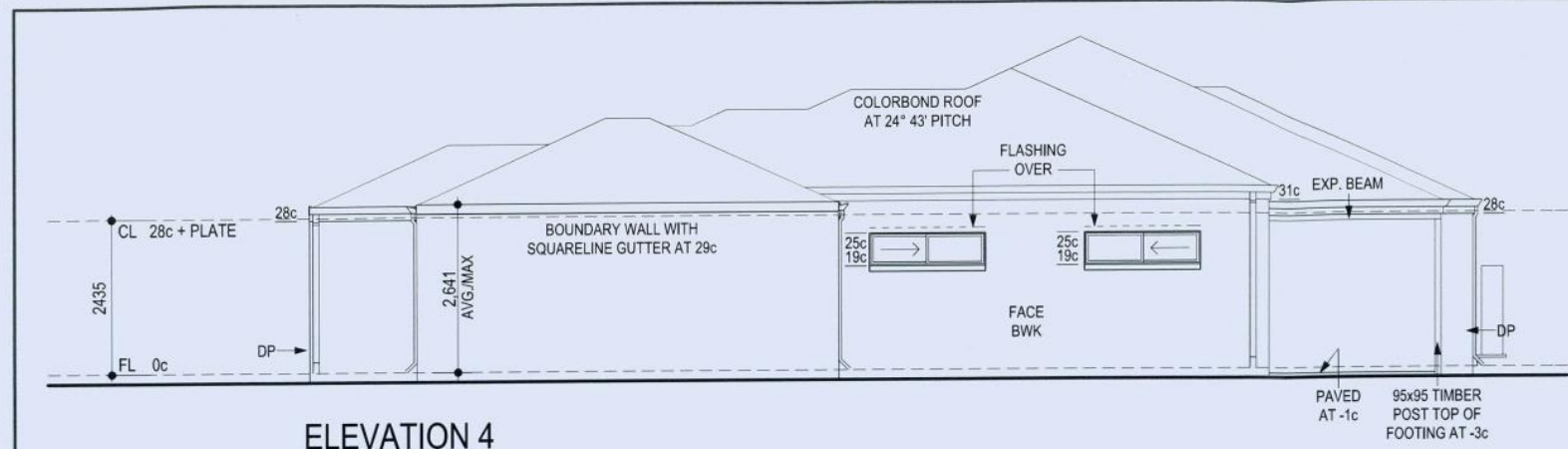


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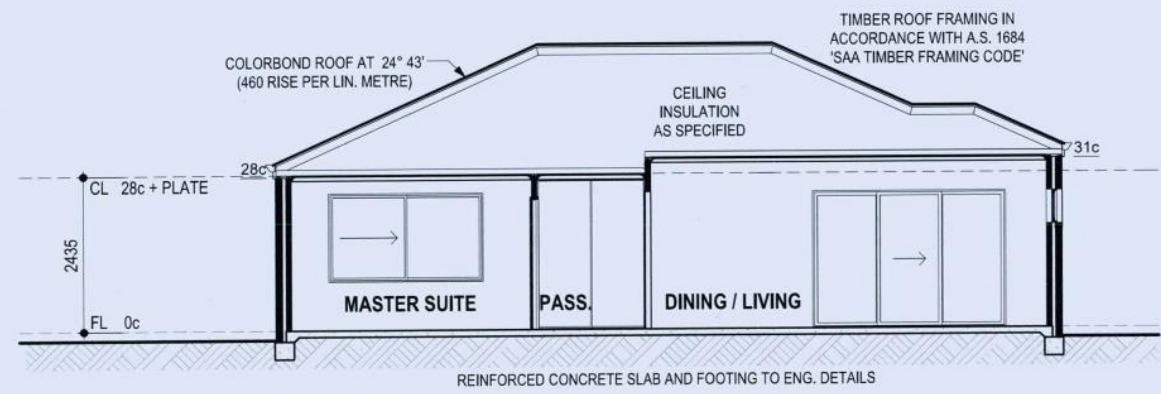


SECTION X-X
1:100

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ELEVATION 4
1:100



SECTION X-X
1:100

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TYPE: STD 250 BWK SPECIFICATION - CLASSIC
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Reg. Builder N°: 7995, A.B.N. 98 009 250 373.

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McLAREN STREET
SOUTH FREMANTLE

SHEET N° **4 OF 6**
+ 4 ANC.
JOB N° **160602**
REVISION DATE **2 31/08/18**



ATTACHMENT 2: Site Photos



Photo 1: Street elevation



Photo 2: Northeast corner of site (location of proposed boundary walls)

PC1901 -5 FIFTH AVENUE, NO. 22 (LOT 14) BEACONSFIELD - ANCILLARY DWELLING AND GARAGE ADDITION TO EXISTING SINGLE HOUSE (NB DA0448/18)

ATTACHMENT 1: Development Plans

SURVEY LEGEND		SERVICE INFORMATION:		SURVEY REPORT INFORMATION:		FEATURE SURVEY				
POWER	CONSUMER POLE	LIGHT POLE	WIRE ANCHOR	LOCATED	DATE SURVEYED:	LOT NUMBER		STREET NUMBER	STREET NAME	
	POWER DOME	STAY POLE	U/G CABLE BOX	AVAILABLE	23/02/18	14	22	FIFTH AVENUE		
	CABLE MANHOLE	POWER POLE		NO SERVICE	MAP REFERENCE:	SUBURB		LOCAL GOVERNMENT AUTHORITY		
				TO CONFIRM	-	BEACONSFIELD		FREMANTLE		
WATER	STOP VALVE	FLUSH POINT	WATER MARKER	WATER	COASTAL:	BUILDER JOB NUMBER		PLAN	C/T VOLUME	FOLIO
	HYDRANT	WATER TAP	WATER METER	X	>1 km	2385				
GAS	GAS MARKER	GAS METER	GAS VALVE	SEWERAGE	LOT TYPE:	DRAWING TITLE		SCALE 1:200	SHEET	REVISION
				X	EXISTING	22FIFTH		1		
SEWERAGE	SEWER MANHOLE	INSPECTION SHAFT	INSPECTION OPENING	GAS	APPROX. AHD / DATUM	DRAWING TITLE				
				X	10.00m Assumed	22FIFTH				
STORMWATER	DRAINAGE MANHOLE	GRATE	SIDE ENTRY PIT	TELSTRA	SURVEYOR:	SCALE 1:200				
				X	JPS	1				
TELSTRA	TELSTRA MARKER	TELSTRA PIT	TELSTRA MANHOLE	STORMWATER	DRAWN:	SHEET				
				X	JPS	1				
SURVEY	PEG FOUND	PEG DISTURBED	PEG GONE	POWER- U/G	JOB NUMBER:	REVISION				
				X	22FIFTH					
	NAIL & PLATE	CONTROL POINT	DATUM	POWER- O/H						
				X						

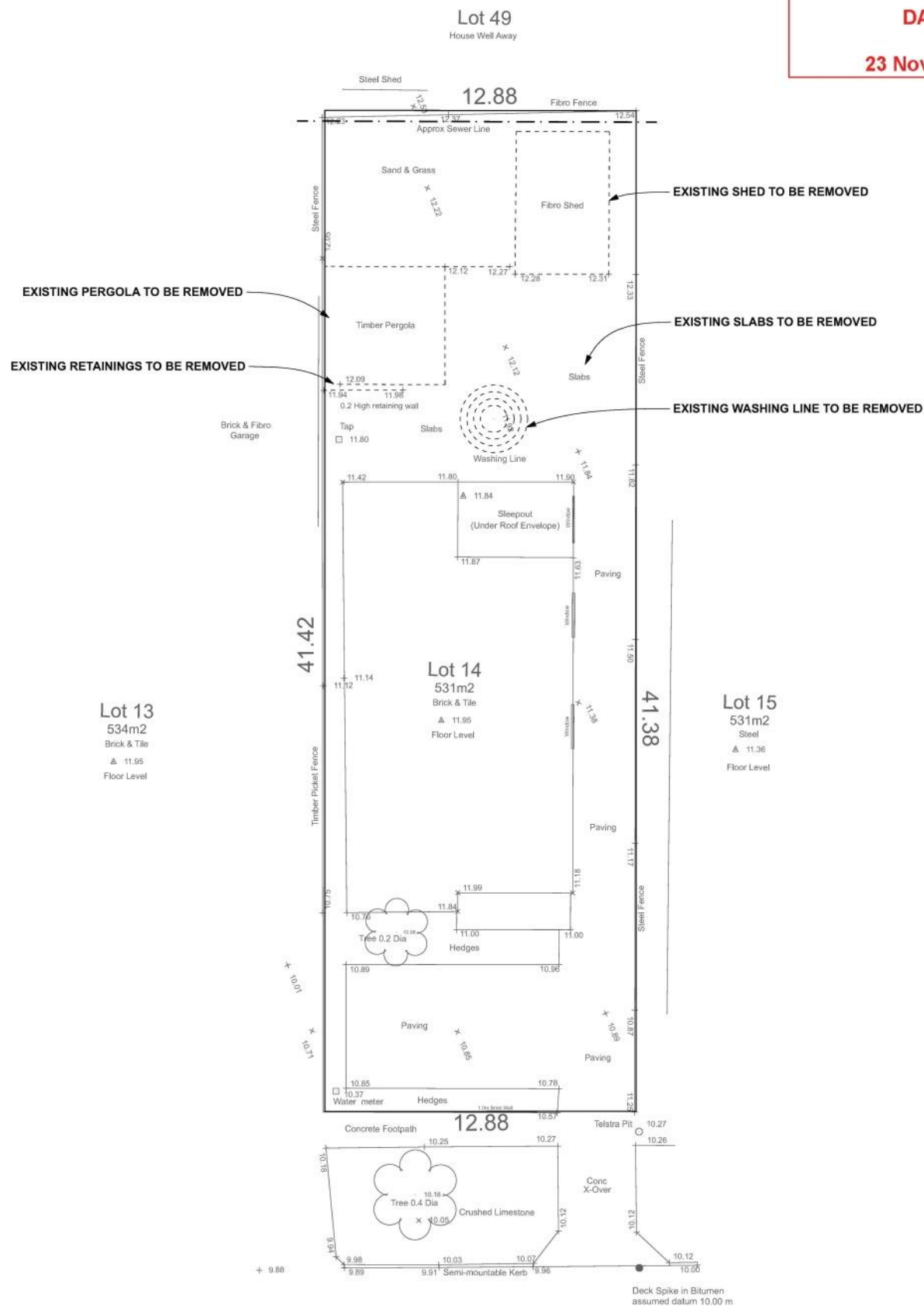
JPS SURVEYS
ADDRESS: 51 ARTHUR AVE, WANNEROO
PHONE: 081772885 EMAIL: JPA@JPSURVEYS.COM

THE INFORMATION ON THIS DRAWING IS CURRENT AT THE DATE OF SURVEY NOT FOR CONSTRUCTION PURPOSES WITHOUT SITE CORROBORATION. THIS SURVEY SHOWS VISIBLE FEATURES ONLY AND WILL NOT SHOW LOCATIONS OF UNDERGROUND PIPES OR CONDUITS FOR INTERNAL OR MAINS SERVICES. ALL SERVICES REQUIRE VERIFICATION FROM THE RELEVANT AUTHORITIES. THIS OFFICE STRONGLY SUGGESTS CONTACTING 'DIAL BEFORE YOU DIG' FOR UNDERGROUND SERVICES AND A SITE INSPECTION. THIS SURVEY DOES NOT INCLUDE VERIFICATION OF CADASTRAL BOUNDARIES. ALL FEATURES AND LEVELS SHOWN ARE BASED ON ORIENTATION TO EXISTING PEGS AND FENCES ONLY AND MAY NOT BE ON CORRECT CADASTRAL ALIGNMENT. A REPEG SURVEY WILL BE REQUIRED FOR CONFIRMATION. LOT BOUNDARIES DRAWN ON SURVEY ARE BASED ON LANGATE PLAN ONLY. CHECK LANGATE PLAN & CERTIFICATE OF TITLE FOR ENCUMBRANCES INCLUDING EASEMENTS, COVENANTS, COVENANTS ETC.

NOTE: BOUNDARIES OVERLAID FOR ILLUSTRATION PURPOSES. REPEG REQUIRED TO ESTABLISH CORRECT BOUNDARIES

NOTE: SEWER NOT LOCATED - CONSULT ATTACHED PLANS TO CONFIRM LOCATIONS

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DEMOLITION NOTE:
ALL EXISTING STRUCTURES SHOWN DASHED TO BE DEMOLISHED/REMOVED TO BUILDERS REQUIREMENTS.

CREATE HOMES
CREATE HOMES PTY LTD
Builders No: 101340
P 0410 292 469
E info@createhomes.com.au
W www.createhomes.com.au

REV	REVISION	DATE	TITLE
A	CONCEPT DESIGN	13/03/2018	DEMO PLAN
B	PRELIMINARY DRAWINGS	03/04/2018	CLIENT
C	ISSUED FOR BUILDING LICENCE	25/07/2018	SANCHEZ
D	REVISIONS - NATURAL GROUND LEVEL INDICATED	22/11/2018	ADDRESS
			LOT 14 (#22) FIFTH AVENUE
			BEACONSFIELD
			CITY FREMANTLE

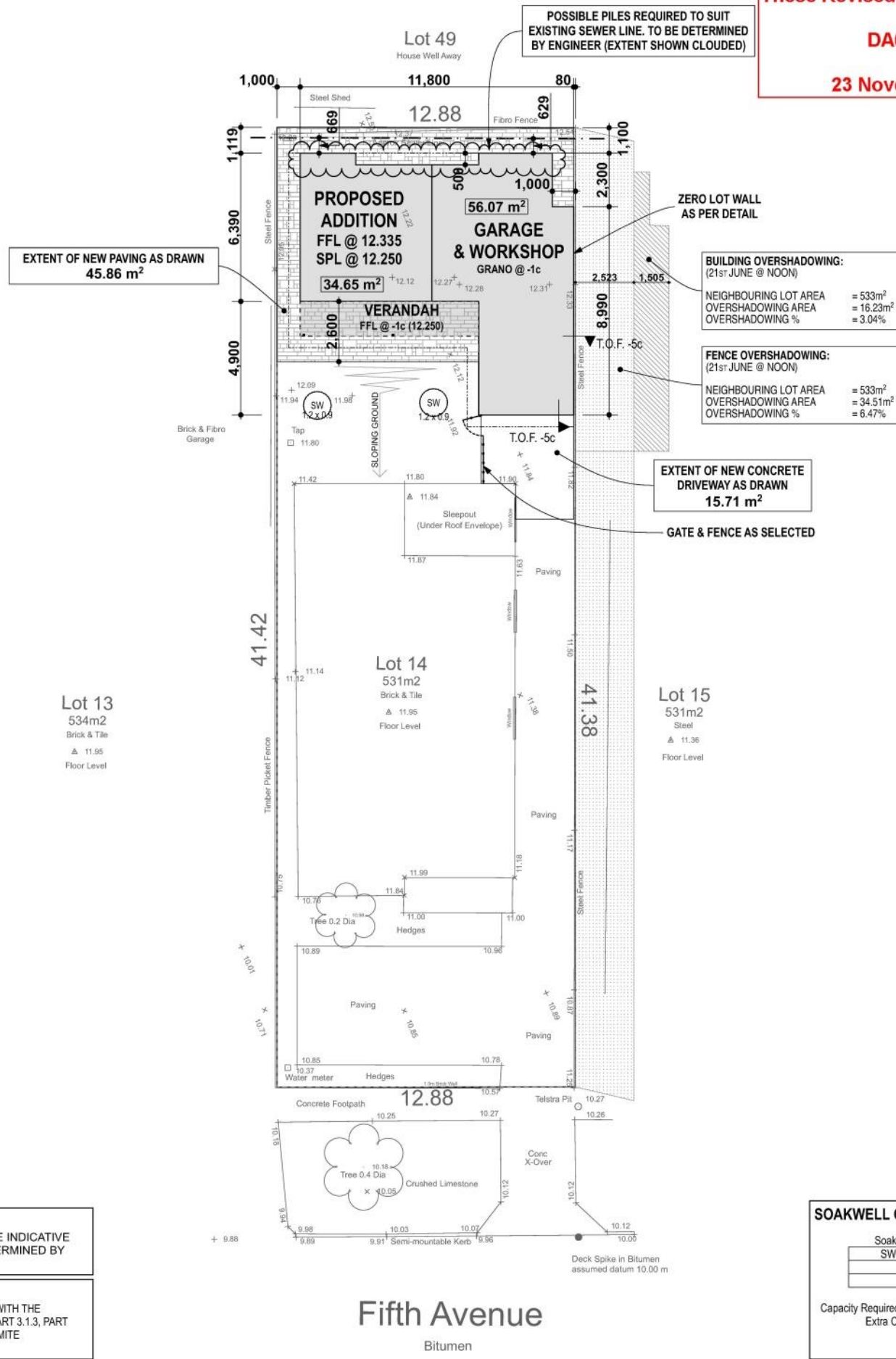
JOB No.	J18-015
SHEET	1 / 8
SCALE	1:100
CHECKED	DL
DATE	22/11/2018

SURVEY LEGEND		SERVICE INFORMATION:				SURVEY REPORT INFORMATION:		FEATURE SURVEY				
POWER	CONSUMER POLE	LOCATED	AVAILABLE	NO SERVICE	TO CONFIRM	DATE SURVEYED:	23/02/18		LOT NUMBER	STREET NUMBER	STREET NAME	
	POWER DOME	X	X			MAP REFERENCE:	-		14	22	FIFTH AVENUE	
	CABLE MANHOLE	X	X			COASTAL:	>1 km		BEACONSFIELD			
WATER	STOP VALVE	X	X			LOT TYPE:	EXISTING		LOCAL GOVERNMENT AUTHORITY			
	HYDRANT	X	X			LOT AREA:	-		FREMANTLE			
	GAS MARKER	X	X			APPROX. AHD / DATUM	10.00m Assumed		BUILDER JOB NUMBER	PLAN	C/T VOLUME	FOLIO
GAS	GAS MARKER	X	X			SURVEYOR:	JPS		2385			
SEWERAGE	SEWER MANHOLE	X	X			DRAWN:	JPS		DRAWING TITLE			
	INSPECTION SHAFT	X	X			JOB NUMBER:	22FIFTH		22FIFTH			
STORMWATER	DRAINAGE MANHOLE	X	X					SCALE 1:200	SHEET	1	REVISION	
	GRATE	X	X									
TELSTRA	TELSTRA MARKER	X	X									
	TELSTRA PIT	X	X									
	TELSTRA MANHOLE	X	X									
SURVEY	PEG FOUND	X	X									
	NAIL & PLATE	X	X									
	CONTROL POINT	X	X									
	DATUM	X	X									

NOTE: BOUNDARIES OVERLAID FOR ILLUSTRATION PURPOSES. REPEG REQUIRED TO ESTABLISH CORRECT BOUNDARIES

NOTE: SEWER NOT LOCATED - CONSULT ATTACHED PLANS TO CONFIRM LOCATIONS

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STORMWATER NOTE:
- ALL DOWNPIPES SHOWN ON PLAN ARE INDICATIVE ONLY. FINAL POSITIONS SHALL BE DETERMINED BY ROOF PLUMBER ON SITE.

TERMITE MANAGEMENT NOTE:
TERMITE TREATMENT TO BE IN ACCORDANCE WITH THE NATIONAL CONSTRUCTION CODE (NCC) 2016 PART 3.1.3, PART 2.1.1 AND PART 1.0.7, USING THE TERMICO TERMITE MANAGEMENT SYSTEM.

SOAKWELL CALCULATIONS:

Soak Well Type	No.	Capacity
SW 1200x900	2	2.0 m3
Total Capacity		2.0 m3
Roof Area GF		116.7 m2
Total Area		116.7 m2
Capacity Required (Area x 0.0125)		1.5 m3
Extra Capacity Provided		0.6 m3

<p>CREATE HOMES</p>	<p>CREATE HOMES PTY LTD Builders No: 101340 P 0410 292 469 E info@createhomes.com.au W www.createhomes.com.au</p>	<table border="1"> <thead> <tr> <th>REV</th> <th>REVISION</th> <th>DATE</th> </tr> </thead> <tbody> <tr> <td>A</td> <td>CONCEPT DESIGN</td> <td>13/03/2018</td> </tr> <tr> <td>B</td> <td>PRELIMINARY DRAWINGS</td> <td>03/04/2018</td> </tr> <tr> <td>C</td> <td>ISSUED FOR BUILDING LICENCE</td> <td>25/07/2018</td> </tr> <tr> <td>D</td> <td>REVISIONS - NATURAL GROUND LEVEL INDICATED</td> <td>22/11/2018</td> </tr> </tbody> </table>	REV	REVISION	DATE	A	CONCEPT DESIGN	13/03/2018	B	PRELIMINARY DRAWINGS	03/04/2018	C	ISSUED FOR BUILDING LICENCE	25/07/2018	D	REVISIONS - NATURAL GROUND LEVEL INDICATED	22/11/2018	<p>TITLE: SITE PLAN</p> <p>CLIENT: SANCHEZ</p> <p>ADDRESS: LOT 14 (#22) FIFTH AVENUE</p> <p>SUBURB: BEACONSFIELD</p> <p>SHIRE: CITY FREMANTLE</p>	<p>JOB No. J18-015</p> <p>SHEET 2 / 8</p> <p>SCALE: 1:100</p> <p>CHECKED: DL</p> <p>DATE: 22/11/2018</p>
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TRADE NOTES:
 - ALL DIMENSIONS TO BE VERIFIED ON SITE BEFORE COMMENCING ANY WORK.
 - ALL DIMENSIONS STRICTLY TO TAKE PREFERENCE OVER SCALING.
 - ANY DISCREPANCIES WHICH MAY ARISE ARE TO BE QUERIED WITH THE BUILDER BEFORE CONTINUING.
 - ANY DISCREPANCIES MUST BE REFERRED TO THE BUILDER OR THE SUBCONTRACTOR SHALL BEAR FULL RESPONSIBILITY FOR WORKS.
 - THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEERS DETAILS AND OTHER CONSULTANTS DETAILS.
 - REFER TO ENGINEER'S DETAILS FOR CONCRETE SLAB & FOOTING SPECIFICATIONS.
 - ALL WORKS TO BE CARRIED OUT TO RELEVANT AUSTRALIAN STANDARDS, NCC REQUIREMENTS & RELEVANT AUTHORITIES. WORK TO BE DONE IN A GOOD AND WORKMAN LIKE MANNER AND TO THE ENTIRE SATISFACTION OF THE BUILDER.

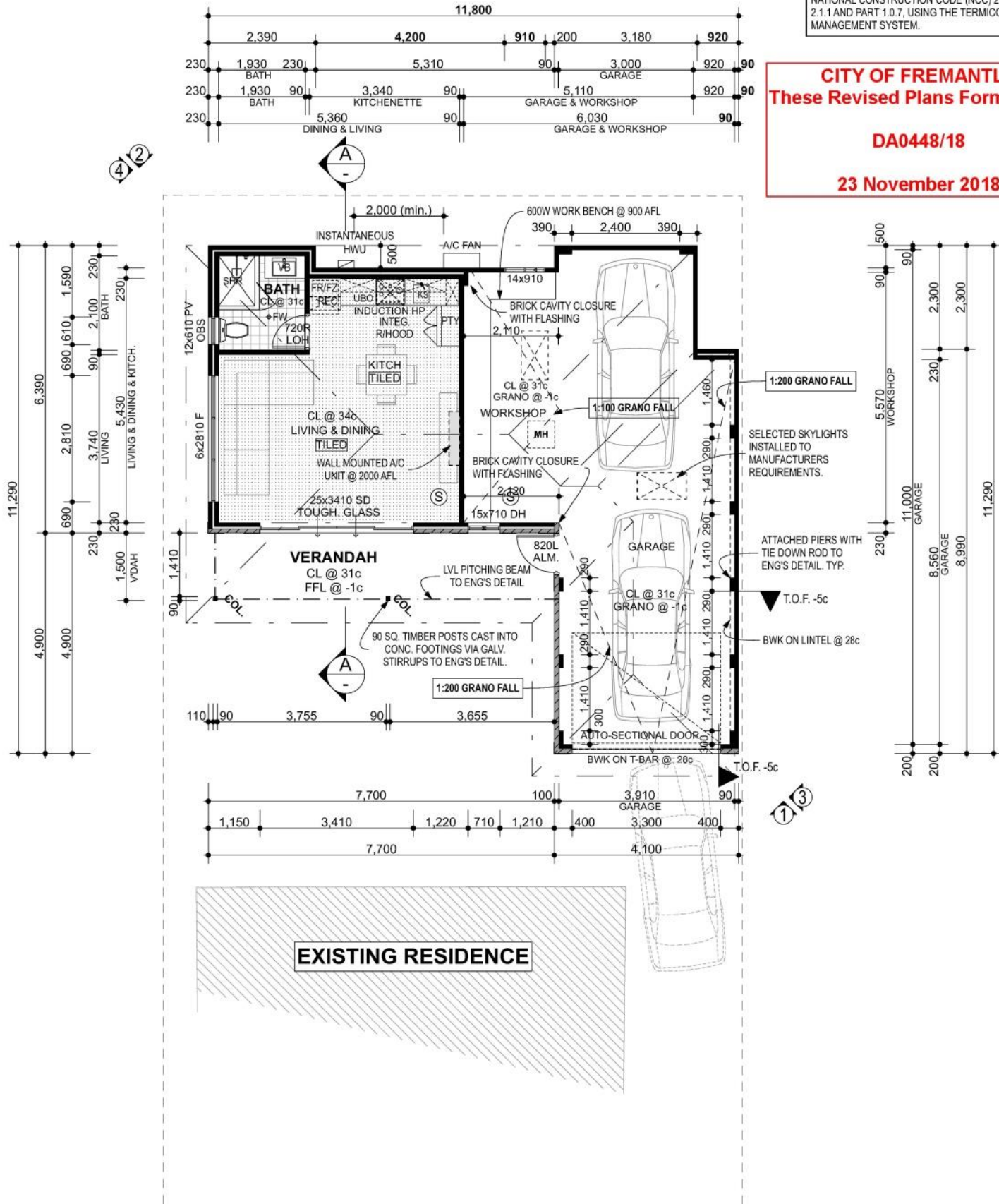
ROOFING NOTE:
 - ALL ROOF FRAMING IN ACCORDANCE WITH AS 1684.
 - STRUCTURAL STEEL IN ACCORDANCE WITH NCC 3.4.4.
 - L.V.L'S IN ACCORDANCE TO MANUFACTURERS SPECIFICATIONS.
 - PROVIDE WESPINE H2 BLUE TREATED TIMBER TO ANY ROOF FRAMING.

PLUMBING NOTES:
 - ALL DOWNPIPES SHOWN ON PLAN ARE INDICATIVE ONLY. FINAL POSITIONS SHALL BE DETERMINED BY ROOF PLUMBER ON SITE.

CEILING NOTE:
 - CEILINGS @ 31c AFL UNLESS OTHERWISE NOTED.

TERMITE MANAGEMENT NOTE:
 TERMITE TREATMENT TO BE IN ACCORDANCE WITH THE NATIONAL CONSTRUCTION CODE (NCC) 2016 PART 3.1.3, PART 2.1.1 AND PART 1.0.7, USING THE TERMICO TERMITE MANAGEMENT SYSTEM.

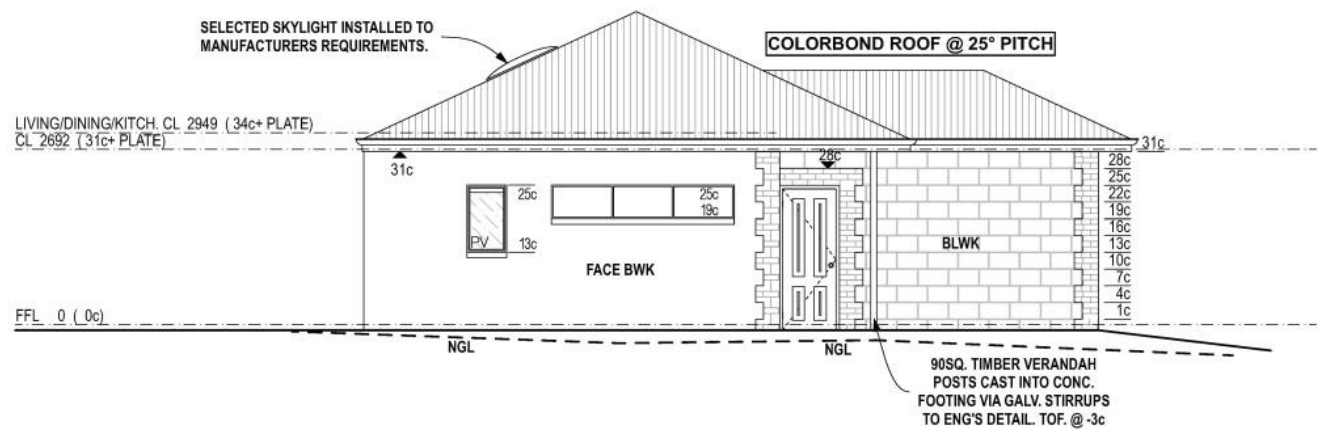
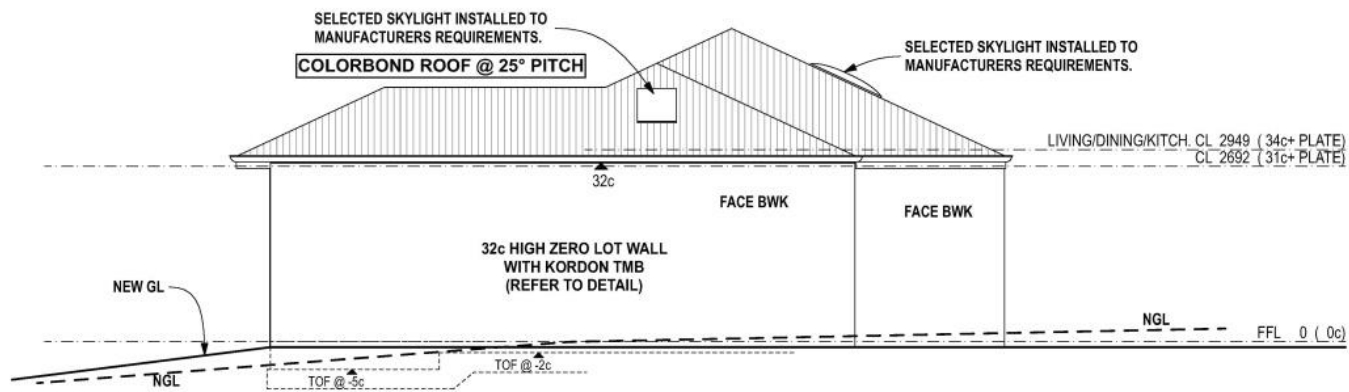
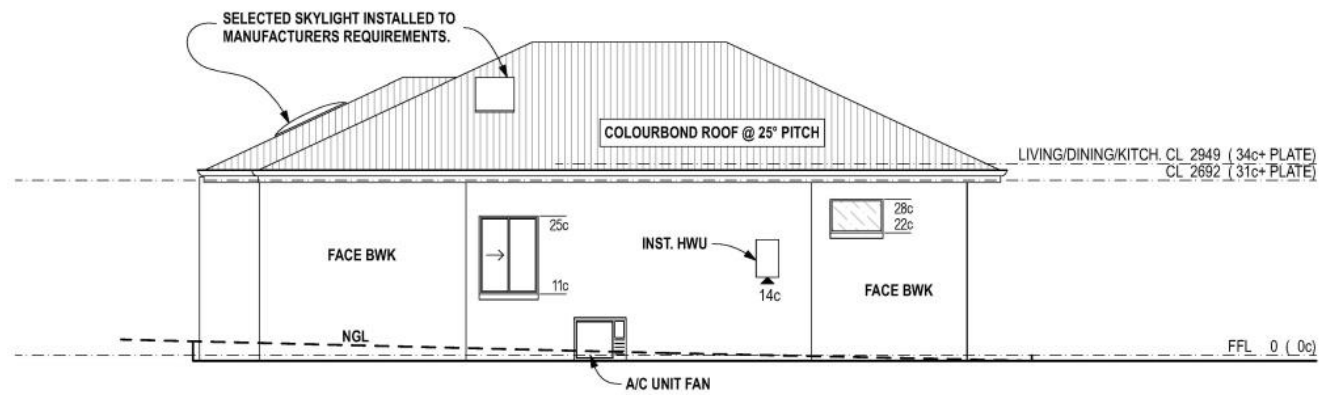
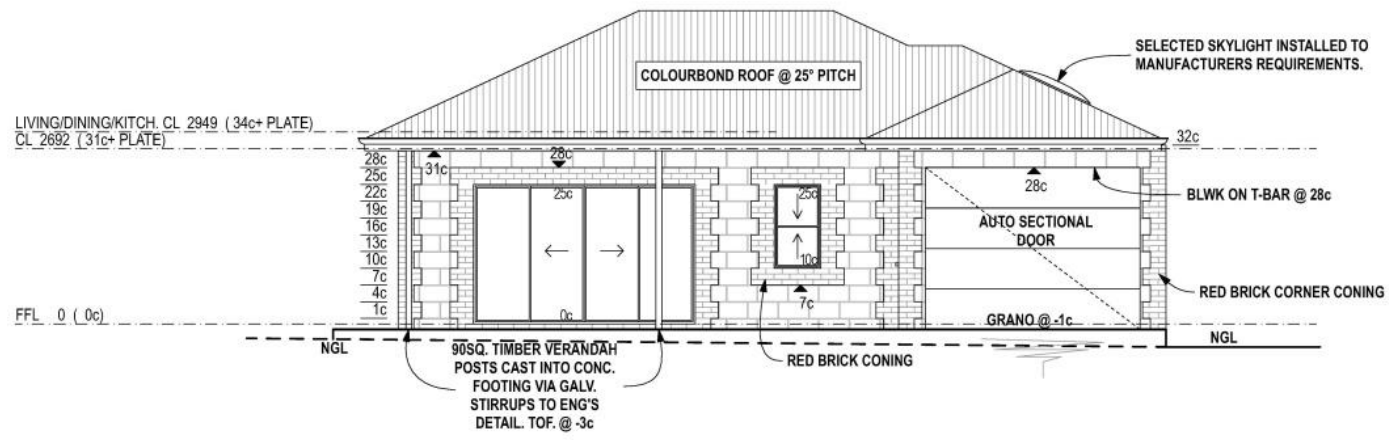
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 23 November 2018




AREAS:	
Garage & Workshop Area	56.07
Addition Area	34.65
Verandah Area	11.55
Total	102.27 m²
Roof Area	116.72
External Wall Perimeter	41.18m

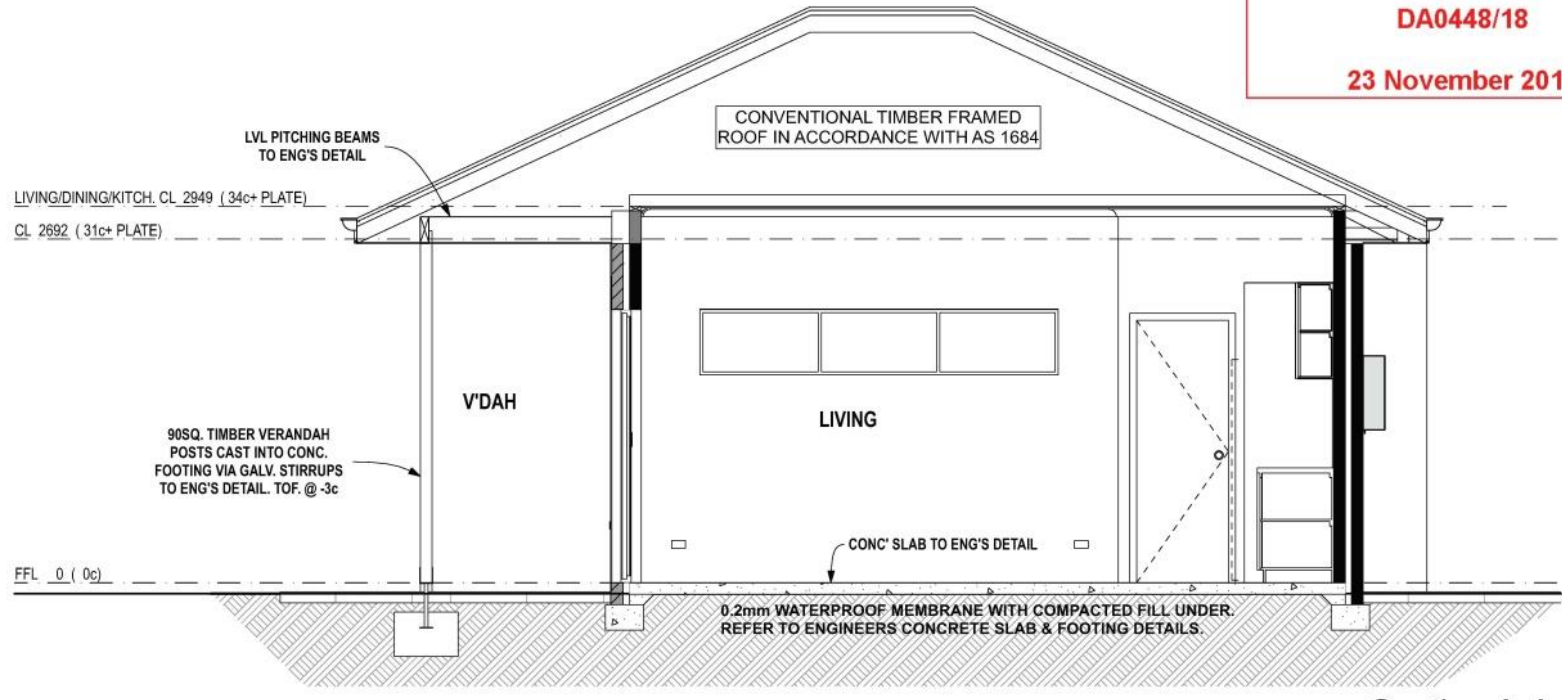
<p>CREATE HOMES</p>	<p>CREATE HOMES PTY LTD Builders No: 101340 P 0410 292 469 E info@createhomes.com.au W www.createhomes.com.au</p>	<table border="1"> <thead> <tr> <th>REV</th> <th>REVISION</th> <th>DATE</th> </tr> </thead> <tbody> <tr> <td>A</td> <td>CONCEPT DESIGN</td> <td>13/03/2018</td> </tr> <tr> <td>B</td> <td>PRELIMINARY DRAWINGS</td> <td>03/04/2018</td> </tr> <tr> <td>C</td> <td>ISSUED FOR BUILDING LICENCE</td> <td>25/07/2018</td> </tr> <tr> <td>D</td> <td>REVISIONS - NATURAL GROUND LEVEL INDICATED</td> <td>22/11/2018</td> </tr> </tbody> </table>	REV	REVISION	DATE	A	CONCEPT DESIGN	13/03/2018	B	PRELIMINARY DRAWINGS	03/04/2018	C	ISSUED FOR BUILDING LICENCE	25/07/2018	D	REVISIONS - NATURAL GROUND LEVEL INDICATED	22/11/2018	<table border="1"> <tr> <td>TITLE</td> <td>FLOOR PLAN</td> </tr> <tr> <td>CLIENT</td> <td>SANCHEZ</td> </tr> <tr> <td>ADDRESS</td> <td>LOT 14 (#22) FIFTH AVENUE</td> </tr> <tr> <td></td> <td>BEACONSFIELD</td> </tr> <tr> <td>SHIRE</td> <td>CITY FREMANTLE</td> </tr> </table>	TITLE	FLOOR PLAN	CLIENT	SANCHEZ	ADDRESS	LOT 14 (#22) FIFTH AVENUE		BEACONSFIELD	SHIRE	CITY FREMANTLE	<table border="1"> <tr> <td>JOB No.</td> <td>J18-015</td> </tr> <tr> <td>SHEET</td> <td>3 / 8</td> </tr> <tr> <td>SCALE</td> <td>A3</td> </tr> <tr> <td>SCALE</td> <td>1:100</td> </tr> <tr> <td>CHECKED</td> <td>DL</td> </tr> <tr> <td>DATE</td> <td>22/11/2018</td> </tr> </table>	JOB No.	J18-015	SHEET	3 / 8	SCALE	A3	SCALE	1:100	CHECKED	DL	DATE	22/11/2018
		REV	REVISION	DATE																																					
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DA0448/18
23 November 2018

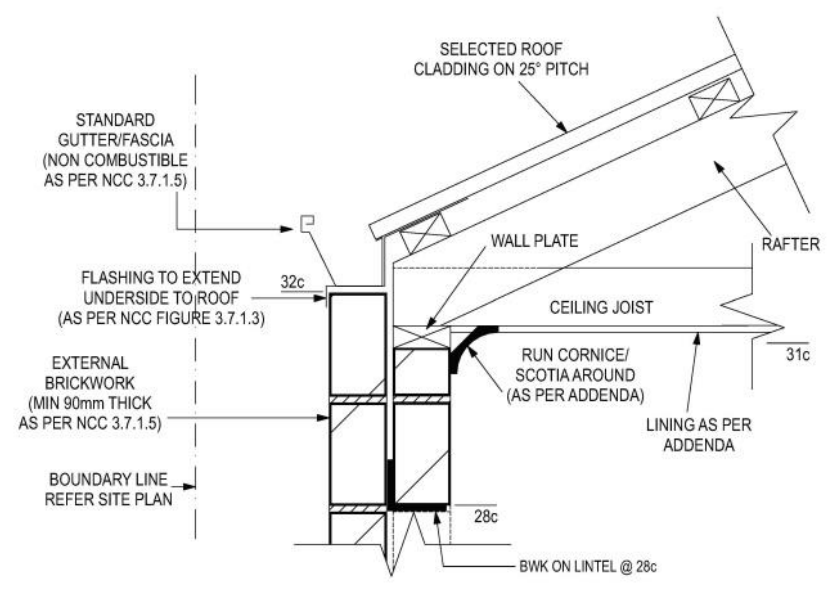


 CREATE HOMES	CREATE HOMES PTY LTD Builders No: 101340 P 0410 292 469 E info@createhomes.com.au W www.createhomes.com.au	REV A CONCEPT DESIGN REV B PRELIMINARY DRAWINGS REV C ISSUED FOR BUILDING LICENCE REV D REVISIONS - NATURAL GROUND LEVEL INDICATED	DATE 13/03/2018 03/04/2018 25/07/2018 22/11/2018	TITLE ELEVATIONS CLIENT SANCHEZ ADDRESS LOT 14 (#22) FIFTH AVENUE BEACONSFIELD SHIRE CITY FREMANTLE	JOB No. J18-015 SHEET 5 / 8 SIZE A3 REV D SCALE 1:100 CHECKED DL DATE 22/11/2018
		<small>© CREATE HOMES. This work shall remain the sole property of Create Homes and may not be given, lent, resold, or otherwise disposed, copied, or reproduced without written consent by Create Homes.</small>			

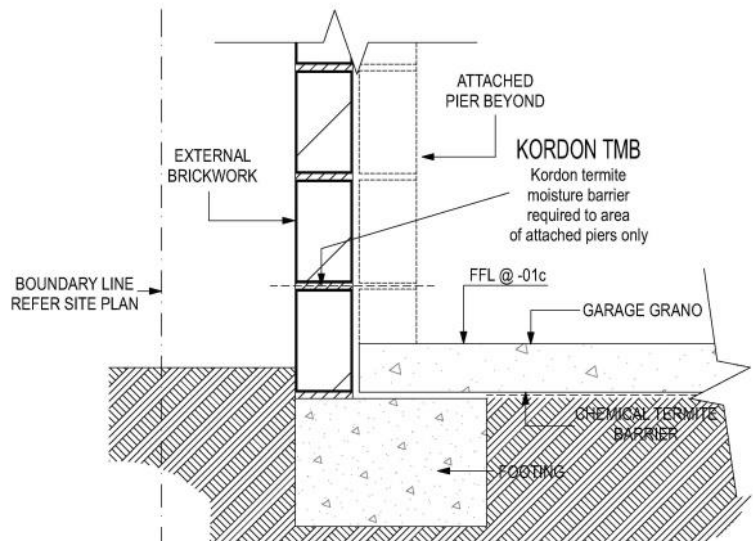
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23 November 2018



Section A-A
1:50




This wall is in accordance with NCC 3.7.1.5 (a (iii)) AND NCC Figure 3.7.1.3



ZERO LOT LINE TERMITES BARRIER
SINGLE LEAF WALL USING KORDON TMB
Prevents termite entry via hollow brickwork and internal shrinkage gap of garage slab

GARAGE ZERO LOT WALL DETAIL
1:10

 CREATE HOMES	CREATE HOMES PTY LTD Builders No: 101340 P 0410 292 469 E info@createhomes.com.au W www.createhomes.com.au	REV A CONCEPT DESIGN 13/03/2018	TITLE SECTIONS & DETAILS	JOB No. J18-015
		REV B PRELIMINARY DRAWINGS 03/04/2018	CLIENT SANCHEZ	SHEET 6 / 8
		REV C ISSUED FOR BUILDING LICENCE 25/07/2018	ADDRESS LOT 14 (#22) FIFTH AVENUE	SCALE 1:100
		REV D REVISIONS - NATURAL GROUND LEVEL INDICATED 22/11/2018	SHIRE BEACONSFIELD	CHECKED DL
			CITY FREMANTLE	DATE 22/11/2018

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ATTACHMENT 2: Site Photos

ATTACHMENT 2: Site Photos



Photo 1: Existing driveway.



Photo 2: Existing outbuilding along southern boundary

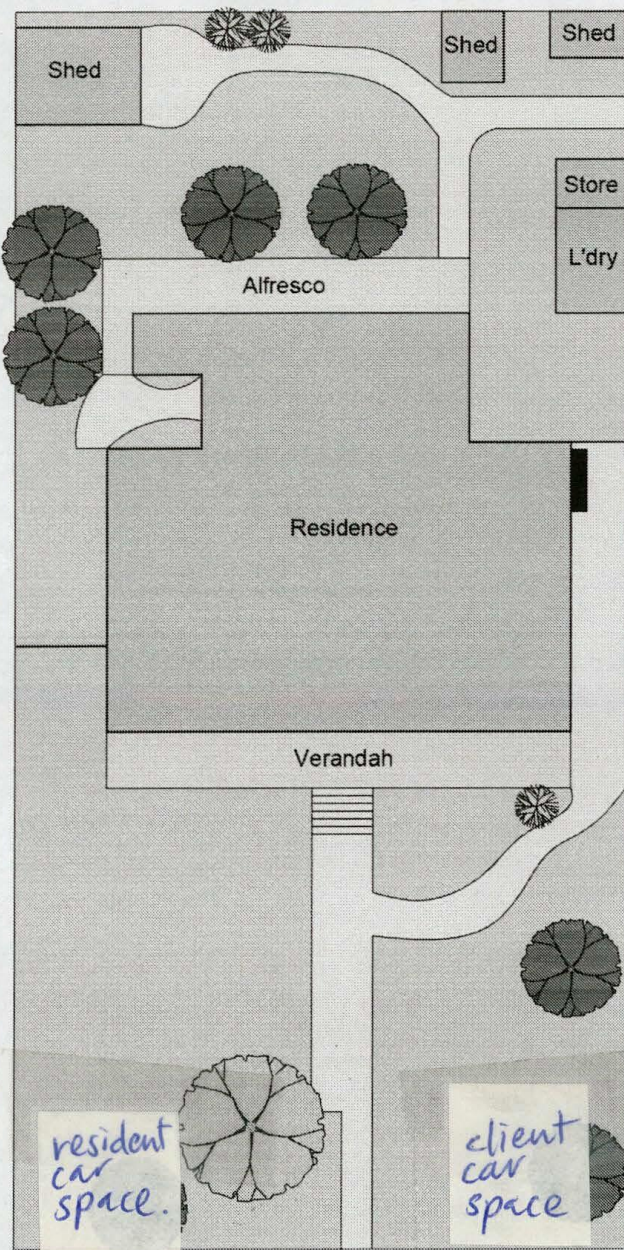


Photo 3: View from southern dividing fence into adjoining lot.

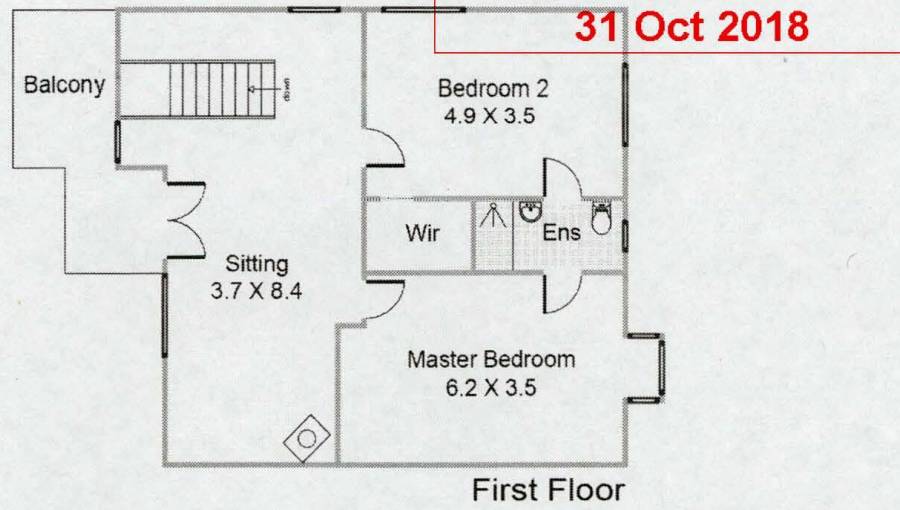
PC1901 -6 THOMPSON ROAD, NO. 13-15 (LOT 501), NORTH FREMANTLE - PARTIAL CHANGE OF USE TO HOME OCCUPATION (CONSULTING ROOM) IN AN EXISTING GROUPED DWELLING - (NB DA0482/18)

ATTACHMENT 1: Development Plans

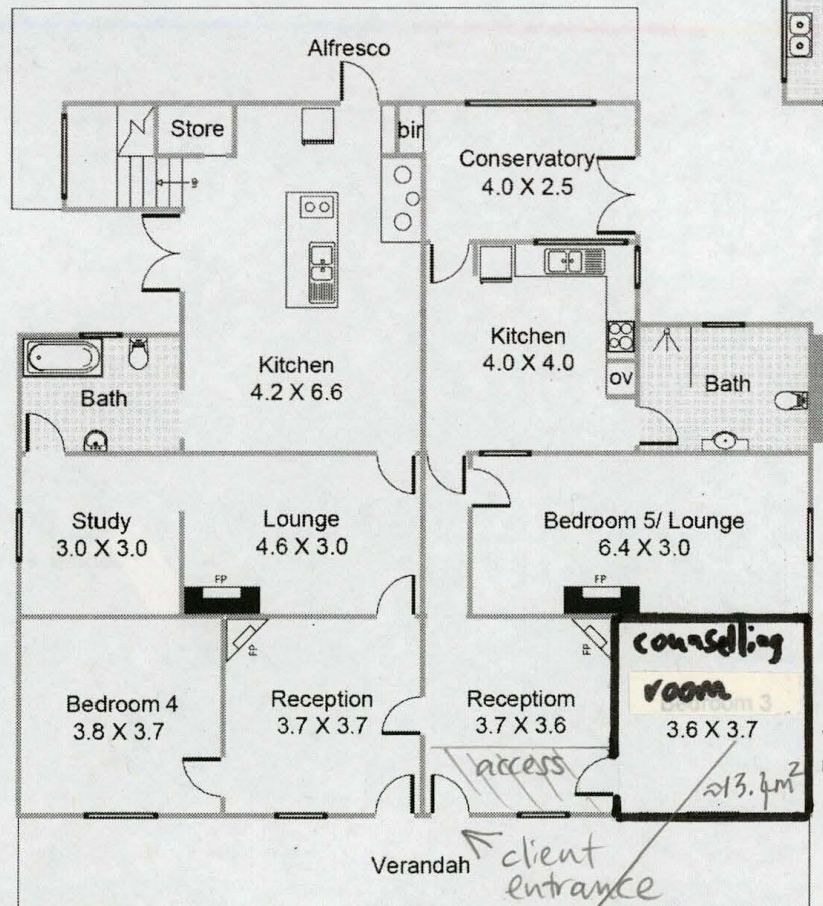
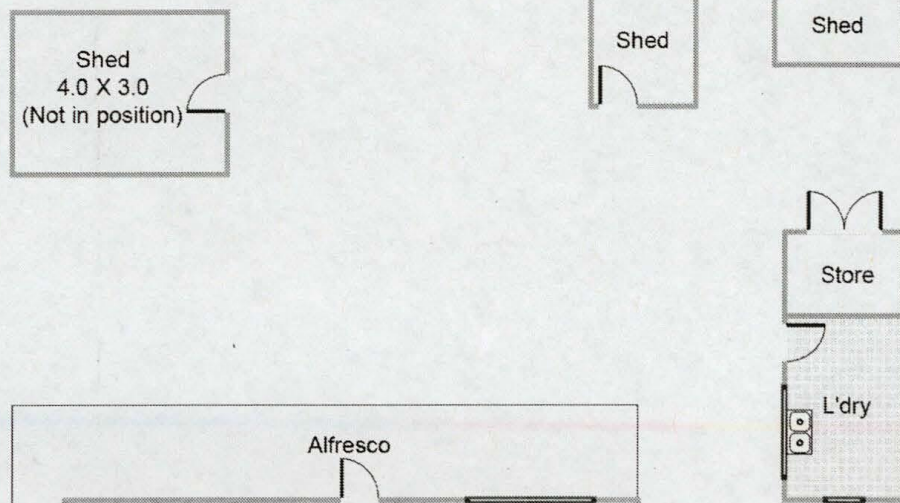
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31 Oct 2018



Thompson Road



First Floor



Ground Floor

Approximate Areas

GROUND FLOOR

Residence:	182.4m ²
Alfresco:	23.5m ²
Verandah:	27.2m ²
Shed:	12.7m ²
L'dry:	8.0m ²

FIRST FLOOR

Residence:	79.2m ²
Balcony:	9.6m ²

Total Area: 342.6m²

All measurements are estimates
All dimensions are in metres.
Plans are for demonstration only.
www.cribcreative.com.au

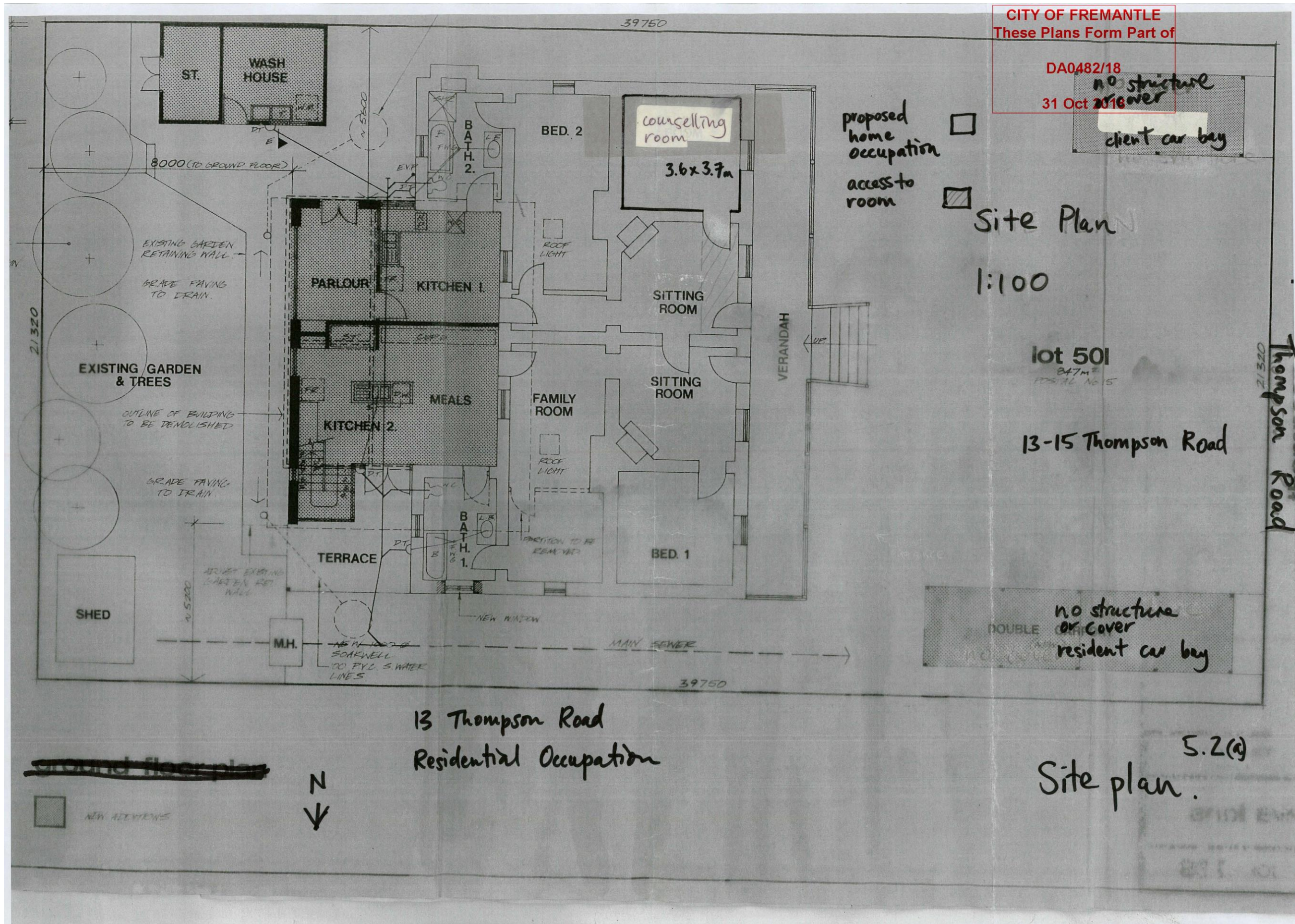
Floor plan

*Proposed home occupation
13 Thompson Road*

**13-15 Thompson Road,
North Fremantle**

5.2.(b)

Residential home occupation



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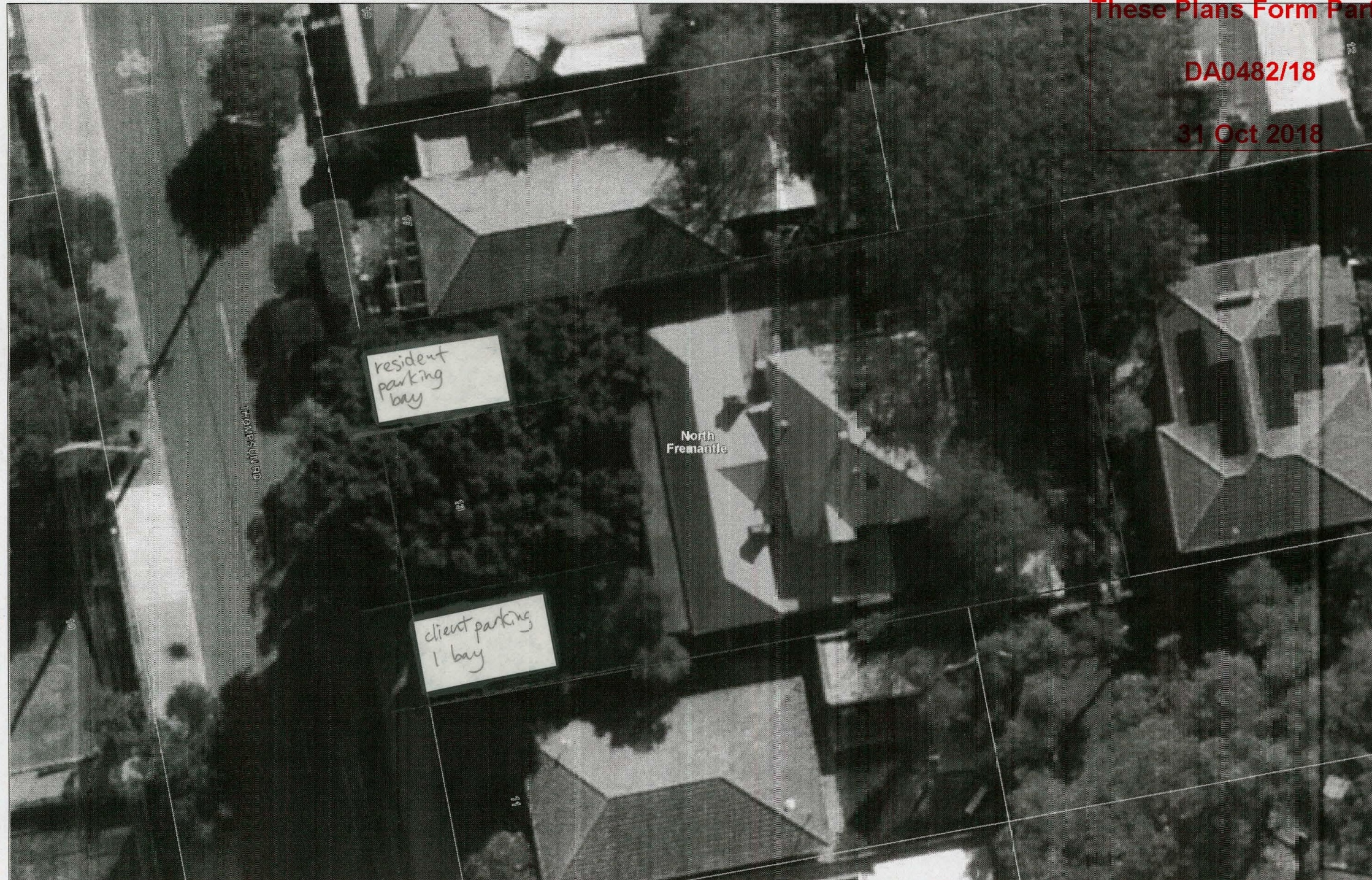
DA0482/18

31 Oct 2018

13 Thompson Road - Residential Occupation

5.2(a)

Site plan



City of Fremantle
Town Hall Centre
8 William Street, Fremantle WA 6150
PO Box 807, Fremantle WA 6959
T 08 9432 9999 F 08 9430 4634
TTY 08 9432 3777
E info@fremantle.wa.gov.au
W www.fremantle.wa.gov.au

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13 - 15 Thompson Road, North Fremantle

10/10/2018

Scale (A3) 1:200



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31 Oct 2018

5. Residential Home occupation or Home Business application (13 Thompson Road, North Fremantle).

5.3 Additional Information

Description of proposed business:

The business proposed is a part time clinical psychology counselling practice

Hours of operation:

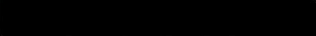
operating part-time, a maximum of three week days, (Tuesday to Thursday) between the hours of 10am and 7pm on these days.

Number of employees:

Nil.

Visitation rates per week:

Eight (8) to a maximum of fifteen (15) per week.

 sole practitioner seeing each client for a one hour session, with at least 30 minutes between each session. The client arrives at the front door and is greeted and accompanied directly into the counselling room.

There are two parking bays at 13 -15 Thompson Road, and the owner has one car on the left hand side therefore the bay on the right hand side is available for the client.

ATTACHMENT 2: Site Photos



Photo 1: Street elevation

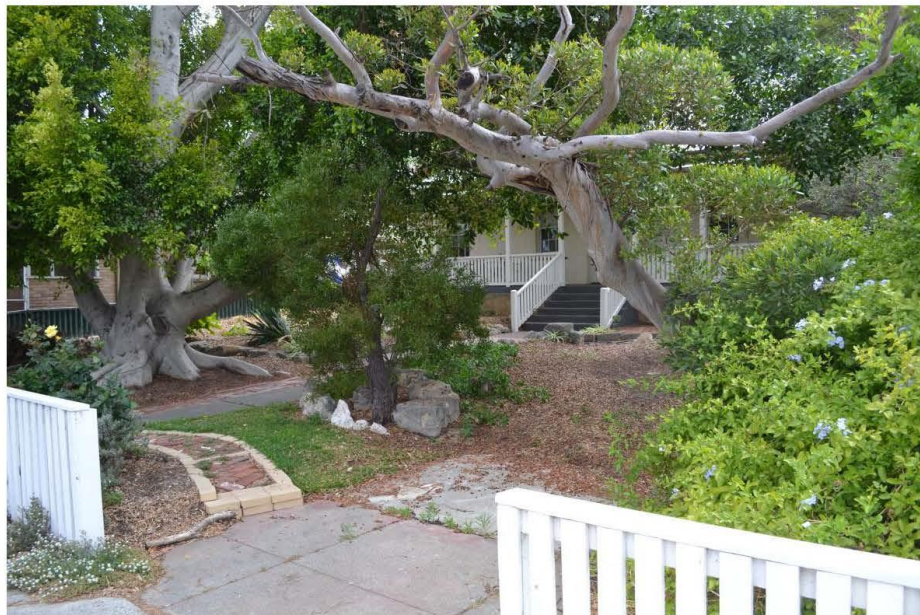


Photo 2: Street elevation from southern parking bay

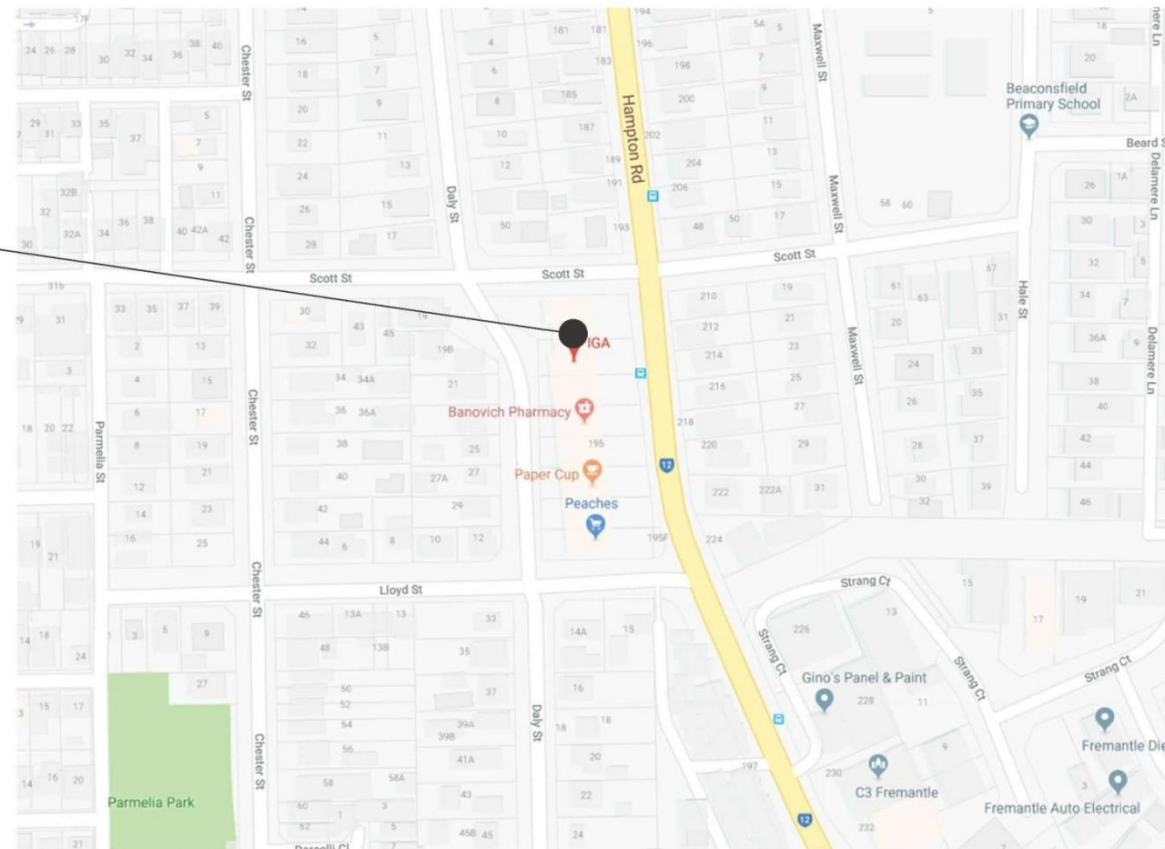
PC1901 -7 HAMPTON ROAD, NO.10 AND 11/195 (LOTS 120 AND 133-135), SOUTH FREMANTLE - PARTIAL CHANGE OF USE TO LIQUOR STORE (SHOP 10 AND 11) IN AN EXISTING SHOP - (NB DA0494/18)

ATTACHMENT 1: Development Plans

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These Revised Plans Form Part of
DA0494/18
20 December 2018

SOUTH FREO FRESH PTY LTD
t/a SOUTH FREMANTLE IGA
195 HAMPTON ROAD, SOUTH FREMANTLE

SOUTH FREMANTLE IGA.
THE SUBJECT OF THIS
APPLICATION



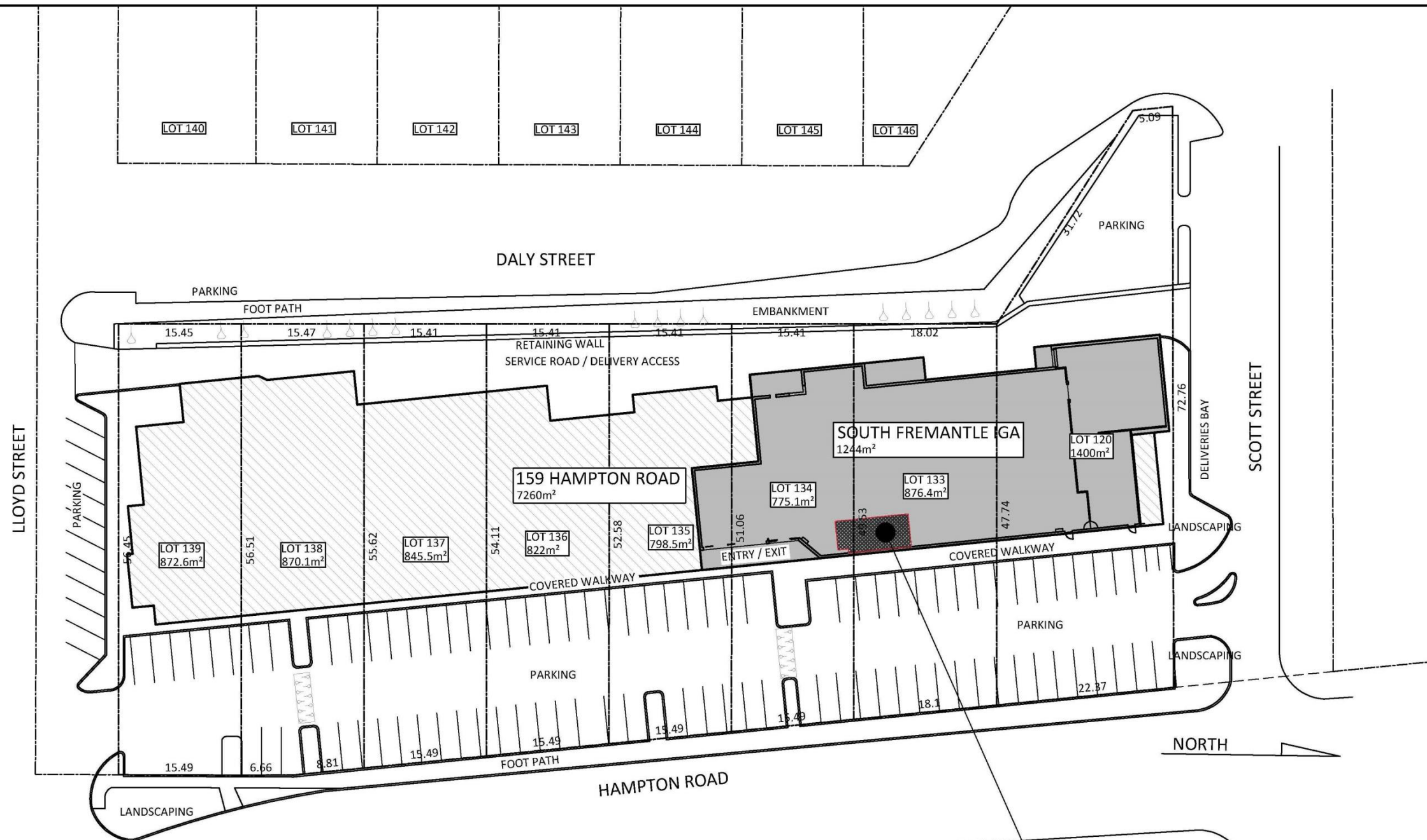
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DRG:	DRAWING:	REV:
000	COVER SHEET / LOCALITY PLAN	01
001	EXISTING SITE PLAN	01
101	FLOOR PLAN - EXISTING / DEMOLITION	01
102	PART FLOOR PLAN - PROPOSED	01
103	PART FLOOR PLAN - DRGL APPROVED LICENSE AREA	01

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Hospitality Consultants Pty Ltd

p: (08) 6278 2788 e: admin@canford.com.au
f: (08) 6278 2988 postal: PO Box 389, Guildford, WA 6935
m: 0417 976 009 office: Suite 17, 151 James Street, Guildford

A3 SHEET	DO NOT SCALE	DOCUMENTED BY	CLIENT	DRAWN	CHECKED	DRAWING No
	01 14.11.2018 ISSUED FOR APPROVAL GR	Suite 2, 4 Sarich Way, Bentley WA 6102 Ph: +61 8 9470 7700 Fax: +61 8 9470 7750 E-mail: info@perthcad.com.au	SOUTH FREO FRESH PTY LTD t/a SOUTH FREMANTLE IGA	GR	GR	000
REV.	DATE	DESCRIPTION	INT.	DATE CREATED	SCALE	07.11.2018 NONE
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				JOB No.	REF.	18207
				DRAWING TITLE		COVER SHEET / LOCALITY PLAN

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SITE PLAN - EXISTING
SCALE 1:500

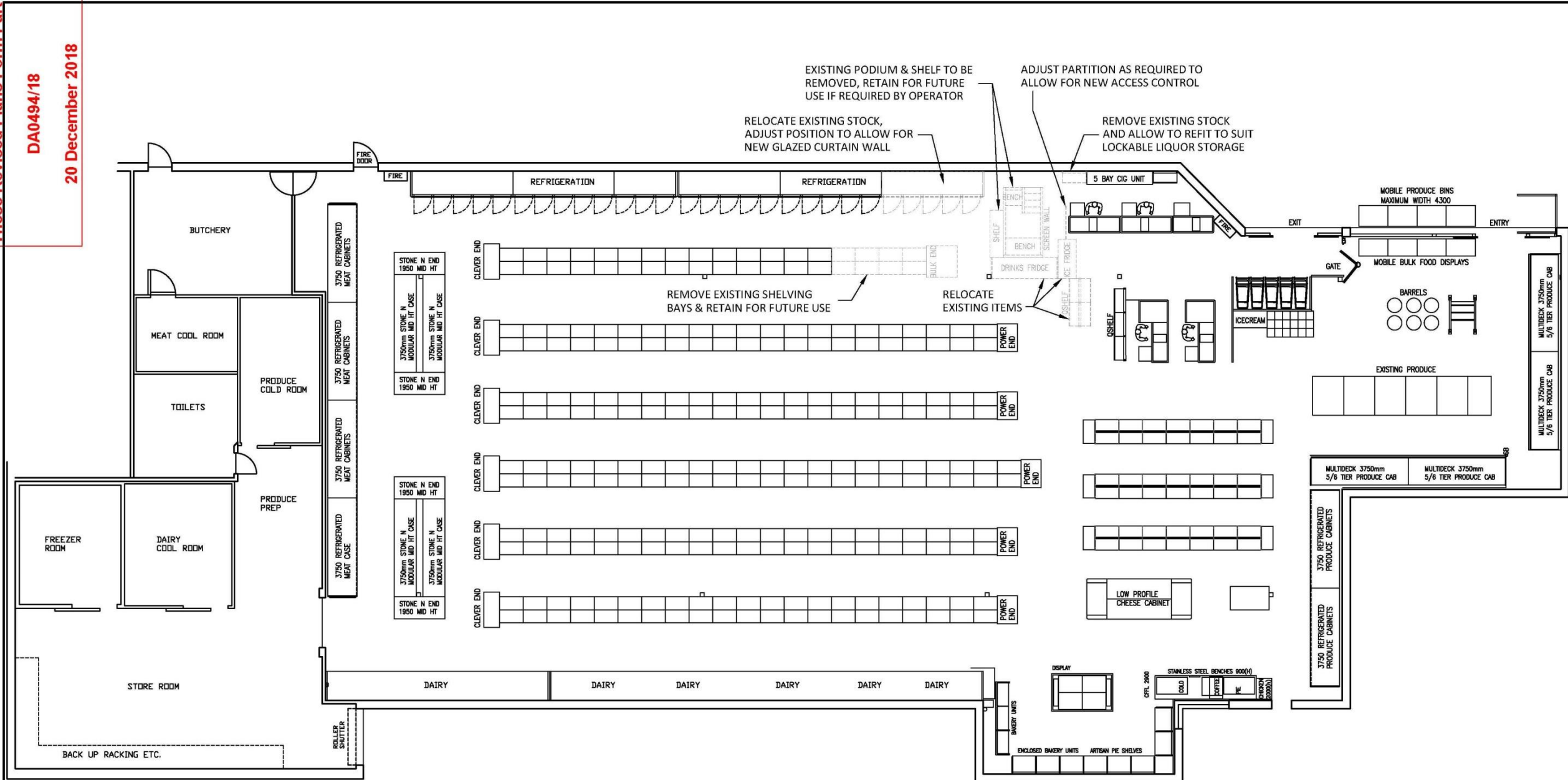
LOCATION OF LICENSE AREA IN RELATION TO SOUTH FREMANTLE IGA TENANCY. THE SUBJECT OF THIS APPLICATION

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					DATE	REV No.	
					14.11.2018	01	
					JOB No.	REF.	
					18207		

Suite 2, 4 Sarich Way,
Bentley WA 6102
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Fax: +61 8 9470 7750
E-mail: info@perthcad.com.au

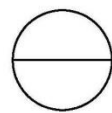


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FLOOR PLAN - EXISTING / DEMOLITION

SCALE 1:150

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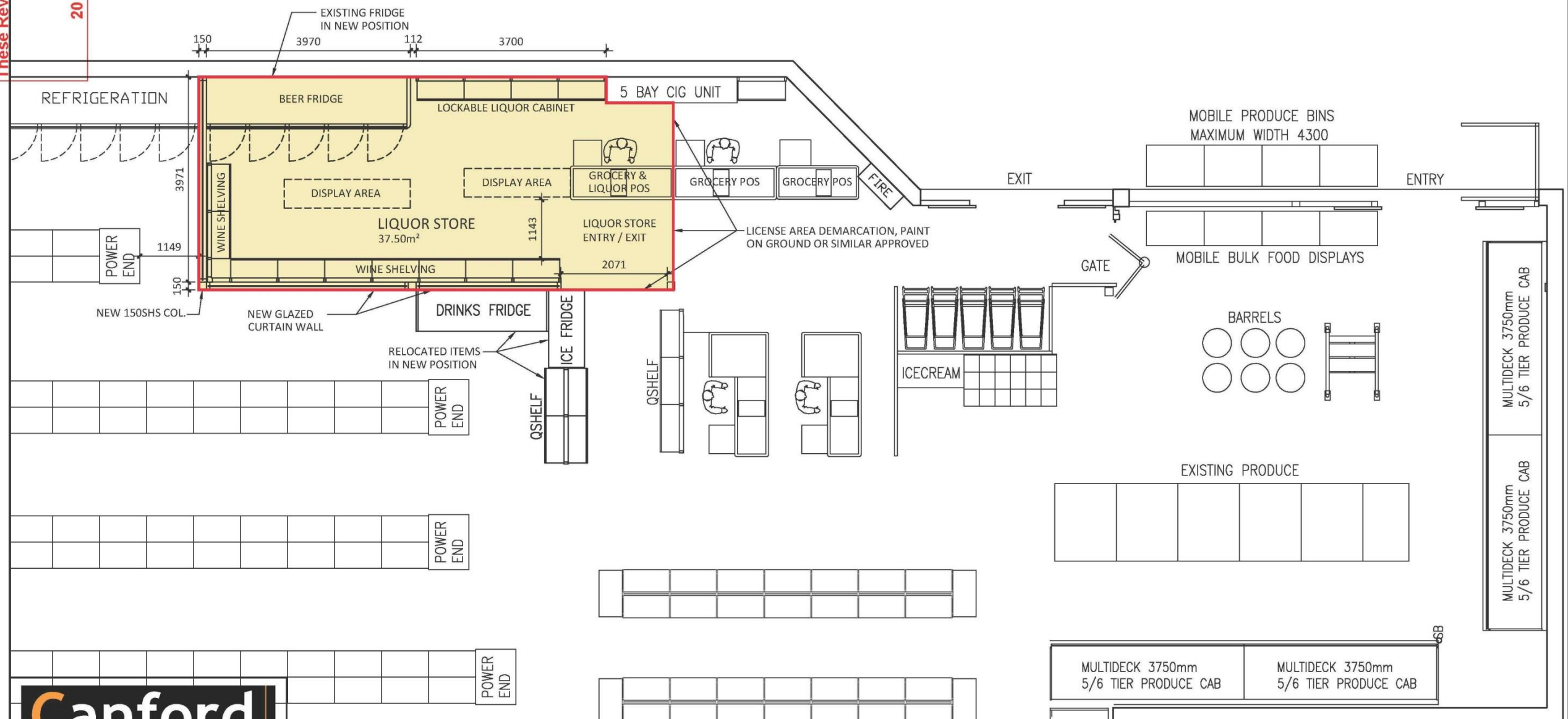
DOCUMENTED BY
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Bentley WA 6102
Ph: +61 8 9470 7700
Fax: +61 8 9470 7750
E-mail: info@perthcad.com.au

CLIENT	SOUTH FREQ FRESH PTY LTD t/a SOUTH FREMANTLE IGA
PROJECT	LOCO LIQUOR EXPRESS
DRAWING TITLE	FLOOR PLAN - EXISTING / DEMOLITION

DRAWN	CHECKED	DRAWING No 101
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DATE CREATED	SCALE	
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DATE	REV No.	
14.11.2018	01	
JOB No.	REF.	
18207		

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DA0494/18
20 December 2018

AREA LEGEND	
OVERALL TENANCY FOOTPRINT:	1244m ²
PROPOSED LIQUOR STORE:	37.5m ²
PROPOSED LICENSE AREA:	37.5m ²
% OF O/A TENANCY AS LICENSE AREA:	3%



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f: (08) 6278 2988 postal: PO Box 389, Guildford, WA 6955
m: 0411 976 009 office: Suite 17, 151 James Street, Guildford

PART FLOOR PLAN - PROPOSED

SCALE 1:75

DOCUMENTED BY
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Bentley WA 6102
Ph: +61 8 9470 7700
Fax: +61 8 9470 7750
E-mail: info@perthcad.com.au



CLIENT: SOUTH FREQ FRESH PTY LTD
t/a SOUTH FREMANTLE IGA
PROJECT: LOCO LIQUOR EXPRESS
DRAWING TITLE: PART FLOOR PLAN - PROPOSED

DRAWN	CHECKED	DRAWING No
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JOB No.	REF.	
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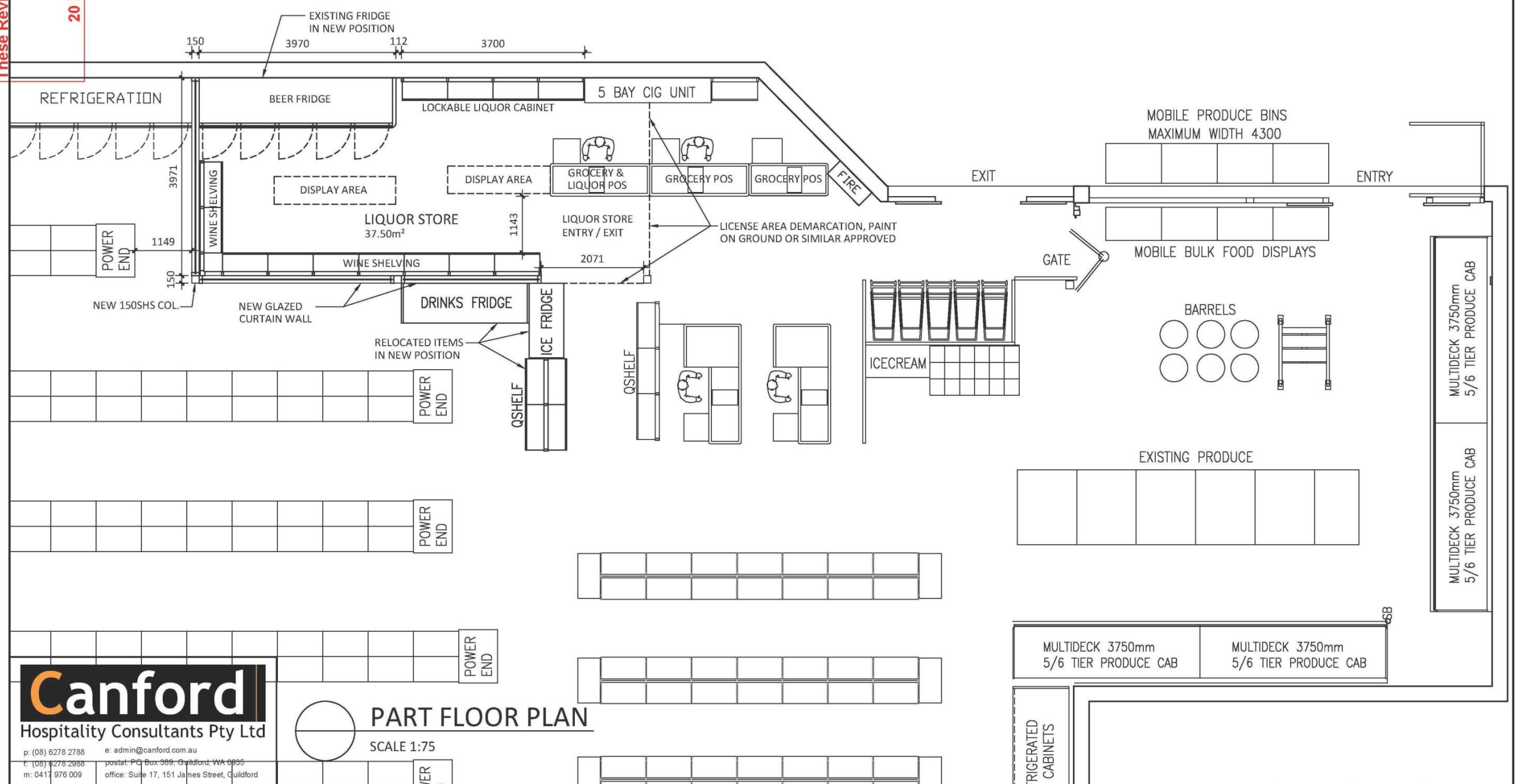
REV.	DATE	DESCRIPTION	INT.
01	14.11.2018	ISSUED FOR APPROVAL	GR

A3 SHEET

DO NOT SCALE

CITY OF FREMANTLE
These Revised Plans Form Part of
DA0494/18
20 December 2018

AREA LEGEND	
OVERALL TENANCY FOOTPRINT:	1244m ²
PROPOSED LIQUOR STORE:	37.5m ²
PROPOSED LICENSE AREA:	37.5m ²
% OF O/A TENANCY AS LICENSE AREA:	3%



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m: 0417 976 009 office: Suite 17, 151 James Street, Guildford

PART FLOOR PLAN
SCALE 1:75

DOCUMENTED BY
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Bentley WA 6102
Ph: +61 8 9470 7700
Fax: +61 8 9470 7750
E-mail: info@perthcad.com.au

PERTH CADCENTRE

CLIENT SOUTH FREQ FRESH PTY LTD
t/a SOUTH FREMANTLE IGA

PROJECT LOCO LIQUOR EXPRESS

DRAWING TITLE PART FLOOR PLAN - DRGL APPROVED LICENSE AREA

DRAWN GR	CHECKED GR	DRAWING No
DATE CREATED 07.11.2018	SCALE 1:75	103
DATE 14.11.2018	REV No. 01	
JOB No. 18207	REF.	

REV.	DATE	DESCRIPTION	INT.
01	14.11.2018	ISSUED FOR APPROVAL	GR

ATTACHMENT 2: Site Photos



Photo 1: Street front photo

**PC1901 -8 UPDATE ON METRO SOUTH-WEST JDAP DETERMINATIONS
AND RELEVANT STATE ADMINISTRATIVE TRIBUNAL
APPLICATIONS FOR REVIEW**

ATTACHMENT 1

1. Application Reference
DAP002/18
Site Address and Proposal
193 South Terrace, South Fremantle – Proposed three storey mixed use development
Planning Committee Consideration/Decision
<ul style="list-style-type: none"> At its meeting held on 5 December 2018, Council resolved to support the officer's recommendation to refuse the application.
JDAP Decision
<ul style="list-style-type: none"> At its meeting held on 14 December 2018, the Metro South-West Joint Development Assessment Panel refused the application in accordance with the officer's recommendation.

2. Application Reference
DAPV004/18 (Form 2 Application)
Site Address and Proposal
40 McCombe Avenue, Samson – Extension of time request for approved Mixed use development.
JDAP Decision
<ul style="list-style-type: none"> At its meeting held on 14 December 2018, the Metro South-West Joint Development Assessment Panel approved the extension of time request in accordance with the officer's recommendation.

3. Application Reference
DA0241/18
Site Address and Proposal
47 Pakenham Street, Fremantle – Unauthorised Signage and Change of Use to Public Car Park
Planning Committee Consideration/Decision
<ul style="list-style-type: none"> Council refused the application at its meeting held on 5 September 2018.
Current Status
<ul style="list-style-type: none"> Currently subject of an Application for Review by the State Administrative

Tribunal.

- A mediation session was held 5 November 2018.
- In accordance with a SAT direction issued on 5 November 2018, the applicant is to submit revised plans for Council's reconsideration.

4. Application Reference

DA0189/18

Site Address and Proposal

1/87 Stirling Highway, North Fremantle – Proposed Two Storey Addition and Home Business

Planning Committee Consideration/Decision

- Council refused the application at its meeting held 3 October 2018.

Current Status

- Currently subject of an Application for Review by the State Administrative Tribunal.
- A mediation session is scheduled for January 2019.

5. Application Reference

DA0560/17

Site Address and Proposal

137 South Terrace, Fremantle – Proposed two storey Grouped dwelling and conversion of existing Ancillary dwelling to Outbuilding

Planning Committee Consideration/Decision

- Council refused the application at its meeting held 7 November 2018.

Current Status

- Currently subject of an Application for Review by the State Administrative Tribunal.
- A mediation session is scheduled for February 2019.

**PC1901 -9 SCHEDULE OF APPLICATIONS DETERMINED UNDER
DELEGATED AUTHORITY**

ATTACHMENT 1

1. **NICHOLAS CRESCENT, 52 (LOT 2), HILTON ANCILLARY DWELLING
ADDITION TO EXISTING SINGLE HOUSE - (JCL DA0466-18)**
2. **MINILYA AVENUE, NO. 27 (LOT 1827), WHITE GUM VALLEY –
ADDITIONAL USE OF HOME BUSINESS (CONSULTING ROOM) IN AN
EXISTING SINGLE HOUSE - (NB DA0481/18)**
3. **COLLIE STREET, NO. 1/8 (LOT1, STP 11400), FREMANTLE –
ALTERATIONS TO EXISTING MULTIPLE DWELLING - (NB DA0526/18)**
4. **FORREST STREET, NO. 3/93-95 (LOT 3, STP 4493), FREMANTLE -
PATIO ADDITION TO EXISTING GROUPED DWELLING - (NB DA0545/18)**
5. **BLAMEY PLACE, 1 (UNITS 3 & 4), O CONNOR ADDITON OF SOLAR
PANELS TO THE ROOF OF THE EXISTING WAREHOUSE - (JCL
DA0536-18)**
6. **THOMPSON ROAD, 43 (LOT #3), NORTH FREMANTLE REPLACEMENT
OF DIVIDING FENCE AND CONSTRUCTION OF RETAINING WALL AND
FRONT FENCE - (JCL DA0537-18)**
7. **WESLEY STREET, 12-14 (LOT 20), SOUTH FREMANTLE BALCONY
ADDITION TO GROUPED DWELLING - (JCL DA0407-18)**
8. **WRAY AVENUE, 67 (LOT 67 STRATA PLAN 75068) FREMANTLE -
CHANGE OF USE FROM OFFICE TO SHOP (JCL DA0474/18)**
9. **INVERLEITH, 2 (LOT 87), SOUTH FREMANTLE DEMOLITION OF
EXISTING SINGLE HOUSE AND STRUCTURES - (JCL DA0358-18)**
10. **MCCOMBE STREET, 54 (LOT 565), SAMSON PATIO ADDITION TO
EXISTING SINGLE HOUSE - (TG DA0439-18)**
11. **BRADBURY WAY, 18 (LOT 41), SAMSON PATIO TO SINGLE HOUSE -
(TG DA0433-18)**
12. **BICKLEY CLOSE, NO 4 (LOT 13), BEACONSFIELD NEW OUTBUILDING
TO SINGLE HOUSE - (TG DA0450-18)**
13. **BROMLEY ROAD, 44A (LOT 2), HILTON - GROUPED DWELLING - (TG
DA0373/18)**
14. **PEARSE STREET, NO. 22 (LOT 16), NORTH FREMANTLE - SINGLE
HOUSE (ADDITIONS, ALTERATIONS AND PARTIAL DEMOLITION) - (TG
DA0376/18)**

15. MILSON PLACE, 20 (LOT 24), O'CONNOR - CHANGE OF USE (PRIVATE RECREATION) AND SIGNAGE - (TG DA0381/18)
16. CUREDALE STREET, NO 21 (LOT 24), BEACONSFIELD – ADDITIONS AND ALTERATIONS TO EXISTING SINGLE HOUSE - (TG DA0383/18)
17. CHALMERS STREET, 8 (LOT 6), FREMANTLE - ADDITIONS TO SINGLE HOUSE - (TG DA0336/18)
18. HAMPTON ROAD, NO.99 (LOT 16), FREMANTLE - SIGNAGE AND CHANGE OF USE TO HEALTH STUDIO (F45 GYM) - (TG DA00198/15)
19. MEWS ROAD, NO. 42 (LOTS 201 AND 2024), FREMANTLE - SIGNAGE, ALTERATIONS, AND ADDITIONS TO EXISTING TAVERN - (TG DA0399/18)
20. CRAB TREE MEWS, 4 (LOT 7), O'CONNOR - PATIO ADDITION TO EXISTING GROUPED DWELLING - (TG DA0403/18)
21. GIBSON STREET, NO 46 (LOT 27), BEACONSFIELD - ANCILLARY DWELLING ADDITION - (TG DA408-18)
22. HARWOOD STREET, 8A (LOT 24), HILTON - SINGLE HOUSE (NEW SINGLE STOREY SINGLE HOUSE - (TG DA0410/18)
23. QUEEN STREET, 2 (LOT 16), FREMANTLE – PARTIAL CHANGE OF USE TO FAST FOOD OUTLET (CAFE) AND ALTERATIONS TO EXISTING BUILDING - (TG DA0414/18)
24. FOTHERGILL STREET, 2 (LOT 1001), FREMANTLE - HOME OCCUPATION - (TG DA0418/18)
25. HAMPTON ROAD, 46 (LOT 86), FREMANTLE - OVER HEIGHT DIVIDING FENCE - (TG DA0424-18)
26. BOSTOCK STREET, 2 (LOT 36), WHITE GUM VALLEY FRONT FENCE TO SINGLE HOUSE - (TG DA0426-18)
27. GIBSON STREET, 21 (LOT 73), BEACONSFIELD - ADDITIONS TO SINGLE HOUSE - (TG DA0427-18)
28. TAYLOR STREET, NO 7 (LOT 37), WHITE GUM VALLEY PRIMARY STREET FENCE TO EXISTING SINGLE HOUSE - (TG DA0437/18)
29. DOEPEL STREET, NO 4-6 (LOT 1-505), NORTH FREMANTLE SOLAR PANELS TO EXISTING MULTIPLE DWELLING - (TG DA0452-18)
30. MCCLEERY, NO 12 (LOT 8), BEACONSFIELD ADDITIONS TO EXISTING SINGLE HOUSE - (TG DA0455-18)

31. JEFFREY STREET, 12A (LOT 2), BEACONSFIELD NEW TWO STOREY GROUPED DWELLING - (TG DA0462-18)
32. THE TERRACE, NO 1 (LOT 2095), FREMANTLE - CONSERVATION WORKS, REPAIRS AND RE ROOF TO FORMER PRISON - (TG DA0465-18)
33. MONTREAL STREET, NO 19-21 (LOT 90), FREMANTLE - CONSTRUCTION OF TOILET BLOCK FACILITY TO EXISTING BUILDING - (TG DA0469-18)
34. WATKINS STREET, NO 32 (LOT 200), WHITE GUM VALLEY - ADDITIONS TO EXISITNG SINGLE HOUSE - (TG DA0477-18)
35. HANLIN STREET, NO 16 (LOT 444), SAMSON ADDITIONS TO EXISTING SINGLE HOUSE - (TG DA0483-18)
36. TYRONE STREET, NO. 6 (LOT 219), NORTH FREMANTLE - ADDITIONS (TWO STOREY) TO EXISTING TWO STOREY SINGLE HOUSE - (TG DA0486-18)
37. JARVIS STREET, NO 2 (LOT 1), O CONNOR - PATIO ADDITION TO EXISTING SINGLE HOUSE - (TG DA0488-18)
38. SNOOK CRESCENT, NO. 57 (LOT 1351), HILTON - ADDITIONS TO EXISTING SINGLE HOUSE - (TG DA0489-18)
39. SOUTH STREET, NO 396 (LOT 5), O CONNOR - CHANGE OF USE TO SHOP AND SIGNAGE - (TG DA0492-18)
40. CHADWICK STREET, NO. 15A (LOT 14), HILTON - NEW SINGLE STOREY SINGLE HOUSE - (TG DA0493-18)
41. WOOD STREET, NO 55 (LOT 13), FREMANTLE FRONT FENCE TO SINGLE HOUSE - (TG DA0500-18)
42. ELLEN STREET, NO 41-51 (LOT 123), FREMANTLE CONSERVATION WORKS (CHIMNEY RESTORATION AND MAINTENANCE) TO EXISTING SCHOOL - (TG DA0502-18)
43. SNOOK CRESCENT, NO. 59 (LOT 1352), HILTON - RETROSPECTIVE ADDITION (GARAGE WORKSHOP) TO SINGLE HOUSE - (TG DA0515-18)
44. SOUTH TERRACE, NO. 36 (LOT 102), FREMANTLE -INTERNAL ALTERATIONS TO AN EXISTING RESTAURANT- (TG DA0517-18)
45. BURT STREET, NO 19-21 (LOT 1873 & 1907), FREMANTLE - SIGNAGE TO VACANT LOTS - (TG DA543/18)

46. **BURT STREET, NO 23-25 (LOT 1873 & 1907), FREMANTLE - SIGNAGE TO VACANT LOTS - (TG DA0544/18)**
47. **GIBSON STREET, NO 19 (LOT 72), BEACONSFIELD - GROUPED DWELLING (SINGLE BEDROOM DWELLING) - (TG DA0528-18)**
48. **GIBSON STREET, NO. 19 (LOT 72), BEACONSFIELD - TWO LOT SURVEY STRATA SUBDIVISION - (TG WAPC1216-18)**
49. **RULE STREET, NO. 10 (LOT 40), AND HIGHAM ROAD, NO. 1A (LOT 37) NORTH FREMANTLE - VARIATION TO PREVIOUS PLANNING APPROVAL DA0230/17**
50. **LEFROY ROAD, NO. 140 (LOT 17), BEACONSFIELD- SINGLE STOREY GROUPED DWELLING - (CJ DA0472/18)**
51. **HIGHAM ROAD, NO. 11 (LOT 13), NORTH FREMANTLE - VARIATION TO PREVIOUS APPROVAL DA0428/18 (TWO STOREY ADDITION TO EXISTING SINGLE HOUSE) - (CJ VA0040/18)**
52. **MARINE TERRACE, NO. 10 (LOT 1 STP 24012), FREMANTLE – UNAUTHORISED ALTERATIONS TO AN EXISTING GROUPED DWELLING - (NB DA0520/18)**
53. **TUCKFIELD STREET NO.19 (STRATA LOT 2), FREMANTLE – VARIATION TO PREVIOUS PLANNING APPROVAL DA0531/17 (PARTIAL DEMOLITION, SINGLE STOREY ADDITIONS AND ALTERATIONS TO EXISTING GROUPED DWELLING) (JL VA0019/18)**
54. **ORD STREET NO.24 (LOT 1), FREMANTLE, TWO LOT SURVEY STRATA CLEARANCE (JL WAPC535-17)**
55. **SOUTH TERRACE, NO. 2-12 (LOT 25), FREMANTLE - ADDITIONS TO EXISTING BUILDING - (TG DA0504-18)**
56. **YILGARN STREET, NO. 13 (LOT 13), WHITE GUM VALLEY - PRIMARY STREET FENCE ADDITION TO EXISTING SINGLE HOUSE - (CJ DA0534/18)**
57. **MONTREAL STREET, FORMER RESERVE 23558 (LOT 1819), FREMANTLE – SOLAR PANEL, BATTERY STORAGE, BOUNDARY FENCE AND SIGNAGE ADDITION - (JL DA0342/18)**
58. **HARBOUR ROAD, 6 (LOT 48), SOUTH FREMANTLE ADDITION TO EXISTING SINGLE DWELLING - (JCL DA0485-18)**
59. **LONGFORD ROAD, 37 (LOT 1), BEACONSFIELD TWO STOREY GROUPED DWELLING - (JCL DA0385-18) - ASSESSMENT SHEET -**

60. **COLLICK STREET, NO 23 (LOT 1385), HILTON OUTBUILDING ADDITION TO EXISTING SINGLE HOUSE - (TG DA0499-18)**
61. **HINES ROAD, 63A (LOT 889), HILTON - SINGLE STOREY SINGLE HOUSE - (TG DA0530-18)**
62. **HAMPTON ROAD, 42 (LOT 4), FREMANTLE ALTERATIONS AND ADDITIONS TO EXISTING GROUPED DWELLINGS - (JCL DA422-18)**
63. **MARINE TERRACE, 14 (LOT 3 STPLN 24012), FREMANTLE - UNAUTHORISED ALTERATIONS TO AN EXISTING GROUPED DWELLING - (JCL DA0522-18)**
64. **MARINE TERRACE, 18 (LOT 5 STPLN 24012), FREMANTLE - UNAUTHORISED LOFT ADDITION TO EXISTING GROUPED DWELLING - (JCL DA0523-18)**
65. **PHILLIMORE STREET, NO. 18 (LOT 1951), FREMANTLE – ADDITIONS AND ALTERATIONS TO EXISTING TOURIST ACCOMMODATION BUILDING – (JL DA0554/18)**
66. **SUFFOLK STREET, NO. 16 (LOT 7), FREMANTLE - ADDITIONAL VEHICLE ACCESS TO AN EXISTING GROUPED DWELLING - (NB DA0574/18)**
67. **HAMPTON ROAD, NO. 173 (LOT 50), SOUTH FREMANTLE – ANCILLARY DWELLING ADDITION TO AN EXISTING SINGLE HOUSE - (NB DA0506/18)**
68. **TRAFFORD STREET, NO. 24 (LOT 29), BEACONSFIELD - ADDITIONS TO EXISTING SINGLE HOUSE - (TG DA0479-18)**
69. **QUEEN VICTORIA STREET, NO. 12 (LOT 31), FREMANTLE - EXTERNAL TREATMENT (PAINTING) OF WALLS OF EXISTING BUILDING - (TG DA0532-18)**
70. **MARINE TERRACE, 20 (LOT 6 STPLN 24012), FREMANTLE - UNAUTHORISED LOFT ADDITION TO EXISTING GROUPED DWELLING - (JCL DA 0521-18)**
71. **STIRLING HIGHWAY, 10/98 (STRATA LOT 10), NORTH FREMANTLE - RETAINING WALL AND BOUNDARY FENCE - (JCL DA0510/18)**
72. **SHEPHERD STREET, NO. 67 (LOT 108), BEACONSFIELD - TWO STOREY SINGLE HOUSE - (CJ DA0476/18)**
73. **TONKIN ROAD, NO. 11A (LOT 1), HILTON - ADDITIONS AND ALTERATIONS TO EXISTING SINGLE HOUSE - (CJ DA0513/18)**

- 74. COLLICK STREET, NO. 65A (LOT 2 STP 62915), HILTON – SINGLE STOREY SINGLE HOUSE - (NB DA0003/19)**

- 75. THE TERRACE, NO 1 (LOT 2095), FREMANTLE - CONSERVATION WORKS, TO HERITAGE BUILDING - (TG DA0551-18)**

- 76. SOUTH STREET, NO. 109 (LOT 1), BEACONSFIELD - ALTERATIONS TO EXISTING GROUPED DWELLING- (CJ DA0516/18)**

PC1901 -10 POTENTIAL SCHEME AMENDMENT - NOS. 7 & 9-15 QUARRY STREET, FREMANTLE - OUTCOMES OF PRELIMINARY ENGAGEMENT & OPTIONS FORWARD - ADDITIONAL INFORMATION

ATTACHMENT 1 PREVIOUS (DEFERRED) REPORT ON POTENTIAL AMENDMENT

TITLE POTENTIAL SCHEME AMENDMENT - NOS. 7 & 9-15 QUARRY STREET, FREMANTLE - OUTCOMES OF PRELIMINARY ENGAGEMENT & OPTIONS FORWARD

Meeting Date: 5 December 2018
Responsible Officer: Manager Strategic Planning
Decision Making Authority: Council
Agenda Attachments: 1. Schedule of Submissions
 2. Site Photos

SUMMARY

At its meeting on 25 July 2018, Council reviewed various options for potential zoning and residential density changes to the City's properties at Lots 1, 2 & 8 (Nos. 7 & 9-15) Quarry Street, Fremantle (the subject site), which have been listed for disposal. Council resolved to undertake preliminary community consultation on the idea of rationalising the zoning to 'Mixed Use', and applying a residential density code of R100 across all lots. Currently, the sites have different zonings and residential densities under Local Planning Scheme No. 4 (LPS4).

The City undertook preliminary consultation from 3 September to 10 October 2018, and received 50 submissions on the potential amendment. The majority of submissions objected to the proposal, with particular concern raised in respect to how new buildings would impact residential amenity and the established streetscape of the immediate area.

This report discusses various options available to Council, taking into consideration the key concerns raised during consultation. The report concludes that whilst there is planning merit in establishing a consistent zoning and suitable transitional density in this location, the complexity of developing mechanisms sufficient to address concerns raised to the satisfaction of the community, and the relatively modest increase in centre catchment/development yield likely to be achieved, does not warrant progressing the matter through all the stages of a formal scheme amendment process. It is consequently recommended that Council not proceed with the amendment and instead maintain the current zoning of the lots.

BACKGROUND

Council considered a potential amendment for Lots 1, 2 & 8 (Nos. 7 & 9-15) Quarry Street, Fremantle (the subject site) at its meeting held on 25 July 2018 (SPT1807-06). That report summarised various zoning and density options available to rationalise zoning across the three lots and allow for their coordinated redevelopment, subsequent to their sale. Council consequently resolved to commence preliminary consultation on the idea of changing the zoning of all three lots to 'Mixed Use' and introducing a residential density of R100. Also proposed was a reduced building height of 7.5 metres for development within 10 metres of the existing lower-density residential areas to the north and east to provide a further transition in height and intensity, as outlined in *Figure 1*, below. This report summarises the outcomes of the consultation process, and potential options moving forward. Further information on the background to this amendment can be found in the previous Council report.

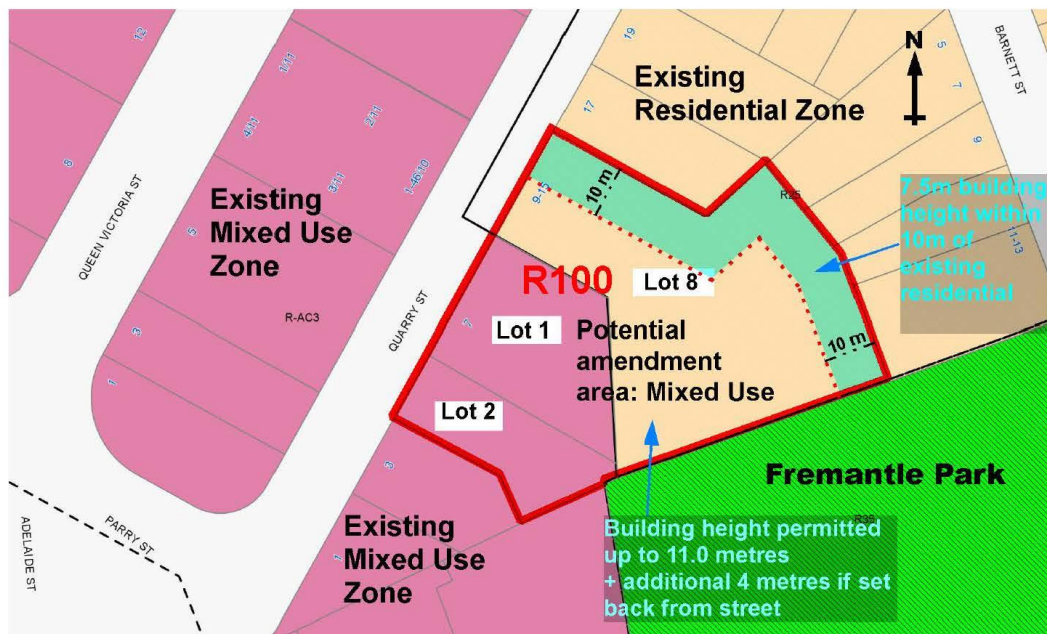


Figure 1: Amendment proposal as per the City's preliminary consultation

It is noted that since the July Council report, demolition of No. 7 Quarry Street has been completed.

FINANCIAL IMPLICATIONS

There are no financial implications associated with the process of rezoning of the site, if undertaken in-house. Valuation impacts of any change of zoning to the City's landholding do not represent planning considerations and are consequently not further considered in this report.

LEGAL IMPLICATIONS

The process for a scheme amendment is outlined in the *Planning and Development (Local Planning Schemes) Regulations 2015* (the Regulations).

CONSULTATION

Community engagement on the potential scheme amendment was undertaken in accordance with *Local Planning Policy 1.3 - Public Notification of Planning Proposals* for a 'preliminary scheme amendment' from 3 September 2018 to 10 October 2018. A total of 50 submissions were received during this period, the majority of which were from property owners and occupiers within the immediate vicinity of the subject sites. A number of submitters expressed support for the amalgamation of the lots, on the provision that they be zoned for low density (R25) residential development only, but objected to the proposal as advertised. Concern was also raised regarding urban consolidation (i.e. infill)

more generally and the impact of recent developments, such as Liv Apartments, on the established amenity of the area. A full summary of submissions is provided as an attachment to this report; however some of the key themes and issues raised are summarised below. It is noted that some submissions contained attachments which are not appended to this report, however a full version of all submissions can be made available for the perusal of Elected Members upon request.

Summary of Key Themes and Issues in Submissions:

- The area is not appropriate for high density development given the existing low-density residential character of Quarry Street;
- Street parking availability and traffic is an ongoing concern within the area, and would be further impacted as a consequence of this amendment;
- Concessions to encourage the development of affordable housing within the sites should be considered;
- Higher density development should be restricted to Queen Victoria Street and away from the more established Quarry Street;
- Additional development in this location would have a negative impact upon the heritage character of the area;
- Lower-scale town-house development (2-3) storeys would be more appropriate for the sites;
- The City would attain a larger financial yield from a more traditional subdivision into individual residential lots, as opposed to higher density apartment development;
- The Baugruppen concept would have been a good outcome for the site as would have been in keeping with other recent Council initiatives in residential areas;
- Existing vegetation on site and within the adjacent parkland should be retained as part of any future development;
- Buildings greater than 7.5 metres in height would impact access to sunlight within neighbouring properties, block views of Fremantle Park and Monument Hill, and would have negative privacy consequences;
- There is a lack of housing choice for families within the immediate area, which this potential amendment does not address;
- A large development in between two heritage/character dwellings will not be a good outcome for the streetscape; and
- Any rezoning of the sites should facilitate better connections between Quarry Street and Fremantle Park.

Officers also attended an Arts Centre Precinct meeting to discuss the proposal, at which concern was expressed about impact on residential amenity, streetscape, traffic, built form and architectural quality, the closure of the child care centre and housing diversity.

PLANNING CONTEXT

State Planning Framework:

Perth and Peel@3.5million, in combination with the *Central Sub-regional Planning Framework* (which the City of Fremantle municipality forms part of), provides detail on the broad housing objectives to cater for future population growth within the Perth Metropolitan Area. Under these, the City has been allocated an additional urban infill housing target of just over 4,100 new dwellings by 2031 and 7,030 by 2050.

Strategic Community Plan:

The site is immediately adjacent to the Fremantle Northern Gateway, and CBD, which the Strategic Community Plan prioritises for consolidation and revitalisation. The site is approximately 100m from Queen Victoria Street, which accommodates a high frequency bus service and offers opportunities for alternative transport, and within 600m of Fremantle railway station.

Local Planning Framework:

A portion of the site is within a local planning sub-area, introduced as part of the 'East End'/Northern Gateway project in 2011, via Scheme Amendment No. 38. This area is subject to Local Planning Policy 3.1.3: Precinct 3, which was adopted by Council in 2012 to provide further direction and explanatory guidance for new developments within the sub-area, and which states that the precinct is envisaged to accommodate up to 2500 new residents within 20 years (as of 2012). The Precinct 3 policy provides the following vision statement for this sub-area:

The precinct will be rejuvenated as a vibrant, attractive and sustainable high density residential neighbourhood within walkable distance of the Fremantle city centre. The predominantly residential precinct will be supported by a hub of local commercial and community services that complements but does not compete with the city centre's commercial focus.

'Precinct 3' is divided into three character areas which form the basis for specific development requirements. The subject site is partly located within Area C (refer Figure 2) which is generally characterised by smaller lot sizes, non-residential land uses and a lower building scale, without a coherent streetscape character. LPP 3.1.3 recognises that Area C should demonstrate development of a lower scale and finer 'urban grain' than Areas A and B, noting that the traditional subdivision pattern lends itself well to more diverse development opportunities.

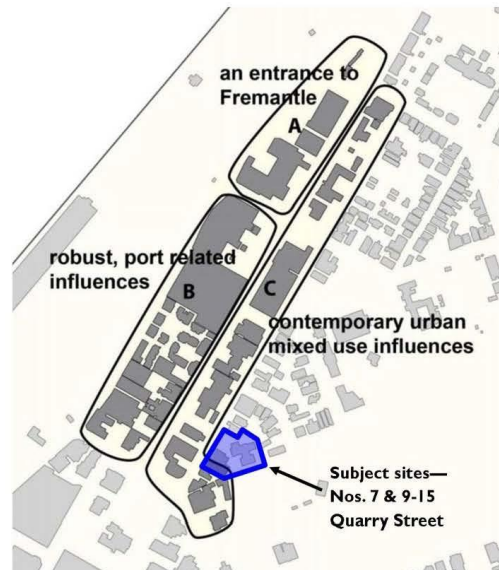


Figure 2: Precinct 3 Character Areas (as outlined in Local Planning Policy 3.1.3)

OFFICER COMMENT

Key Issues and Options

The key points of concern raised in most submissions relate to the treatment of the interface area this site presents between high density promoted along Queen Victoria Street and Parry Street within Precinct 3, and the low density along much of the north-east side of Quarry Street. These are expressed in relation to the impact of additional dwellings and density, traffic, building height and bulk, neighbouring lots amenity and streetscape character.

The report considers how the more specific points of concern could be mitigated through various options with the aim of balancing the City's strategic vision for this area more broadly with the recognised need to respond to the specific development and location context of the subject lots. Five basic possibilities are presented, expanding on those outlined in the previous Council report from July 2018 (SPT1807-06). Each is accompanied by a summary table which provides a snapshot of potential development outcomes for each scenario, particularly in respect to dwelling yield and building height which were two major points of contention outlined in submissions. It should be noted that estimates can only be approximate, based on design assumptions within the range of 'default' standards provided under the scheme and R-Codes.

Option 1 – Not Progress With Re-zoning

Council has the option of not progressing with the re-zoning and to instead dispose of the lots with their current zoning and residential density unchanged. This would mean that the lots could not be sold as an amalgamated site for a consolidated development of uniform density but instead redeveloped with a combination of building typologies based on the existing scheme provisions.

A purchaser of the lots could approach the City to seek re-zoning subsequent to their sale however this would be subject to a new assessment process. The table below suggests that a total of up to 41 dwellings could occupy both lots under the current zoning.

Option 1 – Current Zoning	
Potential Dwelling Yield	<ul style="list-style-type: none"> • 7 Single Houses, Grouped or Multiple Dwellings on Lot 8 based on area of 2656m² and average permissible site area per dwelling of 350m² under Table 1 of the R-Codes (R25). • Does not take into account the potential requirement to provide an internal vehicle access way or an open space contribution. <p><u>AND</u></p> <ul style="list-style-type: none"> • 34 Multiple Dwellings on Lots 1 & 2 based on total area of 1477m² and a plot ratio of 0.7 as per Table 4 of the R-Codes for R-AC3. • Assumed average apartment floor area of 85m²
Permitted Building Height	<ul style="list-style-type: none"> • Lots 1 & 2: 11.0 metres permitted as-of-right as per Schedule 8 of LPS4 (Fremantle Local Planning Area), potential increase to 15.0 metres. • Lot 8: 6.0 metre wall height and 9.0 metre roof ridge height.

The advantages of this option are that it retains the status quo and addresses the interface concerns expressed by landowners to the north by retaining the density and zone interface internal to the site. It also allows disposal of the lots without further delay or resource allocation to development of the scheme and policy provisions which would be necessary to address community concerns expressed during advertising. The disadvantage is that the yield outcomes are sub-optimum from a broader strategic perspective, and the split zoning presents a design challenge to creating a coordinated development.

Option 2 - Low Density Residential (R25)

A majority of submissions received made mention of a desire to maintain a low density residential character on the east side of Quarry Street (i.e. Residential R25). Submitters argue that an adequate height transition has already been accounted for under the current planning scheme (within the Mixed Use Zone on Queen Victoria Street) and that a lower density development on these lots will ensure a less significant impact on established character, and better complement the surrounding residential areas more broadly. Comment was also made that a low density coding could better facilitate development of alternative dwelling types, other than multiple dwellings, which in turn would assist with housing diversity close to the City Centre.

A rezoning of all lots to Residential R25 would effectively mean that the largest lot (Lot 8) would retain its current zoning, whilst Lots 1 and 2 would be 'downcoded' from Mixed Use R-AC3. Rezoning all three lots to Residential would also result in No. 7 Quarry Street (Lots 1 and 2) being excised from the Local Planning Sub Area 2.3.1, which relates to the

Mixed Use zone only. The following table provides a summary of the potential development outcomes if this change were to proceed.

Option 2 – Residential R25	
Potential Dwelling Yield	<ul style="list-style-type: none"> • 11 Single Houses, Grouped or Multiple Dwellings based on total area of 4133m² and average permissible site area per dwelling of 350m² under Table 1 of the R-Codes. • Does not take into account the potential requirement to provide an internal vehicle access way or an open space contribution.
Permitted Building Height	2 storeys (6m external wall and 9 metre roof ridge or 7 metres for a concealed/flat roof)

The advantages of this option are that it responds to the majority sentiment expressed in submissions and applies a consistent zoning across the lots, facilitating coordinated redevelopment. The disadvantages are that it provides a low yield for an extremely well located site and is inconsistent with state and local strategic imperatives. It is possible that it would be refused by the Minister for this reason. This option is not recommended for these reasons.

In relation to housing diversity, as of 2016, 60.7% of housing stock in the City was separate dwellings, with only 10.1% high density. Whilst new development provided for under current zonings is likely to increase the proportion of high density to some degree, concerns about an absence of lower density housing options are not sustained if considered beyond a very localised context.

Option 3 - Mixed Use Zoning with Residential R25 base code (potential bonus density to R60 under Clause 4.2.5 of LPS4)

Continuing on the previous scenario of Residential R25, another option Council could consider is a Mixed Use zone for all three lots, with a base coding of R25. This reflects a desire expressed in submissions for a lower-density development outcome on the site, whilst also acknowledging the Mixed Use zoning of the surrounding area.

Whilst a base coding of R25 would result in a similar dwelling yield to Option 1, the addition of Mixed Use zoning would give potential for Clause 4.2.5 of LPS4 to be triggered. This clause provides the ability for residential density to be increased to R60 (i.e. a bonus density) where residential land uses form part of a 'mixed use' development. A development which takes advantage of this clause would need to satisfy the Scheme definition of 'Mixed Use' development, as well as address the criteria set out in *Local Planning Policy 2.21: R60 Development under Clause 4.2.5 of LPS4* which Council adopted earlier in 2018. LPP 2.21 provides additional assessment criteria for developments seeking R60 bonus density, and contains provisions which are aimed at reducing the amenity impacts associated with medium-density development in areas which are traditionally lower-density.

As such, this option makes use of an existing local planning mechanism and could ensure a more responsive development outcome on site within a recognised transition area, compared with a standard residential development assessed mostly under the R-Codes. This, in turn, may assist in addressing some of the local amenity concerns outlined in submissions.

The table below outlines that in the order of 34 multiple dwellings could theoretically be accommodated based on the deemed to comply plot ratio provisions of the R-Codes for R60, however this does not factor into account the requirement to provide a non-residential land use within the development and the 7.5m as-of-right height limit prescribed by the scheme, meaning the practical number of dwellings would most likely be less than this. Variations to building height could be considered on a performance basis against the discretionary criteria listed in *Cl. 4.8.1 of LPS4* however the theoretical yield is still considered unlikely to be realised.

Option 3 – Mixed Use (Residential R25) with potential for R60 bonus density	
Potential Dwelling Yield – assuming criteria to achieve R60 bonus density are satisfied	<ul style="list-style-type: none"> • 34 Multiple Dwellings based on total area of 4133m² and a maximum plot ratio of 0.7 as per Table 4 of the R-Codes for Residential R60. • Assumed average apartment floor area of 85m². • Residential must form part of a Mixed Use development i.e. a non-residential component must form at least 25% of the total floor area of the development. • Grouped and Single Dwellings also possible at R60 density, number of dwellings dependent upon gross lettable area of a development proposal. <p><u>OR</u></p> <ul style="list-style-type: none"> • if criteria for R60 bonus are not achieved, same yield as Option2 above.
Permitted Building Height	7.5 metres permitted as-of -right as per Schedule 8 of LPS4 (Fremantle Local Planning Area)

It is noted that the maximum dwelling yield of lots 1 and 2 under the current R-AC3 coding would be 34 dwellings, as outlined in the Option 1 table. This is, coincidentally, the same number of dwellings which could be potentially accommodated across all three lots under an R60 density scenario.

This option could be seen as striking a better balance (compared to Residential R25) between Council's strategic aims for this area and the recognised need to provide a more sensitive transition between higher density and lower density development. In saying that, achieving the higher R60 density under this scenario is dependent upon a development providing a non-residential component comprising at least 25% of the gross floor area of the development, meaning a purely residential development could not occupy the site under this scenario. This could be viewed as a drawback, particularly within a strategic locality earmarked by the City for predominantly *residential* development, and considering the depth of the site. The use of Cl. 4.2.5 as an assessment tool, along with the Mixed Use zoning, would restrict the site's flexibility for styles of development other than 'Mixed Use', disproportionate to its favourable location in proximity to the City Centre, existing amenities and transport. As such, progressing with the option of Mixed Use (R25) is not recommended.

Option 4 - Continue As-Advertised – Mixed Use (R100)

Council has the option to continue with the amendment as-advertised. This scenario represents the highest residential density of all options outlined in this report and has the potential for up to 60 units.

Option 4 – Mixed Use (Residential R100)	
Potential Dwelling Yield	<ul style="list-style-type: none"> • 60 Multiple Dwellings based on total area of 4133m² and a maximum plot ratio of 1.25 as per Table 4 of the R-Codes for Residential R100. • Assumed average apartment floor area of 85m². <p><u>OR</u></p> <ul style="list-style-type: none"> • 34 Single Houses or Grouped Dwellings based on total area of 4133m² and average permissible site area of 120m² under Table 1 of the R-Codes. • Does not take into account the potential requirement to provide an internal vehicle access way or an open space contribution.
Permitted Building Height	<ul style="list-style-type: none"> • 11.0 metres permitted as-of -right as per Schedule 8 of LPS4 (Fremantle Local Planning Area), potential increase to 15.0 metres. • Reduction to 7.5 metres where adjacent to single houses to the north and east.

In addition to the consolidation benefits, the key advantage of this scenario is that it provides something of a transition or graduation in density and building height from the zoning to the west and south, and that to the north. This approach was intended to facilitate an appropriate transition and was recognised as an important development outcome in the previous Council report on this proposed amendment.

Notwithstanding this intent, submissions received during consultation raised concern with the potential impact of new buildings on established residential amenity, citing increased building height, reduced boundary setbacks and potential for privacy and shadowing impacts as key concerns. The absence of real (as opposed to zoned) redevelopment potential for some lots within the sub-area for heritage reasons is also acknowledged. Design concerns could be at least partially addressed through further refinements to the proposed zoning controls and the development of further sub-area design standards in LPP 3.1.3. This represents arguably the most desirable planning outcome, but would be resource intensive to administer. It is also probable that residual concerns would remain in the community irrespective of the extent of design control established.

There is also the possibility that a future purchaser/developer would in any event redevelop the site at a density lower than the maximum permissible under the zoning due to market conditions (i.e. in the current market, development of townhouses might be more financially viable than a multiple dwelling development). This could negate the potential planning benefits of applying a higher density coding. A submission received through the consultation process also mentions this possibility.

Option 5 – Other Zoning and Residential Density Combinations

A range of other Residential and Mixed Use zoning scenarios between R40 and R80 (yielding between 29 and 48 dwellings) have been considered but do not demonstrate any significant advantages over the above, and retain many of the underlying concerns (of either compromising yield in a strategic location, or of impact on street character and residential amenity). As such, these are not discussed, though could be further reported if Council wished to explore these alternatives.

Other Matters

Traffic and Parking

Comments were received during consultation expressing concern in regard to traffic and parking impacts. Traffic modelling of the local road network was undertaken by consultants Aurecon for the City in 2016 and provided the City with forecasts of the possible road upgrades required over the years to accommodate growth associated with the planned redevelopment within the City Centre. The City will continue to monitor traffic flows within the locality and will implement upgrades and improvements as the need arises.

Parking impacts would be assessed by the City at development application stage, in accordance with the relevant requirements of the R-Codes and Local Planning Scheme No. 4. Applications for development on the sites would be subject to review by the City's Technical Services directorate to assess vehicle access, safety and movement from a development proposal. Availability of on-street parking is likely to be a growing concern throughout the city as it consolidates, with pro-active management likely to be necessary.

Trees and Vegetation

Comment was made in some submissions regarding the potential to retain mature trees within the sites as part of a future redevelopment. This is desirable and could be reinforced as such through amendments to the Precinct 3 policy, or could be defined through private agreement, but would require assessment of the trees and a greater understanding of their current health and growth habits before it could be recommended.

Some comment was also made in regard to connections through the site to Fremantle Park. Established connections already exist 150m to the north, via Barnett Street, and south, from Parry Street. Given the close proximity of these to the subject site, there would not be a significant planning benefit in introducing a further connection to the park through this site and it is not, therefore, recommended.

Summary and Conclusion

In summary, Council has three basic options for further action on the proposal, taking into account the community engagement responses:

- 1. Initiate the amendment in its current form, i.e. as advertised in preliminary consultation and outlined in Option 4;*
- 2. Initiate a modified amendment that addresses the community's concerns, whilst considering the strategic location of the site, as outlined in Options 2, 3 and 5; or*
- 3. Not initiate the amendment and dispose of the sites with their current zoning under the Local Planning Scheme as outlined in Option 1.*

Whilst the location and strategic planning imperatives prompt progression of rezoning which optimises use of the site and addresses context and interface through tailored design controls, the extent of community concern and the investment likely to be necessary to develop a responsive framework are significant. Whilst 'compromise' zonings may provide a less complex path, the strategic benefits they yield are also lesser. The cost-benefit of each option is to some degree subjective but on balance, officers recommend not proceeding with any form of scheme amendment, and retaining the current zoning and density coding of all lots.

The matter of terms for disposal of the two subject properties is recommended to be the subject of a separate report to the Finance, Policy, Operations and Legislation Committee once Council has resolved whether or not to proceed with an amendment to the local planning scheme based on the information presented in this item.

VOTING AND OTHER SPECIAL REQUIREMENTS

Simple Majority Required

OFFICER'S RECOMMENDATION

Council:

- 1. Note the submissions received during preliminary engagement on the potential amendment to Local Planning Scheme No. 4 to amend the zoning of 7 & 9-15 Quarry Street, Fremantle.**
- 2. Resolve to not proceed with the initiation of a scheme amendment for 7 & 9-15 Quarry Street, Fremantle at this time.**
- 3. Request preparation of a separate report to the next appropriate meeting of the Finance, Operations, Policy and Legislation Committee regarding disposal of 7 & 9-15 Quarry Street, Fremantle under the current zoning.**

**ATTACHMENT 1 - Schedule of Submissions – Preliminary Scheme Amendment
Quarry Street - Submission Period: 3 September 2018 – 10 October 2018**

**Schedule of Submissions – Preliminary Community Consultation
Submission Period: 3 September 2018 – 10 October 2018**

1	Private citizen
<p><i>I would suggest that in keeping with Fremantle local plan strategy and forward development, the highest dense use, mixed use zoning be applied to be in keeping with the surround to be compatible with the higher density residential and commercial mixed used zoning.</i></p> <p>Residential density and land use considerations are addressed in the officer report.</p>	
2	Private citizen – Owner/Occupier of nearby property - Fremantle
<p><i>Fremantle in general is not capable to welcome and supply the facilities required for high densities. Quarry St is already overbuilt for a small street. With 165 apartments finished down the road, parking is a problem. The rubbish collection, once a week, is not sufficient. The recycle collection once a fortnight, also not sufficient. The swimming pool carpark when overfull cars park in the street causing congestion in the area.</i></p> <p><i>Centrelink clients on Queen Victoria, use Quarry St to carpark their vehicles, in Quarry St along the proposed area. Also, when purchasing the unit I live in, we were assured that across the road from 10 Quarry would never be build.</i></p> <p>Traffic impacts of existing and future development were considered as part of a previous Scheme Amendment to re-zone Queen Victoria Street and its surrounds to Mixed Use. Furthermore, traffic modelling has also been undertaken to determine the upgrades required to the local road network over the coming years to support planned redevelopment within the City Centre. The City will continue to monitor traffic flows within the locality and consider upgrades and improvements as required.</p>	
3	Department of Communities
<p><i>The Department of Communities thanks the City for the opportunity to comment on the proposed scheme amendment for Lots 1, 2 & 8 Quarry Street. Communities supports the proposal to standardize higher density R100 zoning across the three sites to ensure a consistent built form outcome. In addition to our support, we present the following comments for your consideration.</i></p> <p><u><i>Housing Density and Infill</i></u> <i>Communities supports the proposal to increase density across the three sites to medium-high density (R100) and acknowledges that the proposal represents efforts to consolidate urban through increased density within the City Centre. The Perth and Peel @ 3.5 Million land use planning framework set a target of 380,000 dwellings in strategic infill positions by 2050, and an additional 7,030 dwellings in the City of Fremantle. The proposed scheme amendment reflects these intents and is well in line with current strategic infill strategies. The sites are in close proximity to the City centre, and are well serviced by the Fremantle Train Station and surrounding retail, commercial and public open space land uses. The proposal therefore reflects the aims of Perth and Peel @ 3.5 Million to provide opportunities for higher-density residential development around activity centres and station precincts.</i></p> <p><u><i>Provision of Affordable Housing</i></u> <i>Communities would like to ensure that provisions are put in place to ensure that this proposal does not negatively impact housing affordability in the area. As an affordable housing provider and advocate, we encourage the City to promote the delivery of a range of affordable housing opportunities to cater for an inclusive and connected community as per the Department's Affordable Housing Action Plan 2017-2018 to 2019-20 (AHAP). Specifically, we encourage the City include actions to investigate planning (i.e. plot ratio and height bonuses, site area and parking concessions) and non-planning options (i.e. cash-in-lieu programs, development of its land) to facilitate, incentivize and increase the</i></p>	

<i>supply of affordable housing within the City.</i>	
The City has been proactive in the space of providing alternative and affordable housing within the community. This particular scheme amendment has not focused specifically on provision of affordable housing. Land use and zoning considerations are addressed in the officer report.	
4	Private citizen – Owner/Occupier of nearby property – Fremantle
<i>I am totally against the rezoning of this area to R100. At the time the plan for the east end was discussed it was agreed that the side of Quarry Street backing on to Queen Victoria Street should be higher density. However, the other side, which is primarily residential was to remain low density and low height. I see no reason to change this now. The proposed change to allow higher density and greater height would have a deleterious effect on residents in that area and I wish my opposition to be noted.</i>	
The proposal, as advertised, seeks to facilitate a more responsive built form transition than what is provided for under the existing planning scheme, where high density residential (R-AC3) abuts low density residential (R25). In saying this, concerns raised regarding height of development are acknowledged and are expanded upon in the officer report and recommendation.	
5	Private citizen – Owner/Occupier of nearby property – Fremantle
<i>I don't agree with this amendment R100 for Quarry St because it should stay low to protect and preserve the many heritage homes and we already have high building it's enough large lot create more traffic and noise large lot block view</i>	
The proposal, as advertised, seeks to facilitate a more responsive built form transition than what is provided for under the existing planning scheme, where high density residential (R-AC3) abuts low density residential (R25). In saying this, concerns raised regarding height of development are acknowledged and are expanded upon in the officer report and recommendation.	
6	Private citizen – Owner/Occupier of nearby property - Fremantle
<i>Parking is a huge ongoing concern in this vicinity and we have limited parking permits for street parking -which has hours restrictions and where one can park their car. This is really not viable for anyone who lives in that complex or in that vicinity (and we have asked and continue to ask Kindly for City of Fremantle to review this situation and make these street parking permits available for all tenants with unrestricted hours/location conditions).</i>	
<i>Building Heights; it is also important to keep the existing set heights for new buildings-this needs to stay consistent not only for aesthetics reasons but for environmental reasons as well (as the City of Fremantle has set certain height restrictions on previous building developments for a reason) and this would be Unjust if higher heights were approved for this development alone (or future ones).</i>	
<i>So if these developments/rezoning is to go ahead, we ask you that adequate parking for the number of lots are created (within the lots and not provide them with street parking permits as this is already under so much pressure).</i>	
<i>Currently people avoid coming to Fremantle because they say parking "is a pain" and they can't be bothered driving ages to find a parking spot or they don't want to park miles away from their meeting point/or place of residence for some (this is not because of walking but more of a safety concern), so if this is a consistent past and present complaint-how is this issue going to be solved as the City of Fremantle is trying to develop the area and attract a lot more visitors, businesses and residents?</i>	

We love Fremantle so much that we have invested in the area but as the area develops the growing concern about local community and visitors is that the parking is a huge problem. A solution in this area is needed and long overdue!

As much as development and growth of Fremantle is vital for a prosperous new future, these rezoning's/new developments need to ensure that they provide a solution to this parking problem and not add to the existing pressure.

We thank you for time and trust that you will take our concerns raised here today very seriously and we would so love to see a prompt response in addressing the parking issues within this vicinity and the entire of Fremantle.

Can the City of Fremantle advise us when this problem will be addressed/fixd? Active Action plan is needed.

On another point in regards to new developments plans-it would be great to see the City of Fremantle build (or promote/approve) more 5 Green Star buildings and take a more serious approach to recycling like some other cities in the world are...as I believe that Fremantle has the right community to follow and embrace this.

Car parking will be assessed upon submission of a development application for the sites, however generally compliance with car parking is assessed against the Residential Design Codes of WA (for residential development) and Local Planning Scheme No. 4 (for commercial development). All car parking for the development would need to be provided for within the site and not on the street. Further comment on these matters is provide for within the officer report.

7 Private citizen – Owner/Occupier of nearby property

I have lived the same address for 28 years and I think we should have more people live in the inner City of Fremantle but not at the cost of more high rise. The southern side of Quarry Street should have a maximum 3 storey height restriction, and with 7 Quarry Street, what's wrong with a bunch of 2 storey town houses which blend in better that high rise?

Submissions regarding height concerns have been considered in the officer report and key concerns noted regarding the potential impact of new buildings on the subject lots.

8 Private citizen – Owner/Occupier of nearby property

The south side of Quarry St should stay low density residential. There are already plenty of empty blocks on the north side of Quarry St and on Queen Victoria Ave that could be used for high density/above 7.5m properties should the demand for high density residential arise

Submissions regarding height concerns have been considered in the officer report and key concerns noted regarding the potential impact of new buildings on the subject lots.

9 Private citizen – Owner/Occupier of nearby property

The rezoning is not appropriate for what is a residential street with a lot of historic houses. The new Defence high rise flats in Quarry Street are a disgrace and an example of sloppy workmanship to provide the slums of the future. Take a look, already the rust is leaching through the cement. To start building high rise on the south side of the street with today's most grotesque architecture and poor building standards would be a travesty. Your buildings which are there are not that old but have to come down they are the cheap nasty results of previous planning. Come on Freo planning department look at quality of layout style and building which is what this heritage city attracts visitors to. Quantity with rezoning and pursuit of short term profit are ruining this city.

The City has an operating Design Advisory Committee (DAC) which provides proponents with professional advice on building design and function. Larger scale developments within the Mixed Use zone would normally require mandatory consideration by this Committee.

Submissions regarding height concerns have been considered in the officer report and key concerns noted regarding the potential impact of new buildings on the subject lots.

10 Private citizen – Owner/Occupier of nearby property

It was unfortunate a baugruppen development did not get approved as would have been in keeping with other council initiatives close to residential areas. Given the coding changes that seem imminent I would at least hope current vegetation is incorporated in any design as trees are a natural resource Fremantle dearly needs. Prior to rezoning it should be clarified that the existing trees on lots 9-15 which abut the green space are actually on the A Class reserve and hence are to be kept. The placement of these trees would be of considerable interest to any developer who would want to develop the site as views to the park would be ideally wanted to maximise potential value. I would hope that these trees are protected at all costs. Although I live outside of the precinct my intentions are to move to Fremantle shortly

Whilst the City has not undertaken a formal feature survey of the boundary line between the Quarry Street site and Fremantle Park, the City's GIS information shows that the fencing to the child care centre is most likely out of alignment with the true boundary line (cadastre), and projects into the Parks Reserve. This would mean that the trees adjacent to the fence line are located within the reserve and not within the land subject to this potential amendment to the planning scheme.

11 Private citizen – Owner/Occupier of nearby property

The main concern we have with the proposed development is the total overshadowing of the historic old house situation on the South end of the development. Their western light must already be very limited with the height of the buildings on the other side of the road and their north light will be totally gone if the building height is 7.5 metres height to the edge of the space.

We would object strongly to buildings of a greater height than the 7.5m proposed. This gives a bit of a step-down from the extreme height of the Liv construction on the west side of Quarry Street.

If the scheme/sale can protect this aspect there is no good reason, as we see it why 3/4 storey development should not be undertaken on this site.

The impact of potential building height on shadowing of surrounding properties has been taken into consideration in the assessment of this preliminary scheme amendment. Further detail is provided in the officer report.

12 Private citizen – Owner/Occupier of nearby property

No to R100. Save pockets of Fremantle that are already residential in atmosphere and design. Those that have heritage properties need to be protected. Neighbouring developments that do not match the existing area create an ugly effect and dominate low rise buildings. This Quarry St area needs to remain as is with no tall or dominating high density apartment buildings.

The existing area surrounding the subject sites contains a number of building styles of different heights, designs and eras, although the single residential character immediately to the north and east is acknowledged. Further background detail is included in the officer report.

13 Private citizen – Owner/Occupier of nearby property

I agree in principle to the re-zoning of the lots, such that they can be amalgamated and developed together. However, I do not agree to the proposed R100 zoning due to the following reasons:

1) Quarry Street (on Queen Victoria St side) has already been extensively re-zoned to RAC.

This is now meant that there is already provision for multiple apartments buildings along that street; some of which has been built. There is no need for even more apartments along this road. There are several other areas, closer to the town centre (for example the disused and graffitied woolstore warehouse on Cantoment St) which are crying out to be developed into apartments; and are better suited for it. They are closer to public transport too. This will help Fremantle achieve it's in-fill quotas.

2) There is already an oversupply of apartments in Fremantle. Apartments generally attract young singles and couples; or people on the other end who may wish to downsize. They do not appeal to young families, like me. Children need outdoor space to thrive and while families in apartments may be the "norm" may be in Europe, this is not the Australian way of bringing up children. Prior to purchasing my property, I spent nearly a year waiting for a "family house", or small vacant block to come up within walking distance to Fremantle. In the end I purchased this and have spent 2 years developing it into a 2-story family house with a garden.

3) This leads me onto an additional point about demographics. A healthy community has a mixture of houses and people. We need more family-friendly building blocks in Fremantle, otherwise we will end up being the next West Perth- high-rise, faceless and family-less.

4) The set-back concessions in the proposal are meaningless. I can live with the 4-story side, but it's the 7-story side upon Queen Vic St which is more than 50m from my property that casts a shadow over my garden and completely invades my privacy. Allowing more, such high buildings so close to residential will only serve to degrade the area. The 10m exclusion zone will not help those people within the vicinity as there WILL be shadowing and overlooking.

5) Traffic will almost certainly increase along Quarry Street. Trying to turn out onto James Street is already difficult at peak times, and that is even before the full opening of the LIV apartments/businesses.

6) Streetscape between 3 and 17 Quarry Street. The problem with allowing a R100 development between is that it will look ridiculous. Both 3 and 17 Quarry St are heritage residential buildings; and having a large apartment complex juxtaposed between these two beautiful houses will look very strange. This side of Quarry Street contains multiple buildings of heritage significance and should be left residential to enable the character of these properties to remain intact. One should remember; these beautiful old buildings are a big reason why people like coming to Fremantle, so we should be celebrating them; not killing them in the shadows.

7) Consider R25 zoning. I would recommend that 7, 9-15 Quarry Street; (as well as 3 Quarry Street) are all re-zoned as R25. I did a little rough sketch and one could easily put between 8-10, 250-300m² properties upon there. The ones with park-views would sell at a premium and Fremantle council would easily make \$4 million-plus from the sale of these parcels.

The officer report discusses various options forward and provides commentary in relation to the housing typologies which might be most appropriate for these sites, being in close proximity to the City Centre of Fremantle. Valuation considerations have not been taken into account in this planning assessment. Building height and setback concerns have been considered and discussed further in the officer report. Traffic and parking concerns are noted; a future development will be bound by the requirements of the City's planning scheme and the Residential Design Codes of WVA in this regard.

14 Private citizen – Owner/Occupier of nearby property

My parents bought our combined properties some 60 years ago. In that time, we have seen development proposals from the City of Fremantle for the area bound by Quarry, Barnett and Shuffrey Streets including:

- 1. Council purchased a considerable number of properties in Barnett Street for a road development;*
- 2. When there was a change of mind about the road development Council subdivided the properties at 12 to 20 Barnett Street to create 10 Barnett Street, 11 Shuffrey Street and the multiple dwellings at 14 Barnett Street; and*
- 3. Private sub-divisions then occurred at 9 and 1 Shuffrey, Fremantle Press land in Quarry St and 6 Barnett Street.*

Clearly infilling has already occurred in this precinct and Council itself has set a precedent for the nature of development, maintaining the area as low-density residential. The construction of the additional dwellings has been sensitive to the heritage environment of the area which includes the Fremantle Arts Centre. The current zoning of Lot 8 at R25 also supports the low-density vision for this precinct. Consequently, we are opposed to re-zoning Lot 8 and amalgamating it with Lot 1 and 2 to a high-density zoning R80 to R100 for the following reasons:

- 1. The proposed rezoning will result in a development which will be totally out of character with the rest of the precinct and will be insensitive to the character of the existing dwellings that make up this community;*
- 2. All the properties on the boundary of the proposed development will lose their privacy and become "public open space". The excessive height from the proposed rezoning will result in a development towering over Barnett Street creating shadows and an eyesore;*
- 3. The excessive height will create a wind tunnel in Quarry Street reducing the amenity of the street for pedestrian travel by residents and tourists alike;*
- 4. The rezoning will result in a building towering over Fremantle Park causing over-shadowing and reduce the use of park by our adjoining schools, sporting bodies, residents and the public. Importantly, more trees will be removed.*
- 5. The proposed development will further increase traffic congestion in Quarry Street – an issue my family also raised in response to the LIV development which went unanswered. We note that all the traffic from the combined new apartment buildings all flow into Quarry Street.*

An additional high-rise development will increase the amount of traffic, further deteriorating traffic conditions in an area with high pedestrian traffic from residents and tourists; Increasing the density of Lot 8 and amalgamating it with Lot 1 and 2 to a high-density zoning R80 to R100 mixed use represents poor planning, is inconsistent and insensitive with the character of the existing low-density residential precinct. It certainly does not provide a transition from high to low density housing. Importantly, it provides more of the same residential options and an over-supply of mixed use activities evidence throughout Fremantle. Instead, Council has the opportunity to create a low-density residential development consistent with the existing precinct providing families and individuals of all ages with the opportunity of providing a range of residential options which will continue to create a vibrant and diverse community. In conclusion, we support maintaining the density of Lot 8 at R25 and rezoning Lot 1 and 2 to R25, and the amalgamation of the lots at a R25 zoning for residential purposes only.

The impact of potential building height on surrounding properties has been taken into consideration in the assessment of this preliminary scheme amendment. Further detail is provided in the officer report. Traffic and parking concerns are noted; a future development will be bound by the requirements of the City's planning scheme and the Residential Design Codes of WA in this regard.

15	Private citizen – Owner/Occupier of nearby property
<p><i>I oppose the proposal to extending the mixed-use zoning already applicable to Lot 1 and 2 to include Lot 8, with uniform medium-high density (R100) residential coding applied to all three lots.</i></p> <p><i>I understand the attraction of consolidating the three blocks and would support a proposal involving extending the low-density (R25) residential zoning already applicable Lot 8 to include Lots 1 and 2, with uniform low-density (R25) residential coding applied to all three lots.</i></p> <p><i>I believe that the heritage significance of Fremantle is being undervalued. This small enclave should be supported by similar low-density housing around it because:</i></p> <ol style="list-style-type: none"> <i>1. There is a natural boundary created by Quarry Street to differentiate between the mixed use zoning and residential zoning (not withstanding that there is already a high-density development planned for the old SEC Heritage building). Further high-density zoning should apply to the NW side of Quarry Street only.</i> <i>2. Quarry Street is too narrow to handle the increased vehicular traffic. There will be very significant bottlenecks when the new LIV buildings are occupied. Best you be prepared for dealing with that before committing to further congestion.</i> <i>3. Quarry Street is highlighted by the City of Fremantle as the main pedestrian tourist pathway to the Art Centre and Army Museum. A concrete canyon with increased (the already evident) wind tunnel effects will be avoided by tourists.</i> <i>4. Generally city planning allows for a buffer of intermediate zoning between low and high density housing, partly for aesthetics and partly for compatibility of use. This will be ignored if high-density (R80-100) is adjacent to the heritage residences at numbers 3, 17, 19, 23 Quarry Street and numbers 5, 7 and 13 Barnett Street. The heritage council itself states of No. 3 Quarry Street "The place contributes to a substantially intact late nineteenth and early twentieth century streetscape close to the centre of Fremantle."</i> <i>5. There are sufficient old and new high-density developments nearby and being planned. Many of these are likely to be unoccupied (or unbuilt) for many years as evidenced by the delays in the Wool Stores conversion and Angora site.</i> <p>The City has reviewed a number of possible density options available for the lots. Further details are provided in the officer report. Traffic and parking concerns are noted; a future development would be bound by the requirements of the City's planning scheme and the Residential Design Codes of WA in this regard.</p>	

16	Private citizen – Owner/Occupier of nearby property
<p><i>I am a resident of Fremantle who lives close to the impacted area where the City of Fremantle proposes to amalgamate Lots 2, 1 and 8 on Quarry Street to create a 4133m² block with a mixed use or residential zoning of R100. If this rezoning proceeds it will lead to a dramatic increase in residential density along the eastern side of Quarry Street at its southern end. This will negatively impact Fremantle Park and those residents and homeowners living in the vicinity. Residents backing on to the rezoned block will be looking up at 5 story apartments as their background view and a 7.5m wall on their immediate block boundaries. The impact of the increased traffic in Quarry Street has yet to be seen with the LIV development yet to be occupied. To have a third development in Quarry Street would be very unwise. The rezoning seems very open to interpretation therefore I do not want Lot 8 to</i></p>	

have its zoning of R25 increased to high density R80-R100. Firstly, Lots 1 & 2 should be rezoned R25 and then I will give my permission to amalgamate the three blocks.

The City has reviewed a number of possible density options available for the lots. Further details are provided in the officer report.

17 Private citizen – Owner/Occupier of nearby property

I am against the proposal to combine lots 1,2 and 8 on Quarry St into a single large lot and the rezoning of this single lot into Mixed Use. The intent of the proposal is stated as "is to improve the transition between higher density mixed use development and existing lower density residential dwellings, as well as eliminating the discrepancy in zoning across the lots." In my view, this proposal would do the opposite. A singular high rise building of mixed use on these combined lots, would create a jarring transition between existing residents along Barnett St. To eliminate "the discrepancy in zoning across the lots" and "improve the transition" I would propose making all the lots R25 residential. This would create a uniformity in almost all the lots in the triangle between Shuffrey St, Fremantle Park and the south-east side of Quarry St. Fremantle Park is one of the largest remaining green areas in the region and I don't think having an imposing high rise building up to 15m height butting up against the park boundary is appropriate

Submissions regarding height and density concerns have been considered in the officer report and key concerns noted regarding the potential impact of new buildings on the subject lots.

18 Private citizen – Owner/Occupier of nearby property

I understand the need for higher density zones to provide for increased numbers of residents in Fremantle, but the current proposal would result in significant increases in height and loss of open space; this would be detrimental to Quarry Street which has significant heritage value and to the amenity of residents now living there.

The Mixed Use zoning and associated conditions should be confined to the north-west side of Quarry Street, and the new amalgamated block zoned for low density residential use only.

I understand that the local precinct members have discussed this issue; it is important that the Council respect their views.

The concerns and comments raised in submissions and from the precinct group have been taken into consideration in the assessment of this scheme amendment and options forward. Further detail is provided in the officer report.

19 Private citizen – Owner/Occupier of nearby property

I would like to object to amendments of zoning of buildings at the same height... I believe that 'in keeping' with existing structures and heritage buildings surrounding and next door to lot 7 (childcare centre) it would be more fitting and aesthetically pleasing to have the buildings staggered to the height of 11m... I think the current proposal is suitable, also residents in adjacent areas will be able to maintain their aspect... please do not create more 'big blank concrete walls'

Submissions regarding height and density concerns have been considered in the officer report and key concerns noted regarding the potential impact of new buildings on the subject lots.

20 Private citizen – Owner/Occupier of nearby property

The lots are located in a low density residential area bordering on Fremantle Park and containing heritage houses. Fremantle Council's proposal to amalgamate the three lots provides a great opportunity to maintain and restore the residential zonings of these lots. The potential to create a low density residential village here with lots of shared open green space would enhance the aesthetics and liability of the south east part of Quarry Street and

encourage families with children. It would provide a much needed contrast to the very imposing high rise high density zone on the west side of Quarry Street. Amalgamation is fine if it is zoned low density residential with no mixed use.

Submissions regarding height and density concerns have been considered in the officer report and key concerns noted regarding the potential impact of new buildings on the subject lots. Further discussion is provided within the officer report.

21 Private citizen – Owner/Occupier of nearby property

We live close by to this area (16 Barnett Street). Whilst we do not have an issue with the amalgamation of these lots (Lots 1,2 and 8 Quarry St) we believe that whole area should be zoned low rise residential (R25). A medium to high rise zoning (such as R100) is not in keeping with existing heritage listed residential properties (majority single story) adjacent to this site and in the immediate area. A high rise development in this location would also significantly overshadow Fremantle park which is a shared recreation area. There is already significant existing and planned high rise development on the north side of Quarry Street and in the Match development on Parry Street. We do not feel that further high rise development in this area would be beneficial to our community.

Submissions regarding height and density concerns have been considered in the officer report and key concerns noted regarding the potential impact of new buildings on the subject lots.

22 Private citizen – Owner/Occupier of nearby property

I understand the need of this city, along with all modern cities to increase density, as well as, to be frank, its ratepayer base. At the same time Fremantle has the imperative to build on its attractiveness as an international tourist destination and maintain its charm as a Heritage City. Last, but by no means least, it surely must nurture its unique and very vibrant community. It is this rich and diverse community, along with its history, that defines Fremantle. It is this rich and diverse community that is at the very heart of Fremantle's attractiveness as a tourist destination and its charm as a heritage city.

Some time ago, I heard a developer describe Fremantle as 'a theme park opportunity'. I am neither anti-development nor developers, but include this reference to sound a note of caution as the people of Fremantle and our representatives in the City tread the very fine line between optimizing development opportunities and creating a city that represents the very best of its very special community's hopes and expectations.

I therefore ask that the City reviews and rejects its current proposed scheme amendment to Lots 1, 2 and 8 on Quarry Street. The resulting amalgamation will create a disproportionately sized 4133m² block should it be given a mixed use or residential zoning of R100. Such a rating risks a massive impact on this sensitive zone between the city proper and the Fremantle Arts Centre for the following planning reasons:

High-density development on the eastern side of Quarry Street will isolate, dominate and dwarf the diverse heritage architecture in the vicinity including Quarry, Barnett, Shuffrey and Ellen Streets. It will significantly impact the available open space look and feel of the area and increase shade especially in the winter months. Given the existing high-density developments at 10 Quarry Street, LIV and the pending five storey Match development, it will create a ring of high-rise buildings of disproportionate scale on this well used pedestrian thoroughfare to the Fremantle Arts Centre. It will reduce the architectural mix which gives this area of the Fremantle Arts Centre Precinct its character, create shade and wind issues and increase the wind-blown rubbish on the street. The exponential increase in traffic on Quarry Street will inevitably cause traffic flow and parking problems at the entrances to Parry and James Streets. I note that LIV is recommending the use of on street parking and the Fremantle Leisure Centre carpark for residents' visitors.

All of the above will in turn will negatively impact the Fremantle discovery experience of tourists using the Fremantle Tram (which points out the heritage buildings in this area) or accessing the events and concerts at the Fremantle Arts Centre. Quarry Street and its tributaries will be in danger of becoming one more high-rise entrance to the City.

The City's current proposal will create outlooks of some five storey apartments and, potentially, seven and a half meter walls on some residents' boundaries. The addition of a high-density mega-block will have a negative impact on those residents in heritage homes squeezed by high-rise development on every side. Furthermore, experience shows that residents cannot rely on proposed height and density guidelines, with additional height and increased density apparently signed off, with no consultation, on the basis of supposedly superior construction.

As a resident who uses the Fremantle Park daily I am particularly concerned about the impact of the proposed high-density, mixed-use mega-block on this precious green space. I note that Fremantle was recently highlighted in a report in The West Australian as one of Perth's cities with the fewest trees. Clearly the development will not enhance this status.

Similarly concerning is the potential for deep shade across this section of the park. I was struck with the impact of shade on Quarry Street by the LIV development, eliminating some two hours of daylight sunshine. The significant development potential of the zoning could be not only fifteen, but a massive eighteen meters high. Such towering height would – setback or no setback - severely reduce daylight and sunshine to a park, which services schools, sporting clubs as well as residents from all over the city.

Finally, I recently listened to a presentation from the City during which it was pointed out that the two prime designated areas for increasing density were the Arts Centre Precinct and the area around Target. In response, I believe that the Arts Centre Precinct differs significantly in its residential and heritage base from the Target area. Given the recent LIV and 'Centrelink' developments and the coming Match apartments, I would say the Arts Centre Precinct has contributed significantly to the City's density targets. Extending the mixed use zoning to the east side of Quarry Street is in breach of the previous designation of the north side of Quarry Street as a natural boundary for high density mixed-use zoning.

I have fully support the Fremantle Arts Centre Precinct's recommendation that the amalgamation of Lots 1, 2 and 8 only go ahead if the zoning is residential, similar to the Knutsford development. Such a decision would allow for open space, maintenance of green areas and low impact on local heritage architecture.

With the inclusion of low cost housing and/or innovative community housing would be consistent with the diversity and inclusiveness which drew residents to live in the city and for which Fremantle has been celebrated.

The City has reviewed a number of possible density options available for the lots and a recommendation has been provided accordingly. Submissions regarding height and density concerns have been considered in the officer report and key concerns noted regarding the potential impact of new buildings on the subject lots.

23 Private citizen – Owner/Occupier of nearby property

I am a resident of Fremantle and live within the Arts Centre Precinct and have read the City of Fremantle's proposal to

- *Rezone all three lots to Mixed Use with a density code of R100.*
- *Sell all three lots as a single (super lot) as a single coordinated redevelopment.*

After a great deal of thought and discussion on this important matter, not only with other precinct members but other concerned members (rate payers) in the surrounding areas, I make this submission proposing the following

- *A more harmonious and uniform alternative by rezoning lots 1 & 2 to Residential with a density code of R25 to match that of the existing larger lot 8 (& the greater area).*
- *Amalgamate and sell all three lots as a single (super lot) for a single coordinated redevelopment (see successful Knutsford St Project).*

In support of the suggested alternative I offer the following points for Council to consider

- *The greater area bounded by Barnet St, Fremantle Park and the eastern side of Quarry St is currently zoned residential with the density code R25.*
- *There would therefore be no transition between higher density mixed use and existing lower density residential in this particular precinct area.*
- *This would apply a uniform density code across all three sites and eliminate the existing discrepancy in zoning across the lots.*
- *Could rationalize the City's Local Planning Scheme on lots 1 & 2 for any future redevelopment of the area/site restricted to around 2 storeys and thus conforming and harmonizing with the existing greater area.*
- *This alternative approach would be supported by an overwhelming majority of residents/rate payers in the area, especially those on the eastern side of Quarry St, who are now already experiencing the adverse effects of the recently completed high density projects on the western side of Quarry St.*
- *This approach could leave the City, if it so chose, with a site for sale containing an existing building (an added value) that until recently was operated as a suitable child care centre, a facility which is in a high demand for younger families in the area and in the small to medium business category.*

An additional high rise, high density development in this area will add no further value to the existing level of high density quotas, already achieved, for the City of Fremantle

The City has reviewed possible density options available for the lots. The proposal, as advertised, seeks to facilitate a more responsive built form transition than what is provided for under the existing planning scheme, where high density residential (R-AC3) abuts low density residential (R25). In saying this, submissions regarding height and density concerns have been considered in the officer report and key comments noted regarding the potential impact of new buildings on the subject lots. Please refer to the officer report which goes into this discussion in further detail.

24 Private citizen – Owner/Occupier of nearby property

After the fiasco of J Shed it is apparent that the Council cannot be trusted to maintain the unique environment that constitutes the City of Fremantle. It appears that development at any cost predominates the decision-making processes at Council, and though I appreciate the Council's efforts to enhance the population of the Fremantle, it should be done systematically and sympathetically. Ad hoc arrangements that continue to whittle away at the fabric of our iconic city should not be tolerated. I'm not convinced by Council's arguments and agree with proposals to limit high rise residential areas to the north side of Quarry Street, a boundary that makes sense in terms of the historic nature of the precinct. I agree with proposals to agree to the amalgamation of existing properties, but only on condition that it maintains the low density R25 rating. This would seem an appropriate alternative in the circumstances.

Submissions regarding height and density concerns have been considered in the officer report and key concerns noted regarding the potential impact of new buildings on the subject lots.

25 Private citizen – Owner/Occupier of nearby property

I am opposed to the re-zoning of lots 1, 2 and 8 Quarry Street. The eastern side of Quarry Street and the entire length of Barnett Street contain numerous heritage listed residences, which would be dwarfed by any new R100 zoned development. I appreciate and support the need for greater living density, however I believe medium-high density development should be restricted to the western side of Quarry Street (where there is already significant development either completed or underway), whilst maintaining low density development that is in keeping with the existing heritage buildings on the eastern side of Quarry Street. I support the amalgamation of the three lots, as I believe this area is very well suited to a low density village-style residential development, which would greatly enhance the appeal and liveability of this southern end of Quarry Street. However, to protect the existing heritage houses and character of the area, I believe it is essential that any new development be zoned low density residential.

The strategic location of the site has been considered in the assessment of this proposed amendment, being in close proximity to the City Centre of Fremantle. The City has reviewed possible density options available for the lots with this in mind. Submissions regarding height and density concerns have been considered in the officer report and key concerns noted regarding the potential impact of new buildings on the subject lots.

26 Private citizen – Owner/Occupier of nearby property

I am not resistant to the amalgamation or re-zoning of these lots but I am in absolute opposition to the proposed mixed use or residential zoning of R80-R100.

There are two aspects to the impact of R80-R100:

Firstly, the impact on those houses in Barnett street which back onto the Lots. The number 7 rear outlook is sunny, has sea breezes in summer and has a view of the trees, populated with birds (including a Mo-Poke owl which we hear at night) which run in a strip around the edge of the current lot 8. Other houses in Barnett Street and Quarry Street would have a similar outlook.

If R100 zoning is approved then this outlook will be replaced by a 5 metre (allowing a 2.5 metre drop to the old Child Center level) wall built right to the edge of the boundary. The trees, the birds, the sea breeze, the afternoon winter sun, the pleasant outlook will all be gone – forever.

For Fremantle to be a pleasant place in which to live, the aesthetics and quality of life for the residents should have some bearing and should not be treated lightly. There is no comfort in the possibility of a 'considerate' development here – if a developer is allowed an R100 development then the lot will be developed to the maximum profit potential with no regard to the heritage surroundings, the owners, current and future, of the Barnett Street properties, or the overall effect on the quality of life for residents. This huge development will be irreversible and because of this it must be well considered and based on the overall impact on the Fremantle lifestyle – not on profit for the developer. After all, the developer will almost certainly not live in this area of Fremantle and will be indifferent to the outcome of the project and its long-term effects – his prime concern will be maximizing the R100 zoning potential.

There is the impact too of surrounding a group of heritage houses with a building which will be totally out of context with this area and which will isolate these houses into a small pocket – heritage housing should surely receive an especial consideration here. Numbers 5, 7 and 11 Barnett Street were the residences of Dr. Barnett and staff from the Fremantle Lunatic Asylum and Invalid Depot which dates back to 1864 – these are some of the oldest houses in Fremantle - they deserve some consideration in their treatment – since the developer will not care less, they must rely upon the council for their protection, both now and in the future.

Secondly, other non-trivial considerations:

- *The traffic in Quarry Street and ingress and egress – a difficult enough proposition (into James Street) at the moment and the Liv Apartments are not occupied yet. Adding yet another high density building into Quarry Street will exacerbate these problems tremendously.*
- *The preservation of a heritage area and the overall nature of inner Fremantle – if all we want is another Claremont, or East Perth or Ascot then where is the differential for Fremantle which gives it its charm and tourist potential. In large overseas cities such as Washington and Vancouver the tourist areas, highly popular and well patronized are those which have been maintained in their heritage style – those areas which have resisted over-development and incursion of unsuitable developments.*
- *The 'built to the footpath wind tunnel' effect which has nothing to recommend it, either aesthetically or from a life style point of view. There are currently no designs for the development but an R100 zoning will undoubtedly attract a maximum footprint.*
- *Quarry Street is used as a tourist pathway for visiting the Arts Centre – it should be kept as pleasant as possible and maintain its heritage nature so as to provide a Fremantle unique experience – not just another street of high density units, you can get them anywhere. The implementation of underground power and tree planting of a few years ago improved the street tremendously. Over-development will just detract from this improvement and be a large and irreversible step backwards.*
- *The impact on the park – a monolith building built to the park boundary will be a huge intrusion and detract from the nature of the park as a pleasant, green area.*

Alternative Zoning

A much more reasonable approach would be R25 zoning for these lots. This would still allow for a reasonable development which could be much more in fitting with the current heritage housing and lifestyle. Ideally, for any development, the treed zone around the edge of Lot 8 would be left in place as a 10 metre strip (protected by zoning as park area?) to maintain some inner city green and birdlife – this would maintain the Councils' commitment to ecological benefits and would improve the outlook not just for the current properties but for the occupants of the new units – this would be a design feature for people and override pure financial considerations. A similar 10 metre setback on the park side would also serve to lessen the impact of any development.

Design example

The outstanding design in this area are the Knutsford Street units – we went to look at these, externally, because they were advertised as 'award winning'. They serve almost as an exemplar for good development with low profiles and open spaces. Surely it is not too difficult to envisage a development of this style in Quarry Street.

Alternative site

The Port area where cars are unloaded is an excellent candidate for R100 zoning – it is almost made for it. Waterfront units would be ideally placed for all services, they would not impact tourist pathways as a Quarry street R100 will and they will not impact or detract from heritage housing areas. Why can't this area be pursued as an R100 site – it would, I am sure, be widely accepted and even welcomed by the community at large. Another candidate might be the Fremantle Passenger Terminal. This could be redeveloped as residential units above the passenger reception area – the influx of residents would allow coffee shops/ open green areas and an overall 'welcome to Fremantle' atmosphere which would be a huge improvement on the current area.

<p><i>I think that the Port area should be given <u>strong</u> consideration for R100 zoning to meet Fremantle's planning requirements.</i></p> <p><i>I am not against development projects in Fremantle – I realise that the City needs to attract population growth in order to thrive and to continue to offer a full range of amenities – it must not do so however by detracting from Fremantle's unique character. It is critical to get these developments right because they cannot be undone and one bad development can all too easily encourage more.</i></p> <p>Overall</p> <ul style="list-style-type: none"> • <i>I am opposed to the rezoning of Lot 8 on Quarry as R80-R100;</i> • <i>An overall zoning of R25 would be the optimum outcome for the development of these lots (1,2, and 8) and would be compatible with the area;</i> • <i>The 10 metre treed buffer zone around the edge of Lot 8 should be left in place to maintain a green ecological benefit and presence and demonstrating the council's commitment to the ecology of Fremantle;</i> • <i>Maintaining and protecting the aesthetics, heritage and tourist nature of Fremantle is paramount;</i> • <i>For any development which does occur in this area, the Knutsford Street design should be considered as an exemplar and a design goal, preferably with a two story limit to minimize sea breeze and sun obstruction;</i> • <i>The Port area represents an R80-R100 development potential which far exceeds a Quarry Street development and should be investigated and pursued as a matter of priority.</i> <p>The strategic location of the site has been considered in the assessment of this proposed amendment, being in close proximity to the City Centre of Fremantle. The City has reviewed possible density options available for the lots with this in mind. Submissions regarding height and density concerns have been considered in the officer report and key concerns noted regarding the potential impact of new buildings on the subject lots.</p>

<p>27 Private citizen – Owner/Occupier of nearby property</p> <p><i>I am writing to express my concern over the possible re zoning and amalgamation of Lots 2, 1 and 8 Quarry Street with the view of making high density common zoning. As a resident of Quarry Street well before the East End Development I have already been negatively affected by the loss of sunlight and shadowing from early afternoon, increased traffic and blocked views of skyline and port activities by the huge ugly (mostly unoccupied) buildings that have already been constructed. We were always informed by the Fremantle Council that the high density developments would be restricted to area from West Quarry Street to Beach Street only allowing for the distinct separation for the existing residents- especially as we are situated in a low density residential area bordering on historic Fremantle Park and given that it is a unique pocket of heritage houses. I strongly believe that the new block should be zoned R25 residential use only. We need to maintain and restore the residential zoning of these lots. The potential to create a low density residential area here with lots of shared open green space and maintaining existing trees would enhance the aesthetics and liveability of the south part of Quarry Street. It would also provide a much needed contrast to the very imposing high rise, high density zone impacting us from the west side of Quarry Street. Amalgamation is fine as long as it is zoned low density residential I do not support mixed use on these blocks.</i></p> <p>Submissions regarding height and density concerns have been considered in the officer report and key concerns noted regarding the potential impact of new buildings on the subject lots.</p>

28	Private citizen – Owner/Occupier of nearby property
<p><i>I oppose the amalgamation of lots 7, 9 & 15 proposed by the city for the following reasons;</i></p> <p><i>1. Conflict of interest - In considering this, it is important that Council is cognisant that its role as local planning authority in considering the planning merits of a potential rezoning of land should be undertaken independent from the City's interests as a landowner.</i></p> <p><i>I do not believe there are no financial implications with undertaking preliminary consultation on the potential rezoning of the site. I would not think that the council officers involved did the required work for no remuneration. I cannot accept that the planning principal of the best possible use for the site has been ignored in this case. The council officers preparing the case for the amalgamation are employed by the zoning authority and would have an inbuilt bias to apply this principle to favour their employer and to ignore the disadvantages of the amalgamation. If this principle is applied by the planning authority as owner and developer of these proposed sites it may be applied to the detriment of other important community values such as the preservation of the largely single storey, heritage streetscape of the eastern side of Quarry Street.</i></p> <p><i>2 Inconsistent and Poor Planning - The mixed use zoning incorporates lots on the corner of Parry Street, which acts as something of a perimeter road around the CBD, and at the south-eastern end of Quarry Street (see extract from Local Planning Scheme zoning map below). The definition of the most appropriate boundary between this zoning and the residential area to the east side of Quarry Street is, however, not clear cut. The council officer doing the report has detailed the gradual advance of high density via the mixed use zoning northward along the eastern side of Quarry Street. If this amendment were to apply there would be no transition between high density mixed development and the low density heritage single story zoning on Quarry street. The proposed solution of a small height restriction on the boundary of the proposed amalgamated lot is a very poor. This is illustrated if the LIV is viewed from the entrance to the pool on Suffrey Street. The LIV seems to tower over the surrounds and the part of the building immediately adjacent to Quarry St when viewed from Suffrey St is indistinguishable from the section on Queen Victoria Street. The perception of perspective makes the whole building merge into one tower. I believe if mixed use zoning is allowed over the whole site even with a reduced height adjacent to Fremantle Park the appearance from the park will be that of a towering colossus. Planning has allowed a double storied club house overlooking the park on the east side on Ellen Street. Liv has been built on the north west aspect. I understand the northern aspect of the pool has a mixed use high density zoning. If this rezoning was to be applied the Fremantle Park would be ringed to the east ,southwest ,northwest and north by high density development which I think would damage the vista as seen from the park as the horizon would be partially ringed by buildings. Who wants to go and enjoy the serenity of a green space when watched by 1000 eyes!</i></p> <p><i>3 Conflict with the ONE PLANET STRATEGY - Development of this site as a mixed use zoning allowing development over the whole site would involve removing the tree covering that exists over the 3 present un-amalgamated site. Fremantle park has a small surrounding area of tree cover. Encouraging the removal of the surrounding tree cover on private owned land by allowing 100% plot ratios should be discouraged and adoption of this practice by the city of Fremantle would be in conflict with the One Planet Strategy. If the city intends to sell a property it should do so with the current zoning in place. If the new owners decide to proceed to amalgamation they could apply to the City of Fremantle in an arms length transaction and the City could consider the application applying the appropriate town planning principals with no conflict of interest. Please note that I oppose this amalgamation and I believe an R25 code should be applied across the whole site if amalgamation is to be considered.</i></p> <p>Submissions regarding height and density concerns have been considered in the officer report and key concerns noted regarding the potential impact of new buildings on the subject</p>	

lots.	
29	Private citizen – Owner/Occupier of nearby property
<p><i>My approach to this proposal is to use the City's own words, 'Fremantle's unique character is captured by its landscape, heritage, architecture, music and arts etc.' It is appreciated the City wishes to facilitate higher density housing to ensure the economic well being of the City and this has been tackled by having new apartment accommodation along Queen Victoria St. and the west side of Quarry St., and the considering of development in other areas including Strang St in Beaconsfield. Certainly apartments could be built in arteries into Fremantle such as High, South Streets and Hampton Rd. which would probably meet with approval from the City's residents. What is definitely not acceptable is medium/high rise apartments in sensitive areas such as the West End and areas where there are heritage buildings and residences, because to my mind, this is sheer vandalism and is not in accord with your notion of Fremantle, as expressed in my opening sentence. Though I support the amalgamation of Lots 2, 1 and 8 into a block provided it is R25 for residential use only, as we are in need of family homes as well as apartments. The latter must be constructed in appropriate areas...and this site which is surrounded by heritage housing is not one of them.</i></p> <p>The mixed use and heritage fabric of the immediate area is acknowledged. Submissions regarding height and density concerns have been considered in the officer report and key concerns noted regarding the potential impact of new buildings on the subject lots.</p>	
30	Private citizen – Owner/Occupier of nearby property
<p><i>The best interface between low density heritage homes and infill residences is the same interface. No to an R100 mixed use amalgamation, but yes to rezoning to R25 residential for lot 2, 1 and 8 in order to create a harmonious streetscape, opportunity for diversity, and more greenspace connecting Fremantle park with Quarry street. There are 7 low density, single storey homes and Fremantle park directly interfacing with the proposed amalgamated R100 high density mixed use lot. The interface to the southeast would be 4 storeys or 15 metres abutting and towering over a Victorian heritage listed residence regardless of that lot's current zoning. To the Northeast with zero metres setback from the boundary for the first 10 meters at 7.5m height increasing to 15 metres, the proposal further obtruding on another six single storey residences backyards. These heritage homes will be losing their backyard, their privacy, hours of daylight and direct sunshine (solar energy) due to the height of the abutting, at least 4 storeys tall structures. Lot 10, a heritage home that is over 100 years old would be encroached along the side and on the back boundary with 0 metres setback, essentially walling the property to the east and south. These heritage buildings are built of limestone rubble - not blocks, vibration and earth movement this close to the property will almost certainly result in damage to the structural integrity of the building. The heritage listed low height homes lots 10, 9, 2, 1, 3, 4, 3-4, 23, 24, 25 and 26 to the northeast and lot 3 to the southeast will remain low height low density for a very long time and the interface needs to be based on the northeast and the southeast to avoid a sudden change in character at zoning boundary, which is low height, low density. It is clear that lots 2 and 1, as well as lot 3 (Victorian home) are an anomaly in current zoning and the best possible outcome will be to rezone these to R25 to fit in with surrounding properties on this low density side of Quarry Street and create a harmonious streetscape that includes connecting the street to the park by providing the greenspace such a zoning provides. Further considering that amendment 38 has created opportunity for 2500 people to infill the East End mainly in apartment style dwellings and that these opportunities have not been exhausted by far, a low density lot on the park side of Quarry Street would create opportunity for more diverse housing e.g. families and co-op's to complement and enrich the current offering on the northwest side of Quarry Street.</i></p> <p>The strategic location of the site has been considered in the assessment of this proposed amendment, being in close proximity to the City Centre of Fremantle. The City has reviewed possible density options available for the lots with this in mind, however the mixed use and</p>	

heritage fabric of the immediate area is also acknowledged. Submissions regarding height and density concerns have been considered in the officer report and key concerns noted regarding the potential impact of new buildings on the subject lots.

31 Private citizen – Owner/Occupier of nearby property

I want to add to the precinct comment that has been forwarded to you. I agree with what they have put forward.

Comments noted.

32 Private citizen – Owner/Occupier of nearby property

Lots 2, 1 and 8 are situated in a low density residential area bordering on Fremantle Park and containing heritage houses. Fremantle Council's proposal to amalgamate the three lots provides a great opportunity to maintain and restore the residential zoning of these lots. The potential to create a low density residential village here with lots of shared open green space would enhance the aesthetics and liveability of the south part of Quarry Street. It would also provide a much needed contrast to the very imposing high rise, high density zone on the west side of Quarry Street. Amalgamation is fine as long as it is zoned low density residential with no mixed use.

The strategic location of the site has been considered in the assessment of this proposed amendment, being in close proximity to the City Centre of Fremantle. The City has reviewed possible density options available for the lots with this in mind, however the mixed use and heritage fabric of the immediate area is also acknowledged. Further comments on options forward are provided within the officer report.

33 Private citizen – Owner/Occupier of nearby property

Note – attachments referenced in the following submission can be made available for the perusal of elected members upon request.

Given local opposition from a neighbourhood that has already accommodated hundreds of new dwellings, with numerous sites available for further intensive development; the WAPC is likely to give the application very careful consideration. This could take some time to finalise.

Assuming rezoning 9-15 Quarry Street made it possible for 50 dwellings along with up to 300sqm street front commercial space, I do not believe it would provide an appropriate return.

While the financial implications of a rezoning may not be a consideration when the City of Fremantle undertakes scheme amendment and planning decisions, where there is a significant impact on its own finances the City has a responsibility to recognise as much.

This would be especially true when the amenity of local ratepayers is a consideration and the value of realised assets could be applied more productively. For example, I understand the City's Knutsford Street holding will require an expensive remediation.

In my view, a simple seven-lot survey-strata subdivision of 9-15 Quarry Street is worth significantly more than a rezoning would produce. Attached is a diagram, a basic feasibility and current sales evidence to support this opinion.

The apartment market is likely to be oversupplied for the foreseeable future, while small residential lots in strong locations have little competition.

Retaining the existing height restrictions on residential lots at 9-15 Quarry Street would also generate additional value for the apartments eventually constructed on 7 Quarry Street.

The MNG diagram also proposes a public access from Quarry Street to Fremantle Park, which would add further value to 7 Quarry Street while benefitting the wider community.

Generating those 7 lots would only require a WAPC survey-strata application. Thereafter they could be sold individually. These sales would be subject to demolishing the day-care centre, subdividing and servicing the lots.

While the City may not be a developer, this would be simple exercise requiring minimal investment but add substantial value. Consultants acting in the City's best interest can facilitate this.

The attached feasibility and sales evidence suggests 7 lots on 9-15 Quarry Street could realise \$3,500,000 after costs, with the proceeds available in 12-18 months.

At current values a 50-unit residential development on that site would net approximately \$2,700,000. With the proceeds are unlikely to be available for at least three years, assuming the WAPC approves the change.

Furthermore, the additional value available to 7 Quarry Street from the low-density development at 9-15 Quarry St could be as much as \$750,000.

Once 9-15 Quarry Street was successfully rezoned, the City could create a site for 80 or more dwellings over the two properties. This could provide economy of scale savings and hopefully some appreciation.

In the current market, I estimate rezoning the site could reduce the City's return by \$1,500,000.

These projections are based on current sales evidence and include the input of strata title and land subdivision specialists.

Local ratepayers would undoubtedly welcome seven new homes on that site under its existing zoning, given their neighbourhood already has accommodated substantial change.

This would provide a strong buffer to the traditional Fremantle homes to the northeast and would include a significant canopy from trees lining the common property and within the individual lots of 9-15 Quarry Street.

Also, the two lots fronting Quarry Street would offer ideal home-occupation opportunities. While 300sqm may not seem a lot, a two-storey building at the street front would provide significant parking at the rear.

I have been a strong advocate for activating Fremantle with more people, where appropriate.

Developed separately 7 Quarry Street could contain between 30 and 40 apartments with up to 300sqm of street front commercial or mixed-use space. I would note the property has a 40m frontage while 9-15 Quarry Street is only 23m.

The dwelling yield at 7 Quarry Street will depend on market support for small and more affordable apartments or larger units popular with owner occupiers. While the market is well supplied, I expect larger apartments will find more support over the next few years.

There are properties owners in central Fremantle, including some who have purchased over the past few years, who would want to see their sites developed as soon as the market supports further development.

Given 9-15 Quarry Street's ideal park side location, it would clearly go to the front of the queue.

Finally, I believe the additional funds available from the prompt sale of seven lots at 9-15 Quarry Street would allow the City to support other initiatives which addressed its affordable and sustainable housing policies.

Comments noted. Potential values from different density and subdivision scenarios have not been factored into this planning assessment. Various options forward however have been considered in the officer report; with comments received during consultation factored into the assessment and recommendation.

34 Private citizen – Owner/Occupier of nearby property

I do not agree with the proposal to amalgamate Lots 1, 2 and 8 into one large 4133m² block with a mixed use R80/R100 zoning. I do accept that there are potential opportunities to be gained through amalgamation such as more efficient use of the site when developed, but the resulting block should be zoned low density residential. The site is in a very sensitive area with significant frontage along Fremantle Park. It shares the boundaries with many heritage single story dwellings including the heritage house at 3 Quarry Street where our family lives. By maintaining the low density zoning of Lot 8 and restoring low density residential zoning to Lots 1 and 2, the south-eastern side of Quarry Street up to the Leisure Centre Parking lot would comprise a cohesive low density largely residential area with a consistent mass, scale and feel.

High density mixed use development should be confined to the large urban consolidation precinct on the north-western side of Quarry Street extending to Beach Street. There is an anomalous pocket of mixed use area at the south-eastern end of Quarry Street which includes 12 Parry Street, but based on what has been approved on the 12 Parry Street site, ie, a five story apartment building built to the back boundaries of 1, 3 & 5 Quarry Street, this is not a good example of compatibility with the surrounding neighbourhood and Fremantle Park. If such a project was approved within the proposed amalgamated block, Fremantle Park could be surrounded on two sides by a continuous wall of four story apartments. (Figure 1) Heritage houses at 3, 17 and 19 Quarry Street and 5, 7, 11-13 Barnett Street and the non-heritage house at 9 Barnett Street would be directly impacted by a 7.5m high building built potentially on their block boundaries and by structures of greater height beyond the 10 metre transition zone from their lot boundaries. This would result in a mismatch of mass, density and height radically changing the character of the neighbourhood.

The Central Sub-Regional Planning Framework-Central Sub Region March 2018, Parts 1 and 2 Report outlines the forward plan for the Central Region of Perth with regard to residential infill targets and preferential infill precincts. It also refers to the dangers of infill developments as follows: "there have been many examples where infill developments have been designed inappropriately and resulted in an interference of the existing residential character. This conflict manifests itself in terms of building materials, scale, and destruction of the continuity of street frontages." (Central Sub-regional Planning Framework, 3.5, Design, page 21) The last two points are particularly relevant to the proposed amalgamated block in Quarry Street and what has already been approved at 12 Parry Street. Mass is a real potential issue as evidenced by the five story Match apartments approved to be built right to the block boundary of the single story heritage house on 3 Quarry Street, and potentially able to be built on high density rezoned Lots 1, 2, & 8. Continuity of street frontages on Quarry Street would likely become compromised if rezoning allows a LIV type

three story plus building between the single story heritage houses at 3 and 17 Quarry Street.

The best way to ensure a development with a sensible scale, mass, and adequate open space compatible with the surroundings is through sensible zoning. A great example where sensible zoning has resulted in an outstanding residential development compatible with its surroundings is the Knutsford project. (Figure 2) It was designed within the guidelines of a low to medium density residential use R-code zoning. If a low density residential use R-code is assigned to the proposed amalgamated block in Quarry Street, it would more likely lead to a superior design outcome with sensible height, mass and open space more sympathetic to the adjoining heritage rich, low density, and residential neighbourhood.

The strategic location of the site has been considered in the assessment of this proposed amendment, being in close proximity to the City Centre of Fremantle. The City has reviewed possible density options available for the lots with this in mind, however the mixed use and heritage fabric of the immediate area is also acknowledged. Further comments on options forward are provided within the officer report.

35 Private citizen – Owner/Occupier of nearby property

We are residents of Fremantle and do not agree with, or support, the proposed amendment regarding Lots 1, 2 and 8 Quarry St to create a single consolidated block and rezoned R100 so as to allow medium-high density usage.

We would prefer the blocks be consolidated into a single block and rezoned uniformly R25 for residential use only.

A zoning of R100 would allow a high density building of significant height and mass to be constructed. The consolidated block size would approximate that of the LIV apartments and would likely be of a similar imposing construction. Such a building would have a number of disadvantages, including the overshadowing of a part of Fremantle Park and adjacent residents, having an adverse impact on the privacy of residents in the area, and for residents next door the construction high perimeter walls.

An R25 zoning would be consistent with the majority of the area on the south side of Quarry St to Shuffrey St and so would maintain the integrity of the street and its streetscape. A consolidated Lot 1, 2 and 8 block zoned R25 would allow some 15 or so blocks to be created for single dwellings. A number of dwellings on the south side of the street are heritage listed; this gives the street a particular and historical character – which would be adversely affected by large and overbearing R100 construction. Such a building would detract from the presence of heritage and architecturally interesting aspects of the south side. An R25 zoning would essentially maintain the interest and advantage.

The Leisure Centre car park, accessed via Shuffrey St (and from James St), contributes to the volume of traffic on Quarry St. This volume will be increased by the LIV apartments. An R100 zoning for Lots 1, 2 and 8 would add further to the volume of traffic and will affect parking, and vehicle and pedestrian safety. With regard to pedestrian safety Quarry St is used by Leisure Centre patrons, local residents, LIV apartment residents, students from John Curtin College, people attending exhibitions, concerts and events at the Fremantle Arts Centre, and sightseers.

The reasons why the City wants to rezone the blocks are unclear. It seems to be on the basis of budgets and infill but the documents we have seen do not contain any specifics as to financial outcomes of infill detail or requirements. Similarly there is no evidence, of which we are aware, of any public request or appetite for the rezoning.

The north side of Quarry St has been zoned as high density and this should remain. The Street's south side should be retained as R25 low density residential. This will continue the zoning intentions that seem to have developed over time - high density north and low density south. The street acts as a transition space between the high and low.

The Fremantle Tourist tram route includes Quarry St and shows tourists some of the City's inner-city heritage buildings. A high density apartment building at the streets south side western end would not enhance the tourist experience in any way.

The City supports a greening of its environment. The plans of Lots 1, 2 and 8 show a number of trees on the blocks and on the surrounds. A high density development would likely remove all the majority of the trees.

We do not support, or agree with the City's proposals for Lots 1, 2 and 8 and would prefer the blocks be consolidated and rezoned uniformly R25 for residential use only.

The strategic location of the site has been considered in the assessment of this proposed amendment, being in close proximity to the City Centre of Fremantle. The City has reviewed possible density options available for the lots with this in mind, however the mixed use and heritage fabric of the immediate area is also acknowledged. Further comments on options forward are provided within the officer report.

36 Private citizen – Owner/Occupier of nearby property

We do not support the amalgamation of Lots 1,2 and 8 for the purpose of creating a common zoning if the final R Zoning is high density (ie greater than R60). The new block should be zoned R25 residential use only. High density development should be restricted to area from West Quarry Street to Beach Street only.

The mixed use and heritage fabric of the immediate area is acknowledged. Submissions regarding height and density concerns have been considered in the officer report and key concerns noted regarding the potential impact of new buildings on the subject lots.

37 Private citizen – Owner/Occupier of nearby property

There has always been an aim to increase density in the Fremantle East End. This fact is not disputed. However both the method and the results have not been as successful as previously suggested. A mid density buffer zone will not exist with rezoning of Lots 1, 2 and 8 Quarry Street to higher than two levels. R100 zoning will only lead to the obvious error of the height being allowed on the wrong side of the street.

There was some relatively good work done eight years ago to encourage and ensure an appropriate transition zone from the port to the park. This directly involved both sides of Quarry Street. The planning allowed for Beach Street and Queen Victoria Street height with reductions through to Quarry Street in order to protect the original housing of the precinct and, in particular, the park.

The park is a public green space. With large development the park becomes less public and more private space. Access by residents, sporting activities and use by the neighbouring schools will be impacted.

The Urban Forest report and developed with CSIRO data shows that the suburb of Fremantle scores quite poorly. The inner city vegetation that would be removed to accommodate more blocks of developer profit is criminal. Surely quoting environmental considerations at this point should be preaching to the converted, in view that your role is planning for the future. Is it possible that the actual open space plot ratios of 10 Quarry Street, Liv Apartments and M/27 do not meet the requirements of their zoning? It seems so.

Mixed use is not required on the park side of Quarry Street. The commercial and retail areas of Queen Victoria, Parry and Adelaide Streets more than suffice need. It is a short distance to the retail opportunities of the city centre. As mixed use suits large scale development and can be varied without regard to neighbouring and adjacent properties it should be considered that there is little requirement for such zoning on the south east side of Quarry Street.

In the small enclave bordered by the park, Quarry and James Street are mostly heritage buildings. Zoning above R40 will prove incredibly little regard and respect for the overshadowing and privacy of these heritage listed homes. The primary example here is the allowances at Match M/27 in Parry Street in relation to its neighbour at 3 Quarry Street. Housing in inner Fremantle is losing its current diversity. There are extremely limited opportunities for family homes / townhouses. The proposed rezoning of this acreage will lose the chance to provide a much sought after type of real estate. Current and near future projects in the area already involve apartment blocks consisting of an abundance of 2x2 dwellings. This is called an oversupply.

The City of Fremantle obviously have a conflict of interest as land owners. Rezoning for developer's dollars instead of acting as the Ratepayers' elective representatives is questionable. Rethinking and transparency is required as it is obvious that high rise is not suitable to this side of Quarry Street.

Potential values from different density and subdivision scenarios have not been factored into this planning assessment. Various options forward however have been considered in the officer report based on planning merit; with comments received during consultation factored into the assessment and recommendation.

38 | Precinct Group Submission

Residents and homeowners in the Arts Precinct are very concerned about the proposal by the City of Fremantle to amend the planning scheme for Lots 2, 1 and 8 in Quarry Street in Fremantle to facilitate the amalgamation of the three separate blocks into one large 4133m² block with a common high density zoning of R80-R100 mixed use or residential. (Figure 1) The outcome of this proposal would be a further incursion of high density zoning north-eastwards up the southeast side of Quarry Street.

In 2014 Fremantle council rezoned Lot 1 from low density R25 to high density R-AC3. Rather than interpreting the pre-existing R25 zoning of Lot 1 as an anomalous zonation one could equally and more logically interpret that Lot 2 (mixed use R-AC3) is the anomalous zonation. The east side of Quarry Street is a low density area characterized predominantly by single and occasionally two storey residential dwellings and townhouses all along its length from 3 Quarry Street to Shuffrey Street, past Ord Street to Burt Street. It is for this reason and others that will be provided in more detail later in this submission that the Arts Precinct are united in their recommendation to support the amalgamation of Lots 2, 1 and 8 in Quarry Street, but only on the condition that the resulting large amalgamated block is zoned low density residential eg. R25. The positive outcome of this action would be the reversion of the south-eastern side Quarry Street back to its previous low density residential status and the creation of a more homogeneous, common low density neighbourhood up to Shuffrey Street. In this way Quarry Street would then act as the transition zone separating high density mixed use development to the northwest from low density residential development to the southeast as opposed to the City of Fremantle's proposal of imposing a more intrusive transition zone within the south-eastern side of Quarry Street.

Quarry Street provides a critical buffer line separating a sensitive, heritage rich, low density, residential area adjacent to the magnificent Fremantle Park to the southeast, from a high

density mixed use area that ultimately will be dominated by multi-story apartments, ground floor commercial, and for the most part devoid of green open space to the northwest. The southeastern side of Quarry Street is special as it is characterised by single dwellings most of which are original heritage houses, and it also borders the heritage listed Fremantle Park. It is for this reason that it is very important that this low density open space rich theme continues along the southeastern side of Quarry Street, and at the very least there should be no more encroachment of mixed use high density to the northeast. Amalgamation of Lots 2, 1 and 8 would create a 4133m² development area that would be comparable in scale to the approximate 4900m² block on which the imposing high density LIV development was recently built. Large blocks can provide efficiencies for development but also can easily be wrongly utilised by enabling the creation of uninterrupted mass and height with lack of shared community open space. A high density type of development placed in this sensitive area would be totally incongruent with the character of the surrounding community.

Fremantle Park is the heart of the southeastern side of Quarry Street, Barnett Street and Shuffrey Streets. It is widely used by the Arts Precinct residents, dog walkers, students of the local schools every day, sports teams etc. It would be very sensitive to any development. Already approved and waiting on adequate pre-sales is Match's five story apartment building proposal on Parry Street that when completed will result in a continuous wall (four floors) overlooking half the eastern side of Fremantle Park. (Figure 2) If Lot 8 in Quarry Street is rezoned to R80-100 and amalgamated with Lots 2 and 1, an uninterrupted four story wall of apartments would most probably be built along half the northern side of Fremantle Park. (Figure 2) The impact of this will be multifold. Overshadowing along the northern perimeter of the park would be very significant particularly in winter. The aesthetics of Fremantle Park would be materially degraded. Currently there are a lot of mature trees adjacent to the Park particularly on Lot 8 that would likely be removed.

Six dwellings adjacent to the amalgamated block would be most directly affected by a high density R80-R100 zoned development. (Figure 1) A proposed 10m buffer zone around the northern side of Lot 8 restricting building height to 7.5m may address height issues close to the adjoining residential properties but would not address the mismatch of density between the existing low density residential area and the likely high density development on the amalgamated block. In addition a potential 7.5 m wall at the side or back boundary of existing heritage houses would not be very imposing and ill-fitting. The adjacent R25 neighbours have a plot ratio of 0.5 compared to a proposed R100 of 1.25, that would be a 150% increase in density. Restricting height along the buffer zone would also not prevent four to five story buildings from being constructed adjacent to the park perimeter and in the centre of the amalgamated block. The R-Codes allow for a height of 15m at the top of the pitched roof of dwellings before any special allowances for additional height. Another negative impact of a change in zoning for the amalgamated block would be the ability to build three story facades fronting on East Quarry Street all along the amalgamated block from Lot 2 to the north end of Lot 8. This would irreparably transform the southeastern end of Quarry Street to a corridor of shade and wind with three story facades on both sides of the street. Preserving the southeastern side of Quarry Street's low density and small scale character would be a far superior plan as it would dramatically lessen the impact of the eventual high density development all along on the northwestern side of Quarry Street. A mixed use zoning is emphatically rejected on the basis that this part of Quarry street up to Barnett Street and beyond is dominated by low density residential living. Equally important is the fact that all but one ie. ten of the low density dwellings surrounding the proposed 4133m² block are heritage listed. (Figure 3) Another critical reason is the ease with which R-code guidelines can be modified within mixed used areas, allowing changes such as additional height and density with lack of open space. A perfect example is the recently completed Centre Link building on 10 Quarry Street which although zoned R-AC3 which allows for a plot ratio of 2.0, actually was completed as a project with nil open space and a plot ratio closer to 4.0. Another important reason to oppose an expanded high density area

in east Quarry Street is the fact that there is more than adequate high density mixed use zoned areas to the west of Quarry Street as far as Beach Street which are currently underutilized.

We have emphasized how excessive density contrast would impact very unfavourably on the R25 dominated neighbourhood bordering the City of Fremantle proposed high density amalgamation site. There are however other potentially impactful consequences of further high density encroachment. The cumulative effect on traffic of adding a large high density development at the southeastern end of Quarry Street to the recently completed LIV development and the Centre Link apartment building on 10 Quarry Street would be huge on Quarry Street. Traffic congestion will further increase as more high density buildings are constructed on the northwestern side of Quarry Street. Parking is at a near critical stage now and this is even before the LIV building has been occupied. There is also an oversupply of residential units designed for singles and/or seniors that are either just completed or planned in the area. This evidenced by the plethora of vacant building sites around inner Fremantle indicative of a lack of demand for such high density types developments. There is on the other hand a real shortage of lower density type residential accommodation for families in this area. This would requires 3-4 bedroom size dwellings with sufficient open space for kids to run around.

Tourism is very important to the economic health of Fremantle and thematic history rich promenades play a vital role in enticing visitors to sightsee in Fremantle. One well used Fremantle tourist promenade is a walk up Adelaide Street to Quarry Street passing Saint Patrick's Cathedral on the way past the Dux Building, the Leisure Centre to the Arts Centre. It is a heavily travelled route by pedestrians and regularly used by the Fremantle Tourist Tram. Imagine the sense of starkness and cold when visitors venture northwards up Quarry Street past three stories plus buildings towering above them on both sides of the street and having to brave the development induced winds and overshadowing on their way to the Arts Centre.

A low density residential zoning such as R25 for an amalgamated block of Lots 2, 1 and 8 would provide a great opportunity for the Fremantle council to champion the creation of a residential development that could be really special, sustainable and act as a model for future community oriented residential villages. A co-operative community feel would truly benefit not only the new residents within the development, but those existing neighbours adjoining and surrounding the site. Multiple access points to Fremantle Park are important as well as shared open space, and communal facilities built particularly for families with kids, not primarily for singles and retirees. In talking with residents from the Arts Precinct and beyond there is a real need for the building of inner city residential complexes that cater to people with children as there are many families in outer suburbs that would prefer to live closer in.

A perfect analogue for a low density residential development on an amalgamated Lots 2, 1 and 8 block is the award winning Knutsford project which integrates largely low density, shared open space, and sustainability in an urban village setting. (Figures 4 &5) The Knutsford site has been planned to perfection around a series of dissecting laneways and courtyards. The laneways allow cars to be hidden deep within the centre of the development and provide liveable areas and outdoor patios which could engage, in the case of Lots 1, 2 and 8, with Fremantle Park and Quarry Street. The crucial element that allows for this groundbreaking design is low density zoning which requires 45-50% open space.

The Knutsford site is composed of both low density R35 and medium density R60 zones. An amalgamated 4133m2 block zoned R25 in Quarry Street could easily accommodate a Knutsford style development but with a density more compatible with the existing surrounding residences. Another positive for a Knutsford style development is the ability to

cater to families with kids and pets. There is a real lack of new family friendly dwellings in the Southeast Quarry, Barnett Street neighbourhood despite an urgent need for such houses. On the other hand there is a glut of 1-2 bedroom family unfriendly high rise units with lack of open space recently constructed or on the drawing board, all of which are competing against each other for scarce buyers before construction can proceed.

The final reason for not rezoning the proposed amalgamated block to R80-100 is the great opportunity cost of what could have been possible. Fremantle is unique in Australia and it is just that uniqueness that must be preserved and that is under threat on a number of high density fronts. Let us make South Quarry Street the place where a quality, low density, family oriented development sets the benchmark for ideal family friendly living in inner Fremantle. Knutsford has set the bar high for the outer suburbs of Fremantle, it is now time for South Quarry Street to show what is possible adjacent to the city centre. This is only possible if the city of Fremantle sets the appropriate ground rules for development in this area by amending the planning scheme for Lots 1, 2 and 8 to an overall R25 zoning, thereby fostering development more compatible with its surroundings.

Recommendation and Summary

The Arts Centre Precinct are united in their recommendation to support the amalgamation of Lots 1, 2 and 8 in Quarry Street, but only on the condition that the resulting large amalgamated block is zoned low density residential such as R25. The reasons for this recommendation are summarized below:

- Quarry Street is the logical dividing line separating high density to the northwest across Queen Victoria Street to Beach Street from low density heritage residential to the southeast to Fremantle Park
- The expansion of high density mixed use zoning from both the northeast and southwest along Quarry Street ie. across the Leisure Centre car park and from Lots 1 & Lot 8 is essentially shrinking and isolating a sensitive low density residential area.
- The neighbourhood east of Quarry Street is heritage rich with many of the residential dwellings contained on the heritage list
- Fremantle Park forms a vital part of this area and any high density zoning changes would compromise its use and aesthetics
- A change to a Mixed Use or a high density R-Code zoning of R80-100 would permit developments of up to 7.5m height right to all the boundaries of the amalgamated block to the detriment of seven residences to the northeast and southwest and Fremantle Park to the southeast
- The creation of a large high density development comparable to the LIV building would result in major traffic problems on Quarry Street
- Parking problems on Quarry Street would become critical
- Juxtaposition of high density (R80-100) to low density residential would lead to incompatibility of mass, scale and height soon to become apparent when the Match development on 10 Parry Street proceeds with its 18.5m high (5 story) walls standing directly on the boundary with the heritage listed house on 3 Quarry Street
- Overshadowing of Fremantle Park is also a probable outcome if a 4 to 5 story building is permitted on the amalgamated block
- If Fremantle Council is looking to increase the total area of high density zones in Fremantle then it would be more optimal to seek out other areas in Fremantle that are not as sensitive to rezoning changes as the South East of Quarry St.
- This neighbourhood in Fremantle is special, heavily utilized and visited by locals, international tourists, schools and sports teams. It must be preserved.

The strategic location of the site has been considered in the assessment of this proposed amendment, being in close proximity to the City Centre of Fremantle. The City has reviewed possible density options available for the lots with this in mind, however the mixed use and heritage fabric of the immediate area is also acknowledged. The officer report goes into

further detail regarding various options forward taking into account the comments submitted above. Further comments on options forward are provided within the officer report.

39 Private citizen – Owner/Occupier of nearby property

I fully support the submission of the Arts Centre Precinct. The South East side of Quarry St from Parry St to James St is the single residential transition zone to Fremantle Park. During that time much work was done to reverse the spread of mixed use throughout this residential heritage precinct. In more recent years we have seen many improvements as a result of that far-sighted planning.

Appropriate development of lots 1,2 and 8 (say R25 group housing) would bring us much closer to completing the jigsaw. To paraphrase your spokesman in the West Australian property pages today "we need more housing options".

We already have two blocks of high rise apartments on the North West side of Quarry St. More apartments than those in the pipeline are not urgently required and MUST be appropriately located. Let's keep the South East side with its many heritage buildings low rise and residential.

Comments noted, refer to response to previous submission above and to the officer report.

40 Private citizen – Owner/Occupier of nearby property

I am not happy with the proposed rezoning of the area once occupied by a child care centre and a youth centre. Child care and youth are an important part of our community and added diversity to the area. We need to maintain the possibility of such diversity although in a different way. Having young families and retired people living in proximity means a better community.

The possibility of more high rise development in this area does not seem appropriate to me.

I am looking for somewhere similar to the development on Tom Uren Place where my husband and I could live so we can continue to walk to the Arts Centre, the Leisure Centre, Cafes, films, trains and buses. We do like taking part in community activities and enjoy the vibrancy of Fremantle where we have lived for over thirty years.

I do not want to live in a high rise development. Climbing stairs is good for fitness but not good if something were to go wrong! Power failures do happen and multistorey buildings dependent on lifts can be a problem.

I also feel trees and garden are significant for the environment as well as our mental and general health. A little garden for each plot can make a huge difference. Let's keep some green in Fremantle.

Developing small residential blocks with a building height of two levels would seem to be the ideal development on this side of Quarry Street and I am personally interested in such a development.

More high rise may or not be necessary in the total Fremantle plan but keeping diversity in different precincts is important.

The mixed use and heritage fabric of the immediate area is acknowledged. Submissions regarding height and density concerns have been considered in the officer report and key

concerns noted regarding the potential impact of new buildings on the subject lots.

41 Private citizen – Owner/Occupier of nearby property

I support the overall thrust of the Arts Centre Precinct submission titled: 'Submission Re: Proposed Scheme Amendment to Lots 2, 1 and 8 on Quarry Street, Fremantle' that I understand was submitted by Mr Michael Purves.

My submission questions the rational of rezoning to allow a high density, boundary to boundary development opportunity immediately adjacent to Fremantle Park and to heritage-listed buildings.

As a result of my own experience living and working in Vancouver, the Gold Coast and other high density urban locales, I have no problem with high density development per se. I recognise the many benefits that result from well located, designed and managed housing and mixed use developments. However, I recognise that the successful integration of density into an existing urban area depends fully on the scale and mass of the development and its connections and nexus with its structural and functional context.

In other words, does the proposed rezoning and subsequent development fit in the location and does it relate well with its neighbours?

What would such development contribute to the area? What negative impacts might it impose? Would it be a development that contributes to the well-being of people who live in and use the area? Would it attract people to the area because of its design or some other features? Or would the development merely take advantage of the area without contributing any value in terms of opportunities for social interaction, architectural or aesthetic attraction, fascination, environmental quality or economic vitality?

There are a few elements to this consideration and analysis:

- How can the area be characterised?*
- What development will be permitted by the proposed rezoning (use and density)?*
- What impacts (positive and negative) would this type of development contribute to the area?*

The area around the rezoning site comprises high density housing and other commercial uses on the other side of Quarry St, single family dwellings on both sides and various types of recreation in Fremantle Park. Considering its context, this location is part of a transition strip between high density private use (across Quarry St) and low density public use (the park) that is used extensively throughout the week and year both formally and informally.

Thus the proposed rezoning area borders entirely different urban elements across at least three factors:

- The kind of physical development (multiple story buildings across Quarry St to no or only low buildings in the park and single family dwellings on either side),*
- The nature of use or activity (multiple use across Quarry St to non-motorised physical and social activities in the park and family activities in adjacent buildings) and*
- The nature of the users (entirely private across Quarry St and in the family dwellings to entirely public in the park).*

The proposed development needs to demonstrate a transition on all of these elements, to effectively signal that the scale and nature of uses is changing and to fit in with its context. The development also needs to contribute in some way to its neighbours and the streetscape, indeed it needs to be a good neighbour.

By contrast, the proposed zoning appears to enable the type of high density recently built on the other side of Quarry St to be constructed abutting both the park and all other neighbours. Rather than being part of a transition zone, it would become an intrusion.

The impacts of establishing high density uses immediately adjacent to Fremantle Park will have both medium and long term impacts and implications. In the medium term, residents and possibly workers in businesses in the new building will overlook the park and its users, especially in the playing field next to the development site. Currently, school kids and others use the park with relative confidence that they are not under watch or surveillance – a rare value within the developed parts of Fremantle or any city. In addition, park users may lose a sense of open space gained because there are currently no substantial buildings on the boundaries of the park. The sky and the fields dominate perception and experience. For these and other reasons I believe that placing a substantial building on the boundary of the park would have negative impacts on park users.

Similarly, there appears to be little effective amelioration of impacts on adjacent residential housing. Nor does it appear that a development on this site would contribute in any way to the Quarry St streetscape, with relatively high development allowed to the boundary. While these issues might be addressed in the medium term through design requirements, in the longer term they place in question the capacity of the council to control future development on adjacent or even nearby properties. For instance, on what basis would a future council refuse an equal scale of development on adjacent properties if the heritage values could be maintained? Does the council anticipate that Quarry, Barnett and Shuffrey streets will in time become facades of heritage with 7.5 metre (or higher) mixed use constructions lying behind the facades? What about those buildings currently in the area that are not heritage listed – there would be even less rationale for limiting that kind of development or redevelopment. Is possible outcome congruent with the town plan? One of the key reasons that high density development is accepted in Vancouver and many other places is that development density is scaled, and each development contributes in some way to the community. Scaling means that high density areas are selectively located to maximise community benefits from investment in terms of services (eg public transport), opportunities (eg beaches), or other factors, and are surrounded by less high and less dense developments. Contributing to the community means that the design of the development, how it is accessed, its frontage onto public areas and how its boundary developments are designed and managed enhance the lives of people who pass or live nearby. This inevitably requires that boundary to boundary development is not allowed.

Both of these features can be seen on google maps and images. These images clearly show that development does not occur on a boundary to boundary basis, even in the places that are renowned or vilified for high density developments and where land values are very high. In both cases, all buildings have gardens surrounding them, for the pleasure and well-being of their residents, residents of nearby buildings and passers-by.

Similarly the high buildings found on the Gold Coast and Vancouver are surrounded by lower buildings close to parks and beaches.

Generosity to the streetscape and passing pedestrians (and others) is evident in Fremantle at Johnston Court, that grants the Fremantle community and visitors a small garden along Adelaide St. Notably, such gardens are entirely lacking along any of the more recent commercial or residential frontage from Fremantle Bridge to the Fremantle Town Hall, leading to a sense of abandonment along that strip. How easy it would have been to require some small relief from walls as part of development approval. What has been built is antagonistic to pedestrians, even with the line of trees.

Scaling also is concerned with the nature of activities. Mixed use is common on major roads in Vancouver and the Gold Coast (I use these examples as I know them best, next to Perth and Fremantle). However, mixed use is very rare on side roads even close to main roads in both locations. For instance, in Main Beach there are mixed uses along Tedder Avenue, but not down any of the side roads that run to the beach and that have major residential developments. This pattern is evident in Fremantle, where a variety of uses can be found along South Terrace, but few non-residential uses are found on side roads running off it. Similarly for other parts of Perth – along Stirling Highway or Canning Highway. Thus, allowing mixed use on the proposed development site is at least unusual, and merits reconsideration. Moreover, the nature of the 'mixed uses' needs to be clarified – does this mean a music recording studio, medical offices, a theatre such as La Mama, a day care centre, a café or ... any or all of these? Considerations of all types of transport also become relevant, including how possibly increased pedestrian crossing of Quarry St and Parry St would be managed.

Conclusion

How could a development at this site contribute to and enhance its immediate context and greater Fremantle?

Here are some ideas:

- *Provide community uses such as a child care centre and a place for teenagers and others such as immigrants, the socially vulnerable and elderly to meet, socialise and learn. This is a terrific location for such life- and community-affirming activities, especially if some of them could be integrated with the park. These uses would also enhance the attractiveness of Fremantle generally and this part particularly for a wide range of people who seek to live in or visit a village or a town as opposed to a place that concentrates on functional transactions - where people live and business is conducted. Social activities attract and hold residents and visitors throughout their life cycles, and support a community that has demographic, ethnic and cultural diversity.*
- *There is an opportunity on this site for a structure that reflects or at least acknowledges Fremantle's built heritage, and site development that provides some greenery to relieve the concrete and flat walls that are increasingly dominating this part of central Fremantle.*
- *The transition to the park could be clearly delineated by establishing a footpath through the block to further enhance entry to the park. This would encourage people to walk between the CBD and the schools or Arts Centre along a route that would continue along footpaths past the commercial activities on Adelaide St, thus increasing commercial activity in that struggling area.*

People live in a place for many reasons, and these are not all driven by finance, or other pragmatic factors. Decisions about this site and this part of Fremantle need to take account of dreams, aspirations, feelings and hopes. Good planning and architecture can provide a framework for people to achieve these critical parts of their lives.

High density boundary to boundary development on a side street is not the stuff of dreams, aspirations, feelings or hopes. Something more creative and suitable for the location is required.

For this reason I oppose the proposed rezoning.

The strategic location of the site has been considered in the assessment of this proposed amendment, being in close proximity to the City Centre of Fremantle. The City has reviewed possible density options available for the lots with this in mind, however the mixed use and heritage fabric of the immediate area is also acknowledged. The officer report goes into further detail regarding various options forward taking into account the comments submitted

above including the commentary on land use potential. Further comments on options forward are provided within the officer report.

42	Private citizen – Owner/Occupier of nearby property
<p>A. If this rezoning proceeds it appears that it will:</p> <ol style="list-style-type: none"> 1. <i>Affect the ambiance and utility of Fremantle Park in particular it will throw a significant afternoon shadow on a park which is NOT BEING ENLARGED but over the years is supporting an INCREASING population density. For this reason (more users) the park needs to be able to have healthy grass cover, healthy cover, over its total surface. Also the number of trees lining the Quarry St side of the park will be, under the R100 zoning, be NIL and replaced by a 7m (or whatever it is) wall (probably ideal for art work, commissioned or graffiti, but basically in shadow most of the day) which will effectively restrict that area of the park for afternoon passive recreation.</i> 2. <i>affect the odd-numbered houses in Barnett St directly and the other side of Barnett St indirectly with significant background 'overhang'.</i> 3. <i>lead to a dramatic increase in residential density along the eastern side of Quarry Street at its southern end, AND in so doing further reduce the residential diversity and health of the community (Rule of Thumb: Mono cultures are inherently unhealthy).</i> 4. <i>The dramatic increase in residential density will negatively impact Fremantle Park and those residents and homeowners living in the vicinity. Residents backing on to the rezoned block will be looking up at 5 story apartments as their background view and a 7.5m wall on their immediate block boundaries.</i> 5. <i>The (potential of the) tourist walk from St Patricks Basilica and the old schools across the road (Adelaide St) to Fremantle Arts Centre, past heritage listed buildings and appropriate later-built residences will be further degraded.</i> 6. <i>council should refrain from its push to expand the amount of high density zoning by rezoning R25 blocks on Quarry Street. I do not want Lot 8 to have its zoning of R25 increased to high density R80- R100.</i> 7. <i>Fremantle Park is also the large closest passive recreation area for the increasing number of residences within the Queen St / Parry St boundaries and needs much openness to minimise inappropriate use of 'blind high walled corners' which the rezoning proposal is inherently creating, especially in the "north west" corner of the soccer/hockey field.</i> 8. <i>Every effort should be made to provide a "buffer" zone between the redevelopments within the CBD and along Queen Victoria Street and Beach St and Fremantle Park to enhance the TOTAL AMBIANCE of the area.</i> 9. <i>It provides all boundaries of the park other than the redevelopment of the "Energy Museum", and CBC, as visually 'friendly'. Therefore retaining the park as a more attractive area than being surrounded (albeit partially) by high walled structures.</i> <p>B. So for the reasons above and to provide a diversified more liveable East end :</p> <ol style="list-style-type: none"> 1. <i>I am advocating that Quarry St from Parry St to James St on the odd numbered side be WHOLLY ZONED R25</i> NOTING that: <i>None of the current utilisation of buildings in this [my] proposal [obviously excluding the vacated buildings - which I understand are to be demolished - in the proposal of the Council] are affected by such a zoning and it protects the heritage buildings from accidental (whatever accidental' means) destruction providing an advantage to redevelop based on the zoning [refer the history of the site of the new Woodside building].</i> 	

The strategic location of the site has been considered in the assessment of this proposed amendment, being in close proximity to the City Centre of Fremantle. The City has reviewed possible density options available for the lots with this in mind, however the mixed use and heritage fabric of the immediate area is also acknowledged. The officer report goes into further detail regarding various options forward taking into account the comments submitted above. Further comments on options forward are provided within the officer report.

43 Private citizen – Owner/Occupier of nearby property

Firstly - This site should be a Sacred Site. There was a fine colonial house upon this site and the Occupier was none other than CY O'Connor. This May be the start of his fatal last trek to South Beach.

That was the first major vandalism undertaken by a former Council and inconsiderate of the respect and history of a foremost important citizen.

The second; The Council of the time building ,buildings of little Consequence.

The wrong of the present; This presents an opportunity to provide a park! O'Connor Park '. To complement Fremantle Park. To be a wooded park, perhaps with trees and plants that grow between Fremantle and Kalgoorlie. With barbecue and benches for all these new ratepayers that will be living in all these new Boxes. An outdoor meeting and relaxing area that is not a pay as you go coffee or bar. There is a number of mature trees on site and our resident OWL and a wide verity of resident and migratory birds will be lost to us.

The Quarry, Shuffery and Barnett Streets are a wonderful enclave hidden away from the north/eastern entry to the City. It accommodates a majority number of listed homes. It is now cut off the Harbor by several Sheep ship monsters that have stolen our harbor glimpses of the tops of ships and cranes. An exciting and ever changing experience.

The council needs to Give back to your mainly long term rate payers, of this area and their DEMAND for no more than R25 on the east side of Quarry St. In its full length and built it should be to a High Standard and respect to the ambience of the area.

There must be no building to the boundary and no overlooking the adjoining properties.

Several years ago I was granted a building license to build a garage with the proviso that it was 1m from the boundary and it is only 2.50 m. However it seems that the houses adjoining your site are to look forward to been overlooked and blocked off by 10 to 14 m. This is a historic and well preserved historic area and needs to be preserved.

I NEED TO POINT OUT THAT 13 BARNETT ST Is 'A' listed Historic listed property built for Dr Barnett not only that but the FREMANTLE Council Have a Covenant holding me to that listing and WAS A DEMAND OF SALE. However No. 11, the block next door, is unlisted and that I may consider to have its 'r' rating changed and the covenant lifted from 13.

I am sure that many others will requests for R25 and giving good reason. So please don't look at the dollars others are submitting good reasons and I probably will agree to 99% of them, including to the fact that the Fremantle Tram goes down Quarry St and not Queen Victoria St. Why?

In conclusion. Not only consider the street view with Classic houses on each end of your site but also the Park Looked Down Upon from around Parry St(3rd Vandalism) by monsters and

around to Barnett St, where there it finishes with a lone listed Stone c1898 Home. NOT GOOD.

Then the rest of the views are Classic homes.

The City has reviewed possible density options available for the lots with this in mind, however the mixed use and heritage fabric of the immediate area is also acknowledged. The officer report goes into further detail regarding various options forward taking into account the comments submitted above. Further comments on options forward are provided within the officer report.

44 Private citizen – Owner/Occupier of nearby property

The low density residential area on and to the south of Quarry Street has already been compromised by the high density housing apartments that overshadow the Street and some housing to the south. In addition there is increased wind turbulence in Quarry Street.

To rezone the three lots in question to a higher density on the grounds of making this a 'transition' zone is based on a false premise. Since one of the lots (lot 8) is currently zoned for low density housing the logical move, rather than creating an unwanted transition zone, is to rezone the other two lots (Lots 1 and 2) for low density as well.

This would be the most effective way to retain and improve the integrity of the existing low density residential area. This would be in the best interests of the residents, which should be of the highest priority. It would also minimise the impact of the apparent desire of the City to provide for one consolidated 'mixed use' development that would be of an unacceptably high density in such close proximity to the low density residential area and Fremantle Park itself.

A consolidated medium density development might be in the best short-term financial interests of the Council – I understand finances are currently at a low ebb – but it would be to the severe detriment of the amenity of the Quarry Street residential area, an area known for its heritage value as well as its high amenity.

I urge the Council to seriously reconsider this proposal. Were the entire area rezoned for lower density development, the lots could still be sold. However, in my opinion, it would be prudent and socially more responsible for the City to retain ownership of the site and develop it for much-needed low density accommodation for residents who otherwise cannot afford to live in or near the City. This is an option that would undoubtedly bring about social benefits And would demonstrate to the local and wider community that the Council still takes its social obligations seriously.

The City has reviewed a number of possible density options available for the lots, however the mixed use and heritage fabric of the immediate area is also acknowledged. The officer report goes into further detail regarding various options forward taking into account the comments submitted above. Further comments on options forward are provided within the officer report.

45 Private citizen – Owner/Occupier of nearby property

I am fully supporting the Arts Centre precinct submission regarding the rezoning of these lots. I will not support increasing the height of new buildings, and I sincerely hope the City invites the cooperative organizations to submit their proposals again.

Comment noted.

46	Private citizen – Owner/Occupier of nearby property
<p><i>In my view the south east side of Quarry Street should remain a low density residential heritage precinct. I oppose the proposal to amalgamate Lots 1, 2 and 8 to create a 4133m² block with a mixed use or residential zoning of R80 to 100. I fully support the submission of the Arts Centre Precinct and consider amalgamation of these lots is only acceptable if it is zoned low density residential with no mixed use. This was the plan for our precinct as far back as the seventies. Changes to Shuffrey St in the last ten years have helped realise the foresight of the Council of that period.</i></p> <p><i>Lots 1, 2 and 8 are situated in a low density residential area bordering on Fremantle Park and containing many heritage houses. The Council's proposal to amalgamate the three lots provides a great opportunity to maintain and restore the residential zoning of these lots. The potential to create a low density residential village here would enhance the aesthetics, liveability and social cohesion of the south part of Quarry Street. It would also provide a much needed contrast to the very imposing high rise, high density zone on the north west side of Quarry Street.</i></p> <p><i>As I'm approaching 70, I would be particularly interested in a low rise village-type development that allows older residents to continue to live in this precinct. Those of us who have lived here for a while have built relationships with neighbours and do not want to move out of this area when we need to downsize.</i></p> <p><i>The proximity to the Arts Centre, the Leisure Centre and Fremantle Park (soon to be home to a new sport and community centre) mean that small homes with perhaps some shared communal space is all that would be required. There would be no need to build a retirement lifestyle village as happens in other local government areas.</i></p> <p><i>I am also keen that there's an increase in housing suitable for families within our precinct. If smaller low rise residences are built for older people, the larger houses they vacate can become family homes.</i></p> <p><i>Finally, I am concerned that the proposed rezoning would impact negatively on residents living next to those lots, in particular the beautiful heritage listed house at 3 Quarry St. This family is already faced with the prospect of 18.5m high (5 story) walls standing directly on their boundary from the Match development on 10 Parry Street. A change to a Mixed Use or a high density zoning of R80-100 would permit developments of up to 7.5m height right to all the boundaries of the amalgamated block. This will be to the detriment of not only the family at 3 Quarry St but also six other residences, not to mention the many users of Fremantle Park.</i></p> <p>The City has reviewed a number of possible density options available for the lots, however the mixed use and heritage fabric of the immediate area is also acknowledged. The officer report goes into further detail regarding various options forward taking into account the comments submitted above. Further comments on options forward are provided within the officer report.</p>	

47	Private citizen – Owner/Occupier of nearby property
<p><i>I do not support the amalgamation of Lots 2, 1 and 8 for purpose of creating a common zoning if the final R Zoning is high density ie greater than R60. The new block should be zoned R25 residential use only. High density development should be restricted to area from West Quarry Street to Beach Street only.</i></p> <p>Comments noted, the residential density concern is addressed in the officer report.</p>	

48	Private citizen – Owner/Occupier of nearby property
<p><i>I am a resident of Fremantle who has lived for many years in the vicinity of the impacted area where the City of Fremantle proposes to amalgamate 3 Lots on Quarry St. and rezone these as per the FCC proposal.</i></p> <p><i>I use and enjoy and appreciate this area, walking to and from the city, the Arts Centre, the Leisure Centre's gym and meeting area at various times of day and evening, and I appreciate the open space and sense of community Fremantle Park engenders. I feel safe walking in the area and appreciate the scale of the architectural history, and diversity as exemplified in Quarry, Barnett and Shuffrey streets.</i></p> <p><i>If this proposed rezoning proceeds such amenity will go; why would resident land owners continue to live and bring up families here as their properties are increasingly over looked and overshadowed by architecturally uniform high rise developments and the accompanying inevitable loss of amenity? A dramatic increase in residential density along the eastern side of Quarry Street at its southern end will negatively impact those residents and homeowners living in the vicinity, particularly with respect to traffic.</i></p> <p><i>Community use of Fremantle Park will also change with the sense of being hemmed in with the impression of surveillance from high rise development on its boundaries. Furthermore, I for one feel uneasy walking at night along wind tunneled streets bordered by high rise facades.</i></p> <p><i>The heavily used and enjoyed, and much photographed, visual vantage points enjoyed by locals and tourists alike, such as those from Monument Hill and Bushy Park and the photo opportunities these provide, will also be less attractive as glimpses of port and ocean and sunsets are obscured. To illustrate this point I attach a photograph taken from Bushy Hill showing what appears to be a new sheep ship in port - but on examination is in fact the recent Quarry/Queen Victoria Street high rise development I understand the need to increase the city's resident base and stimulate the economy. However, this is neither the area or style of development to be permitted to address this need. Fremantle council should honour the wisdom of previous planners and protect this enchanting precinct's heritage and amenity and refrain from its tunnel-visioned push to expand the amount of high density zoning in the lots identified in the proposal.</i></p> <p>The City has reviewed a number of possible density options available for the lots, however the mixed use and heritage fabric of the immediate area is also acknowledged. The officer report goes into further detail regarding various options forward taking into account the comments submitted above. Further comments on options forward are provided within the officer report.</p>	

49	Private citizen – Owner/Occupier of nearby property
<p><i>I have looked at the area in Quarry Street that Council is suggesting should be amalgamated into one large block. I am in support of the residents of this precinct who request that this amalgamated block be rezoned "Low Density Residential R25" Quarry Street is now a gloomy street to walk down and with more high rise on the eastern side would be much worse in the winter months.</i></p> <p>Comments noted, the residential density concern is addressed in the officer report.</p>	

50	Private citizen – Owner/Occupier of nearby property
<p><i>1. Apartment residents of 10 Quarry St facing east currently enjoy a park view. The incorporation of Lot 8 with Lots 1 and 2 as R100 will cause complete obstruction of this view. I accept that the building to R100 on lots 1 and 2 would cause some partial obstruction and this was already in existence in planning at the time of 10 Quarry St</i></p>	

being built. The rezoning of Lot 8 to R100 will significantly affect residents of 10 Quarry St for both amenity of their apartments as well as reduction in the values of their apartments.

- 2. Overshadowing of lower apartments of 10 Quarry St facing Quarry St. Existing apartments built facing Quarry St at 10 Quarry St and proposed at lots 2 and in particular 8 (if re-zoned R100) would share a view directly into their apartment significantly affecting privacy and amenity. There is a need to maintain offset of new apartment buildings to preserve the live-ability of these multi-residential buildings.*
- 3. Street congestion is already an issue. This will only be exacerbated by adding new R100 land to existing zoned land.*

We accept that these 3 lots are suitable for redevelopment, however Lot 8 should remain as R25, or in the least with a maximum build height of 2 storeys. I believe the City of Fremantle has an obligation to existing rate payers to preserve the amenity of their homes regardless of the perceived financial windfall in the sale of community land. We appreciate being given the opportunity to voice our concern and remain a part of this discussion.

Property values are not a planning consideration, however comments in respect to residential amenity are noted. The City has reviewed a number of possible density options available for the lots, however the mixed use and heritage fabric of the immediate area is also acknowledged. The officer report goes into further detail regarding various options forward taking into account the comments submitted above. Further comments on options forward are provided within the officer report.

ATTACHMENT 2 – Site Photos



















**PC1901 -11 MONUMENT HILL MEMORIAL RESERVE CONSERVATION PLAN
- REVIEW**

ATTACHMENT 1

Summary of Monument Hill Memorial Conservation Plan Recommendations & Their Status

Recommendation	Status	Comment
Recommendation 1 , Given the acknowledged cultural heritage significance of the Monument Hill Memorial Reserve, it should be conserved and provision made for its future security and maintenance.	Policy	Ongoing
Recommendation 2 , The cultural heritage significance of the Monument Hill Memorial Reserve as defined in the Statement of Significance of this document must be conserved.	Policy	Ongoing
Recommendation 3 , The recommendations of this document should be endorsed by the City of Fremantle as a guide to future planning and works to Monument Hill Memorial Reserve.	Note	Complete
Recommendation 4 , Conservation means all the processes of looking after a place so as to retain its cultural significance. Cultural significance is embodied in the place itself, its fabric setting, use, associations, meanings, records, related places and related objects and landscape. All works that could have an impact on the Cultural Significance of the place must be carried out with regard to the principles of the Australia ICOMOS Burra Charter 1999.	Note	Update Burra Charter reference
Recommendation 5 , All works implemented to Monument Hill Memorial Reserve must be guided by Article 26 of the Burra Charter.	Policy	Ongoing. Update Burra Charter reference
Recommendation 6 , All future decisions on the management of the Monument Hill Memorial Reserve should adopt a cautious approach that is guided by Article 3 of the Burra Charter.	Policy	Ongoing Update Burra Charter reference
Recommendation 7 , Conservation and future management of Monument Hill Memorial Reserve is to be based on the understanding that it is primarily a place of remembrance. Respect for the c.1935 concept and its expression in the existing fabric, landscaping and use requires a cautious approach of changing as much as necessary but as little as possible.	Policy	Ongoing
Recommendation 8 , All future decisions on the management of change of the Monument Hill Memorial Reserve should be guided by Article 15 of the Burra Charter.	Policy	Ongoing Update Burra Charter reference

<p>Recommendation 9, The City of Fremantle should formulate policies defining permissible uses and activities for Monument Hill Memorial Reserve, including the constituent zones and elements. Articles 7 and 23 of the Burra Charter must guide decisions on the future use of the Reserve.</p>	<p>Action (policy development)</p>	<p>Currently managed through Property Local Law (under review). Update Burra Charter reference</p>
<p>Recommendation 10, The fabric of spaces or elements of considerable significance should be restored or reconstructed in accordance with the recommendations of the Heritage Council of Western Australia's Conservation Plan, Study Brief for Zones of considerable significance.</p>	<p>Action (conservation works)</p>	<p>Reviewed 6 monthly to identify any remediation works required to ensure no deterioration</p>
<p>Recommendation 11, Conserve the original fabric of the Fallen Sailors And Soldiers' Memorial through preservation, restoration or reconstruction in accord with the Articles of the Burra Charter to ensure the retention of the c.1935 concept.</p>	<p>Policy</p>	<p>Ongoing</p>
<p>Recommendation 12, The retaining wall and paving that formed the concourse to the Fallen Sailors And Soldiers' Memorial should be reconstructed as part of an overall strategy to reinstate the significance of this area as expressed in the c.1935 concept.</p>	<p>Action (conservation works)</p>	<p>Desirable but not urgent - unfunded to date</p>
<p>Recommendation 13, All new works must be designed to complement the geometry of the original design of the Fallen Sailors' and Soldiers' Memorial and its immediate setting.</p>	<p>Policy</p>	<p>Ongoing</p>
<p>Recommendation 14, All future decisions that could affect the setting of the Fallen Sailors and Soldiers' Memorial should be guided by Article 8 of the Burra Charter.</p>	<p>Policy</p>	<p>Ongoing Update Burra Charter reference</p>
<p>Recommendation 15, It is strongly recommended that a Conservation Planning Strategy be developed for the area of the summit of Monument Hill Memorial Reserve before any further changes take place in the vicinity of the Fallen Sailors And Soldiers' Memorial. This aim of the Conservation Planning Strategy will be to seek to reconcile the clear disparity between the obvious social and historic significance of the later memorials erected in the vicinity of the Fallen Sailors And Soldiers' Memorial and the quality of the individual and collective contributions that some of these memorials make to the intended primary importance of the Fallen Sailors And Soldiers' Memorial. It</p>	<p>Action (Conservation Planning Strategy)</p>	<p>Desirable but not urgent: no changes undertaken necessitating it to date.</p>

<p>is anticipated that the Conservation Planning Strategy will include the reinstatement of the concourse so that it becomes a more recognizable part of the Fallen Sailors And Soldiers' Memorial and separate from the roadway. It is also anticipated that the Conservation Planning Strategy will include recommendations to reinstate the original concourse retaining wall and to provide the concourse with a laterite finished bitumen to match the original and make the concourse identifiably separate from the roadway. It is anticipated that the Conservation Planning Strategy will include measures to prevent motor vehicles entering the concourse area. A likely outcome of this recommendation is that the roadway will be changed for one-way traffic only.</p>		
<p>Recommendation 16, The landscaping of the Zone of Considerable Significance needs to be strictly controlled to provide a very simple setting to conform to the c.1935 design concept. The existing ratio of hard to soft landscaping is to remain unchanged.</p>	<p>Policy</p>	<p>Ongoing</p>
<p>Recommendation 17, The very simple setting requires there should be no standard park furniture in the Zone of Considerable Significance. Existing park furniture, including seats and bins, should be removed. It is possible that the recommended Conservation Planning Strategy may include recommendations for incorporating stone seating or low walls suitable for seating in the revised design for the concourse and appropriately designed furniture such as rubbish bins. A limited number of simply designed, appropriately located, benches will be acceptable in the short- term.</p>	<p>Policy & Action (remove furniture)</p>	<p>Policy ongoing Action complete: furniture removed.</p>
<p>Recommendation 18, The Fallen Sailors and Soldiers' Memorial is to be used for remembrance ceremonies on Anzac Day, Remembrance Day and Battle for Australia Day only.</p>	<p>Policy</p>	<p>Ongoing</p>
<p>Recommendation 19, Decisions by the City of Fremantle on the use of the area in the immediate vicinity of the Fallen Sailors and Soldiers' Memorial and the ancillary memorials must be guided by the need to ensure that the area is always available to visitors for quiet contemplation conducive to</p>	<p>Policy</p>	<p>Ongoing</p>

their remembrance of those who have died in war.		
Recommendation 20 , All new memorials should be contained within the Zone of Considerable Significance only and comply with the recommendations of the Conservation Planning Strategy. It is anticipated that the Conservation Planning Strategy will include the recommendation that the palette of materials used in the Zone of Considerable Significance will be controlled and consist only of those materials originally used on the Fallen Sailors and Soldiers' Memorial.	Policy	Recommendation would benefit from review to increase clarity.
Recommendation 21 , The fabric, or elements of Zones of Some Significance should be retained and conserved in accordance with the recommendations of the Heritage Council of Western Australia's Conservation Plan, Study Brief for Zones of some significance. Removal or modification is only acceptable if it achieves a greater conservation outcome by conserving more significant fabric and further enhancing the significance of the place.	Policy	Ongoing
Recommendation 22 , There is to be no construction of new structures in the Zone of Some Significance. Changes are to be limited to living and built landscape elements such as paths, garden beds and appropriate seating that retain the existing topographical features and levels, preserve the open park like landscape and do not disturb the more significant views over central Fremantle to Perth and to the coast and the ocean, and those within the Reserve to the Fallen Sailors and Soldiers' Memorial.	Policy	Ongoing
Recommendation 23 , The Zone of Some Significance may be used for passive recreation only.	Policy / Management	Currently managed through Property Local Law (under review): would benefit from further consideration as part of review.
Recommendation 24 , The landscape of the Zone of Some Significance and the changing nature of the plantings overtime must be managed as a whole to preserve the c.1935 design concepts that contribute to its cultural significance. Of these design concepts the	Policy	Ongoing

greatest significance is attached to the openness of the lawns, followed by the tree-lined drives and garden beds.		
Recommendation 25 , New plantings should aim to reinstate known former plantings where these have been removed or where existing plant material is senescent and requires replacement. New plantings should generally conform to previous plantings patterns and be of the same or similar species where this information is known.	Policy	Ongoing Update Burra Charter reference
Recommendation 26 , There should be no major changes to the layout and form of the bitumen path system and substantial concrete kerbs should not be used.	Policy	Ongoing
Recommendation 27 , The proportion of hard to soft landscaping is not to be increased beyond current levels. No new paths or paved areas without historical precedent are to be established.	Policy	Ongoing
Recommendation 28 , No new limestone retaining walls or garden bed surrounds should be constructed in Monument Hill Memorial Reserve. Limestone retaining walls or garden bed surrounds should be removed when the opportunity arises. Replacement garden beds should match the c.1935 format.	Policy & Works (removal of limestone retaining)	Desirable but not urgent - unfunded to date
Recommendation 29 , The introduction of park furniture needs to be rigorously controlled, particularly on the western side of the monument. Park furniture should not impinge on the simplicity of the setting. Park furniture should be simple in design and should not make use of elaborate 'historical' embellishments.	Policy	Ongoing
Recommendation 30 , The fabric of such spaces or elements of little or no significance maybe removed or modified depending on current requirements. Any removal or modifying of fabric must be in accordance with the recommendations of the Heritage Council of Western Australia's Conservation Plan, Study Brief for Zones of little or no significance	Policy	Ongoing
Recommendation 31 , The Zone of little or no Significance may be used for passive recreation only.	Policy / Management	Currently managed through Property Local Law (under review): would benefit from further consideration as

		part of review.
Recommendation 32 , Items identified as intrusive should be removed or modified in accordance with the recommendations of the Heritage Council of Western Australia's Conservation Plan, Study Brief for Intrusive Zones.	Action (remove intrusive elements)	Complete: furniture removed
Recommendation 33 , An interpretation Plan should be prepared for the complete Monument Hill Memorial Reserve. The interpretation Plan should comply with Articles 1.17 and 25 of the Burra Charter and the principles of the ICOMOS Charter for The Interpretation of Cultural Heritage Sites.	Action (Interpretation Plan)	Desirable but not urgent - unfunded to date. Update references to Burra Charter
Recommendation 35 , As Monument Hill Memorial Reserve has been placed on the Register of Heritage Places, any development, as defined by the Heritage of Western Australia Act 1990, has to be referred to the Heritage Council for its advice.	Note	
Recommendation 36 , As with any public building, the provisions of the Local Planning Scheme, the Building Code of Australia and the Health Act apply. However the Heritage Council may support the waiving or easing of requirements where important conservation objectives might be achieved providing health and safety would not be compromised. This assistance should be sought where appropriate.	Note	
Recommendation 37 , Attention is drawn to the requirements of the Aboriginal Heritage Act 1972- 80 and the need for notification of materials that are discovered that come under the control of the Act.	Note	
Recommendation 38 , Develop a management plan to ensure that Monument Hill Memorial Reserve is accessible to everyone by providing easy, dignified access wherever reasonably possible. Universal access should be implemented in a manner that does not distort or obscure the cultural significance of the place.	Action (Management Plan)	No permanent solution identified to date. Temporary solutions invoked for ceremonies. Periscope memorial improvements funded 18/19
Recommendation 39 , The City of Fremantle should play the primary role in the conservation and management of Monument Hill Memorial Reserve in accordance with the recommendations of Article 29 of the Burra	Note	Update Burra Charter reference

Charter.		
Recommendation 40 , Any changes at Monument Hill Memorial Reserve should be undertaken in accordance with Article 27 of the Burra Charter.	Policy	Ongoing Update references to Burra Charter
Recommendation 41 , Any changes to significant fabric at Monument Hill Memorial Reserve should be directed, supervised and implemented by people with appropriate knowledge and skills as recommended by Article 30 of the Burra Charter.	Policy / Management	Ongoing
Recommendation 42 , When conservation works are carried out in the future, the works are to be recorded as recommended by Article 31 of the Burra Charter. The records should include the decisions underlying the project. The evidence on which the decisions were based should be collected as a record and to assist with future decisions and works.	Policy / Procedure	Ongoing Update reference to Burra Charter
Recommendation 43 , Records about the history of the Monument Hill Memorial Reserve, including recent records associated with the conservation of the place, should be kept in accordance with the recommendations of Article 32 of the Burra Charter.	Policy	Ongoing Update reference to Burra Charter
Recommendation 44 , Any changes at Monument Hill Memorial Reserve should be undertaken in accordance with Article 21 of the Burra Charter.	Policy	Ongoing Update reference to Burra Charter
Recommendation 45 , New work, such as additions to existing memorials or new memorials, may be acceptable where they do not distort or obscure the cultural significance of the place, or detract from its interpretation and appreciation.	Policy	Ongoing
Recommendation 46 , Relocation of any of the culturally significant elements of the Monument Hill Memorial Reserve is only acceptable if it can be demonstrated that it will enhance the cultural significance of the place.	Policy	Ongoing
Recommendation 47 , A cautious approach should be adopted during any future conservation work carried out at the Monument Hill Memorial Reserve in accordance with the principles of Article 3 of the Burra Charter.	Policy	Ongoing Update reference to Burra Charter
Recommendation 48 , Any future conservation work carried out at the	Policy	Ongoing Update reference

Monument Hill Memorial Reserve should be in accordance with the principles of Article 14 of the Burra Charter.		to Burra Charter
Recommendation 50 , The regular maintenance programme should be continued and be implemented in accordance with Articles 1.5 and 16 of the Burra Charter to protect important memorials, fabric and landscape to retain the cultural significance of Monument Hill Memorial Reserve.	Policy & Management	Ongoing. Maintenance schedule in place inc. preparation for key dates. Update reference to Burra Charter
Recommendation 51 , Maintenance must be supervised by skilled personnel who are familiar with the requirements of dealing with historic elements and traditional building techniques.	Policy / Management	Ongoing
Recommendation 52 , Where necessary significant fabric should be preserved in accordance with Article 17 of the Burra Charter.	Policy	Ongoing Update reference to Burra Charter
Recommendation 53 , Restoration and reconstruction should be carried out in accordance with Burra Charter Articles 1.7, 1.8, 19 & 20.	Policy	Ongoing Update reference to Burra Charter
Recommendation 54 , Opportunities for investigation of the fabric should be realized, when possible, in order to gain a better understanding of the place, its development and construction. The information gained can be used for the purposes of diagnosis and conservation.	Policy	Ongoing
Recommendation 55 , The investigation of significant fabric should be carried out in accordance with Burra Charter Article 28.	Policy	Ongoing Update reference to Burra Charter
Recommendation 56 , An Arboricultural report should be commissioned and all works identified in it should be attended to in the manner and the time frame suggested.	Action (Arboricultural Report)	Report not complete but trees monitored and replacement plantings undertaken.
Recommendation 57 , All works identified as urgent in the Recommended Conservation Works section of this report should be attended to as a matter of priority as defined by the Arboricultural report	Action (Conservation Works)	Most urgent works complete. Perimeter wall works included in Asset Management Plan.
Recommendation 58 , A well-considered programme of regular arboricultural maintenance for each mature tree should be devised and implemented by a qualified and experienced arboriculturalist.	Management	Ongoing

<p>Recommendation 59, Pest control inspections should be implemented on a regular basis and any treatment required should be executed within the recommended periods.</p>	<p>Management</p>	<p>Ongoing</p>
<p>Recommendation 60, The City of Fremantle should in the very near future develop a Management Plan to formalise the process for implementation of the conservation recommendations set out in Section 9 of the Conservation Plan.</p>	<p>Action (Management Plan)</p>	<p>Not complete. Implementation coordinated informally.</p>