



# AGENDA ATTACHMENTS

## Planning Committee

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Wednesday, 6 March 2019, 6.00 pm

<b><u>Agenda Attachments</u></b>		<b>1</b>
PC1903 -1	DEFERRED ITEM - FIFTH AVENUE, NO. 22 (LOT 14) BEACONSFIELD - ANCILLARY DWELLING AND GARAGE ADDITION TO EXISTING SINGLE HOUSE (NB DA0448/18)	3
PC1903 -2	DEFERRED ITEM- CADD STREET, NO. 21 (LOT 45), BEACONSFIELD - TWO, TWO STOREY GROUPED DWELLINGS - (CJ DA0416/18)	16
PC1903 -3	DEFERRED ITEM - CADD STREET, 1 (LOT 37) BEACONSFIELD - TWO STOREY GROUPED DWELLING (JCL DA0365/18)	50
PC1903 -4	ATTFIELD STREET, NO. 119 (LOT 2), SOUTH FREMANTLE - TWO STOREY SINGLE HOUSE (SINGLE BEDROOM DWELLING) - (TG DA0445/18)	64
PC1903 -5	SOUTH TERRACE, NO. 92 (LOT 5), FREMANTLE - CHANGE OF USE (TAVERN) AND ADDITIONS AND ALTERATIONS TO EXISTING BUILDING - (TG DA0572/18)	74
PC1903 -6	RULE STREET, NO. 25 (LOT 16), NORTH FREMANTLE - ADDITIONS (SINGLE STOREY) TO THREE STOREY SINGLE HOUSE (TG DA0527/18)	88
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PC1903 -8	SOLOMON STREET, NO. 145 (LOT 5), BEACONSFIELD - DEMOLITION OF SINGLE HOUSE - (TG DA0020/19)	111
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**PC1903 -1 DEFERRED ITEM - FIFTH AVENUE, NO. 22 (LOT 14) BEACONSFIELD - ANCILLARY DWELLING AND GARAGE ADDITION TO EXISTING SINGLE HOUSE (NB DA0448/18)**

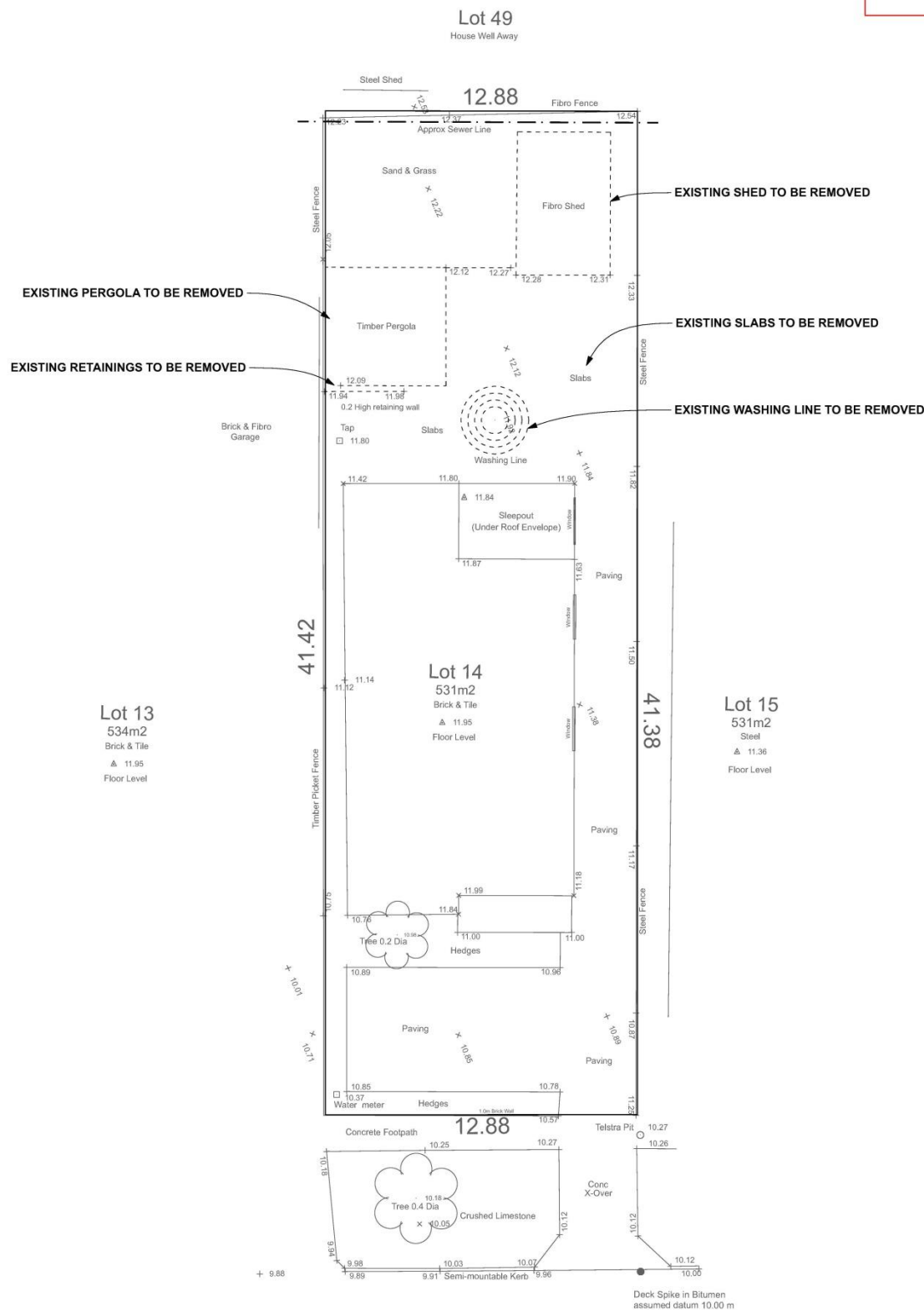
**ATTACHMENT 1: Amended Development Plans**

SURVEY LEGEND		SERVICE INFORMATION:		SURVEY REPORT INFORMATION:		FEATURE SURVEY							
POWER	CONSUMER POLE	⊗	LIGHT POLE	*	WIRE ANCHOR	⊗	DATE SURVEYED:	23/02/18		LOT NUMBER	STREET NUMBER	STREET NAME	
	POWER DOME	⊙	STAY POLE	⊕	U/G CABLE BOX	⊗	MAP REFERENCE:	-		14	22	FIFTH AVENUE	
	CABLE MANHOLE	⊗	POWER POLE	⊕		⊗	COASTAL:	>1 km					
WATER	STOP VALVE	⊙	FLUSH POINT	⊕	WATER MARKER	⊗	LOT TYPE:	EXISTING		SUBURB			
	HYDRANT	⊕	WATER TAP	⊕	WATER METER	⊗	LOT AREA:	-		BEACONSFIELD			
	GAS MARKER	⊙	GAS METER	⊕	GAS VALVE	⊗	APPROX. AHD / DATUM	10.00m Assumed		LOCAL GOVERNMENT AUTHORITY			
	SEWER MANHOLE	⊙	INSPECTION SHAFT	⊕	INSPECTION OPENING	⊗	SURVEYOR:	JPS		FREMANTLE			
STORMWATER	DRAINAGE MANHOLE	⊙	GRATE	⊕	SIDE ENTRY PIT	⊗	DRAWN:	JPS		BUILDER JOB NUMBER	PLAN	C/T VOLUME	FOLIO
	TELSTRA MARKER	⊙	TELSTRA PIT	⊕	TELSTRA MANHOLE	⊗	JOB NUMBER:	22FIFTH		2385			
	PEG FOUND	⊕	PEG DISTURBED	⊕	PEG GONE	⊗				DRAWING TITLE	SCALE 1:200	SHEET	REVISION
	NAIL & PLATE	⊕	CONTROL POINT	⊕	DATUM	⊗				22FIFTH		1	

**NOTE:** BOUNDARIES OVERLAID FOR ILLUSTRATION PURPOSES. REPEG REQUIRED TO ESTABLISH CORRECT BOUNDARIES

**NOTE:** SEWER NOT LOCATED - CONSULT ATTACHED PLANS TO CONFIRM LOCATIONS

**CITY OF FREMANTLE**  
These Revised Plans Form Part of  
**DA0448/18**  
**12 FEBRUARY 2019**



**DEMOLITION NOTE:**  
ALL EXISTING STRUCTURES SHOWN DASHED TO BE DEMOLISHED/REMOVED TO BUILDERS REQUIREMENTS.



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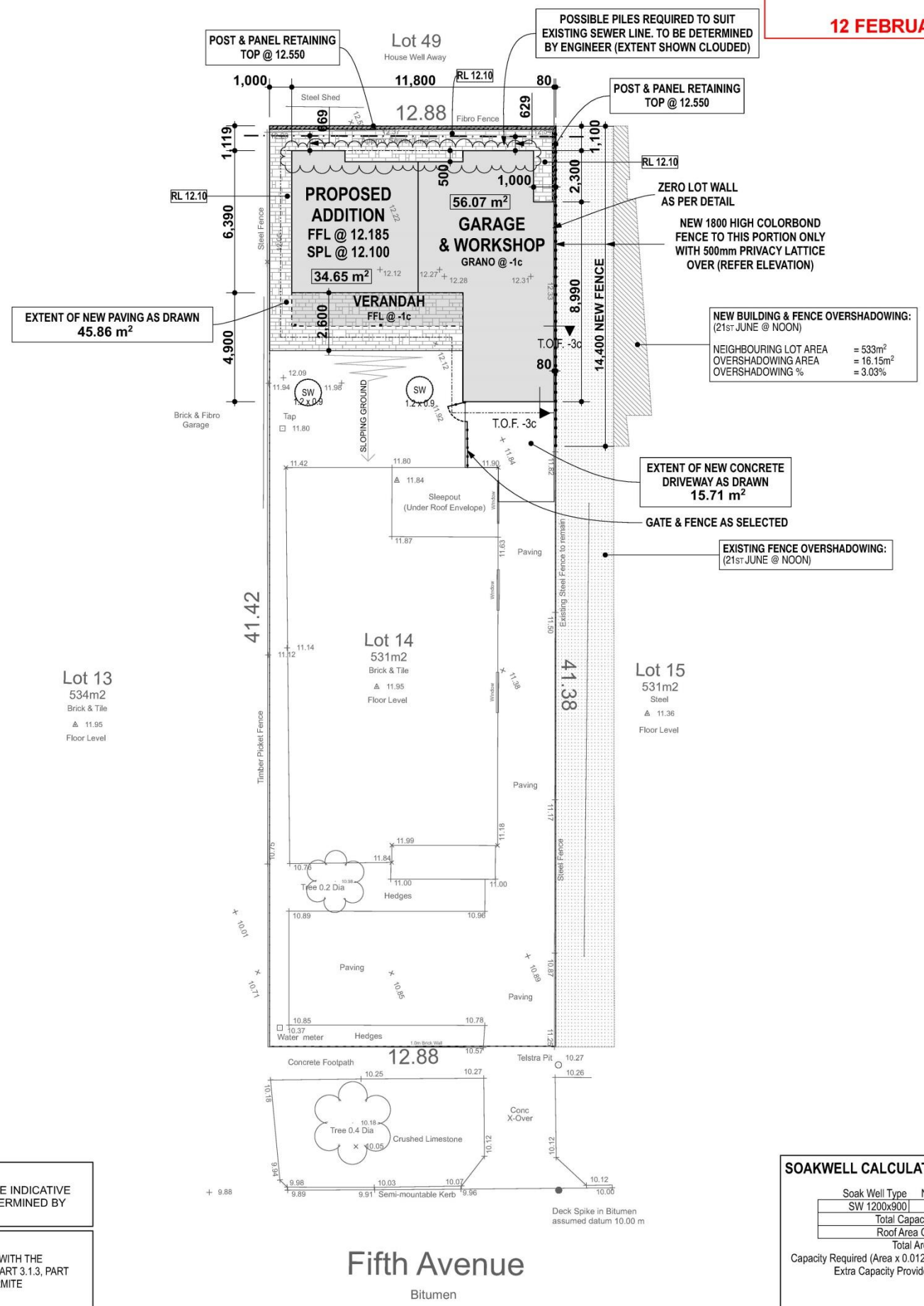
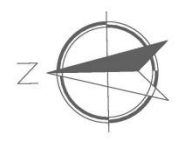
REV	REVISION	DATE	TITLE	JOB No.
A	CONCEPT DESIGN	13/03/2018	DEMO PLAN	<b>J18-015</b>
B	PRELIMINARY DRAWINGS	03/04/2018	CLIENT	
C	ISSUED FOR BUILDING LICENCE	25/07/2018	SANCHEZ	SHEET
D	REVISIONS - NATURAL GROUND LEVEL INDICATED	22/11/2018	ADDRESS	1 / 8
E	REVISIONS - FFL LOWERED (COUNCIL REQUIREMENT)	12/02/2019	LOT 14 (#22) FIFTH AVENUE	SIZE A3
			BEACONSFIELD	SCALE 1:100
			CITY FREMANTLE	CHECKED DL
				DATE 12/02/2019

SURVEY LEGEND				SERVICE INFORMATION:				SURVEY REPORT INFORMATION:				FEATURE SURVEY				
POWER	CONSUMER POLE	⊗	LIGHT POLE	*	WIRE ANCHOR	⊘	LOCATED	DATE SURVEYED:	23/02/18			LOT NUMBER	STREET NUMBER	STREET NAME		
	POWER DOME	○	STAY POLE	⊕	UG CABLE BOX	⊠	AVAILABLE	MAP REFERENCE:	-			14	22	FIFTH AVENUE		
	CABLE MANHOLE	⊗	POWER POLE	⊙			NO SERVICE	COASTAL:	>1 km			BEACONSFIELD		LOCAL GOVERNMENT AUTHORITY		
WATER	STOP VALVE	○	FLUSH POINT	⊕	WATER MARKER	⊗	TO CONFIRM	LOT TYPE:	EXISTING			FREMANTLE				
	HYDRANT	⊕	WATER TAP	⊙	WATER METER	⊗		LOT AREA:	-			BUILDER JOB NUMBER	PLAN	C/T VOLUME	FOLIO	
GAS	GAS MARKER	⊗	GAS METER	⊕	GAS VALVE	⊙		APPROX. AHD / DATUM	10.00m Assumed			2385				
SEWERAGE	SEWER MANHOLE	○	INSPECTION SHAFT	⊕	INSPECTION OPENING	⊗		SURVEYOR:	JPS			22FIFTH		SCALE 1:200	SHEET	REVISION
STORMWATER	DRAINAGE MANHOLE	⊕	GRATE	⊙	SIDE ENTRY PIT	⊗		DRAWN:	JPS			1				
TELSTRA	TELSTRA MARKER	⊗	TELSTRA PIT	⊕	TELSTRA MANHOLE	⊙		JOB NUMBER:	22FIFTH							
SURVEY	PEG FOUND	⊕	PEG DISTURBED	⊙	PEG GONE	⊗										
	NAIL & PLATE	⊕	CONTROL POINT	⊙	DATUM	⊗										

**NOTE:** BOUNDARIES OVERLAID FOR ILLUSTRATION PURPOSES. REPEG REQUIRED TO ESTABLISH CORRECT BOUNDARIES

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**STORMWATER NOTE:**  
- ALL DOWNPIPES SHOWN ON PLAN ARE INDICATIVE ONLY. FINAL POSITIONS SHALL BE DETERMINED BY ROOF PLUMBER ON SITE.

**TERMITE MANAGEMENT NOTE:**  
TERMITE TREATMENT TO BE IN ACCORDANCE WITH THE NATIONAL CONSTRUCTION CODE (NCC) 2016 PART 3.1.3, PART 2.1.1 AND PART 1.0.7, USING THE TERMICO TERMITE MANAGEMENT SYSTEM.

**SOAKWELL CALCULATIONS:**

Soak Well Type	No.	Capacity
SW 1200x900	2	2.0 m3
<b>Total Capacity</b>		<b>2.0 m3</b>
<b>Roof Area GF</b>		<b>116.7 m2</b>
<b>Total Area</b>		<b>116.7 m2</b>
<b>Capacity Required (Area x 0.0125)</b>		<b>1.5 m3</b>
<b>Extra Capacity Provided</b>		<b>0.6 m3</b>

<p><b>CREATE HOMES</b></p>	<p>CREATE HOMES PTY LTD Builders No: 101340 P 0410 292 469 E info@createhomes.com.au W www.createhomes.com.au</p>	<p>REV A CONCEPT DESIGN 13/03/2018</p>	<p>TITLE SITE PLAN</p>	<p>JOB No. <b>J18-015</b></p>
		<p>REV B PRELIMINARY DRAWINGS 03/04/2018</p>	<p>CLIENT SANCHEZ</p>	
		<p>REV C ISSUED FOR BUILDING LICENCE 25/07/2018</p>	<p>ADDRESS LOT 14 (#22) FIFTH AVENUE</p>	<p>SIZE A3</p>
		<p>REV D REVISIONS - NATURAL GROUND LEVEL INDICATED 22/11/2018</p>	<p>BEACONSFIELD</p>	<p>SCALE 1:100</p>
		<p>REV E REVISIONS - FFL LOWERED (COUNCIL REQUIREMENT) 12/02/2019</p>	<p>CITY FREMANTLE</p>	<p>CHECKED DL</p>
				<p>DATE 12/02/2019</p>

**TRADE NOTES:**  
 - ALL DIMENSIONS TO BE VERIFIED ON SITE BEFORE COMMENCING ANY WORK.  
 - ALL DIMENSIONS STRICTLY TO TAKE PREFERENCE OVER SCALING.  
 - ANY DISCREPANCIES WHICH MAY ARISE ARE TO BE QUERIED WITH THE BUILDER BEFORE CONTINUING.  
 - ANY DISCREPANCIES MUST BE REFERRED TO THE BUILDER OR THE SUBCONTRACTOR SHALL BEAR FULL RESPONSIBILITY FOR WORKS.  
 - THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEERS DETAILS AND OTHER CONSULTANTS DETAILS.  
 - REFER TO ENGINEER'S DETAILS FOR CONCRETE SLAB & FOOTING SPECIFICATIONS.  
 - ALL WORKS TO BE CARRIED OUT TO RELEVANT AUSTRALIAN STANDARDS, NCC REQUIREMENTS & RELEVANT AUTHORITIES. WORK TO BE DONE IN A GOOD AND WORKMAN LIKE MANNER AND TO THE ENTIRE SATISFACTION OF THE BUILDER.

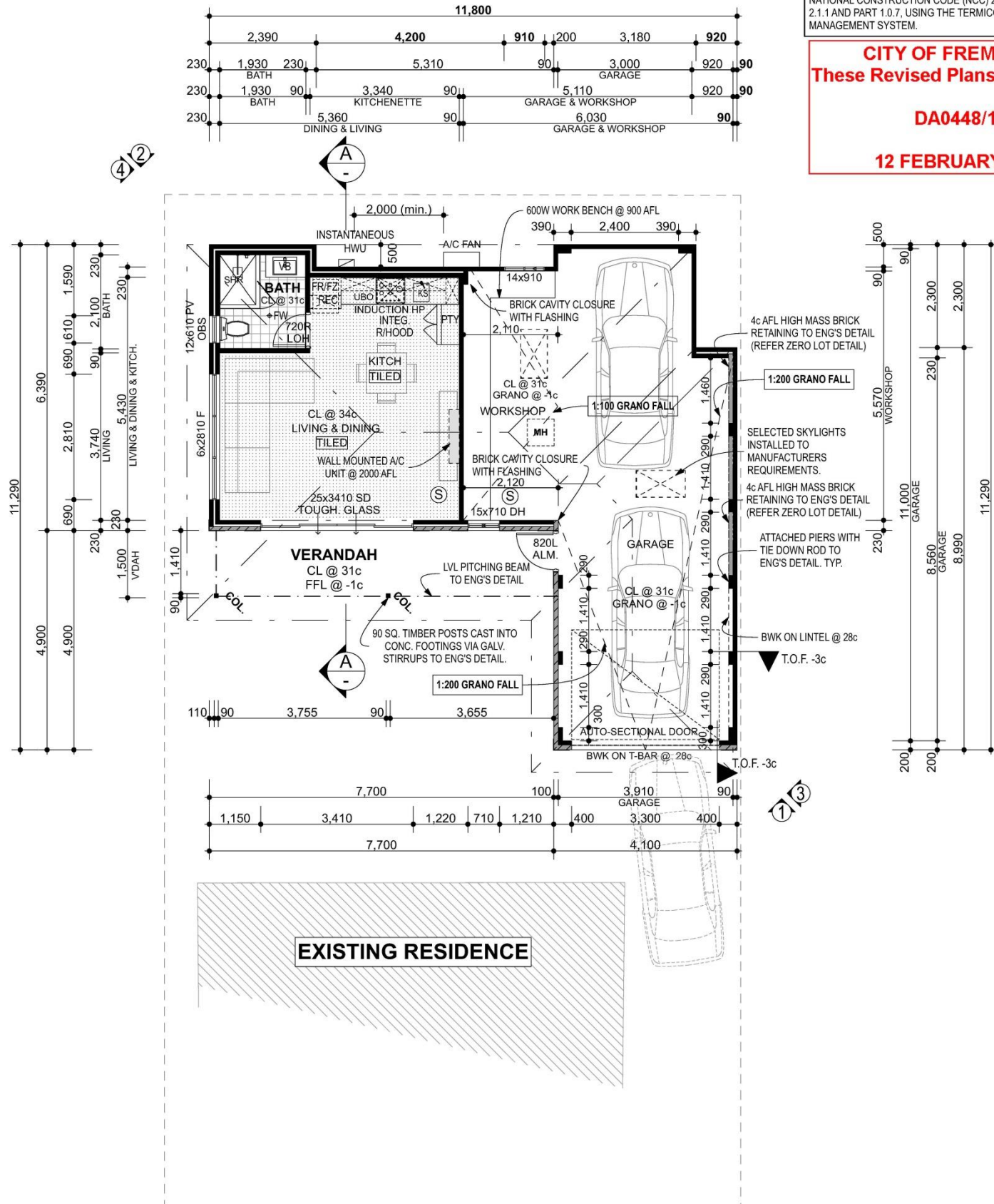
**ROOFING NOTE:**  
 - ALL ROOF FRAMING IN ACCORDANCE WITH AS 1684.  
 - STRUCTURAL STEEL IN ACCORDANCE WITH NCC 3.4.4.  
 - L.V.L.'S IN ACCORDANCE TO MANUFACTURERS SPECIFICATIONS.  
 - PROVIDE WESPINE H2 BLUE TREATED TIMBER TO ANY ROOF FRAMING.

**PLUMBING NOTES:**  
 - ALL DOWNPIPES SHOWN ON PLAN ARE INDICATIVE ONLY. FINAL POSITIONS SHALL BE DETERMINED BY ROOF PLUMBER ON SITE.

**CEILING NOTE:**  
 - CEILINGS @ 31c AFL UNLESS OTHERWISE NOTED.

**TERMITE MANAGEMENT NOTE:**  
 TERMITE TREATMENT TO BE IN ACCORDANCE WITH THE NATIONAL CONSTRUCTION CODE (NCC) 2016 PART 3.1.3, PART 2.1.1 AND PART 1.0.7, USING THE TERMICO TERMITE MANAGEMENT SYSTEM.

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**AREAS:**

Garage & Workshop Area	56.07
Addition Area	34.65
Verandah Area	11.55
<b>Total</b>	<b>102.27 m<sup>2</sup></b>
Roof Area	116.72
External Wall Perimeter	41.18m



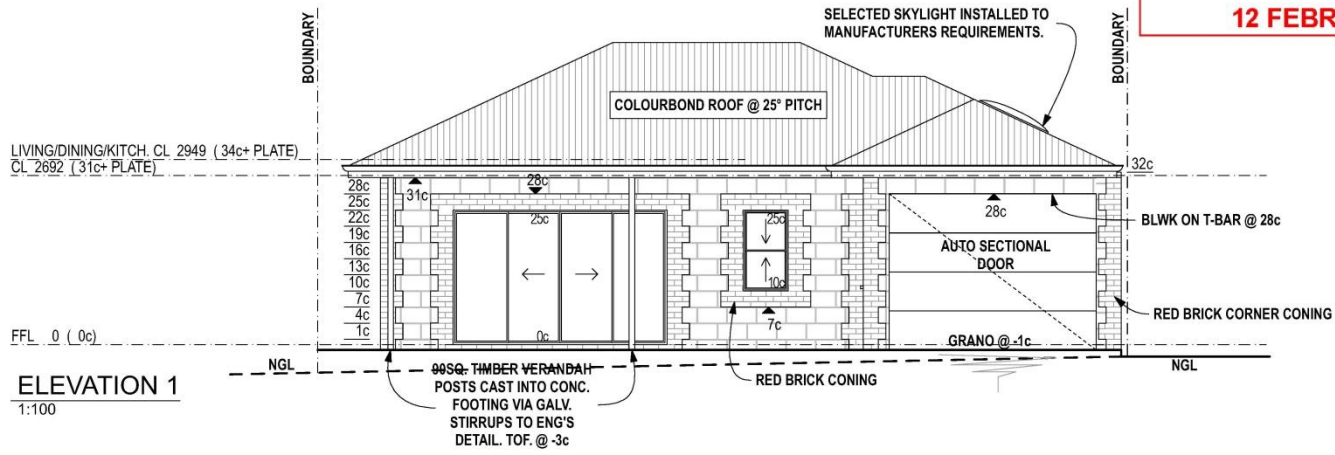
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 W www.createhomes.com.au

REV	REVISION	DATE	TITLE
A	CONCEPT DESIGN	13/03/2018	FLOOR PLAN
B	PRELIMINARY DRAWINGS	03/04/2018	CLIENT
C	ISSUED FOR BUILDING LICENCE	25/07/2018	SANCHEZ
D	REVISIONS - NATURAL GROUND LEVEL INDICATED	22/11/2018	ADDRESS
E	REVISIONS - FFL LOWERED (COUNCIL REQUIREMENT)	12/02/2019	LOT 14 (#22) FIFTH AVENUE
			BEACONSFIELD
			CITY FREMANTLE

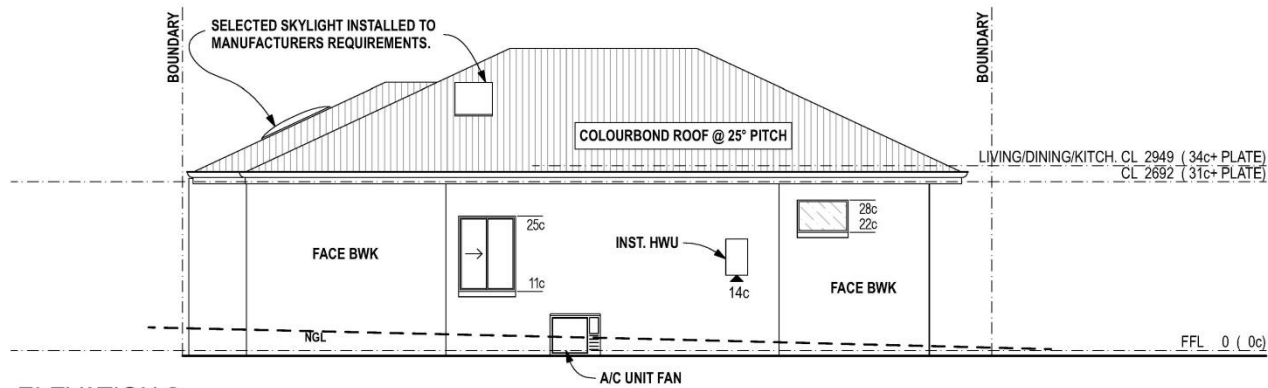
JOB No.	<b>J18-015</b>
SHEET	3 / 8
SCALE	1:100
CHECKED	DL
DATE	12/02/2019

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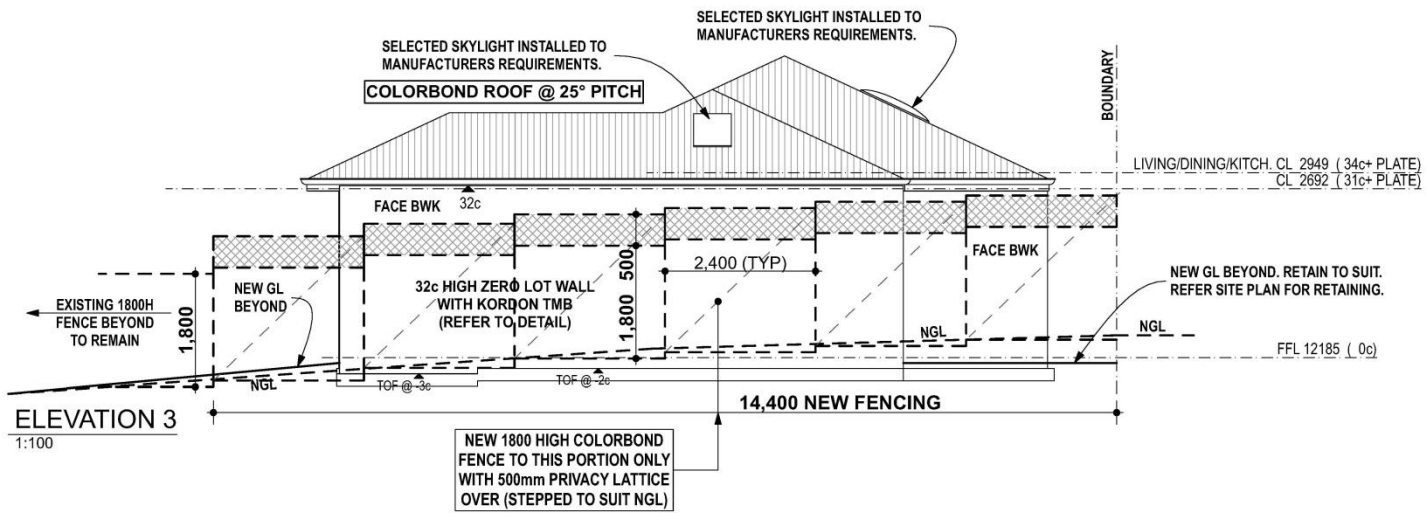
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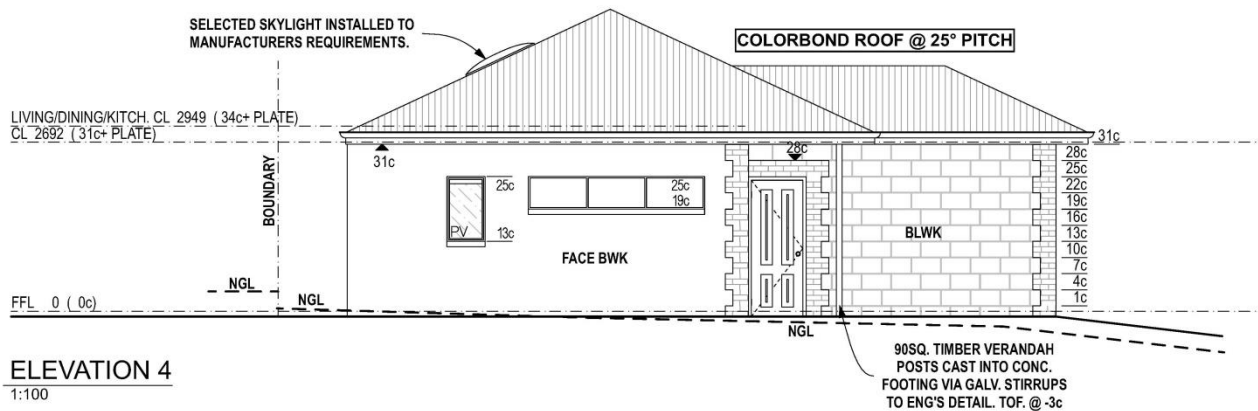
**ELEVATION 1**  
1:100



**ELEVATION 2**  
1:100



**ELEVATION 3**  
1:100



**ELEVATION 4**  
1:100



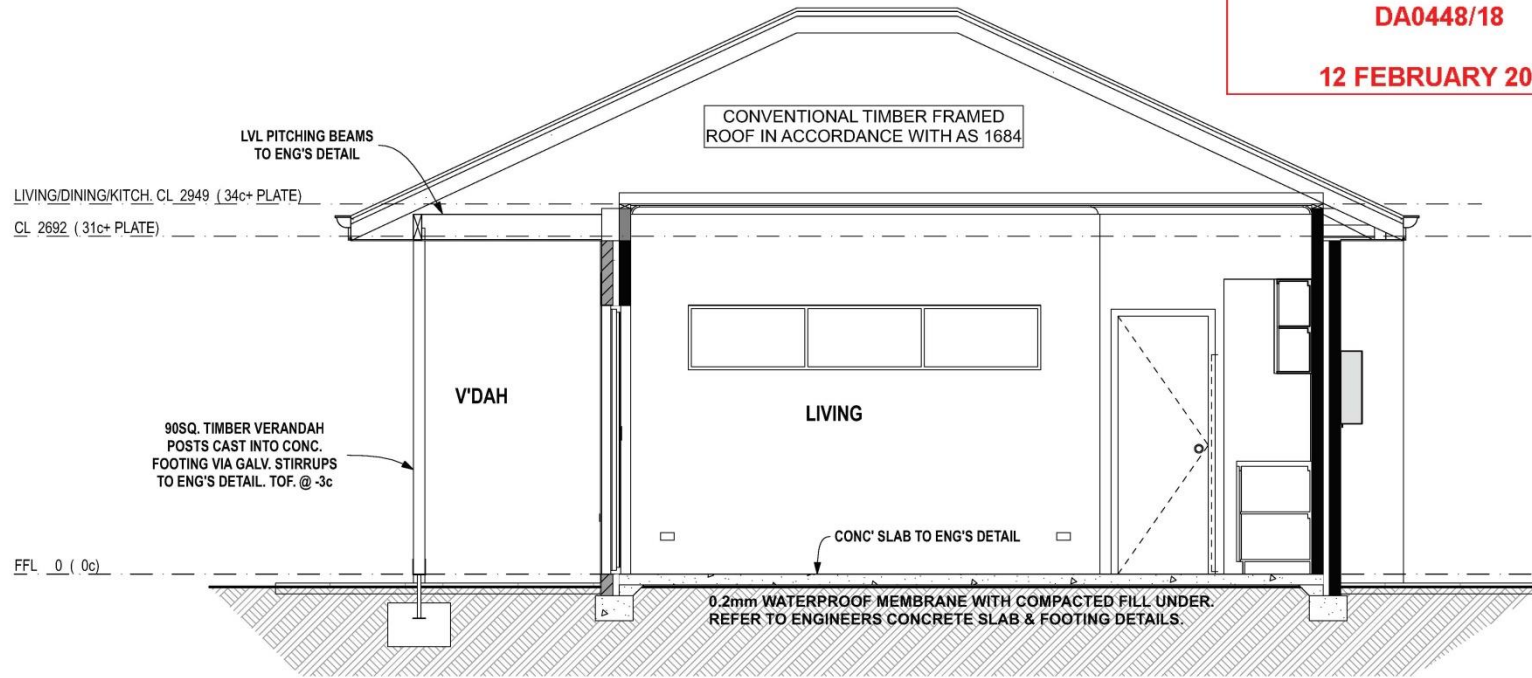
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REV	REVISION	DATE	TITLE
A	CONCEPT DESIGN	13/03/2018	ELEVATIONS
B	PRELIMINARY DRAWINGS	03/04/2018	CLIENT
C	ISSUED FOR BUILDING LICENCE	25/07/2018	SANCHEZ
D	REVISIONS - NATURAL GROUND LEVEL INDICATED	22/11/2018	ADDRESS
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			BEACONSFIELD
			CITY FREMANTLE

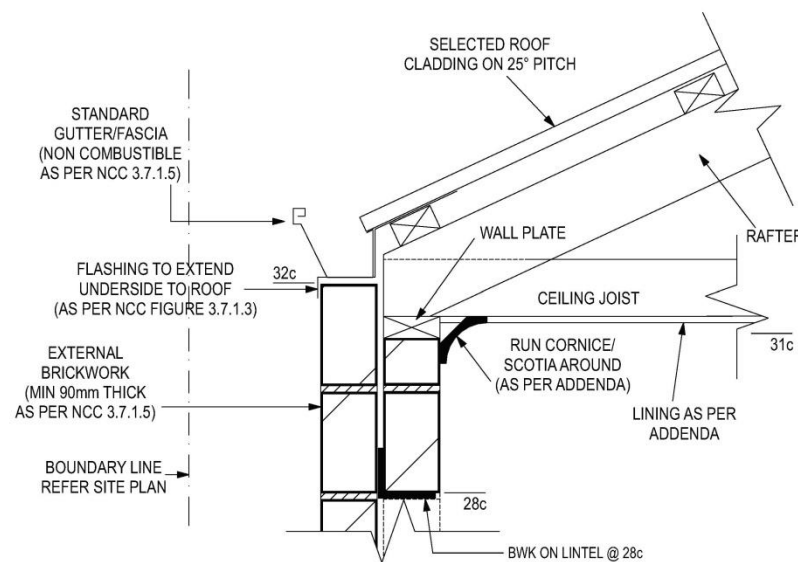
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SHEET	5 / 8
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CHECKED	DL
DATE	12/02/2019

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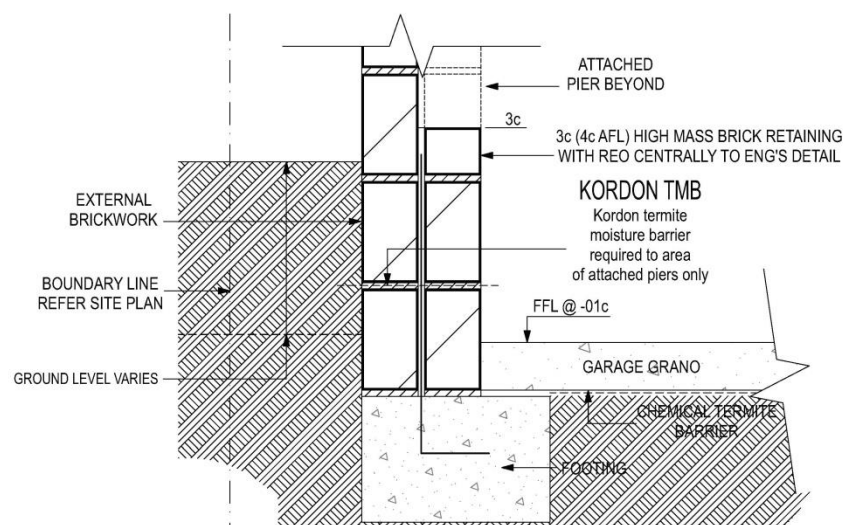
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Section A-A  
1:50



This wall is in accordance with NCC 3.7.1.5 (a (iii)) AND NCC Figure 3.7.1.3



**ZERO LOT LINE TERMITES BARRIER**  
**SINGLE LEAF WALL USING KORDON TMB**  
Prevents termite entry via hollow brickwork and internal shrinkage gap of garage slab

**GARAGE ZERO LOT WALL DETAIL**  
1:10



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REV	REVISION	DATE	TITLE
A	CONCEPT DESIGN	13/03/2018	SECTIONS & DETAILS
B	PRELIMINARY DRAWINGS	03/04/2018	CLIENT
C	ISSUED FOR BUILDING LICENCE	25/07/2018	SANCHEZ
D	REVISIONS - NATURAL GROUND LEVEL INDICATED	22/11/2018	ADDRESS
E	REVISIONS - FFL LOWERED (COUNCIL REQUIREMENT)	12/02/2019	LOT 14 (#22) FIFTH AVENUE
			BEACONSFIELD
			CITY FREMANTLE

JOB No.	<b>J18-015</b>
SHEET	6 / 8
SCALE	1:100
CHECKED	DL
DATE	12/02/2019

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 <b>CREATE HOMES</b>	CREATE HOMES PTY LTD Builders No: 101340 P 0410 292 469 E info@createhomes.com.au W www.createhomes.com.au	REV A CONCEPT DESIGN B PRELIMINARY DRAWINGS C ISSUED FOR BUILDING LICENCE D REVISIONS - NATURAL GROUND LEVEL INDICATED E REVISIONS - FFL LOWERED (COUNCIL REQUIREMENT)	DATE 13/03/2018 03/04/2018 25/07/2018 22/11/2018 12/02/2019	TITLE PERSPECETIVES CLIENT SANCHEZ ADDRESS LOT 14 (#22) FIFTH AVENUE BEACONSFIELD SHIRE CITY FREMANTLE	JOB No. <b>J18-015</b> SHEET 8 / 8 SIZE A3 SCALE 1:100 CHECKED DL DATE 12/02/2019
		REV. E			

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ATTACHMENT 2: Original Development Plans

SURVEY LEGEND		SERVICE INFORMATION:		SURVEY REPORT INFORMATION:		FEATURE SURVEY	
POWER	CONSUMER POLE	LOCATED	AVAILABLE	DATE SURVEYED:	23/02/18	LOT NUMBER	14
	POWER POLE	TO CONFIRM	NO SERVICE	MAP REFERENCE:	-	STREET NUMBER	22
	CABLE MANHOLE			COASTAL:	< 1 km	STREET NAME	FIFTH AVENUE
WATER	STOP VALVE			LOT TYPE:	EXISTING	SUBURB	BEACONSFIELD
	HYDRANT			APPROX. AHD / DATUM	10.00m Assumed	LOCAL GOVERNMENT AUTHORITY	FREMANTLE
	GAS MANHOLE			SURVEYOR:	JPS	BUILDER JOB NUMBER	2385
	GAS TAP			DRAWN:	JPS	PLAN	2385
	GAS METER			JOB NUMBER:	22F5TH	C/T VOLUME	1
	INSPECTION SHAFT					FOLIO	
SEWERAGE	SEWER MANHOLE					DRAWING TITLE	22F5TH
	INSPECTION OPENING					SCALE	1:200
	INSPECTION OPENING					SHEET	1
	INSPECTION OPENING					REVISION	
STORMWATER	ORANGE MANHOLE						
	GRATE						
	GRATE						
TELSTRA	TELSTRA MARKER						
	TELSTRA PIT						
	TELSTRA MANHOLE						
SURVEY	PEG FOUND						
	PEG DISTURBED						
	PEG GONE						
	CONTROL POINT						
	DATUM						

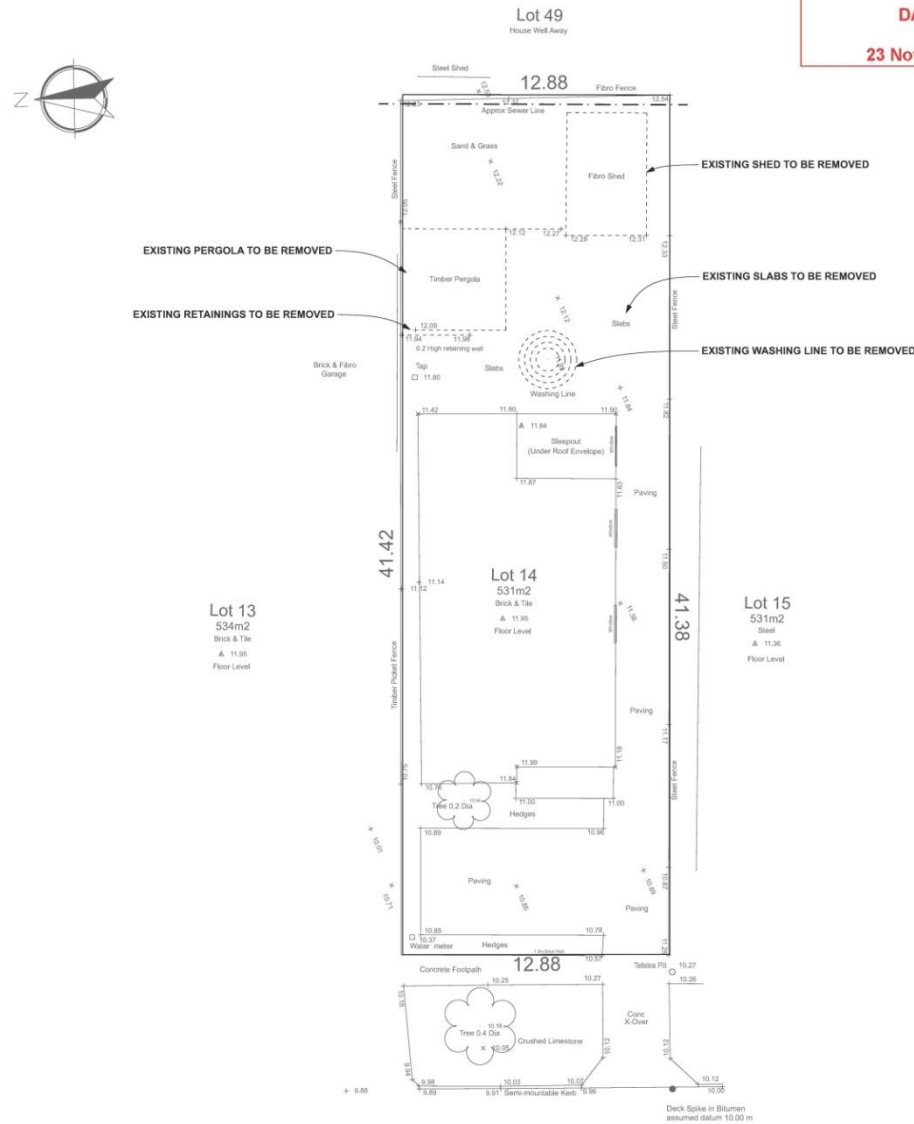
**JPS SURVEYS**  
ADDRESS: 31 BRIT. AVE, WANNEROO  
PHONE: 081777598 EMAIL: JPS@JPSURVEYS.COM.AU

THE SURVEYOR ON THIS DRAWING IS CURRENT AT THE DATE OF SURVEY NOT FOR CONSTRUCTION PURPOSES WITHOUT THE COOPERATION. THIS SURVEY SHOWS VISIBLE FEATURES ONLY AND WILL NOT SHOW LOCATION OF UNDERGROUND PIPES OR CONDUITS FOR INTERNAL OR MAINS SERVICES. ALL SERVICES REQUIRE VERIFICATION FROM THE RELEVANT AUTHORITIES. THIS OFFICE SPECIALLY DESIGNATED CONTROL POINTS ARE NOT FOR UNDERGROUND SERVICES AND SITE INSPECTION. THIS SURVEY DOES NOT INCLUDE VERIFICATION OF CONCRETE BOUNDARIES. ALL FEATURES AND LINES SHOWN ARE BASED ON OBSERVATION TO EXISTING PERMANENT FEATURES AND MAY NOT BE IN CORRECT CANTERBURY ALIGNMENT. A REPEATED SURVEY WILL BE REQUIRED FOR CONFIRMATION. LOT BOUNDARIES SHOWN ON SURVEY ARE BASED ON LANDSIT PLAN ONLY. CHECK LANDSIT PLAN & CERTIFICATE OF TITLE FOR ENCUMBRANCES INCLUDING EASEMENTS, CHARGES, COVENANTS ETC.

**NOTE:** BOUNDARIES OVERLAID FOR ILLUSTRATION PURPOSES. REPEG REQUIRED TO ESTABLISH CORRECT BOUNDARIES

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**Fifth Avenue**  
Bitumen

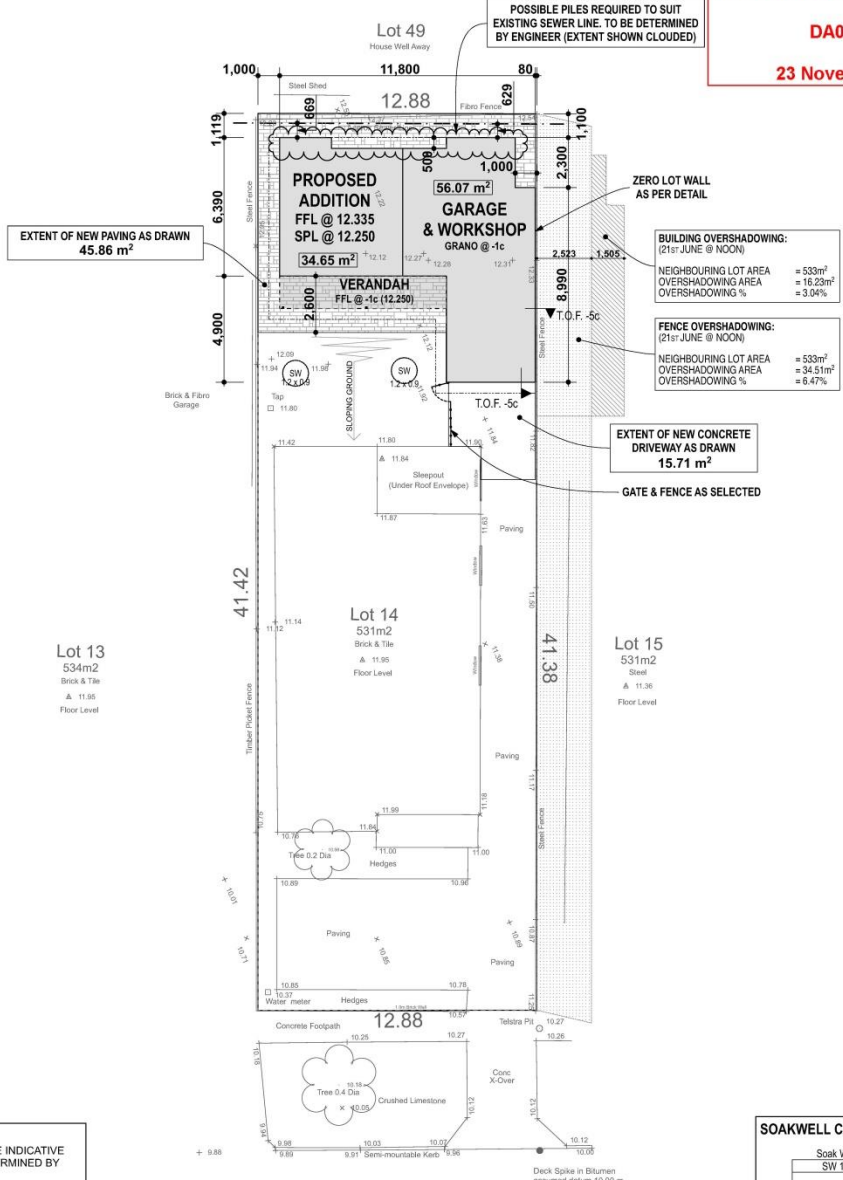
<p>CREATE HOMES PTY LTD Builders No: 191340 P 0410 292 469 E info@createhomes.com.au W www.createhomes.com.au</p>	REV	REVISION	DATE	TITLE	JOB No.
	A	CONCEPT DESIGN	18/02/2018	DEMO PLAN	J18-015
	B	PRELIMINARY DRAWINGS	03/04/2018	CLIENT	SANCHEZ
	C	ISSUED FOR BUILDING LICENCE	25/07/2018	ADDRESS	LOT 14 (#22) FIFTH AVENUE
D	REVISIONS - NATURAL GROUND LEVEL INDICATED	22/11/2018		BEACONSFIELD	SHEET 1 / 8
				CITY FREMANTLE	SCALE: 1:100
					REV: D
					CHECKED: DL
					DATE: 22/11/2018

SURVEY LEGEND				SERVICE INFORMATION:				SURVEY REPORT INFORMATION:				FEATURE SURVEY			
POWER	CONSUMER POLE	⊗	LIGHT POLE	⊕	WIRE ANCHOR	⊗	LOCATED	DATE SURVEYED:	23/02/18	LOT NUMBER	14	STREET NUMBER	22	STREET NAME	FIFTH AVENUE
	POWER DOME	⊗	STAY POLE	⊕	LIG CABLE BOX	⊗	AVAILABLE	MAP REFERENCE:	-						
	CABLE MANHOLE	⊗	POWER POLE	⊕			NO SERVICE	COASTAL:	< 1 km						
WATER	STOP VALVE	⊗	FLUSH POINT	⊕	WATER MARKER	⊗	TO CONFIRM	LOT TYPE:	EXISTING						
	HYDRANT	⊗	WATER TAP	⊕	WATER METER	⊗		LOT AREA:	-						
GAS	GAS MARKER	⊗	GAS METER	⊕	GAS VALVE	⊗		APPROX. AHD / DATUM	10.00m Assumed						
SEWERAGE	SEWER MANHOLE	⊗	INSPECTION SHaft	⊕	INSPECTION OPENING	⊗		SURVEYOR:	JPS						
STORMWATER	DRAINAGE MANHOLE	⊗	GRATE	⊕	SIDE ENTRY FIT	⊗		DRAWN:	JPS						
TELSTRA	TELSTRA MARKER	⊗	TELSTRA FIT	⊕	TELSTRA MANHOLE	⊗		JOB NUMBER:	32FTH						
SURVEY	PEG FOUND	⊗	PEG DISTURBED	⊕	PEG GONE	⊗		DRAWING TITLE	22FIFTH						
	NAIL & PLATE	⊗	CONTROL POINT	⊕	DATUM	⊗		SCALE 1:200							
								SHEET	1						
								REVISION							

**NOTE:** BOUNDARIES OVERLAID FOR ILLUSTRATION PURPOSES. REPEG REQUIRED TO ESTABLISH CORRECT BOUNDARIES

**NOTE:** SEWER NOT LOCATED - CONSULT ATTACHED PLANS TO CONFIRM LOCATIONS

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**23 November 2018**



**STORMWATER NOTE:**  
- ALL DOWNPIPES SHOWN ON PLAN ARE INDICATIVE ONLY. FINAL POSITIONS SHALL BE DETERMINED BY ROOF PLUMBER ON SITE.

**TERMITE MANAGEMENT NOTE:**  
TERMITE TREATMENT TO BE IN ACCORDANCE WITH THE NATIONAL CONSTRUCTION CODE (NCC) 2016 PART 3.1.3, PART 2.1.1 AND PART 10.7, USING THE TERMICO TERMITE MANAGEMENT SYSTEM.

**SOAKWELL CALCULATIONS:**

Soak Well Type	No.	Capacity
SW 1200x900	2	2.0 m3
Total Capacity		2.0 m3
Roof Area GF		116.7 m2
Total Area		116.7 m2
Capacity Required (Area x 0.0125)		1.3 m3
Extra Capacity Provided		0.6 m3

REV	REVISION	DATE	TITLE	JOB No.
A	CONCEPT DESIGN	13/02/2018	SITE PLAN	<b>J18-015</b>
B	PRELIMINARY DRAWINGS	03/04/2018	CLIENT	
C	ISSUED FOR BUILDING LICENCE	29/07/2018	SANCHEZ	
D	REVISIONS - NATURAL GROUND LEVEL INDICATED	22/11/2018	ADDRESS	
			LOT 14 (#22) FIFTH AVENUE	
			BEACONSFIELD	
			CITY FREMANTLE	



**TRADE NOTES:**  
 - ALL DIMENSIONS TO BE VERIFIED ON SITE BEFORE COMMENCING ANY WORK.  
 - ALL DIMENSIONS STRICTLY TO TAKE PREFERENCE OVER SCALING.  
 - ANY DISCREPANCIES WHICH MAY ARISE ARE TO BE QUERIED WITH THE BUILDER BEFORE CONTINUING.  
 - ANY DISCREPANCIES MUST BE REFERRED TO THE BUILDER OR THE SUBCONTRACTOR SHALL BEAR FULL RESPONSIBILITY FOR WORKS.  
 - THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEERS DETAILS AND OTHER CONSULTANTS DETAILS.  
 - REFER TO ENGINEER'S DETAILS FOR CONCRETE SLAB & FOOTING SPECIFICATIONS.  
 - ALL WORKS TO BE CARRIED OUT TO RELEVANT AUSTRALIAN STANDARDS, NCC REQUIREMENTS & RELEVANT AUTHORITIES. WORK TO BE DONE IN A GOOD AND WORKMAN LIKE MANNER AND TO THE ENTIRE SATISFACTION OF THE BUILDER.

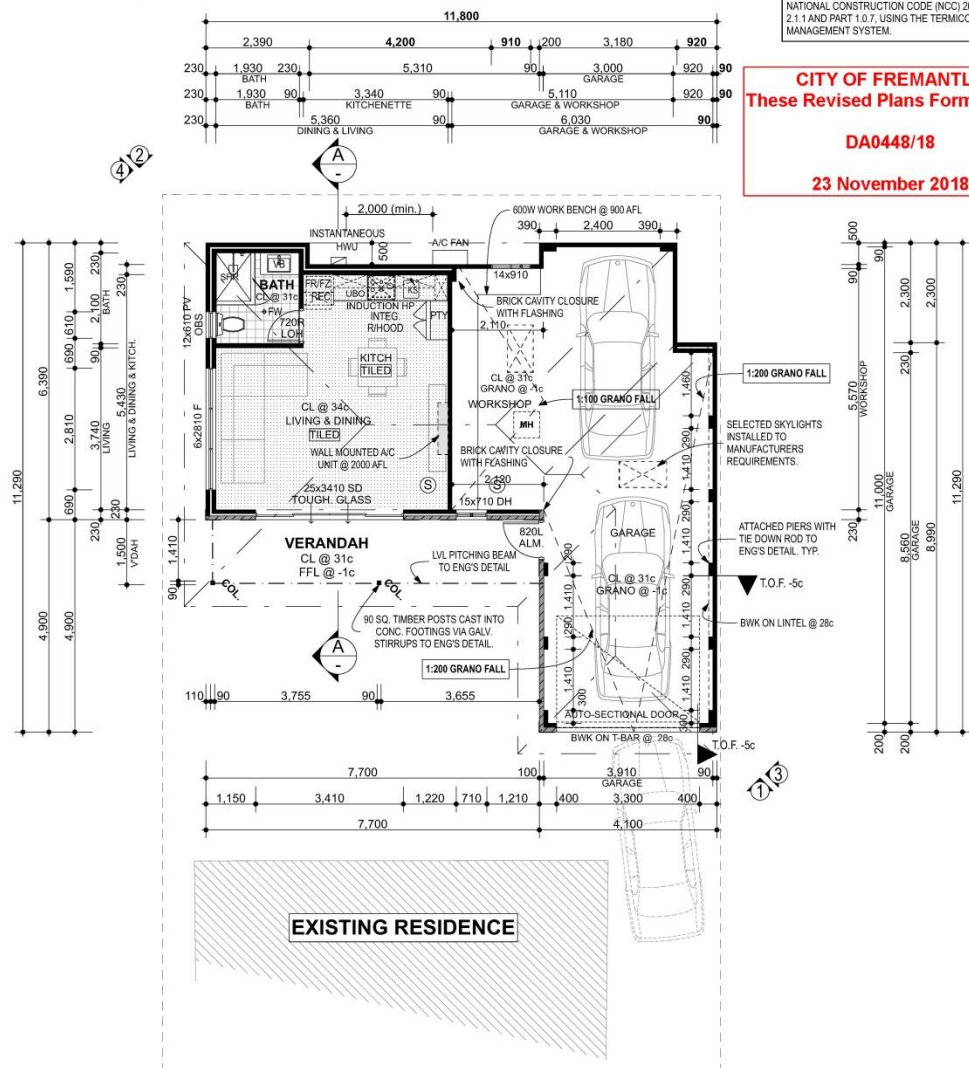
**ROOFING NOTE:**  
 - ALL ROOF FRAMING IN ACCORDANCE WITH AS 1684.  
 - STRUCTURAL STEEL IN ACCORDANCE WITH NCC 3.4.4.  
 - L.V.L.'S IN ACCORDANCE TO MANUFACTURERS SPECIFICATIONS.  
 - PROVIDE WESPINE H2 BLUE TREATED TIMBER TO ANY ROOF FRAMING.

**PLUMBING NOTES:**  
 - ALL DOWNPIPES SHOWN ON PLAN ARE INDICATIVE ONLY. FINAL POSITIONS SHALL BE DETERMINED BY ROOF PLUMBER ON SITE.


**CEILING NOTE:**  
 - CEILINGS @ 31c AFL UNLESS OTHERWISE NOTED.

**TERMITE MANAGEMENT NOTE:**  
 TERMITE TREATMENT TO BE IN ACCORDANCE WITH THE NATIONAL CONSTRUCTION CODE (NCC) 2016 PART 3.1.3, PART 2.1.1 AND PART 1.0.7, USING THE TERMICO TERMITE MANAGEMENT SYSTEM.

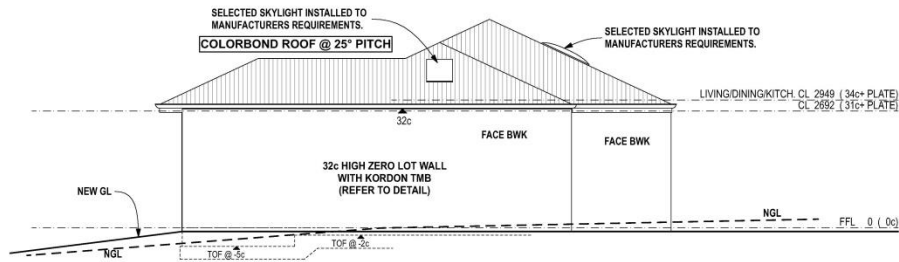
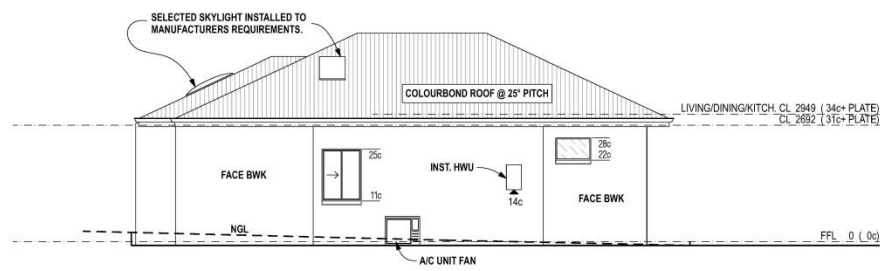
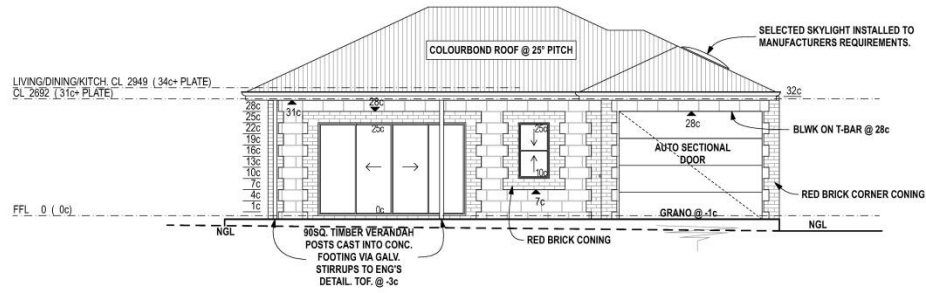
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 23 November 2018




AREAS:	
Garage & Workshop Area	56.07
Addition Area	34.65
Verandah Area	11.55
	<b>102.27 m<sup>2</sup></b>
Roof Area	<b>116.72</b>
External Wall Perimeter	<b>41.18m</b>

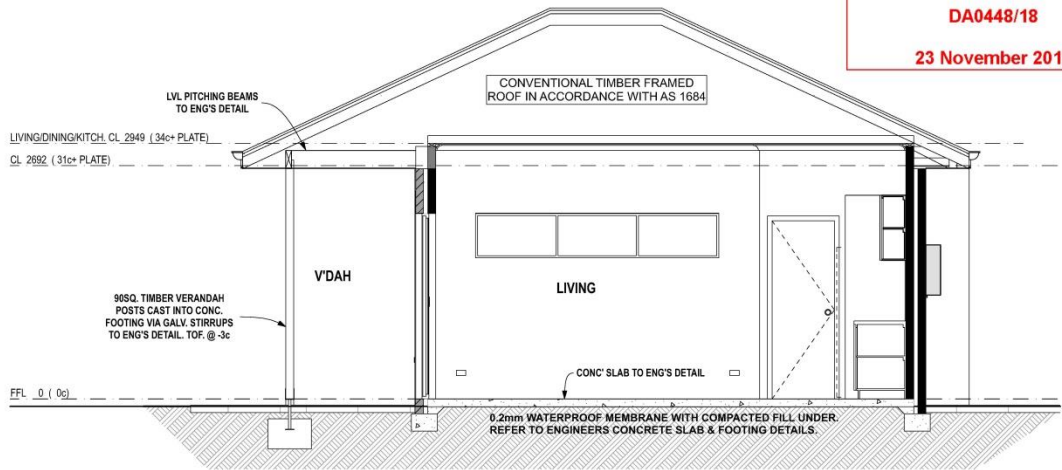
 <b>CREATE HOMES</b>	CREATE HOMES PTY LTD Builders No: 161349 P 0410 292 469 E info@createhomes.com.au W www.createhomes.com.au	<table border="1"> <thead> <tr> <th>REV</th> <th>REVISION</th> <th>DATE</th> <th>TITLE</th> </tr> </thead> <tbody> <tr> <td>A</td> <td>CONCEPT DESIGN</td> <td>13/02/2018</td> <td>FLOOR PLAN</td> </tr> <tr> <td>B</td> <td>PRELIMINARY DRAWINGS</td> <td>03/04/2018</td> <td>CLIENT</td> </tr> <tr> <td>C</td> <td>ISSUED FOR BUILDING LICENCE</td> <td>29/07/2018</td> <td>SANCHEZ</td> </tr> <tr> <td>D</td> <td>REVISIONS - NATURAL GROUND LEVEL INDICATED</td> <td>22/11/2018</td> <td>ADDRESS</td> </tr> </tbody> </table>	REV	REVISION	DATE	TITLE	A	CONCEPT DESIGN	13/02/2018	FLOOR PLAN	B	PRELIMINARY DRAWINGS	03/04/2018	CLIENT	C	ISSUED FOR BUILDING LICENCE	29/07/2018	SANCHEZ	D	REVISIONS - NATURAL GROUND LEVEL INDICATED	22/11/2018	ADDRESS	JOB No: <b>J18-015</b> SHEET: <b>3 / 8</b> SIZE: A3 SCALE: 1:100 REV: <b>D</b> CHECKED: CL DATE: 22/11/2018
	REV	REVISION	DATE	TITLE																			
	A	CONCEPT DESIGN	13/02/2018	FLOOR PLAN																			
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D	REVISIONS - NATURAL GROUND LEVEL INDICATED	22/11/2018	ADDRESS																				
		LOT 14 (#22) FIFTH AVENUE BEACONSFIELD CITY FREMANTLE																					

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**23 November 2018**

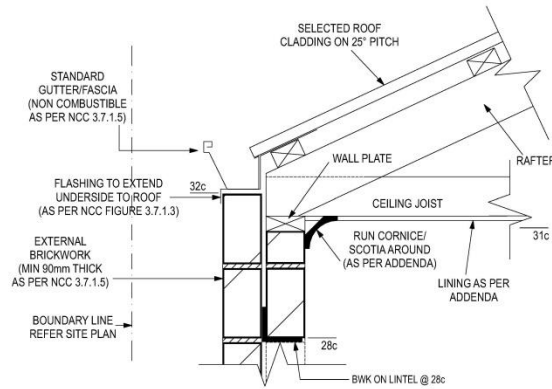


 <b>CREATE HOMES</b>	CREATE HOMES PTY LTD Builders No: 181349 P 0410 292 469 E info@createhomes.com.au W www.createhomes.com.au	REV A CONCEPT DESIGN REV B PRELIMINARY DRAWINGS REV C ISSUED FOR BUILDING LICENCE REV D REVISIONS - NATURAL GROUND LEVEL INDICATED	DATE 13/02/2018 03/04/2018 29/07/2018 22/11/2018	TITLE ELEVATIONS CLIENT SANCHEZ ADDRESS LOT 14 (#22) FIFTH AVENUE BEACONSFIELD SHIRE CITY FREMANTLE	JOB No: <b>J18-015</b> SHEET 5 / 8 SIZE A3 SCALE 1:100 CHECKED DL DATE 22/11/2018
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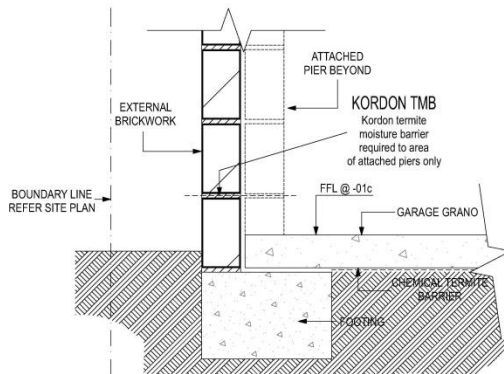
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**DA0448/18**  
**23 November 2018**



Section A-A  
1:50




This wall is in accordance with NCC 3.7.1.5 (a (ii)) AND NCC Figure 3.7.1.3



**ZERO LOT LINE TERMITES BARRIER  
SINGLE LEAF WALL USING KORDON TMB**  
Prevents termite entry via hollow brickwork and internal shrinkage gap of garage slab

**GARAGE ZERO LOT WALL DETAIL**  
1:10

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D	REVISIONS - NATURAL GROUND LEVEL INDICATED	22/11/2018																	

## ATTACHMENT 3: Site Photos

### ATTACHMENT 2: Site Photos



**Photo 1:** Existing driveway.

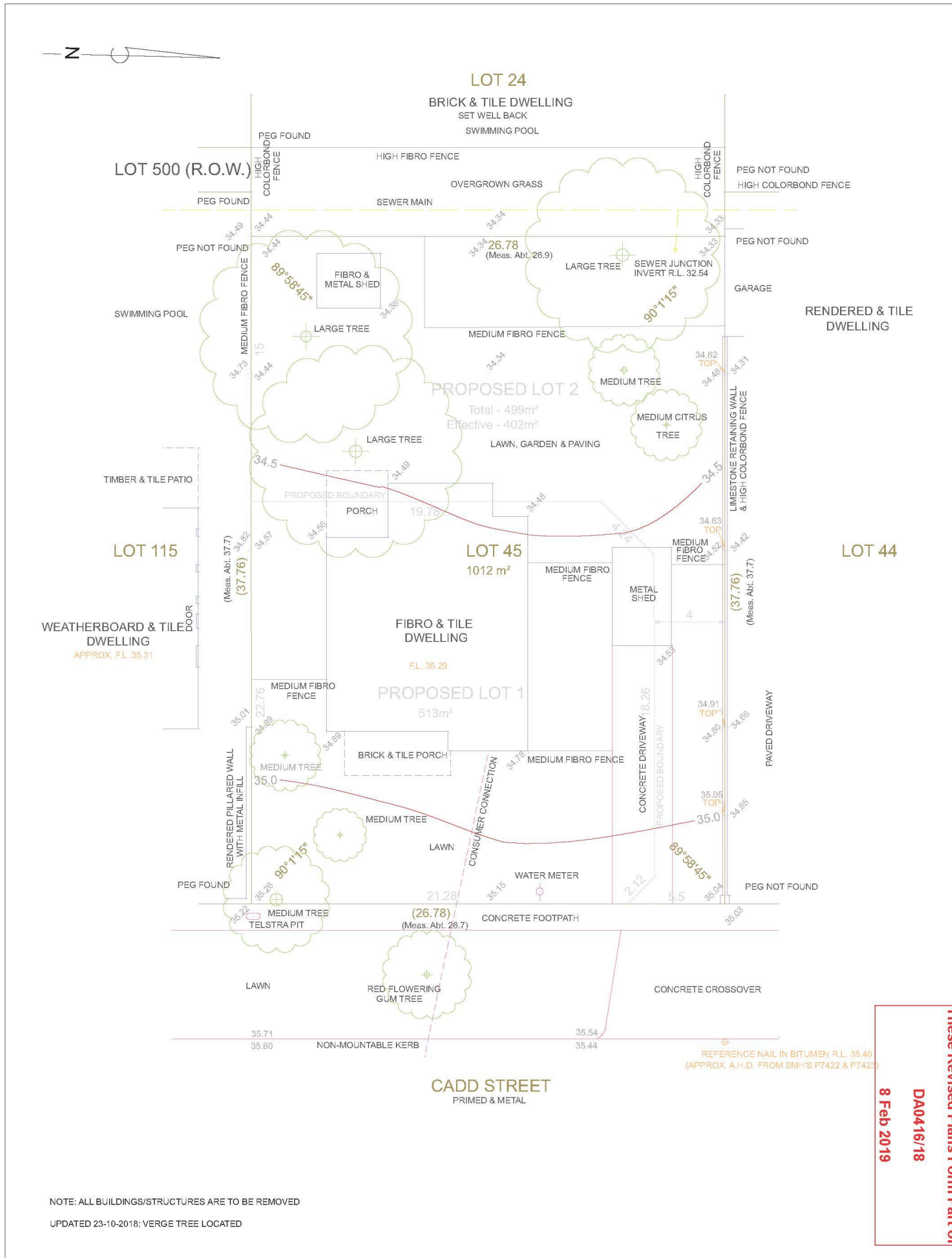


**Photo 2:** Existing outbuilding along southern boundary



**Photo 3:** View from southern dividing fence into adjoining lot.

**PC1903 -2 DEFERRED ITEM- CADD STREET,NO. 21 (LOT 45), BEACONSFIELD - TWO, TWO STOREY GROUPED DWELLINGS - (CJ DA0416/18)**  
**ATTACHMENT 1 - Revised development plans**



NOTE: ALL BUILDINGS/STRUCTURES ARE TO BE REMOVED  
 UPDATED 23-10-2018: VERGE TREE LOCATED

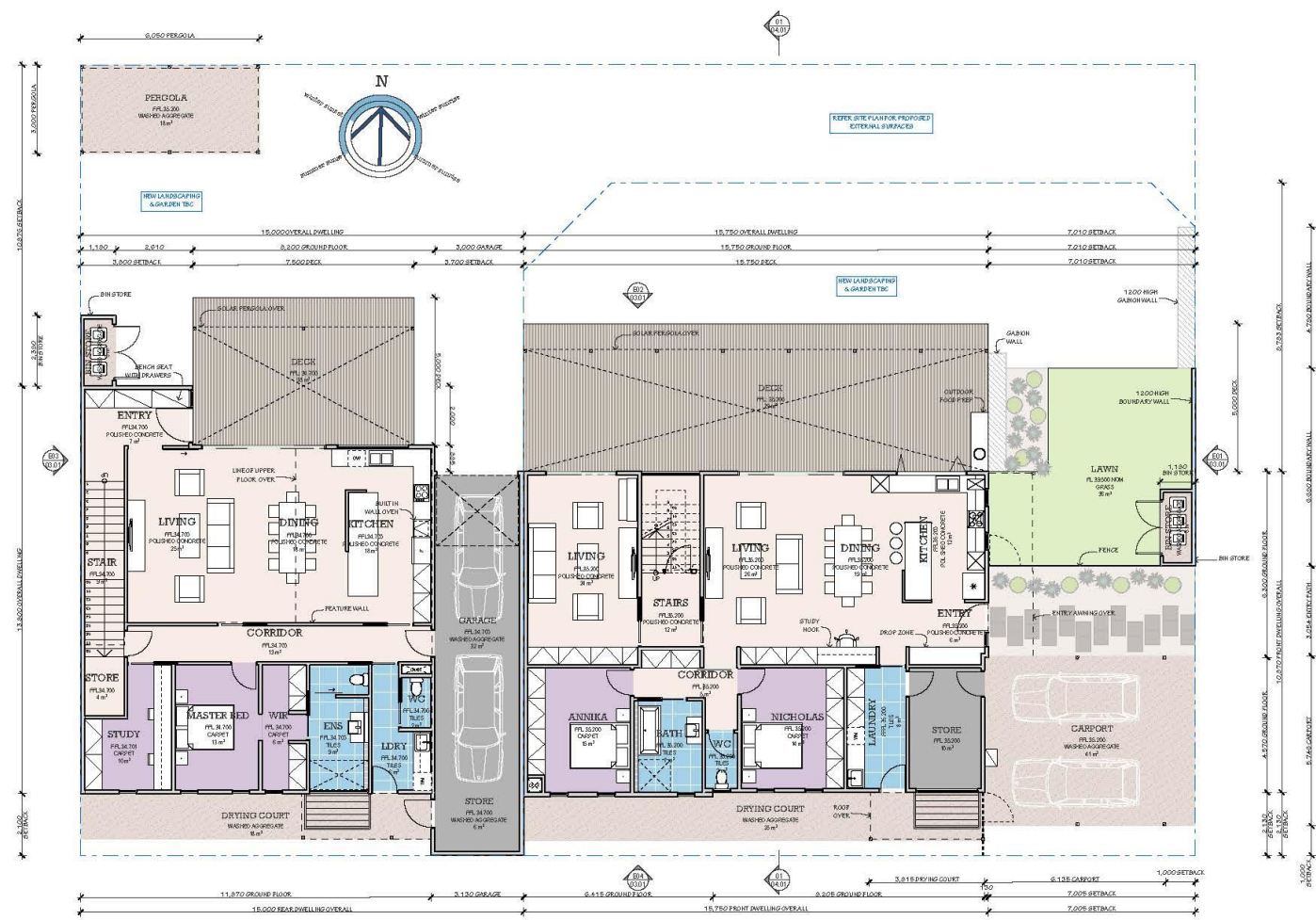
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**DA0416/18**  
**8 Feb 2019**

<p><b>PROPOSED SURVEY-STRATA OF LOT 45</b>  <b>#21 CADD STREET, BEACONSFIELD</b></p>		<p>DIAL 1100 BEFORE YOU DIG</p>	<p>CHECK TITLE FOR EASEMENTS, RESTRICTIVE COVENANTS ETC.                  THIS SURVEY DOES NOT GUARANTEE THE CORRECT POSITION OF BOUNDARY PEGS OR FENCES.                  ALL FEATURES AND BUILDING POSITIONS ARE APPROXIMATE ONLY, AS THEY HAVE BEEN POSITIONED FROM MEASUREMENTS TAKEN FROM EXISTING PEGS, FENCES &amp; WALLS.                  A BOUNDARY RE-ESTABLISHMENT SURVEY IS RECOMMENDED PRIOR TO UNDERTAKING ANY SITE WORKS OR CONSTRUCTION.                  INFORMATION SHOWN ON THIS SURVEY IS CURRENT AT THE DATE SHOWN.                  CARLTON SURVEYS ACCEPTS NO RESPONSIBILITY FOR ANY CHANGES THAT HAVE OCCURRED AFTER THIS DATE, TO SITE LEVELS AND FEATURES OR BUILDINGS.                  CADASTRAL BOUNDARY DIMENSIONS SHOWN HAVE BEEN OBTAINED FROM SURVEY PLANS AND ARE SUBJECT TO FIELD SURVEY.</p>
<p>PLAN : 3336                  C/T : 1096-498                  AUTHORITY : CITY OF FREMANTLE                  TOTAL LOT AREA : 1012 m²                  SCALE : 1 : 200 @ A3                  SURVEY DATE : 13-04-2018                  JOB : 15149</p>	<p>THIS PROPOSED SUBDIVISION PLAN IS SUBJECT TO APPROVAL BY THE WESTERN AUSTRALIAN PLANNING COMMISSION &amp; LOCAL GOVERNMENT &amp; IS SUBJECT TO FIELD SURVEY TO CONFIRM PROPOSED DIMENSIONS.</p> <p>DRAFTED BY : MM &amp; MSO                  DATE : 30 - 5 - 2018</p>	<p><b>CARLTON SURVEYS</b>  <i>Licensed Surveyors</i>                  SUITE 4, 160 BURSWOOD ROAD,                  BURSWOOD, W.A., 6100.                  TEL 9361 5358 FAX 9361 3457                  E-mail : carlton@carlton-surveys.com.au</p>	



REVISED DEVELOPMENT APPLICATION

**CITY OF FREMANTLE**  
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**8 Feb 2019**

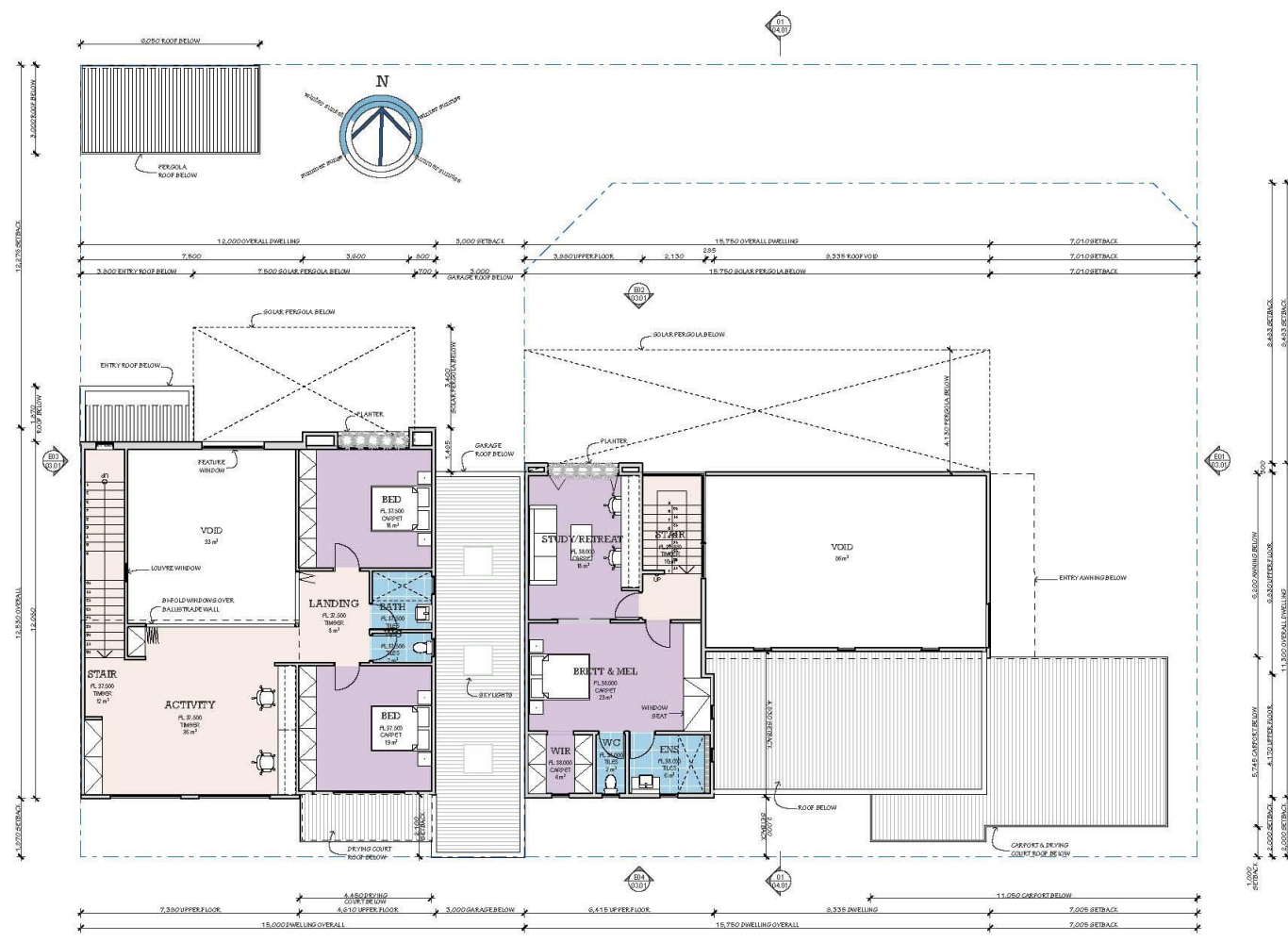


01

**GROUND FLOOR PLAN (OVERALL)**  
 1:200

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01 UPPER FLOOR PLAN (OVERALL) 1:200



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CLIENT/PROJECT:  
 Montgomery  
 Lot 45 No 21 Cadd Street Beaconsfield WA 6162

DRAWING TITLE  
 UPPER FLOOR PLAN (OVERALL)

PROJECT STATUS:  
 REVISED DEVELOPMENT  
 APPLICATION

ARCHITECT:  
 S2  
 DRAWN:  
 DR

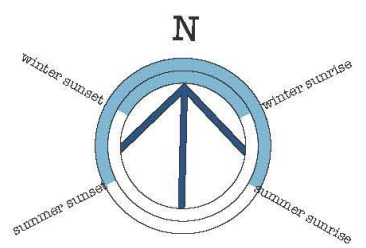
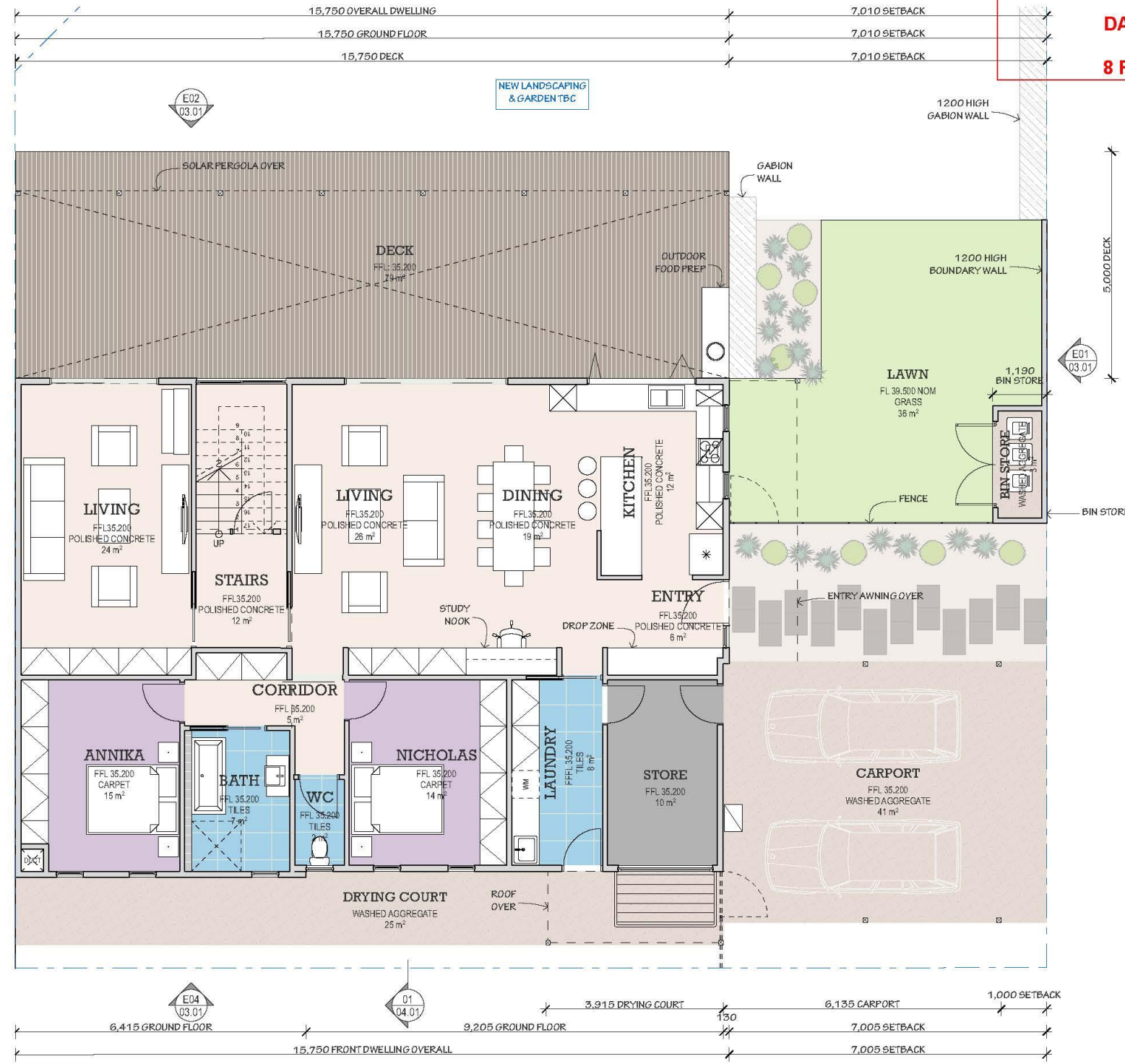
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 PRINT DATE:  
 8/2/19

PROJECT NO:  
 2018-10 CAD  
 REVISION  
 D

DWG NO:  
 02.02

REVISED DEVELOPMENT APPLICATION

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8 Feb 2019



01

GROUND FLOOR PLAN (FRONT DWELLING)  
1:100



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www.sidthoo.com

CLIENT/PROJECT:  
Montgomery  
Lot 45 No 21 Cadd Street Beaconsfield WA 6162

DRAWING TITLE  
GROUND FLOOR PLAN (FRONT DWELLING),  
GROUND FLOOR PLAN

PROJECT STATUS:  
REVISED DEVELOPMENT  
APPLICATION

ARCHITECT:  
S2  
DRAWN:  
DR

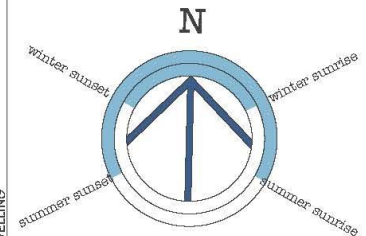
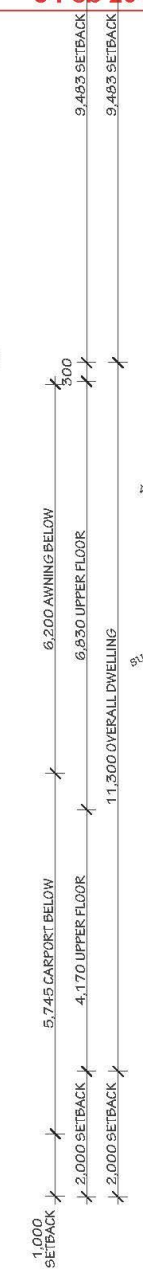
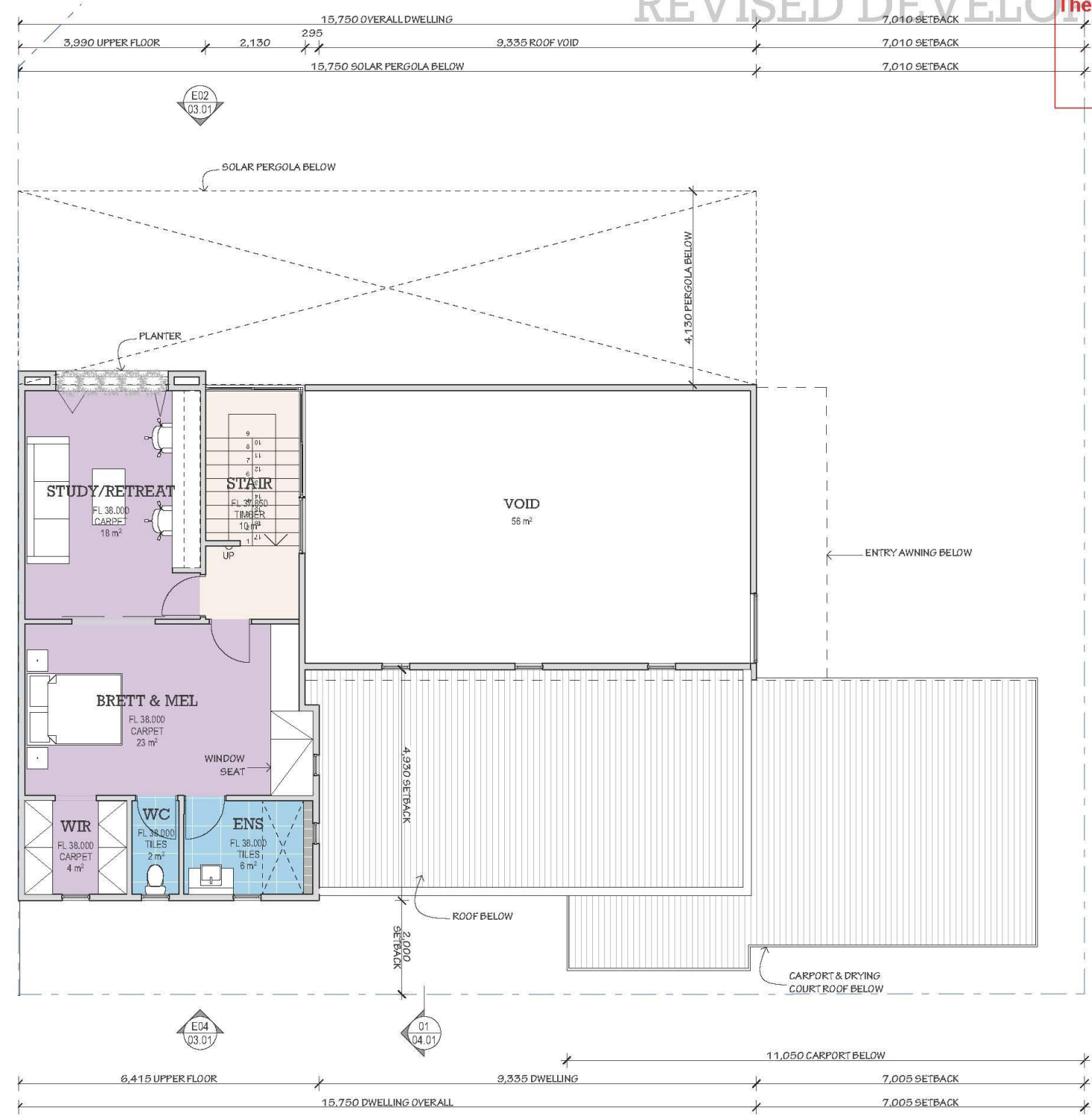
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8/2/19

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REVISION  
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DWG NO:  
**02.03**

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03

UPPER FLOOR PLAN (FRONT DWELLING)  
1:100



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Lot 45 No 21 Cadd Street Beaconsfield WA 6162

DRAWING TITLE  
UPPER FLOOR PLAN (FRONT DWELLING), UPPER  
FLOOR PLAN

PROJECT STATUS:  
REVISED DEVELOPMENT  
APPLICATION

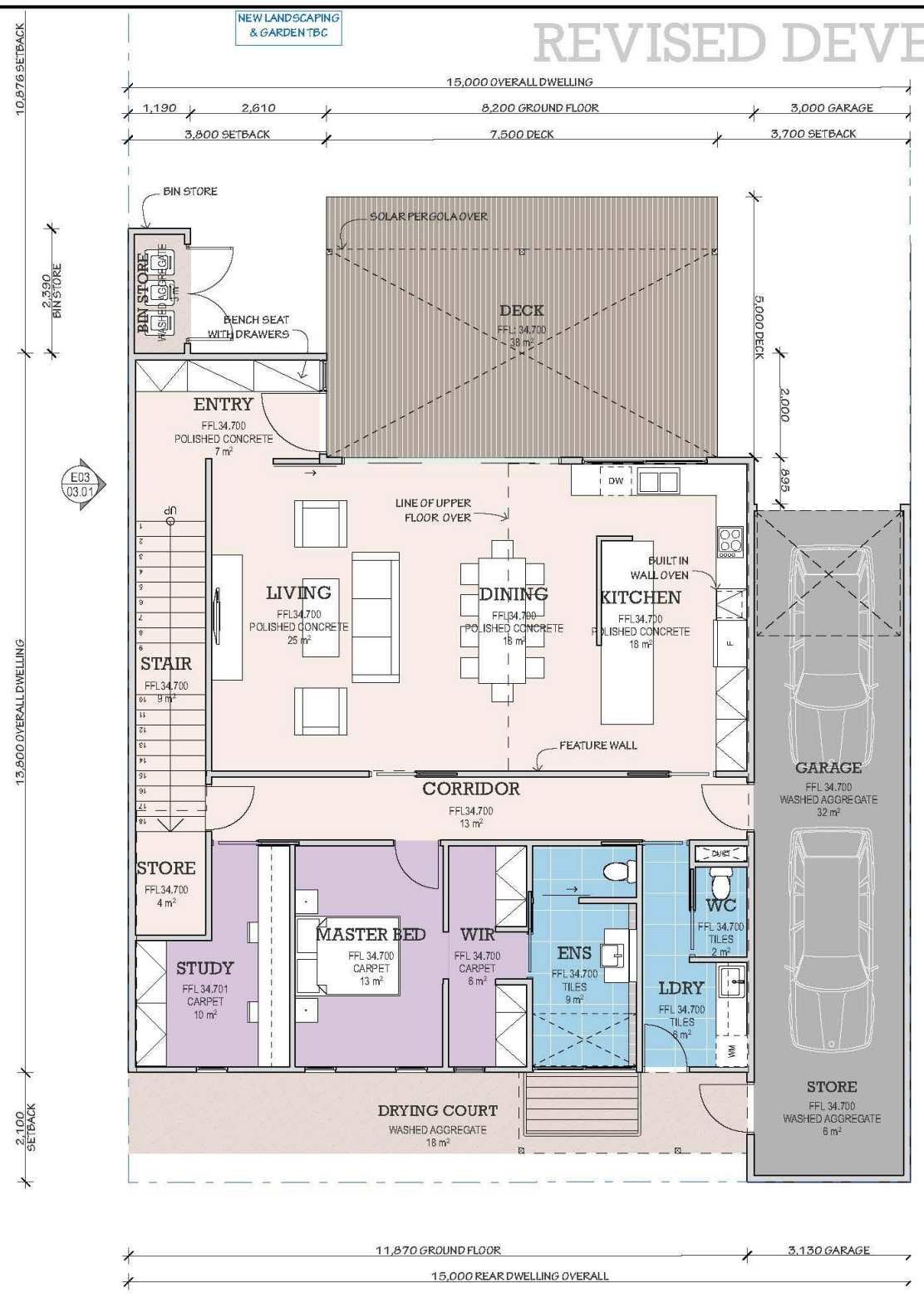
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PRINT DATE:  
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PROJECT NO:  
2018-10 CAD  
REVISION  
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01 **GROUND FLOOR PLAN (REAR DWELLING)**  
 1:100



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 Montgomery  
 Lot 45 No 21 Cadd Street Beaconsfield WA 6162

DRAWING TITLE  
 GROUND FLOOR PLAN (REAR DWELLING),  
 GROUND FLOOR PLAN

PROJECT STATUS:  
 REVISED DEVELOPMENT  
 APPLICATION

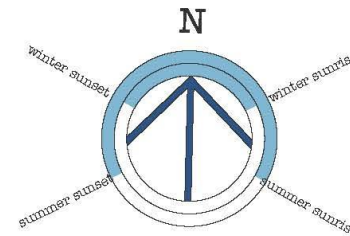
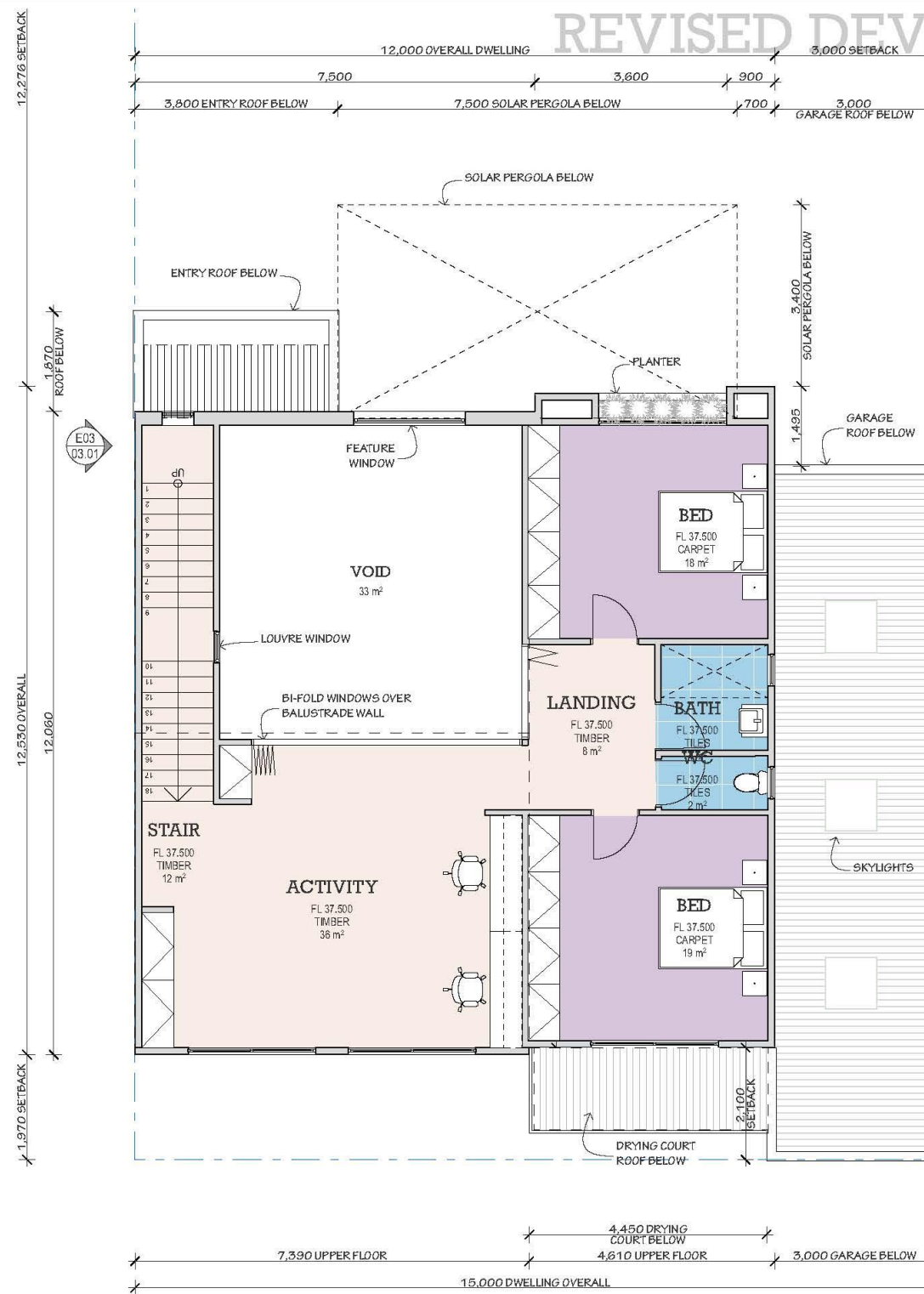
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 DRAWN:  
 DR

SCALE:  
 1:100  
 PRINT DATE:  
 8/2/19

PROJECT NO:  
 2018-10 CAD  
 REVISION  
 D

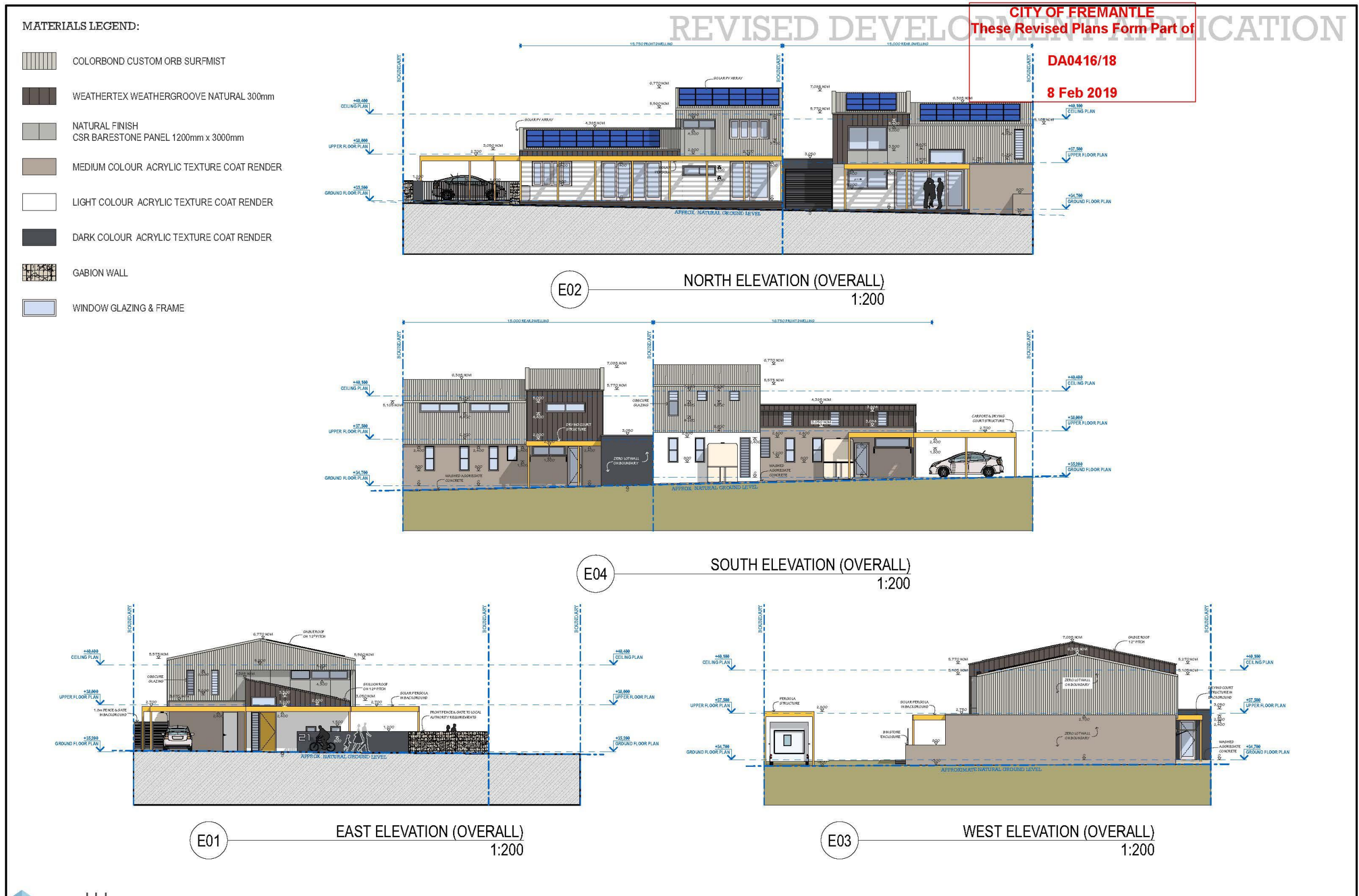
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**02.05**

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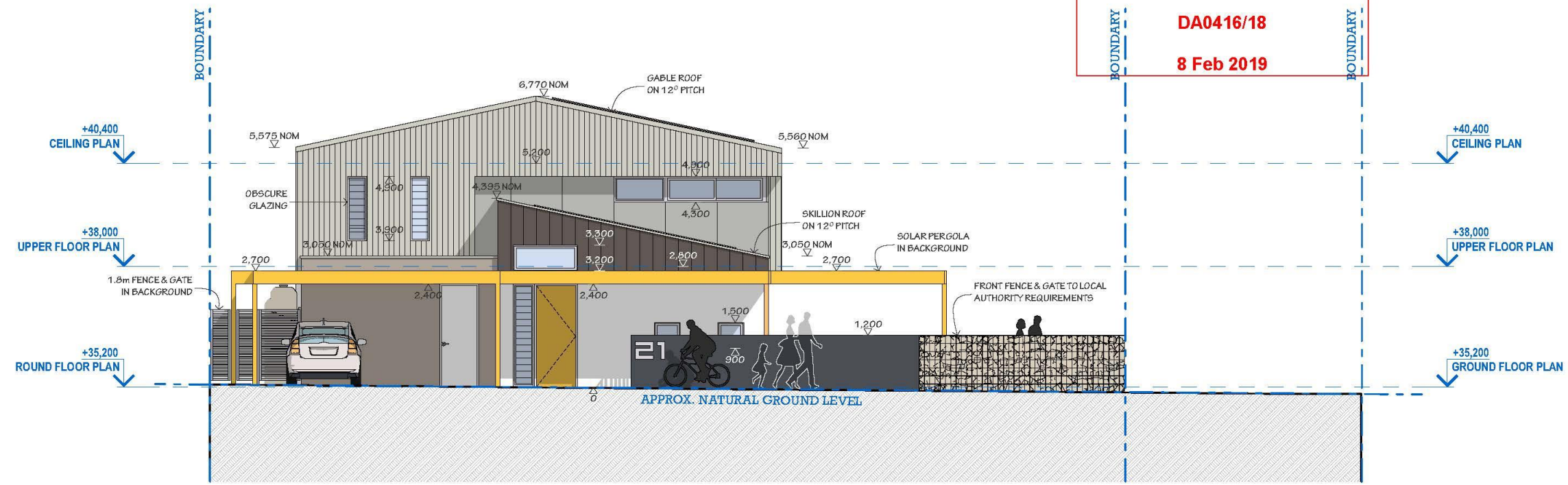
01

UPPER FLOOR PLAN (REAR DWELLING)  
 1:100






REVISED DEVELOPMENT APPLICATION

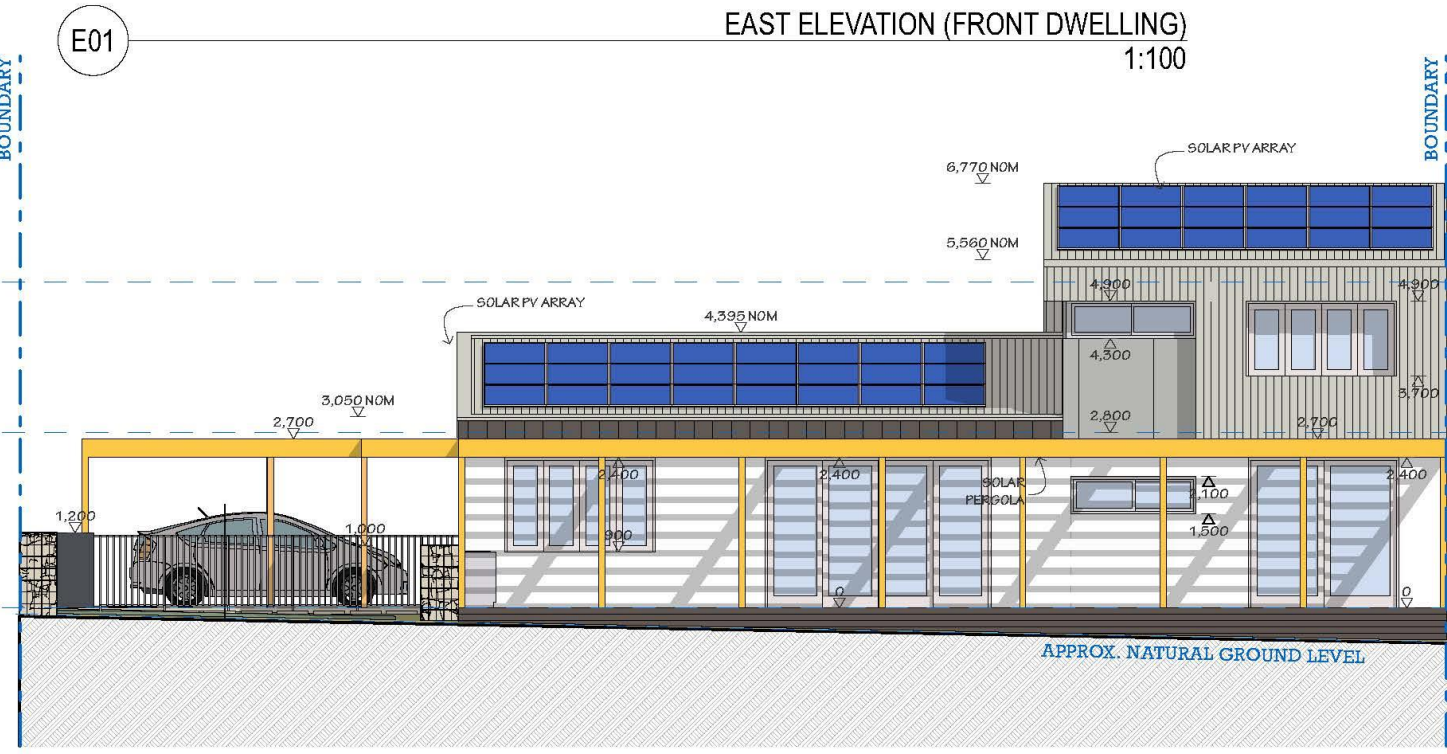
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 8 Feb 2019



EAST ELEVATION (FRONT DWELLING)

1:100

- MATERIALS LEGEND:**
-  COLORBOND CUSTOM ORB SURFMIST
  -  WEATHERTEX WEATHERGROOVE NATURAL 300mm
  -  NATURAL FINISH CSR BARESTONE PANEL 1200mm x 3000mm
  -  MEDIUM COLOUR ACRYLIC TEXTURE COAT RENDER
  -  LIGHT COLOUR ACRYLIC TEXTURE COAT RENDER
  -  DARK COLOUR ACRYLIC TEXTURE COAT RENDER
  -  GABION WALL
  -  WINDOW GLAZING & FRAME



NORTH ELEVATION (FRONT DWELLING)

1:100



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CLIENT/PROJECT:  
 Montgomery  
 Lot 45 No 21 Cadd Street Beaconsfield WA 6162

DRAWING TITLE  
 NORTH ELEVATION (FRONT DWELLING), EAST  
 ELEVATION (FRONT DWELLING)

PROJECT STATUS:  
 REVISED DEVELOPMENT  
 APPLICATION

ARCHITECT:  
 S2  
 DRAWN:  
 DR

SCALE:  
 1:100  
 PRINT DATE:  
 8/2/19






PROJECT NO:  
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DWG NO:  
**03.02**

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**8 Feb 2019**

REVISED DEVELOPMENT APPLICATION

**MATERIALS LEGEND:**

-  COLORBOND CUSTOM ORB SURFMIST
-  WEATHERTEX WEATHERGROOVE NATURAL 300mm
-  NATURAL FINISH  
CSR BARESTONE PANEL 1200mm x 3000mm
-  MEDIUM COLOUR ACRYLIC TEXTURE COAT RENDER
-  LIGHT COLOUR ACRYLIC TEXTURE COAT RENDER
-  DARK COLOUR ACRYLIC TEXTURE COAT RENDER
-  GABION WALL
-  WINDOW GLAZING & FRAME



E04

**SOUTH ELEVATION (FRONT DWELLING)**  
 1:100



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 Lot 45 No 21 Cadd Street Beaconsfield WA 6162

DRAWING TITLE  
 SOUTH ELEVATION (FRONT DWELLING)

PROJECT STATUS:  
 REVISED DEVELOPMENT  
 APPLICATION

ARCHITECT:  
 S2  
 DRAWN:  
 DR

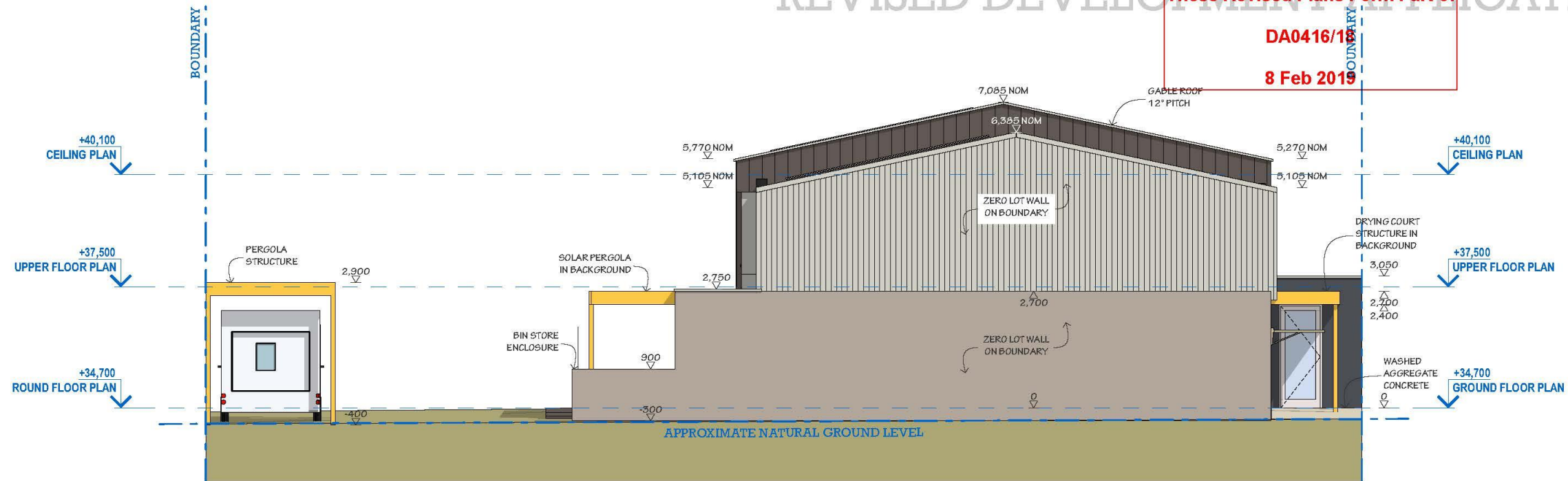
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 1:100  
 PRINT DATE:  
 8/2/19

PROJECT NO:  
 2018-10 CAD  
 REVISION  
 D

**DWG NO:**  
**03.03**

**CITY OF FREMANTLE**  
 These Revised Plans Form Part of  
**DA0416/18**  
**8 Feb 2019**

REVISED DEVELOPMENT APPLICATION



WEST ELEVATION (REAR DWELLING)

1:100

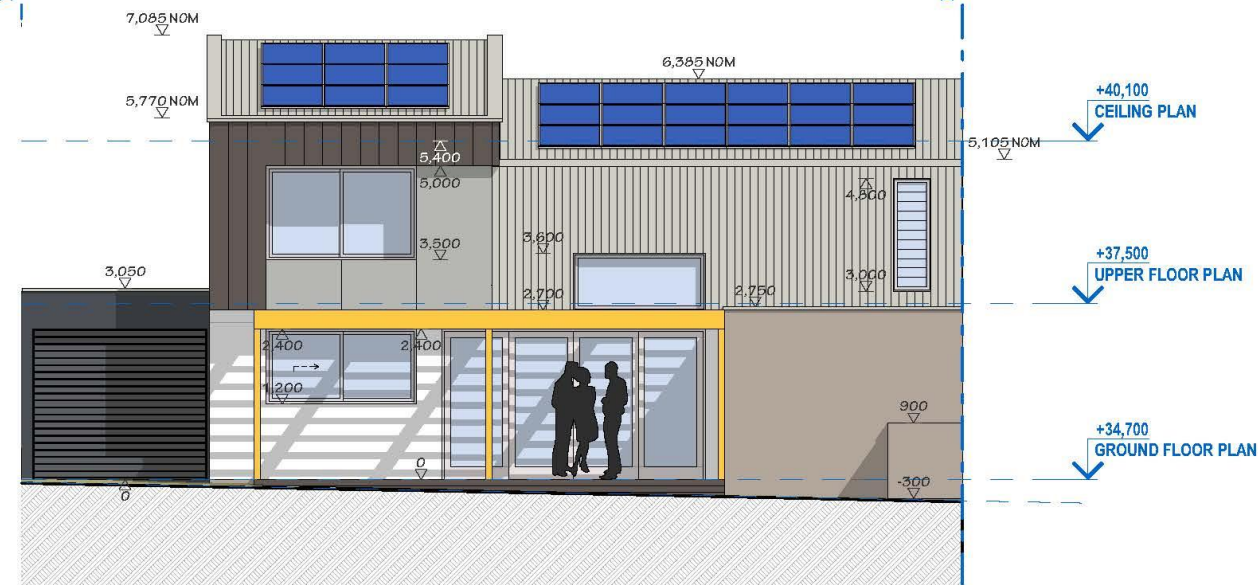
MATERIALS LEGEND:

- COLORBOND CUSTOM ORB SURFMIST
- WEATHERTEX WEATHERGROOVE NATURAL 300mm
- NATURAL FINISH CSR BARESTONE PANEL 1200mm x 3000mm
- MEDIUM COLOUR ACRYLIC TEXTURE COAT RENDER
- LIGHT COLOUR ACRYLIC TEXTURE COAT RENDER
- DARK COLOUR ACRYLIC TEXTURE COAT RENDER
- GABION WALL
- WINDOW GLAZING & FRAME

E03

BOUNDARY

BOUNDARY



NORTH ELEVATION (OVERALL)

1:100

E02



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CLIENT/PROJECT:  
 Montgomery  
 Lot 45 No 21 Cadd Street Beaconsfield WA 6162

DRAWING TITLE  
 WEST ELEVATION (REAR DWELLING), NORTH  
 ELEVATION (OVERALL), MATERIALS LEGEND

PROJECT STATUS:  
 REVISED DEVELOPMENT  
 APPLICATION

ARCHITECT:  
 S2  
 DRAWN:  
 DR

SCALE:  
 1:100  
 PRINT DATE:  
 8/2/19

PROJECT NO:  
 2018-10 CAD  
 REVISION  
 D

DWG NO:  
**03.04**



REVISED DEVELOPMENT APPLICATION

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 8 Feb 2019



01

PERSPECTIVE FROM NORTH EAST



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CLIENT|PROJECT:  
 Montgomery  
 Lot 45 No 21 Cadd Street Beaconsfield WA 6162

DRAWING TITLE  
 PERSPECTIVE FROM NORTH EAST

PROJECT STATUS:  
 REVISED DEVELOPMENT  
 APPLICATION

ARCHITECT:  
 S2  
 DRAWN:  
 DR

SCALE:  
 1:12.59  
 PRINT DATE:  
 8/2/19

PROJECT NO:  
 2018-10 CAD  
 REVISION  
 D

DWG NO:  
**09.01**

REVISED DEVELOPMENT APPLICATION

CITY OF FREMANTLE  
 These Revised Plans Form Part of  
 DA0416/18  
 8 Feb 2019



02

PERSPECTIVE FROM NORTH-WEST



address : 33|211 Beaufort Street Perth WA 6000  
 phone : 0428 473 790 | email : sid@sidthoo.com  
 www.sidthoo.com

CLIENT|PROJECT:  
 Montgomery  
 Lot 45 No 21 Cadd Street Beaconsfield WA 6162

DRAWING TITLE  
 PERSPECTIVE FROM NORTH-WEST

PROJECT STATUS:  
 REVISED DEVELOPMENT  
 APPLICATION

ARCHITECT:  
 S2  
 DRAWN:  
 DR

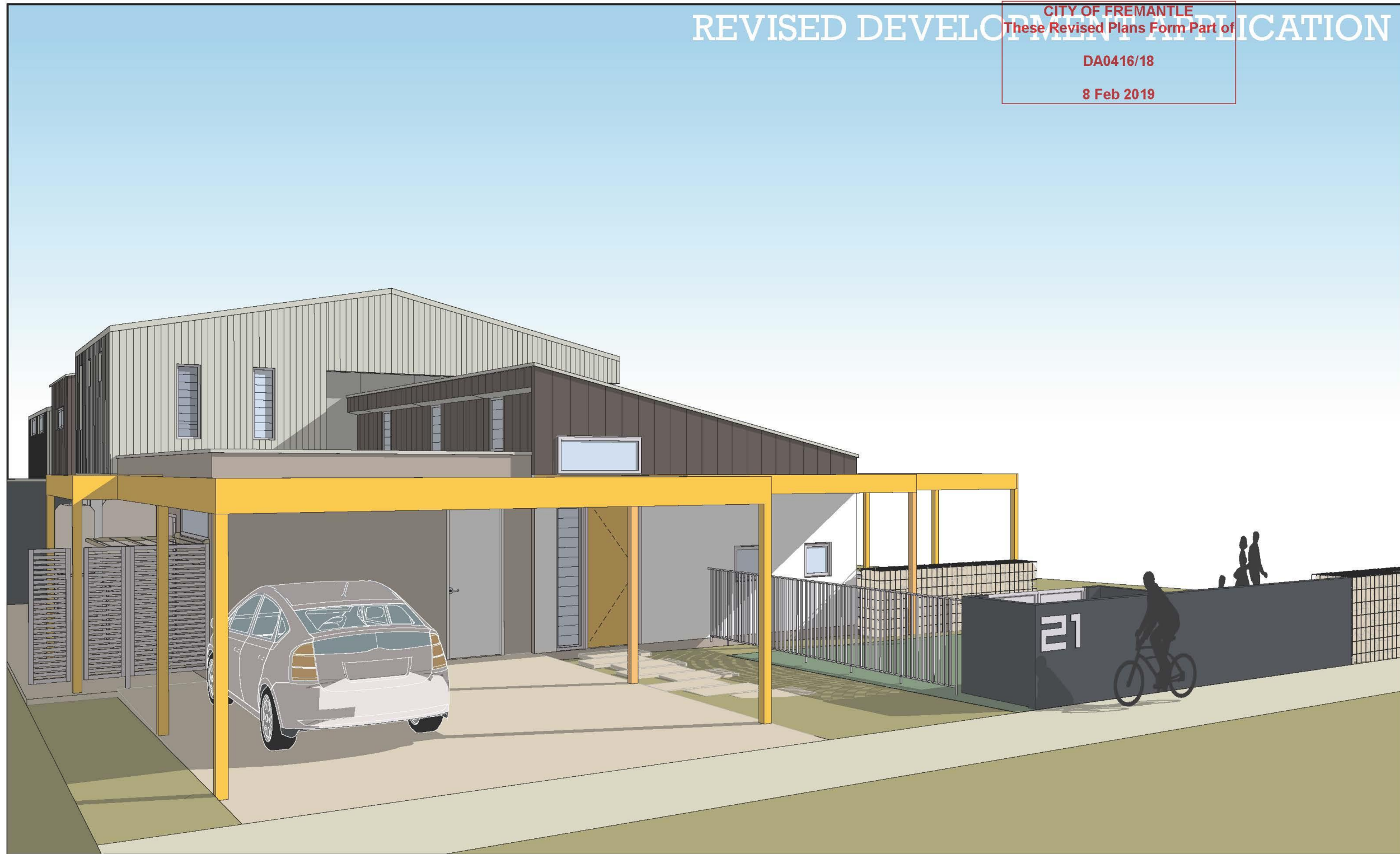
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 1:12.82  
 PRINT DATE:  
 8/2/19

PROJECT NO:  
 2018-10 CAD  
 REVISION  
 D

DWG NO:  
**09.02**

REVISED DEVELOPMENT APPLICATION

CITY OF FREMANTLE  
 These Revised Plans Form Part of  
 DA0416/18  
 8 Feb 2019



03

PERSPECTIVE FROM SOUTH-EAST



address : 33|211 Beaufort Street Perth WA 6000  
 phone : 0428 473 790 | email : sid@sidthoo.com  
 www.sidthoo.com

CLIENT/PROJECT:  
 Montgomery  
 Lot 45 No 21 Cadd Street Beaconsfield WA 6162

DRAWING TITLE  
 PERSPECTIVE FROM SOUTH-EAST

PROJECT STATUS:  
 REVISED DEVELOPMENT  
 APPLICATION

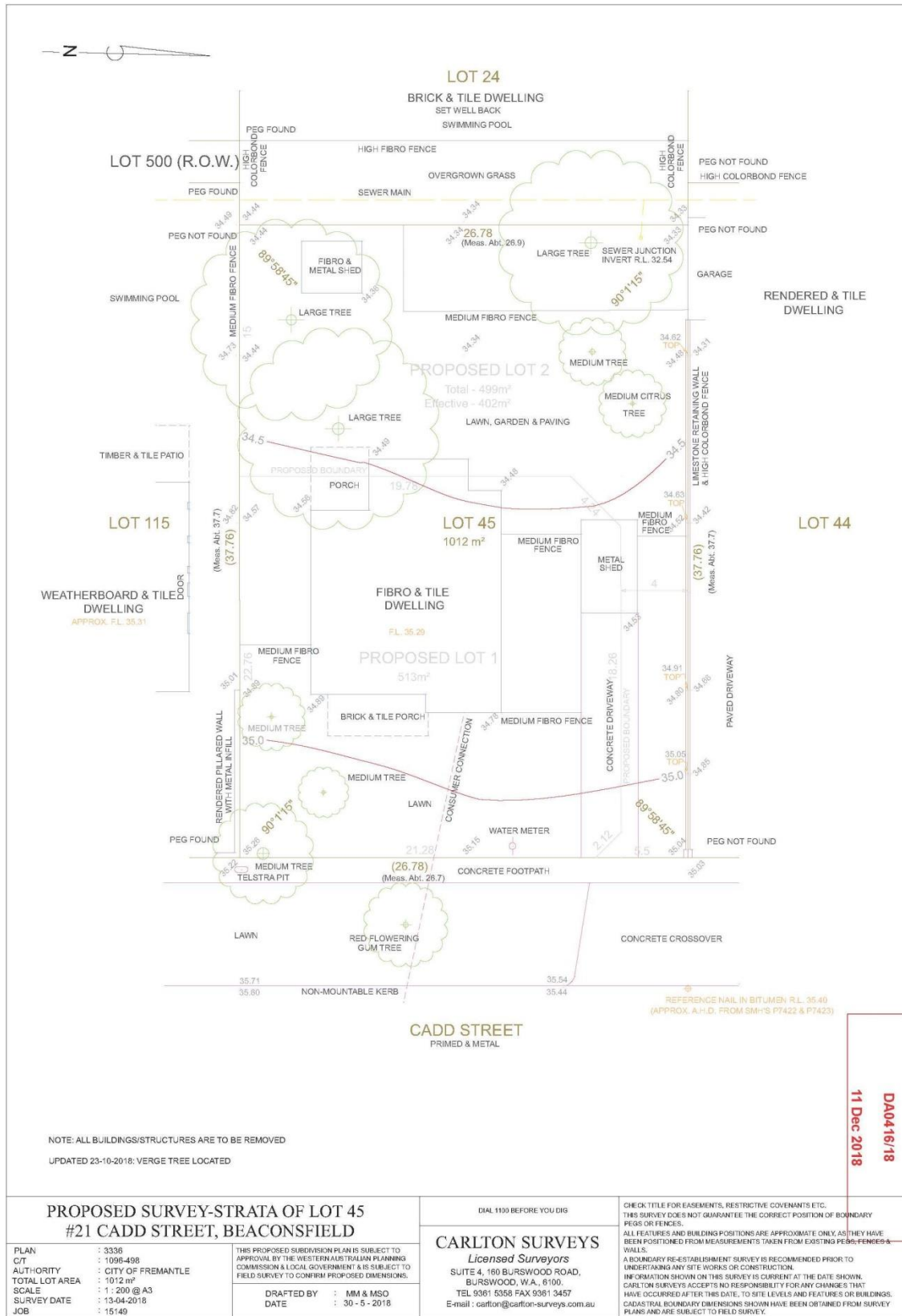
ARCHITECT:  
 S2  
 DRAWN:  
 DR

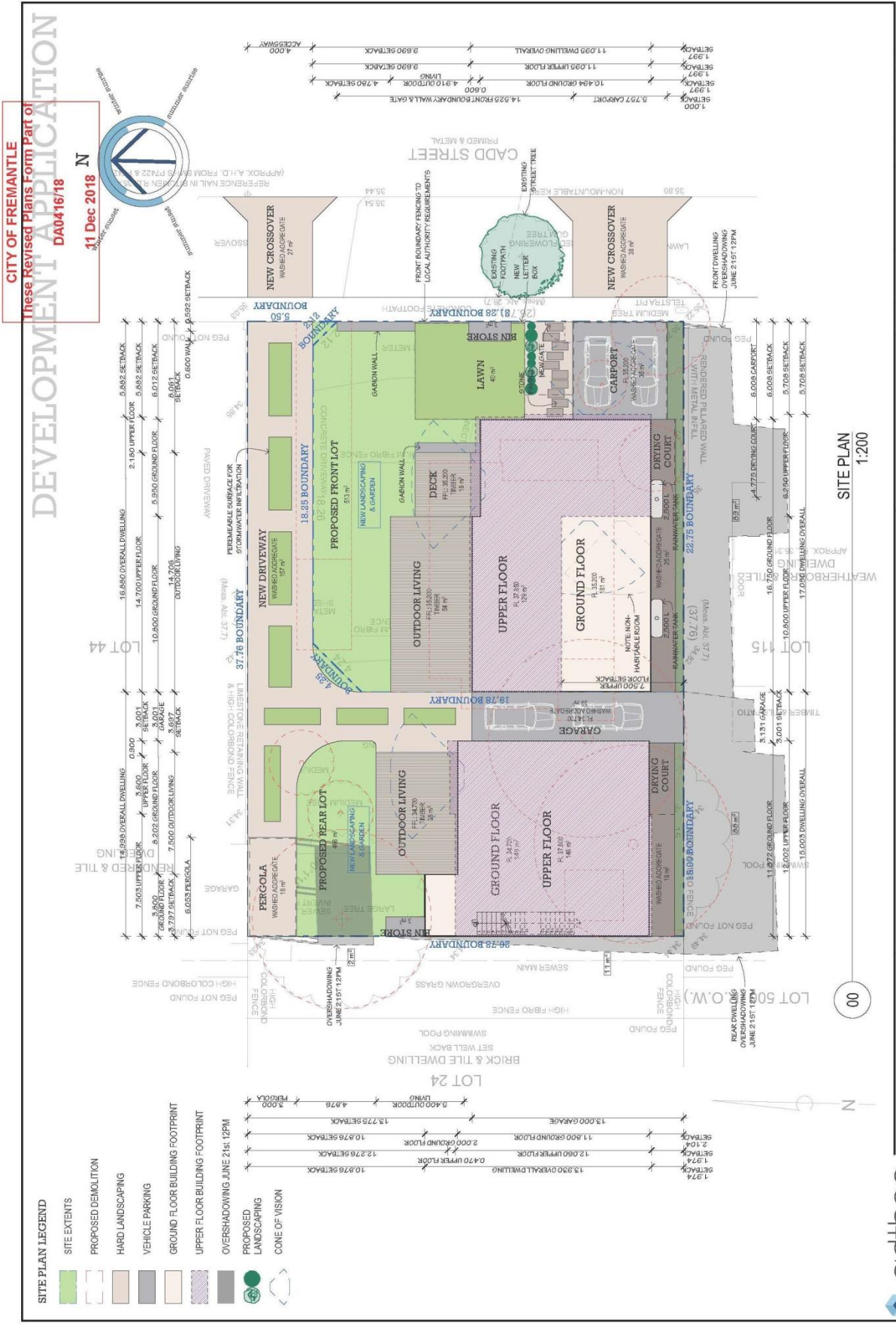
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 1:12.82  
 PRINT DATE:  
 8/2/19

PROJECT NO:  
 2018-10 CAD  
 REVISION  
 D

DWG NO:  
 09.03

ATTACHMENT 2- Original development plans





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**DEVELOPMENT APPLICATION**  
DA00416/18  
11 Dec 2018

- SITE PLAN LEGEND**
- SITE EXTENTS
  - PROPOSED DEMOLITION
  - HARD LANDSCAPING
  - VEHICLE PARKING
  - GROUND FLOOR BUILDING FOOTPRINT
  - UPPER FLOOR BUILDING FOOTPRINT
  - OVERSHADOWING JUNE 21st 12PM
  - PROPOSED LANDSCAPING
  - CONE OF VISION

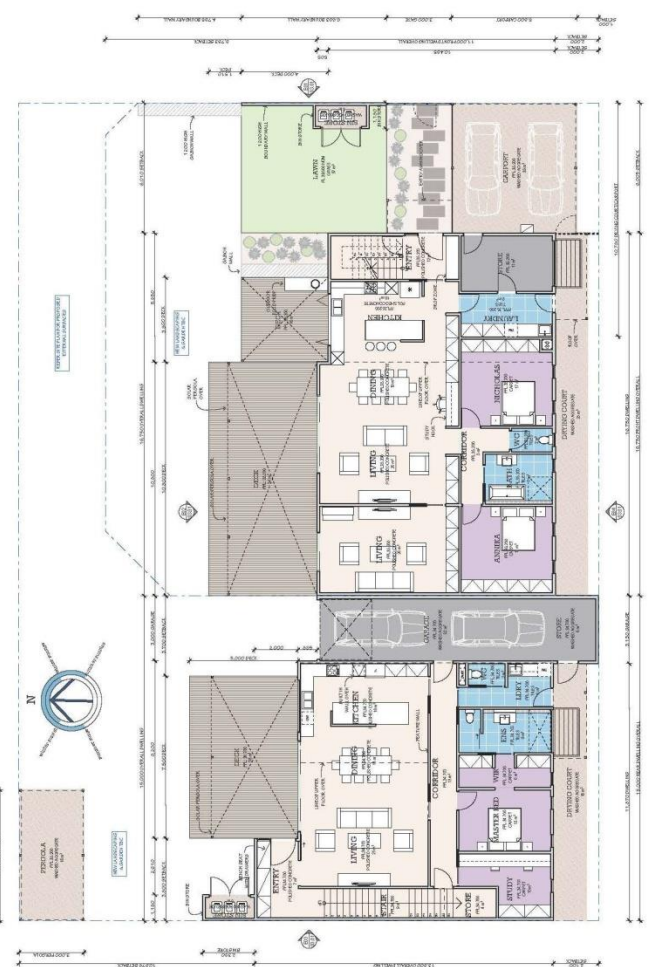
**SITE PLAN**  
1:200

<p>address : 33/211 Beaulieu Street Perth WA 6000 phone : 0828 473 790   email : sid@sidthoo.com www.sidthoo.com</p>	<p>DRAWING TITLE SITE PLAN, SITE SURVEY, SITE LEGEND</p>	<p>PROJECT STATUS: DEVELOPMENT APPLICATION</p>	<p>ARCHITECT S2</p>	<p>SCALE: 1:200, 1:100</p>	<p>PROJECT NO: 2018-10 CAD</p>	<p>DWG NO: 01.02</p>
	<p>CLIENT PROJECT: Lot 45 No 21 Cadd Street Beausfield WA 6162</p>	<p>SITE PLAN, SITE SURVEY, SITE LEGEND</p>	<p>PRINT DATE: 11/12/18</p>	<p>DRAWN: DR</p>	<p>REVISION: C</p>	<p>REVISION: C</p>

CITY OF FREMANTLE  
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DA0416/18  
11 Dec 2018

# DEVELOPMENT APPLICATION



GROUND FLOOR PLAN (OVERALL)  
1:200

01

address : 33/211 Beaufort Street Perth WA 6100  
phone : 0828473790 | email : sic@sidthoo.com  
www.sidthoo.com

CLIENT PROJECT:  
Lot 45 No 21 Cash Street, Beaconsfield WA 6162

DRAWING TITLE:  
GROUND FLOOR PLAN (OVERALL)

PROJECT NO:  
2018-10 CAD

PROJECT STATUS:  
DEVELOPMENT APPLICATION

ARCHITECT:  
S2

SCALE:  
1:200

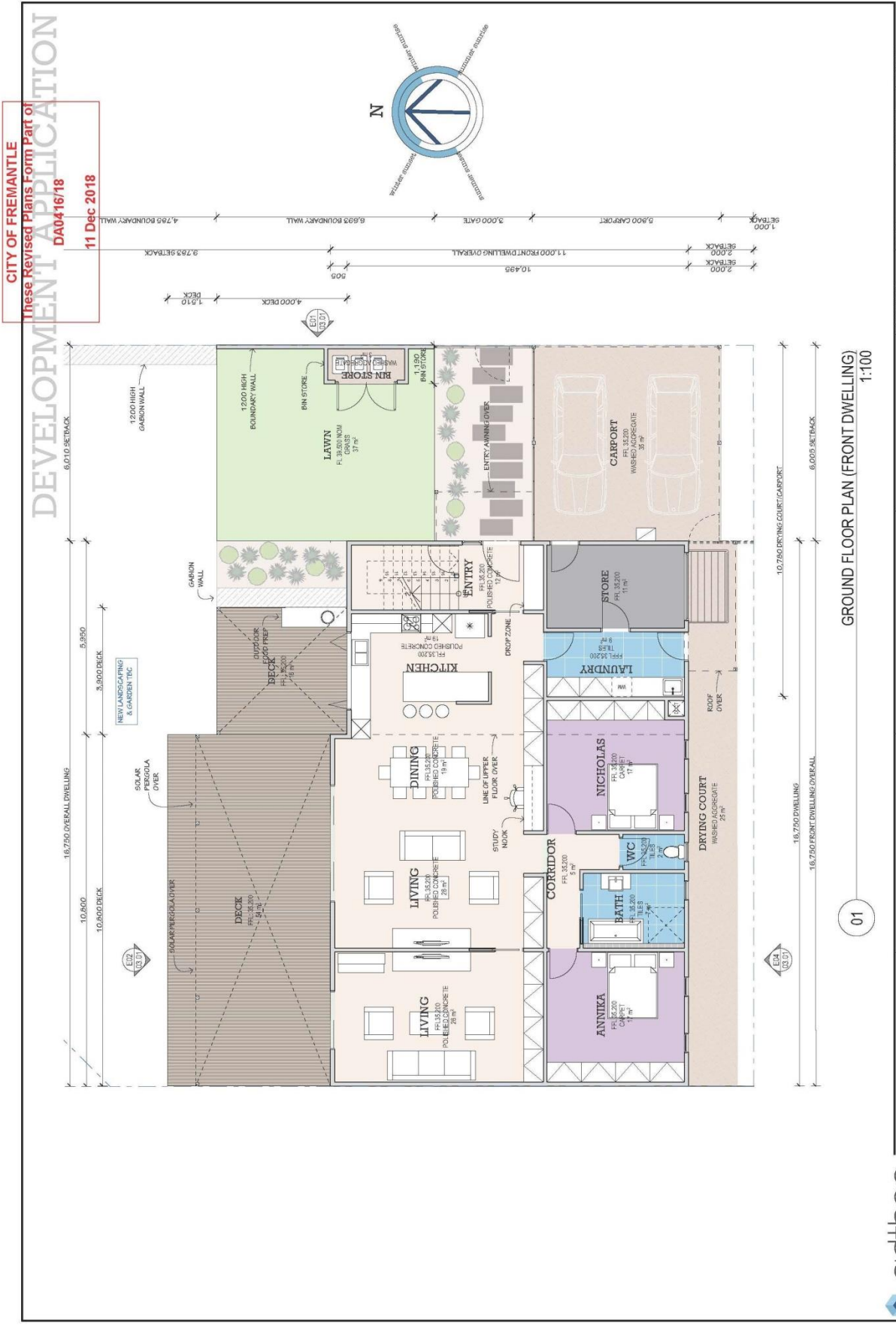
PRINT DATE:  
11/12/18

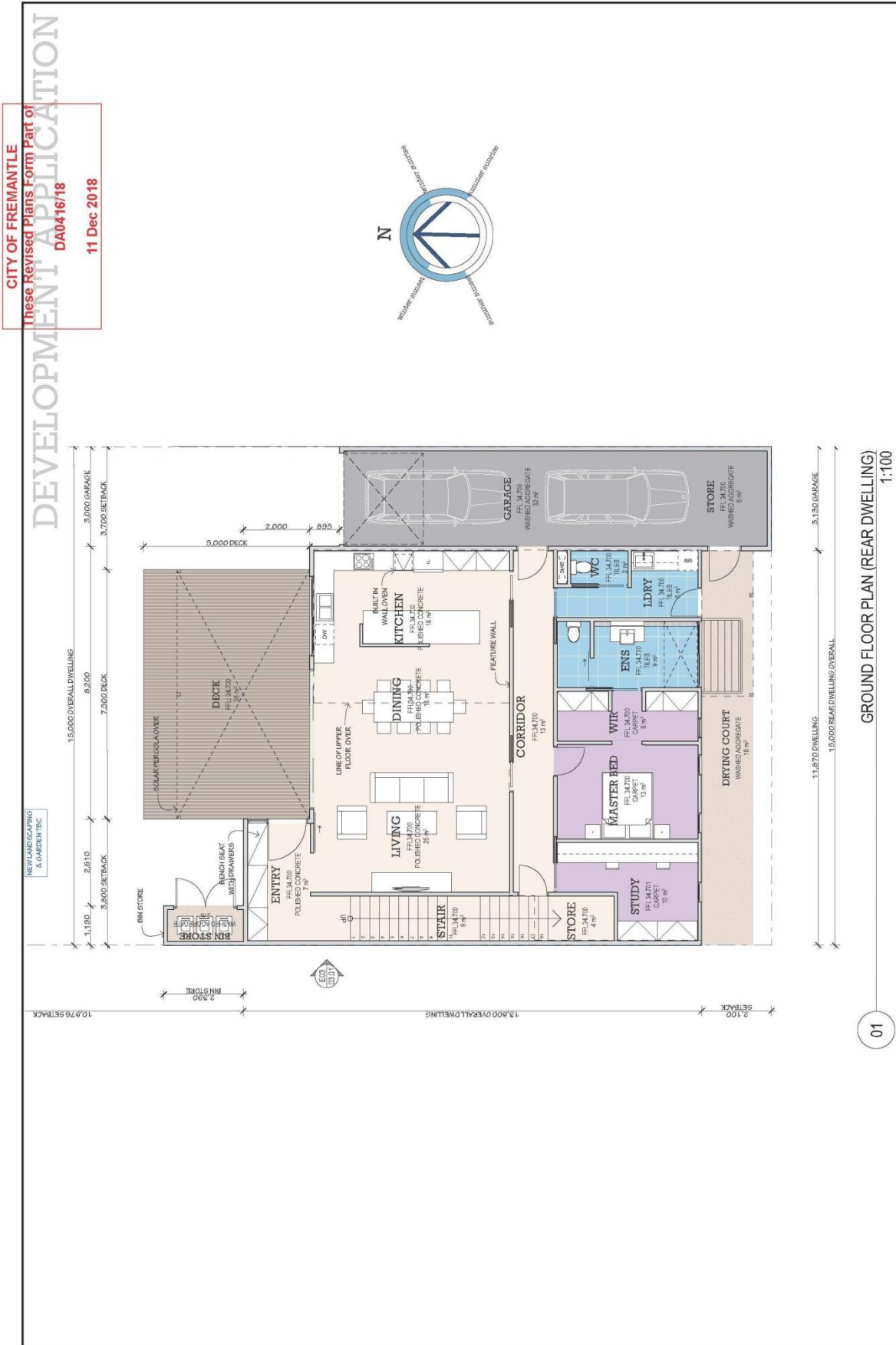
DWG NO:  
02.01

DRAWN:  
DR

REVISION:  
C

DATE:  
11/12/18





CLIENT PROJECT: Lot 45 No 21 Cassin Street, Beaconsfield WA 6162 www.sidthoo.com	DRAWING TITLE: GROUND FLOOR PLAN (REAR DWELLING) GROUND FLOOR PLAN	PROJECT STATUS: DEVELOPMENT APPLICATION	ARCHITECT: S2	SCALE: 1:100	PROJECT NO: 2018-10 CAD	DWG NO: 02.05
			DRAWN: DR	PRINT DATE: 11/12/18	REVISION: C	



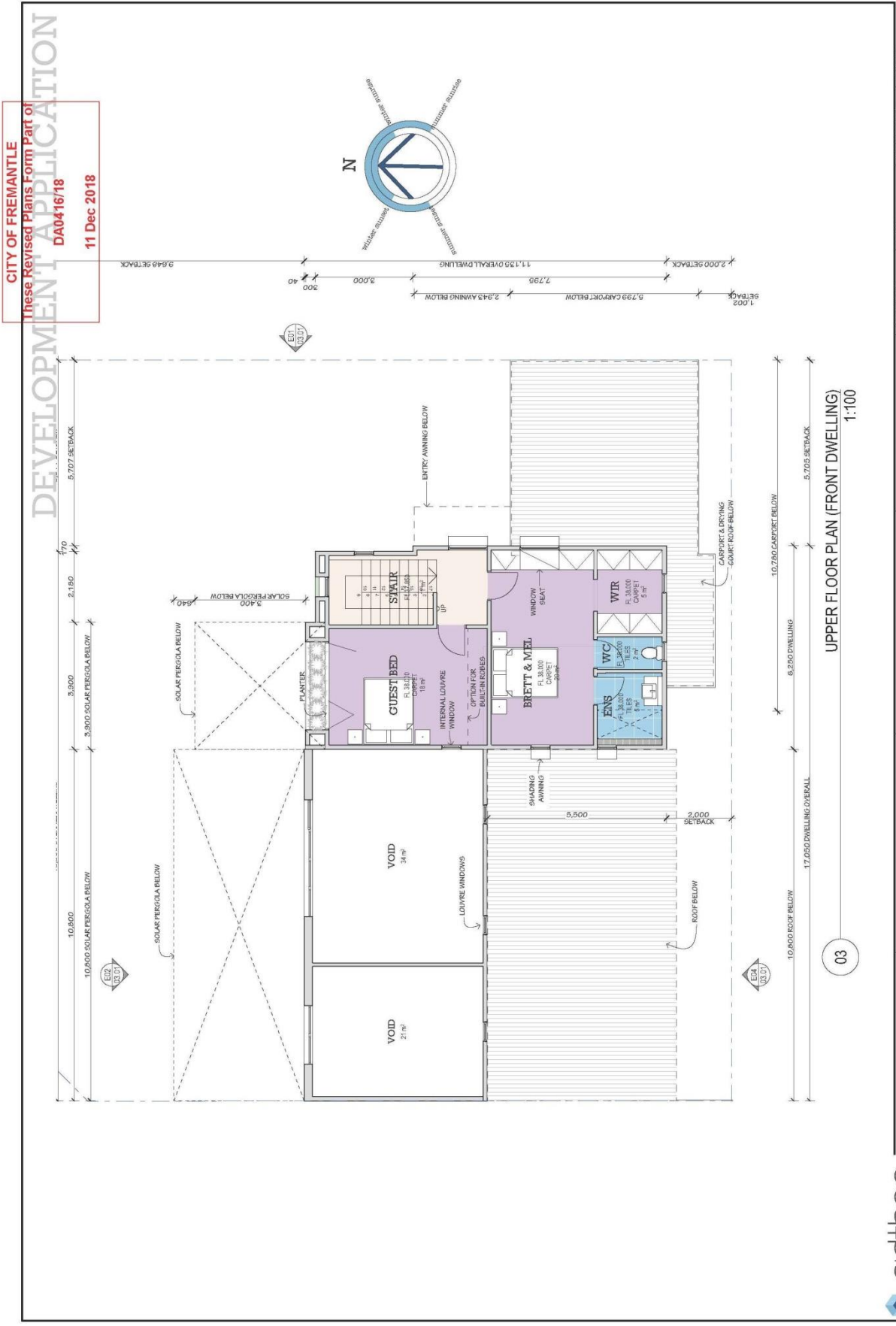
**CITY OF FREMANTLE**  
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**DA0416/18**  
**11 Dec 2018**

**DEVELOPMENT APPLICATION**



01  
UPPER FLOOR PLAN (OVERALL)  
1:200


 <p>address : 33/211 Beaufort Street Perth WA 6000                  phone : 0828 473 790   email : sic@sidthoo.com                  www.sidthoo.com</p>	CLIENT PROJECT: Lot 45 No 21 Cash Street, Beaconsfield WA 6162	DRAWING TITLE: UPPER FLOOR PLAN (OVERALL)	PROJECT STATUS: DEVELOPMENT APPLICATION	ARCHITECT: S2 DR	SCALE: 1:200	PROJECT NO: 2018-10 CAD	DWG NO: <b>02.02</b>
	PRINT DATE: 11/12/18	DRAWN: DR	REVISION: C	ARCHITECT: S2 DR	SCALE: 1:200	PROJECT NO: 2018-10 CAD	DWG NO: <b>02.02</b>






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**DA0416/18**  
11 Dec 2018

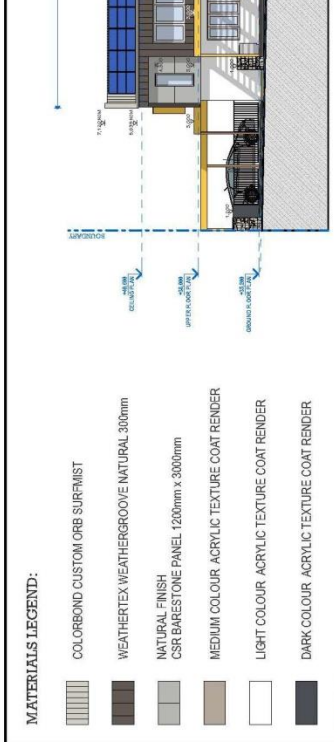
DEVELOPMENT APPLICATION



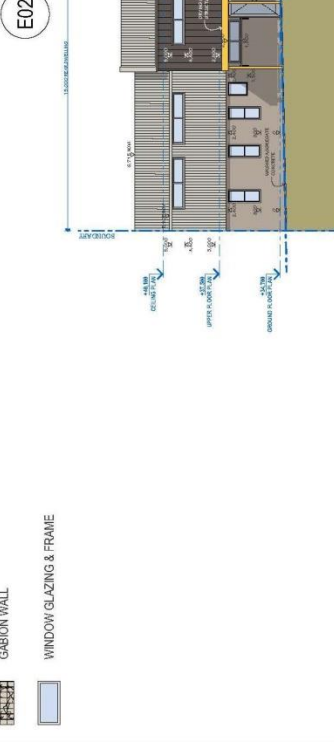
**NORTH ELEVATION (OVERALL)**  
1:200



**SOUTH ELEVATION (OVERALL)**  
1:200











**EAST ELEVATION (OVERALL)**  
1:200



**WEST ELEVATION (OVERALL)**  
1:200

**MATERIALS LEGEND:**

-  COLORBOND CUSTOM ORB SURFMIST
-  WEATHERTEX WEATHERGROOVE NATURAL 300mm
-  NATURAL FINISH CSR BARESTONE PANEL 1200mm x 300mm
-  MEDIUM COLOUR ACRYLIC TEXTURE COAT RENDER
-  LIGHT COLOUR ACRYLIC TEXTURE COAT RENDER
-  DARK COLOUR ACRYLIC TEXTURE COAT RENDER
-  GABION WALL
-  WINDOW GLAZING & FRAME

address : 33/211 Beaufort Street Perth WA 6000  
phone : 0428 473 790 | email : sid@sidthoo.com  
www.sidthoo.com

CLIENT PROJECT:  
Lot 45 No 21 Caled Street Beausport WA 6162

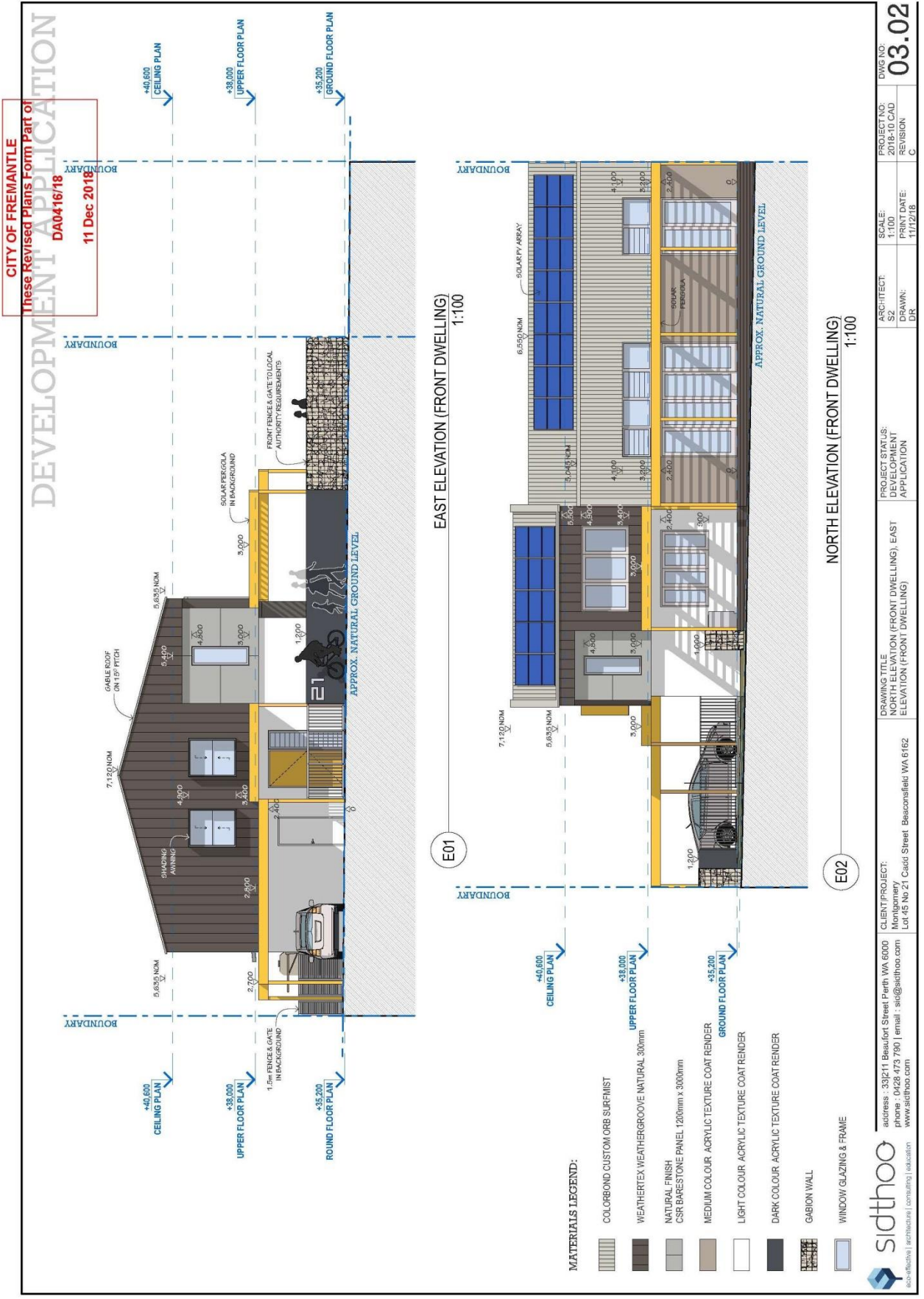
DRAWING TITLE:  
NORTH ELEVATION (OVERALL), EAST ELEVATION (OVERALL), WEST ELEVATION (OVERALL), SOUTH ELEVATION (OVERALL)

ARCHITECT:  
S2  
DRAWN:  
DR

PROJECT STATUS:  
DEVELOPMENT APPLICATION

SCALE:  
1:100  
PRINT DATE:  
11/12/18

DWG NO:  
**03.01**



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 DA0416/18  
 11 Dec 2018



DEVELOPMENT APPLICATION

DWG NO: **03.03**  
 PROJECT NO: 2018-10 CAD  
 SCALE: 1:100  
 ARCHITECT: S2  
 PROJECT STATUS: DEVELOPMENT APPLICATION  
 DRAWING TITLE: SOUTH ELEVATION (FRONT DWELLING)  
 CLIENT PROJECT: 33/211 Beaulieu Street Perth WA 6100  
 address : 33/211 Beaulieu Street Perth WA 6100  
 phone : 0828473790 | email : sid@sidthoo.com  
 Lot 45 No 21 Casali Street Beausfield WA 6162  
 www.sidthoo.com



SOUTH ELEVATION (FRONT DWELLING)  
1:100

**MATERIALS LEGEND:**

-  COLORBOND CUSTOM ORB SURFING
-  WEATHERTEX WEATHERGROOVE NATURAL 300mm
-  NATURAL FINISH CSR BARESTONE PANEL 120mm x 300mm
-  MEDIUM COLOUR ACRYLIC TEXTURE COAT RENDER
-  LIGHT COLOUR ACRYLIC TEXTURE COAT RENDER
-  DARK COLOUR ACRYLIC TEXTURE COAT RENDER
-  GABION WALL
-  WINDOW GLAZING & FRAME

CITY OF FREMANTLE  
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 DEVELOPMENT APPLICATION  
 DA0416/18  
 1 Dec 2018

PROJECT NO: 2018-10 CAD  
 SCALE: 1:100  
 ARCHITECT: S2  
 PROJECT STATUS: DEVELOPMENT APPLICATION  
 DRAWING TITLE: WEST ELEVATION (REAR DWELLING) NORTH ELEVATION (OVERALL), MATERIALS LEGEND  
 CLIENT PROJECT: 33/211 Beaulieu Street Perth WA 6100  
 address : 33/211 Beaulieu Street Perth WA 6100  
 phone : 0828473790 | email : sid@sidthoo.com  
 Lot 45 No 21 Casli Street Beausfield WA 6162  
 www.sidthoo.com

DWG NO: 03.04  
 PRINT DATE: 11/12/18  
 REVISION: C

**MATERIALS LEGEND:**









- COLORBOND CUSTOM ORB SURFMIST
- WEATHEREX WEATHERGROOVE NATURAL 300mm
- NATURAL FINISH
- CSR BARESTONE PANEL 1200mm x 3000mm
- MEDIUM COLOUR ACRYLIC TEXTURE COAT RENDER
- LIGHT COLOUR ACRYLIC TEXTURE COAT RENDER
- DARK COLOUR ACRYLIC TEXTURE COAT RENDER
- GABION WALL
- WINDOW GLAZING & FRAME


CITY OF FREMANTLE  
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 DEVELOPMENT APPLICATION  
 DA0416/18  
 11 Dec 2018

PROJECT NO: 2018-10 CAD  
 SCALE: 1:100  
 ARCHITECT: S2  
 DRAWN: DR  
 PRINT DATE: 11/12/18  
 REVISION: C  
 DWG NO: **03.05**

## DEVELOPMENT APPLICATION

**MATERIALS LEGEND:**

-  COLORBOND CUSTOM ORB SURFMINST
-  WEATHERTEX WEATHERGROOVE NATURAL 300mm
-  NATURAL FINISH CSR BARESTONE PANEL 120mm x 300mm
-  MEDIUM COLOUR ACRYLIC TEXTURE COAT RENDER
-  LIGHT COLOUR ACRYLIC TEXTURE COAT RENDER
-  DARK COLOUR ACRYLIC TEXTURE COAT RENDER
-  GABION WALL
-  WINDOW GLAZING & FRAME



SOUTH ELEVATION (REAR DWELLING)  
1:100

address : 33/211 Beaufort Street Perth WA 6000  
 phone : 0828473790 | email : sid@sidthoo.com  
 www.sidthoo.com

CLIENT PROJECT:  
 Lot 45 No 21 Cassi Street, Beausport WA 6162

DRAWING TITLE:  
 SOUTH ELEVATION (REAR DWELLING),  
 MATERIALS LEGEND

PROJECT STATUS:  
 DEVELOPMENT  
 APPLICATION

ARCHITECT:  
 S2

PROJECT NO:  
 2018-10 CAD



CITY OF FREMANTLE  
These Revised Plans Form Part of  
DEVELOPMENT APPLICATION  
DA04/16/18  
11 Dec 2018

DEVELOPMENT APPLICATION

PERSPECTIVE FROM NORTH EAST

01

 <p>sidthoo architects   architecture   consulting   education</p>	<p>address : 33/211 Beaulieu Street Perth WA 6000 phone : 0828473790   email : sic@sidthoo.com www.sidthoo.com</p>	<p>CLIENT PROJECT: Lot 45 No 21 Casid Street, Beaconsfield WA 6162</p>	<p>DRAWING TITLE: PERSPECTIVE FROM NORTH EAST</p>	<p>PROJECT STATUS: DEVELOPMENT APPLICATION</p>	<p>ARCHITECT: DRAWN: DR:</p>	<p>SCALE: 1:12.59</p>	<p>PROJECT NO: 2018-10 CAD</p>	<p>DWG NO: 09.01</p>
						<p>PRINT DATE: 11/12/18</p>	<p>REVISION: C</p>	



CITY OF FREMANTLE  
These Revised Plans Form Part of  
**DEVELOPMENT APPLICATION**  
DA0416/18  
11 Dec 2018

02

PERSPECTIVE FROM NORTH-WEST

 sidthoo architecture   consulting   education	address : 33/211 Beaulieu Street Perth WA 6000 phone : 0828473790   email : sic@sidthoo.com www.sidthoo.com	CLIENT PROJECT: Lot 45 No 21 Casid Street Beaconsfield WA 6162	DRAWING TITLE: PERSPECTIVE FROM NORTH-WEST	PROJECT STATUS: DEVELOPMENT APPLICATION	ARCHITECT: S2 DRAWN: DR	SCALE: 1:12.82 PRINT DATE: 11/2/18	PROJECT NO: 2018-10 CAD REVISION: C	DWG NO: <b>09.02</b>
	DEVELOPMENT APPLICATION							



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**DEVELOPMENT APPLICATION**  
DA00416/18  
11 Dec 2018

03 PERSPECTIVE FROM SOUTH-EAST

 <small>sidthoo</small> <small>architecture   consulting   education</small>	CLIENT PROJECT: Lot 45 No 21 Caslo Street, Beaconsfield WA 6162 www.sidthoo.com	DRAWING TITLE: PERSPECTIVE FROM SOUTH-EAST	PROJECT STATUS: DEVELOPMENT APPLICATION	ARCHITECT: S2 DRAWN: DR	SCALE: 1:12.82 PRINT DATE: 11/12/18	PROJECT NO: 2018-10 CAD REVISION: C	DWG NO: <b>09.03</b>
	address : 33/211 Beaulieu Street Perth WA 6000 phone : 0828 473 790   email : sic@sidthoo.com						

## ATTACHMENT 3- Site photos

Site photographs – 21 Cadd Street, Beaconsfield – DA0416/18



Photo 1 – 21 Cadd Street as viewed from across street



Photo 2 – South side of site



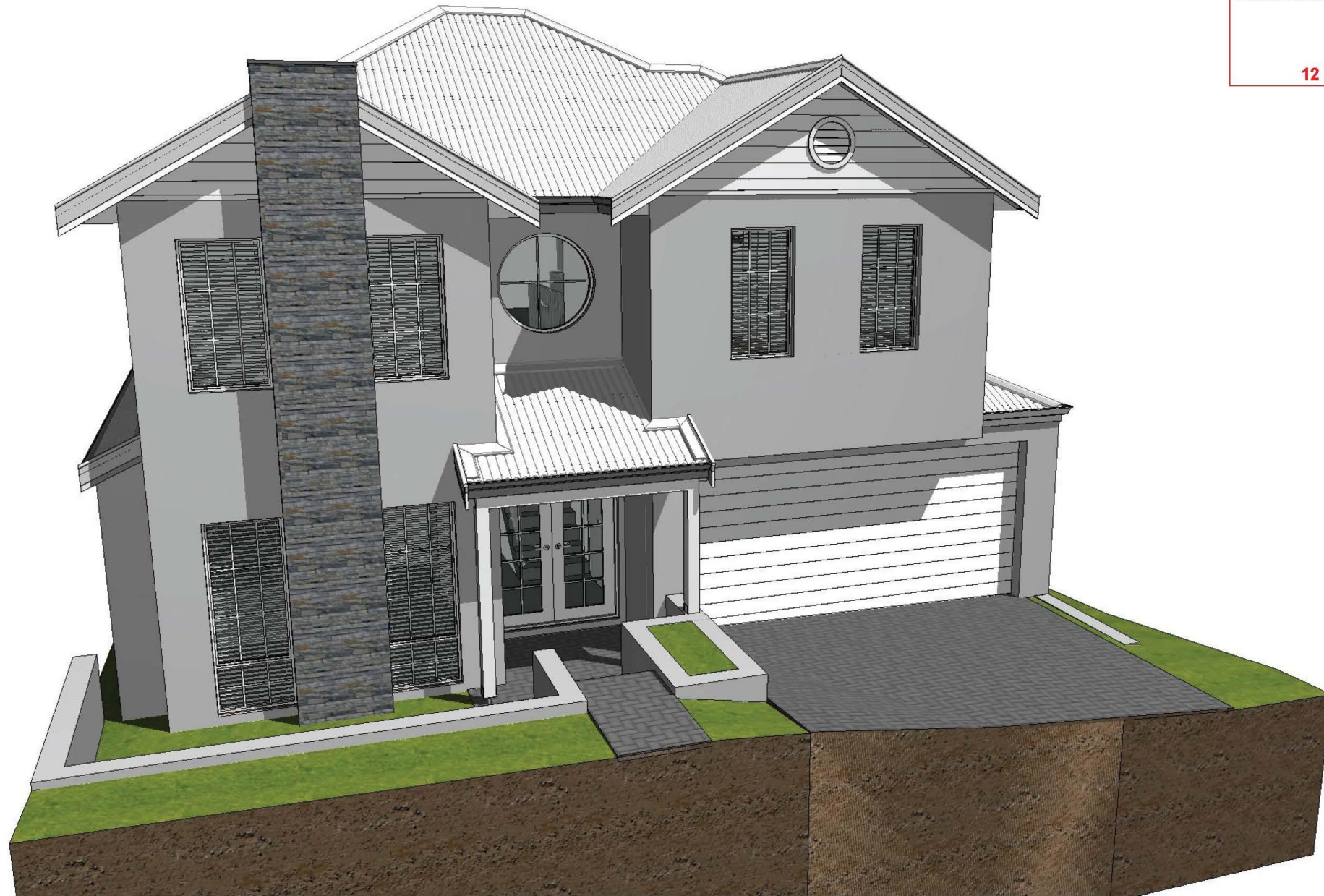
Photo 3- North side of site



Photo 4 - 21 Cadd Street

PC1903 -3 DEFERRED ITEM - CADD STREET, 1 (LOT 37) BEACONSFIELD - TWO STOREY GROUPED DWELLING (JCL DA0365/18)  
 ATTACHMENT 1 – Amended Development Plans

CITY OF FREMANTLE  
 These Revised Plans Form Part of  
 DA0365/18  
 12 February 2019

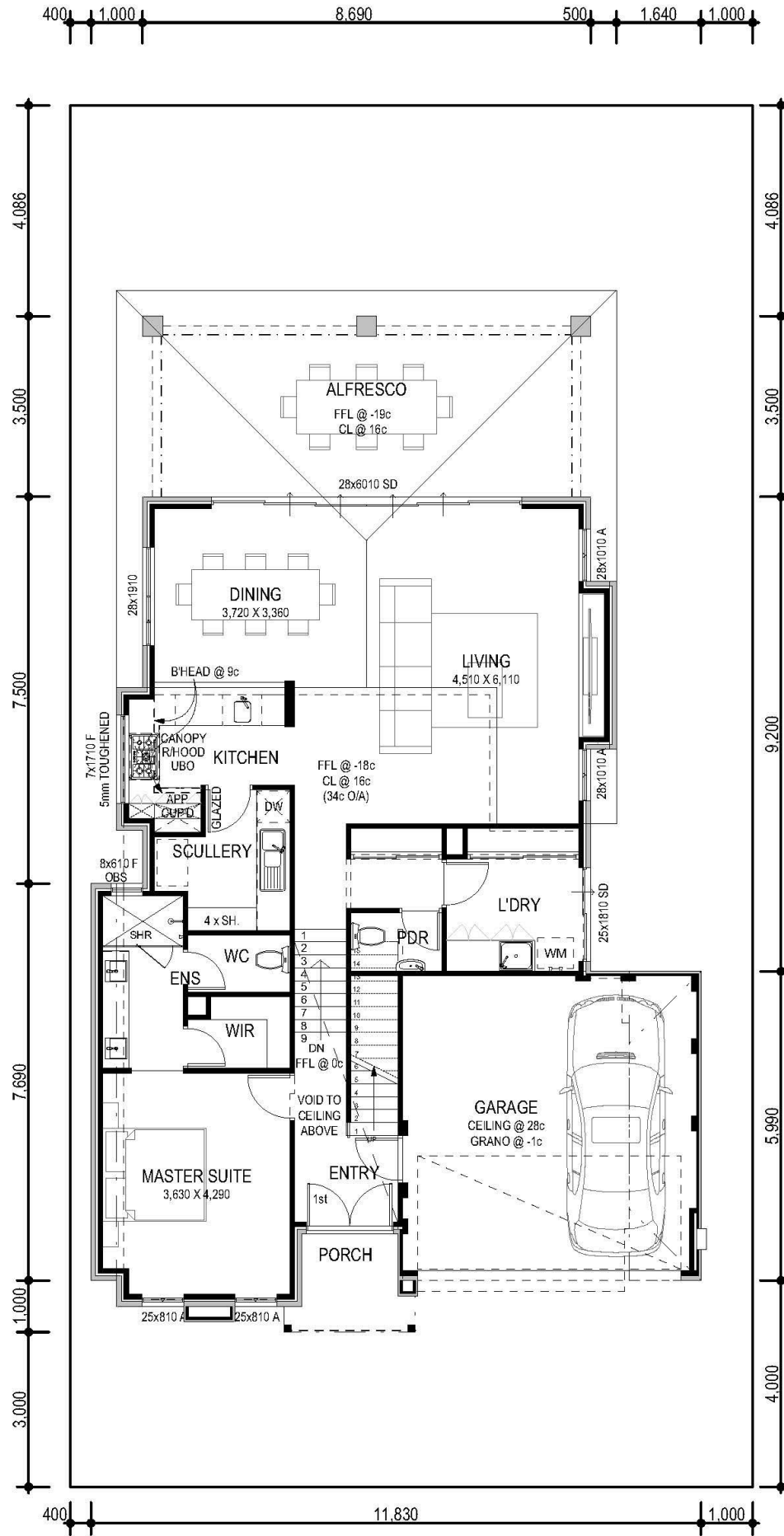



REVISION	REV #	DRN	DATE	CLIENT:
			14-07-18	THOMPSON
SITING			29-07-18	
PLANNING	A		12-10-18	
PLANNING	B		11-02-19	
				ADDRESS:
				LOT 37 #1 CADD STREET
				BEACONSFIELD
				SHEET #
				PERSPECTIVE A3 - 01 OF 6
Sub-contractors to verify all dimensions on site.				 DRAMATIK DESIGN <small>© Copyright                  E. David@dramatikdesign.com.au                  M: 047 475 4218                  ABN: 152 18855623</small>

AREAS:		
	PERIM. (m)	AREA (m <sup>2</sup> )
HOUSE (GROUND)	51.76	119.82
HOUSE (FIRST)	46.26	106.75
GARAGE	23.74	34.43
ALFRESCO	24.38	30.42
PORCH	9.28	4.06
STORE	8.00	4.00
		299.48 m <sup>2</sup>

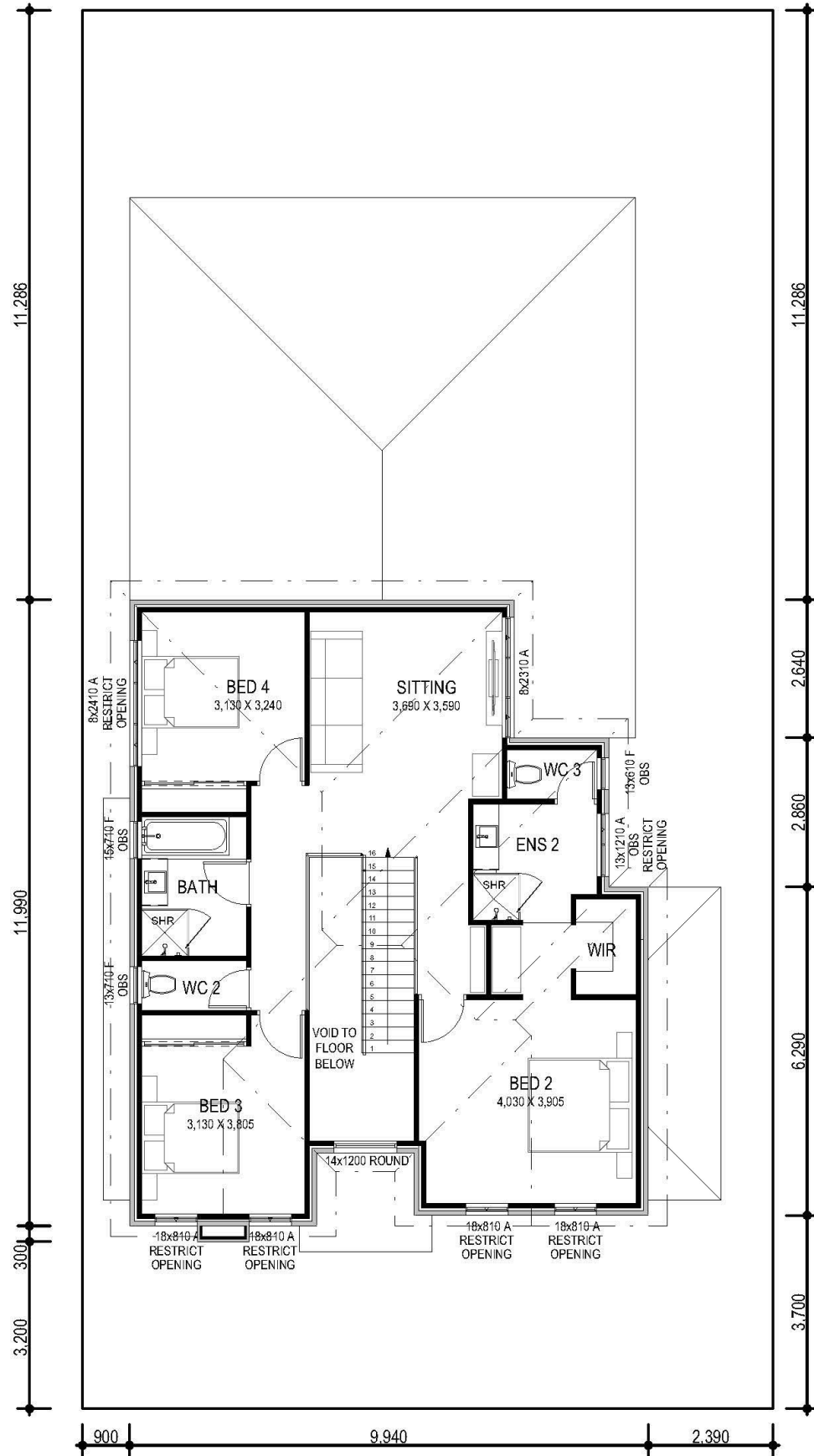
ROOF QUANTITIES	
Material Type	Roof   Sketch
Surface Area (m <sup>2</sup> on the rake)	247.83
Area [m <sup>2</sup> on the flat]	218.93

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**12 February 2019**



REVISION	REV #	DRN	DATE	CLIENT: THOMPSON	ADDRESS: LOT 37 #1 CADD STREET BEACONSFIELD	
SITING			14-07-18			
PLANNING	A		29-07-18			
PLANNING	B		12-10-18			
			11-02-19			
Sub-contractors to verify all dimensions on site.				GROUND FLOOR	SHEET N° A3 - 02 OF 6	<small>© Copyright E. darid@fremantle.design.com.au M. 047 470 4210 ABN: 15214655023</small>

**CITY OF FREMANTLE**  
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**DA0365/18**  
**12 February 2019**



**FIRST FLOOR**  
1:100

REVISION	REV #	DRN	DATE	CLIENT:
SITING			14-07-18	THOMPSON
PLANNING	A		29-07-18	
PLANNING	B		12-10-18	
			11-02-19	
ADDRESS:				
LOT 37 #1 CADD STREET				
BEACONSFIELD				
Sub-contractors to verify all dimensions on site.				
UPPER FLOOR			SHEET N°	
			A3 - 03 OF 6	

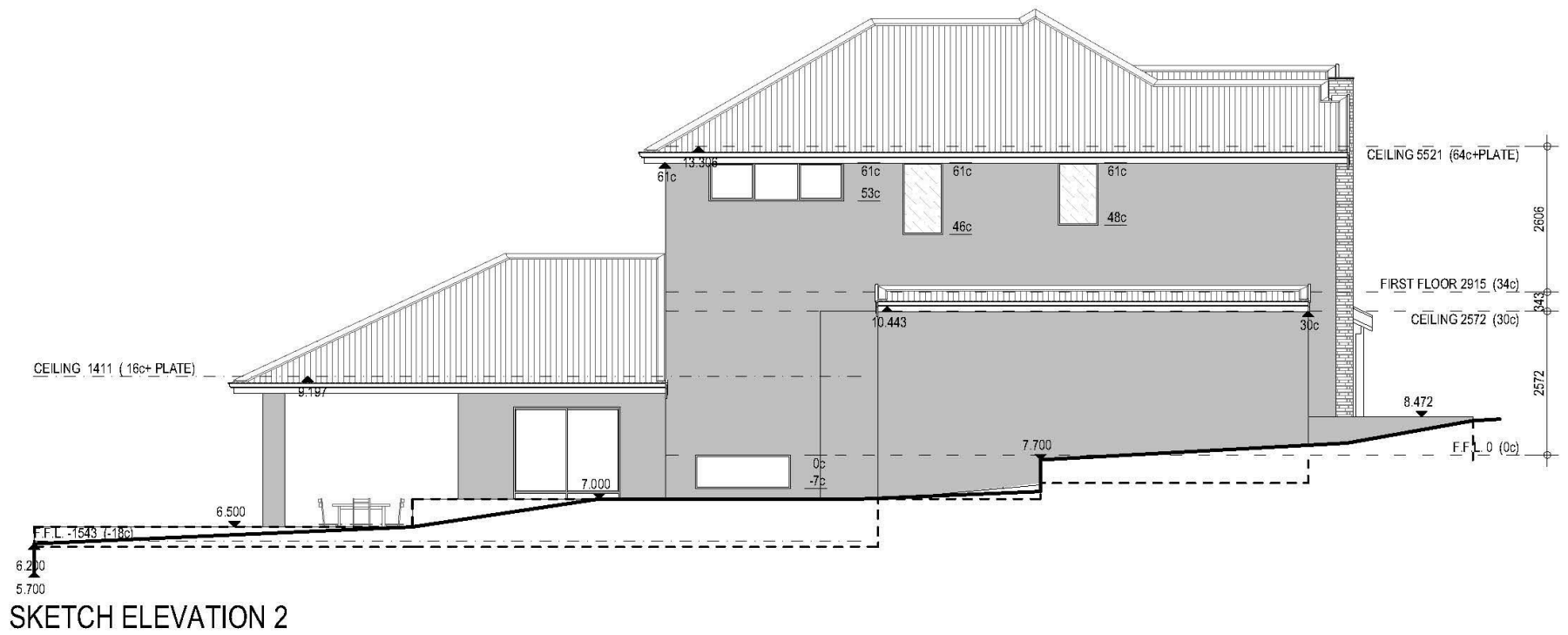


**DRAMATIK**  
**DESIGN**

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M: 047 470 4210  
ABN: 15216455623

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**DA0365/18**  
**12 February 2019**



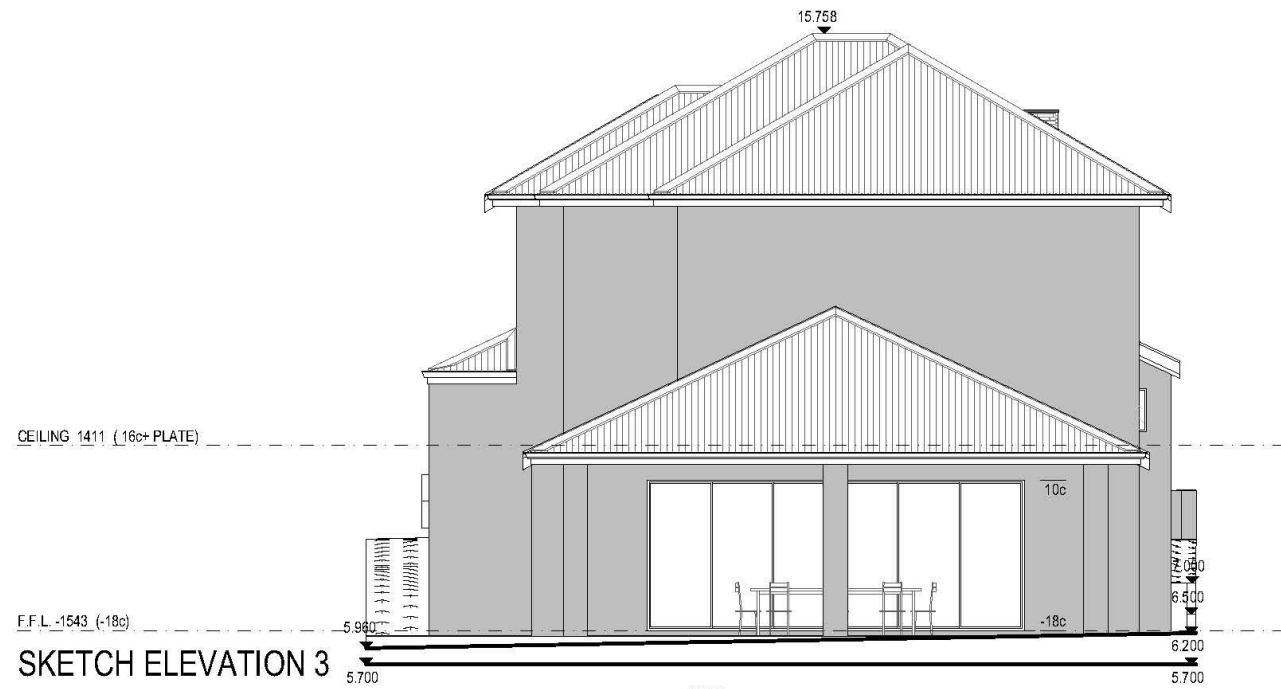
REVISION	REV #	DRN	DATE	CLIENT:
SITING			14-07-18	THOMPSON
PLANNING	A		29-07-18	
PLANNING	B		12-10-18	
			11-02-19	
				ADDRESS:
				LOT 37 #1 CADD STREET
				BEACONSFIELD
				SHEET N°
				ELEVATIONS 1 & 2     A3 - 04 OF 6



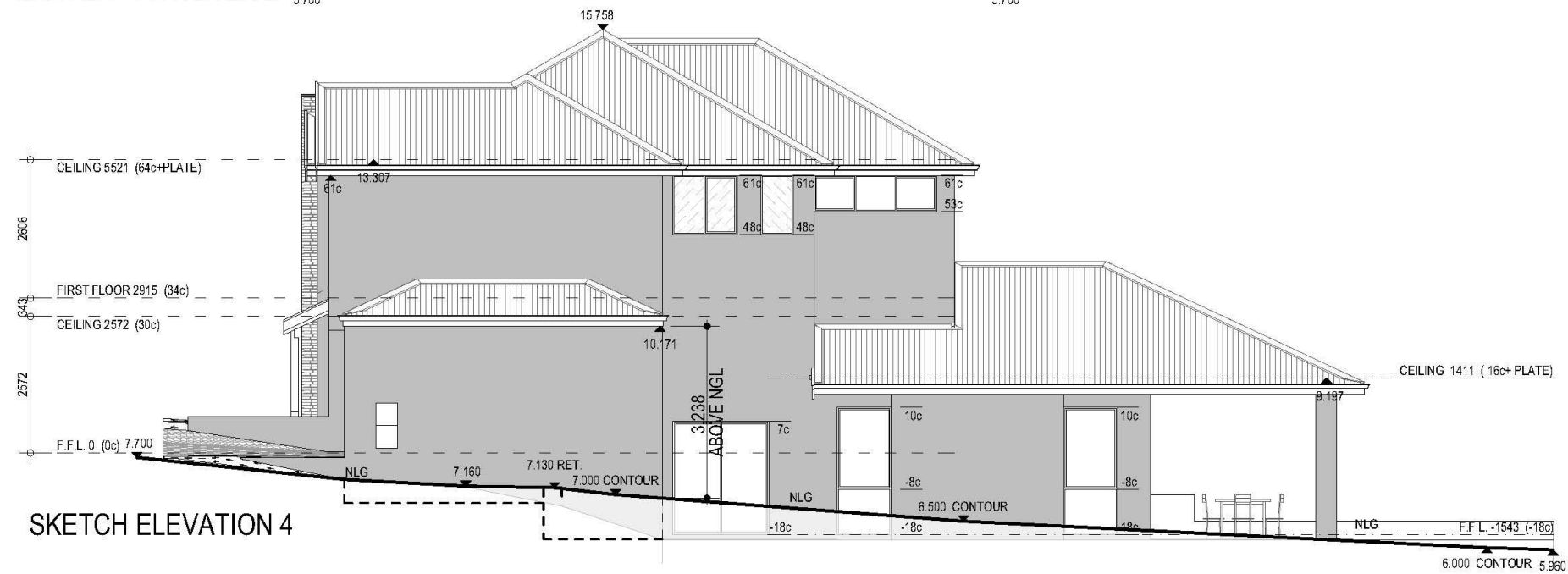
**DRAMATIK**  
**DESIGN**

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M: 047 470 4210  
ABN: 1521865623



SKETCH ELEVATION 3



SKETCH ELEVATION 4

**CITY OF FREMANTLE**  
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**DA0365/18**  
**12 February 2019**

REVISION	REV #	DRN	DATE
SITING			14-07-18
PLANNING	A		29-07-18
PLANNING	B		12-10-18
			11-02-19

CLIENT:	THOMPSON
ADDRESS:	LOT 37 #1 CADD STREET BEACONSFIELD
SHEET N°	A3 - 05 OF 6
Sub-contractors to verify all dimensions on site.	

<small>© Copyright: E. Davini@dramatikdesign.com.au M: 0474704210 ABN: 1511065923</small>

**COTTAGE & ENGINEERING SURVEYS**  
Licensed Surveyors

87-89 Guthrie Street, Osborne Park, Western Australia  
Telephone: (08) 9446 7361 Facsimile: (08) 9445 2998  
Email: perth@cottage.com.au Website: www.cottage.com.au

Builder :  
CLIENT : Thompson  
LOT 37 #1 Cadd Street, Beaconsfield

OLD AREA

Plan 3336

LEGEND:  
SEC Dome  
Power Pole  
Phone  
Conc. Path  
Conc. slabs

**DISCLAIMER:**  
Lot boundaries drawn on survey are based on landgate plan only. Survey does not include title search and as such may not show easements or other interests not shown on plan. Title should be checked to verify all lot details and for any easements or other interests which may affect building on the property.

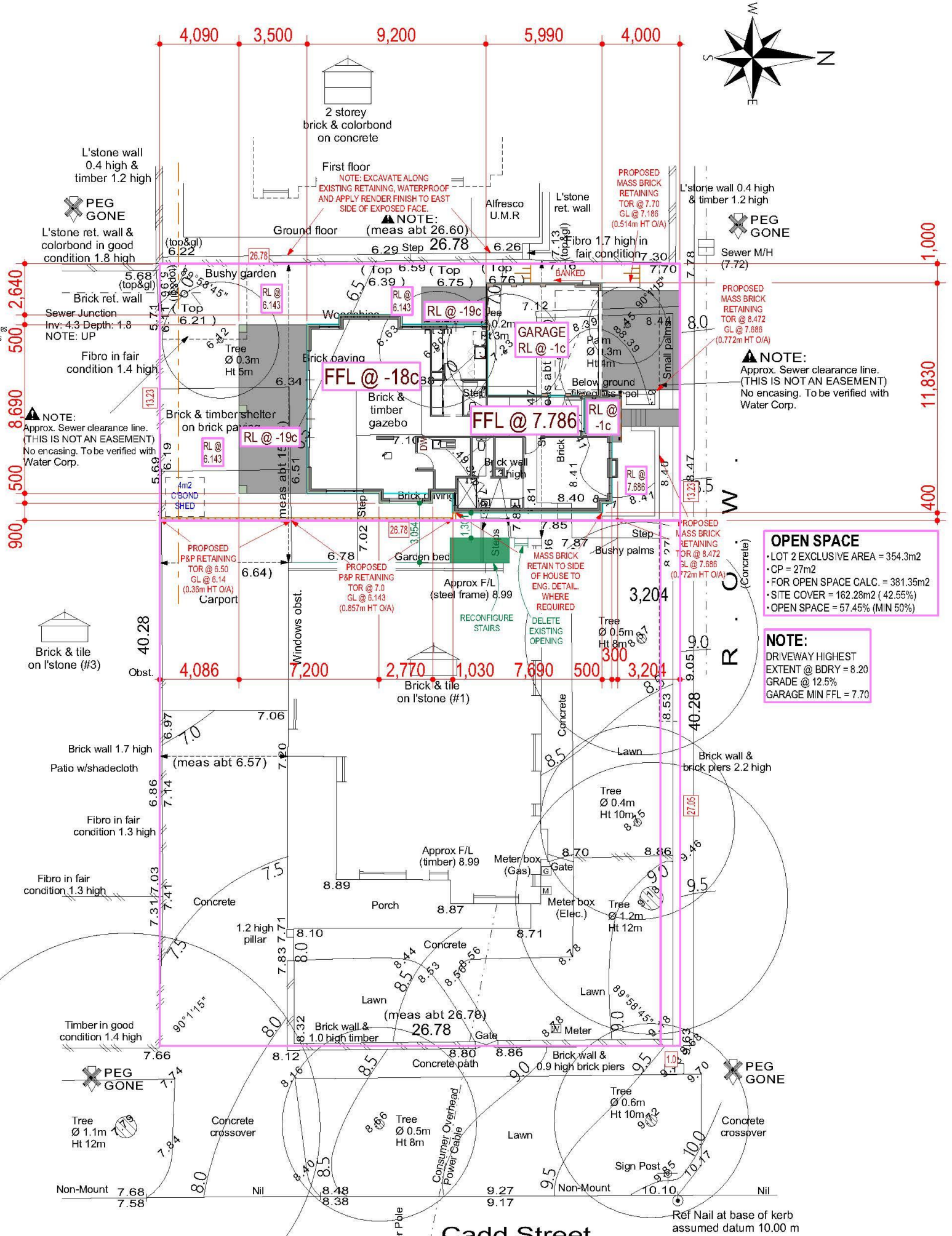
**DISCLAIMER:**  
Survey does not include verification of cadastral boundaries. All features and levels shown are based on orientation to existing pegs and fences only which may not be on correct cadastral alignment. Any designs based or dependent on the location of existing features should have those features' location verified in relation to the true boundary.

**DISCLAIMER:**  
Survey shows visible features only and will not show locations of underground pipes or conduits for internal or mains services. Verification of the location of all internal and mains services should be confirmed prior to finalisation of any design work.

**DISCLAIMER:**  
Cottage & Engineering surveys accept no responsibility for any physical on site changes to the parcel or portion of the parcel of land shown on this survey including any adjoining neighbours levels and features that have occurred after the date of this survey. All Sewer details plotted from information supplied by Water Corporation.

**DISCLAIMER:**  
Due to lack of survey marks/pegs, all building offset dimensions & features are approximate only and positioned from existing pegs/fences and walls which may not be on the correct alignment and are to be verified when re-pegged. Any design that involves additions to any structures shown or portion of structures remaining after any demolition has taken place requires boundaries to be re-pegged and exact offsets provided to your designer/architect before any plans are produced and before any work is started on site.

**NOTE:** EARTHWORKS / SET-OUT DIMENSIONS MAY VARY ON SITE AT BUILDERS DISCRETION. SEWER / DRAINAGE MAY VARY FROM SCHEMATIC PRESENTATION / CHECK MINIMUM CLEARANCES. RETAINING NOT INCLUDED IN CONTRACT - REMAINS OWNERS RESPONSIBILITY. THIS SURVEY DOES NOT GUARANTEE THE LOCATION OF BOUNDARY PEGS OR FENCES. CHECK TITLE FOR EASEMENTS / COVENANTS ETC.



**OPEN SPACE**  
• LOT 2 EXCLUSIVE AREA = 354.3m<sup>2</sup>  
• CP = 27m<sup>2</sup>  
• FOR OPEN SPACE CALC. = 381.35m<sup>2</sup>  
• SITE COVER = 162.28m<sup>2</sup> (42.55%)  
• OPEN SPACE = 57.45% (MIN 50%)

**NOTE:**  
DRIVEWAY HIGHEST EXTENT @ BDRY = 8.20  
GRADE @ 12.5%  
GARAGE MIN FFL = 7.70

LOT MISCLOSE  
0.000 m

SOIL DESCRIPTION  
Sand  
Refer to Survey

Scale 1:200

**CITY OF FREMANTLE**  
These Revised Plans Form Part of  
**DA0365/18**  
**12 February 2019**

REVISION	REV #	DRN	DATE
			14-07-18
			29-07-18
PLANNING	A		12-10-18
PLANNING	B		11-02-19

CLIENT:  
THOMPSON

ADDRESS:  
LOT 37 #1 CADD STREET  
BEACONSFIELD

SHEET N°  
A3 - 06 OF 6

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E: david@dramatikdesign.com.au M: 047 470 4210  
ABN: 16218656203

ATTACHMENT 2 – Original Development Plans

CITY OF FREMANTLE  
These Revised Plans Form Part of  
DA0366/18  
25/10/2018

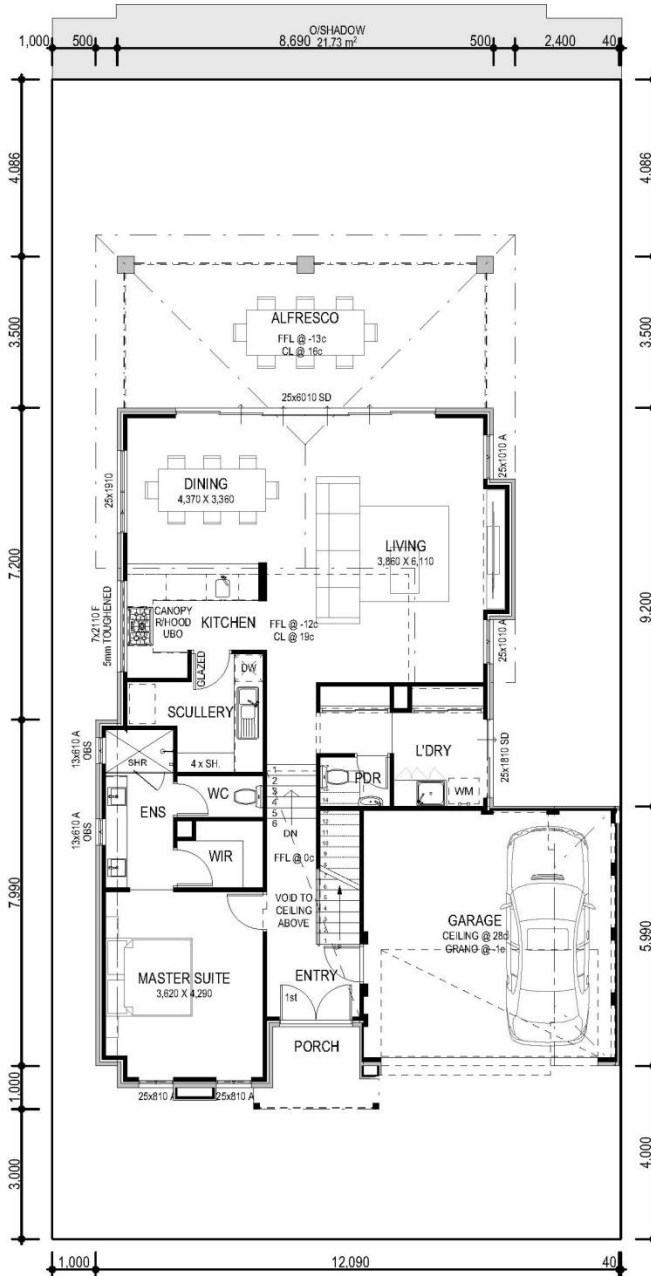


		CLIENT: THOMPSON  ADDRESS: LOT 37 #1 CADD STREET BEACONSFIELD		SHEET # A3 - 01 OF 6  PERSPECTIVE
REVISION SITING PLANNING	REV # A	DATE 14-07-18 28-07-18 12-10-18	DRN #	
Sub-constructors to verify all dimensions on site.				

AREAS:		
	PERIM. (m)	AREA (m <sup>2</sup> )
HOUSE (GROUND)	50.76	119.83
HOUSE (FIRST)	46.56	104.76
GARAGE	23.96	35.15
ALFRESCO	24.38	30.42
PORCH	9.58	4.35
STORE	8.00	4.00
		298.51 m <sup>2</sup>

ROOF QUANTITIES			
Material Type	Roof / Sketch		
Surface Area (m <sup>2</sup> on the rake)	246.41		
Area (m <sup>2</sup> on the flat)	217.71		

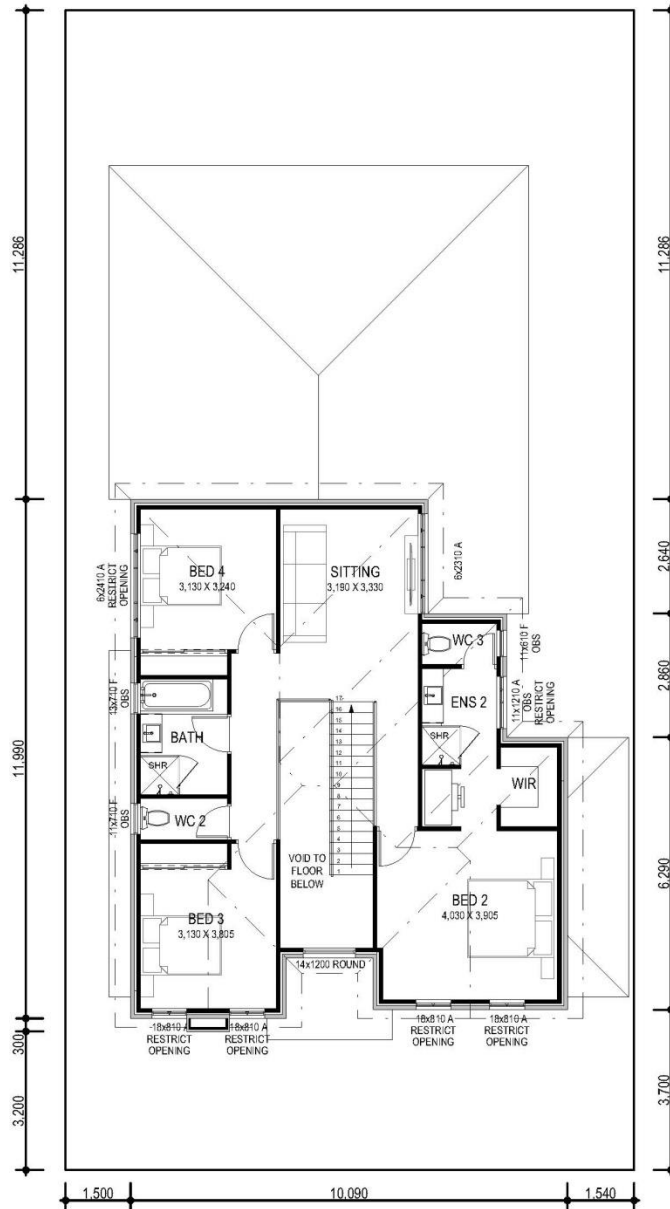
**CITY OF FREMANTLE**  
These Revised Plans Form Part of  
  
**DA0365/18**  
  
**25/10/2018**



REVISION	REV #	DRN	DATE	CLIENT:	
SITING			14-07-18		THOMPSON
PLANNING	A		29-07-18		
			12-10-18	ADDRESS: LOT 37 #1 CADD STREET BEACONSFIELD	
Sub-contractors to verify all dimensions on site.				GROUND FLOOR	SHEET # A3 - 02 OF 6

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D. Dramatik  
M: 9474 4211  
A/N: 1521960221

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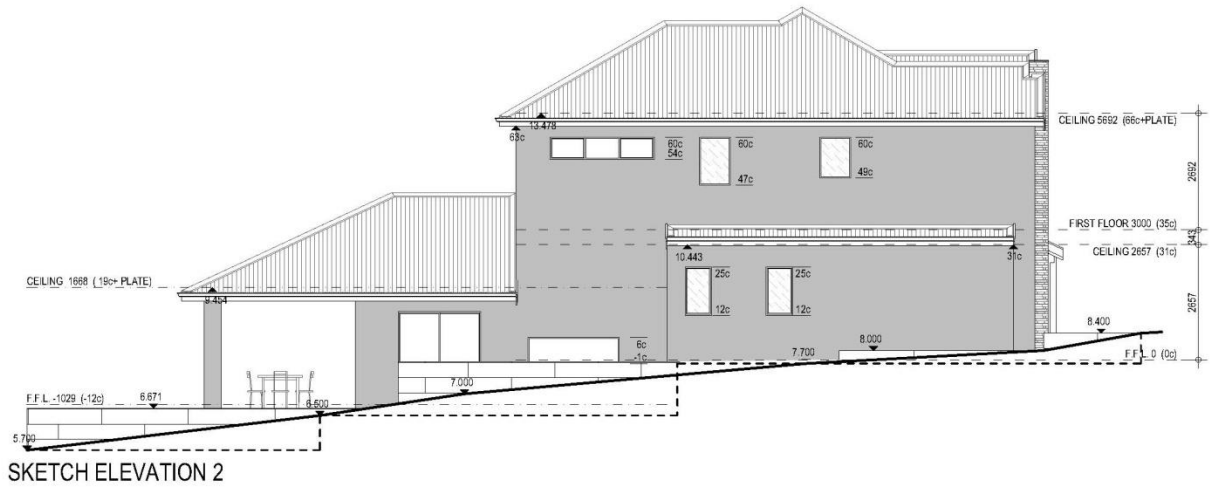


FIRST FLOOR  
1:100

REVISION	REV #	DRN	DATE	CLIENT:
SITING			14-07-18	THOMPSON
PLANNING	A		29-07-18	
			12-10-18	
ADDRESS:				LOT 37 #1 CADD STREET BEACONSFIELD
Sub-contractors to verify all dimensions on site.				
UPPER FLOOR			SHEET #	A3 - 03 OF 6

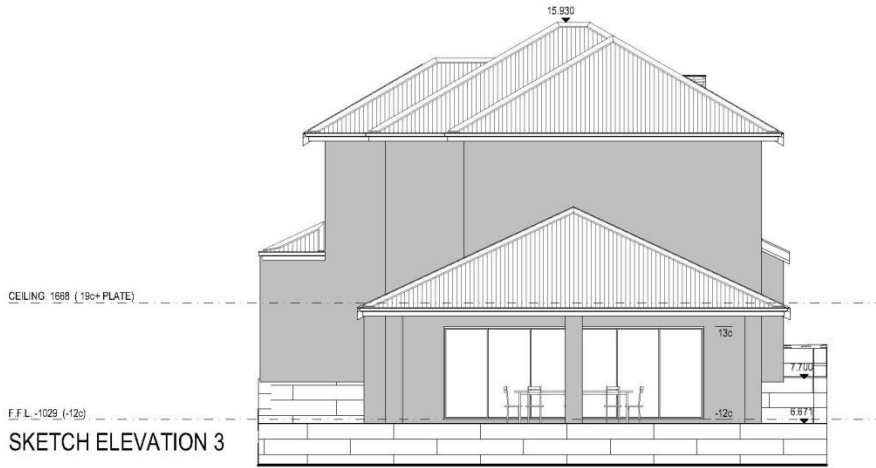


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**DA0365/18**  
**25/10/2018**



REVISION	REV #	DRN	DATE	CLIENT:
SITING			14-07-18	THOMPSON
PLANNING	A		29-07-18	
			12-10-18	
ADDRESS:				LOT 37 #1 CADD STREET BEACONSFIELD
Sub-contractors to verify all dimensions on site.				
ELEVATIONS 1 & 2		SHEET #		
		A3 - 04 OF 6		

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**DA0365/18**  
**25/10/2018**



REVISION	REV #	DRN	DATE	CLIENT:
			14-07-18	THOMPSON
			29-07-18	
			12-10-18	
				ADDRESS:
				LOT 37 #1 CADD STREET
				BEACONSFIELD
Sub-contractors to verify all dimensions on site				ELEVATIONS 3 & 4
				SHEET #:
				A3 - 05 OF 6



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E. Dramatik  
E. dramatik@fremantle-design.com.au  
M: 0417 476 4218  
ABN: 15219460221

**COTTAGE & ENGINEERING SURVEYS**  
 Licensed Surveyors

87-89 Githrie Street, Osborne Park, Western Australia  
 Tel: (08) 9446 7361 Fax: (08) 9445 2998  
 Email: [info@cottagesurveys.com.au](mailto:info@cottagesurveys.com.au) Website: [www.cottagesurveys.com.au](http://www.cottagesurveys.com.au)

Builder : Plunkett Developments  
 CLIENT : Thompson  
 LOT 37 #1 Cadd Street, Beaconsfield

**CITY OF FREMANTLE**  
 These Revised Plans Form Part of  
 DA0365/18  
 Phone: 9447 4211  
 Conc. slabs  
 05/10/2018

J/N: 346601 DATE: 25 Jul 14 SCALE: 1:200 DRAWN: T.Currey

**DISCLAIMER:**  
 Lot boundaries drawn on survey are based on landscape plan only. Survey does not include title search and as such may not show easements or other interests not shown on plan. Title should be checked to verify all details and for any easements or other interests which may affect building on the property.

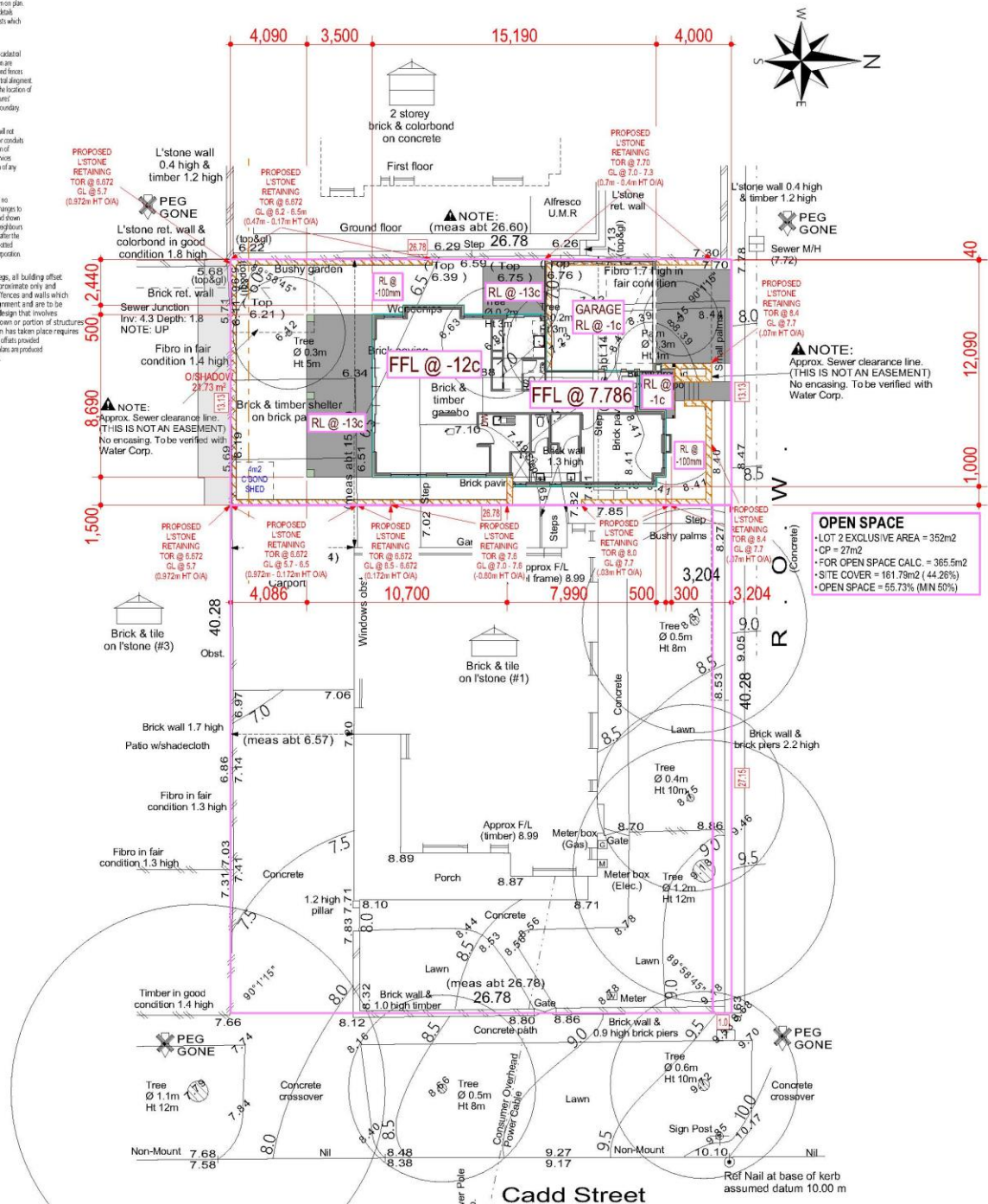
**NOTE:** EARTHWORKS / SET-OUT DIMENSIONS MAY VARY ON SITE AT BUILDERS DISCRETION. SEWER / DRAINAGE MAY VARY FROM SCHEMATIC PRESENTATION / CHECK MINIMUM COVER. THIS SURVEY DOES NOT GUARANTEE THE LOCATION OF BOUNDARY PEGS OR FENCES. CHECK TITLE FOR EASEMENTS / GOVERNANTS ETC.

**DISCLAIMER:**  
 Survey does not include verification of cadastral boundaries. All features and levels shown are based on orientation to existing pegs and fences only which may not be on correct cadastral alignment. Any design based on dependent on the location of existing features should have these features location verified in addition to the line boundary.

**DISCLAIMER:**  
 Survey shows visible features only and will not show locations of underground pipes or conduits for internet or mains services. Verification of the location of all external and open services should be confirmed prior to installation of any design work.

**DISCLAIMER:**  
 Cottage & Engineering surveys accept no responsibility for any physical on site changes to the general or portion of the parcel shown on this survey including any adjoining neighbours levels and features that have occurred after the date on this survey. All survey details plotted from information supplied by Water Corporation.

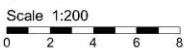
**DISCLAIMER:**  
 Due to lack of survey marks/pegs, all building offset dimensions in features are approximate only and positioned from existing pegs/fences and walls which may not be on the correct alignment and are to be verified when repegged. Any design that involves additions to any structures shown or portion of structures remaining after any demolition has taken place requires boundaries to be repegged and exact details provided to your design/architect before any plans are produced and before any works started on site.



**OPEN SPACE**  
 - LOT 2 EXCLUSIVE AREA = 352m<sup>2</sup>  
 - OP = 27m<sup>2</sup>  
 - FOR OPEN SPACE CALC. = 365.5m<sup>2</sup>  
 - SITE COVER = 161.79m<sup>2</sup> (44.26%)  
 - OPEN SPACE = 55.73% (MIN 50%)

**LOT MISCLOSE**  
 0.000 m

**SOIL DESCRIPTION**  
 Sand  
 Refer to Survey



REVISION	REV #	DRN	DATE
SITING			14-07-18
PLANNING	A		29-07-18
			12-10-18

CLIENT:  
 THOMPSON

ADDRESS:  
 LOT 37 #1 CADD STREET  
 BEACONSFIELD

**DRAMATIK DESIGN**

SHEET N°  
 A3 - 06 OF 6

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 T. Dramatik  
 M: 947 473 4211  
 A: 947 10236022

### ATTACHMENT 3 – Site photos



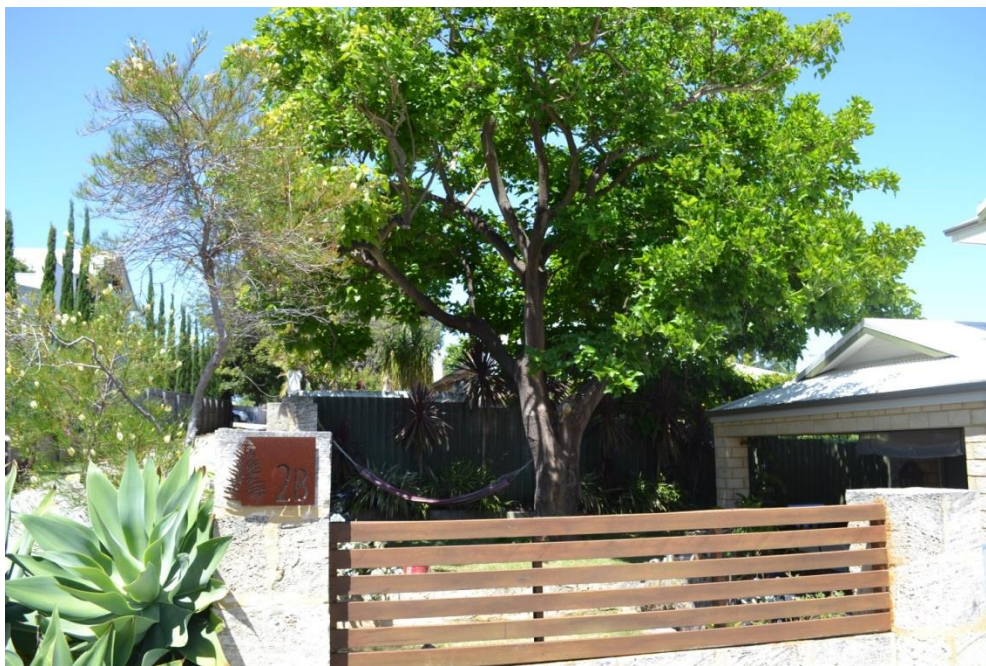
**Photo 1:** View of the subject site from Cadd Street, illustrating the existing dwelling to be retained (southern portion of the Cadd Street frontage)



**Photo 2:** View of the subject site from Cadd Street, illustrating the existing dwelling to be retained (northern portion of the Cadd Street frontage abutting Milky Way)



**Photo 3:** View of Milky Way from Cadd Street looking West.




**Photo 4:** View of outdoor living area of 2B Smith Street abutting proposed western elevation.

PC1903 -4 ATTFIELD STREET, NO. 119 (LOT 2), SOUTH FREMANTLE - TWO STOREY SINGLE HOUSE (SINGLE BEDROOM DWELLING) - (TG DA0445/18)  
ATTACHMENT 1 – Development Plans

CITY OF FREMANTLE  
These Revised Plans Form Part of  
DA0445/18  
8 February 2019



 RICHARD HAMMOND ARCHITECT  
16/342 SOUTH TERRACE, SOUTH FREMANTLE  
0438 918 753 | RICHARD@HRARCHITECTS.COM.AU  
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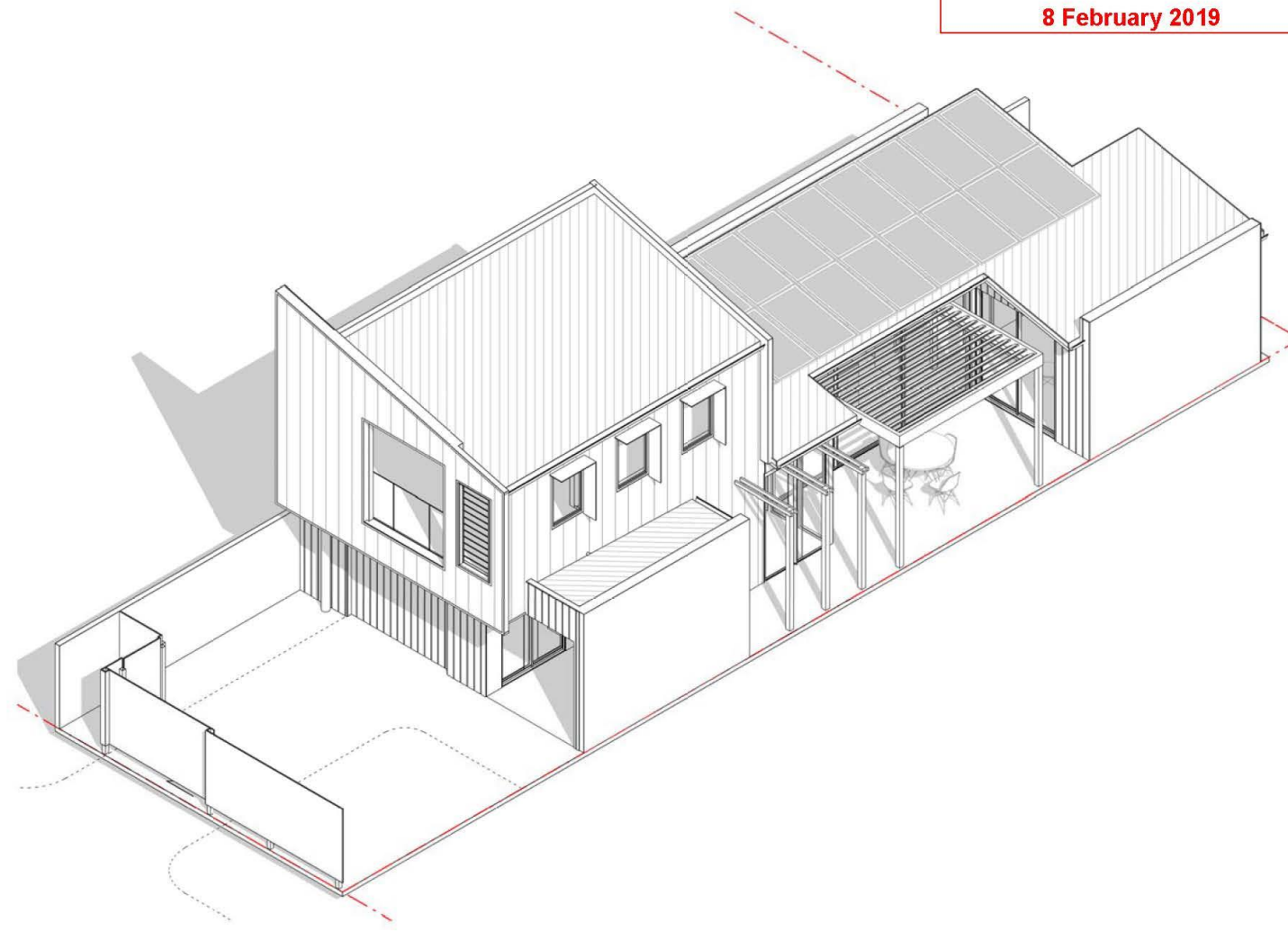
No.	Description	Date

WARD, R  
  
WARD RESIDENCE  
119 ATTFIELD STREET, SOUTH  
FREMAN TLE, WA, 6162


STREET MONTAGE		
Project number	-	A000
Date	190207	
Drawn by	RHA	
Checked by	RHA	Scale@A3

07-Feb-19 5:30:12 PM

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**8 February 2019**



① EXTERIOR 3D VIEW

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 16/342 SOUTH TERRACE, SOUTH FREMANTLE  
 0438 918 753 | RICHARD@HRARCHITECTS.COM.AU

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No.	Description	Date


WARD, R  
 WARD RESIDENCE  
 119 ATTFIELD STREET, SOUTH  
 FREMANTLE, WA, 6162

EXTERIOR 3D VIEW		
Project number	-	A001
Date	190207	
Drawn by	RHA	
Checked by	RHA	
Scale@A3		

07-Feb-19 5:30:21 PM



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No.	Description	Date

WARD, R  
  
WARD RESIDENCE  
119 ATTFIELD STREET, SOUTH  
FREMANTLE, WA, 6162

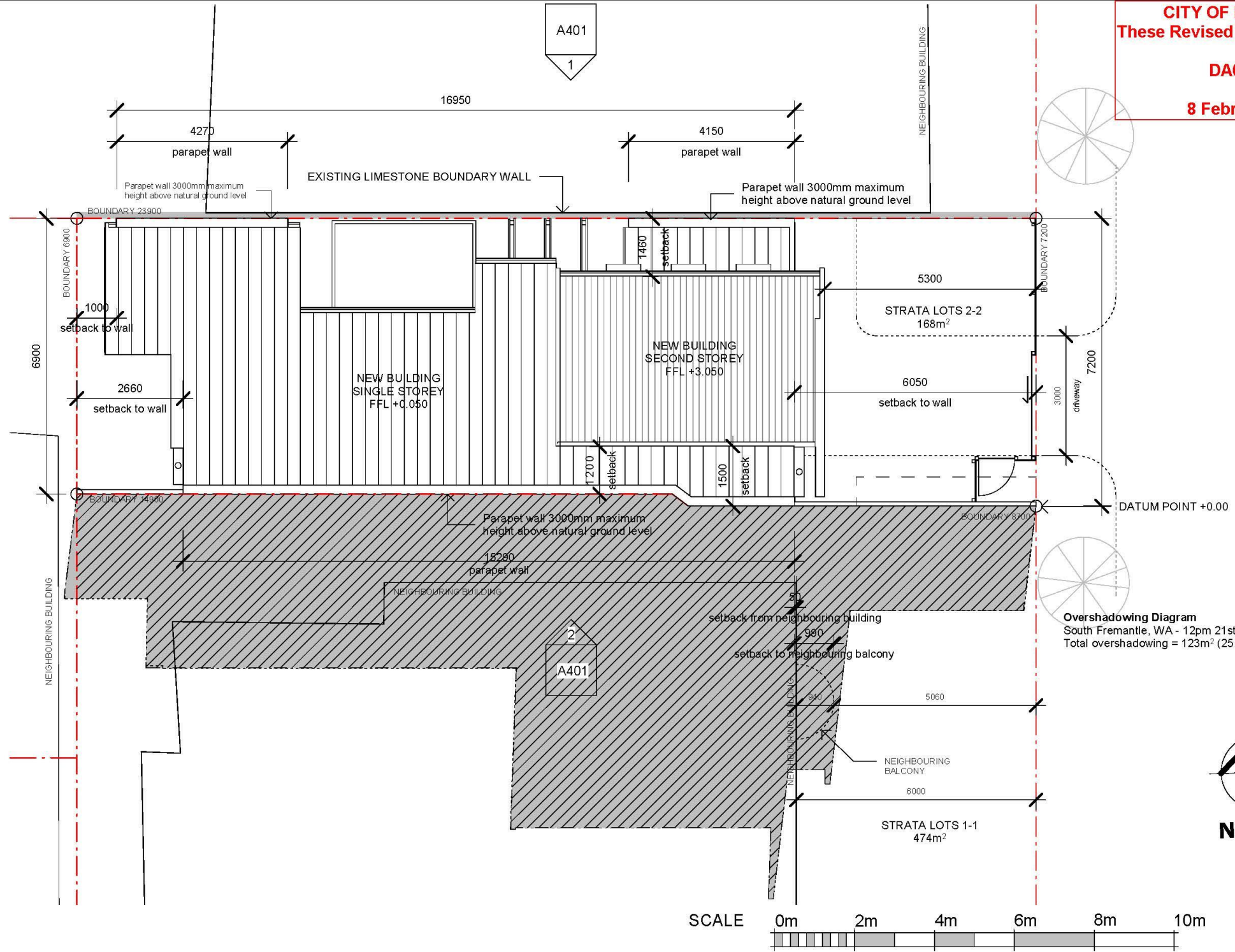
<b>EXTERIOR - STREET PERSPECTIVE</b>		A103
Project number	190207	
Date	190207	Scale@A3
Drawn by	RHA	
Checked by	RHA	

07-Feb-19 12:01:02 PM

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A400 2

A400 1



1 SITE  
1 : 100



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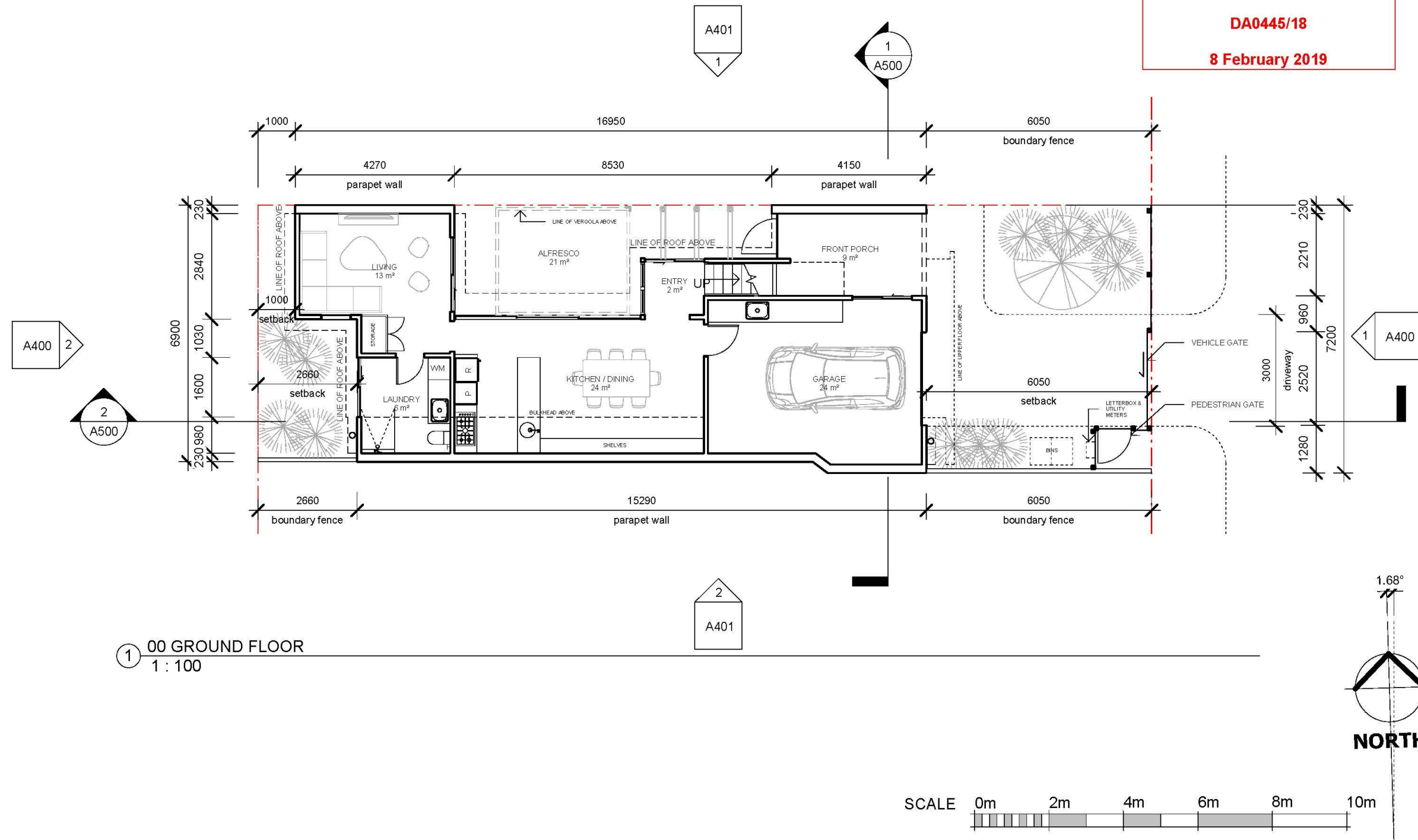
No.	Description	Date

WARD, R  
WARD RESIDENCE  
119 ATTFIELD STREET, SOUTH  
FREMANTLE, WA, 6162

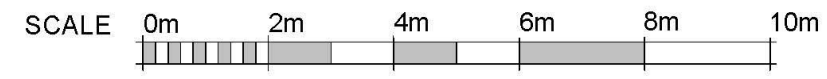
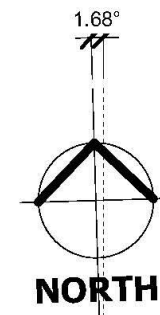
SITE PLAN	
Project number	-
Date	190207
Drawn by	RHA
Checked by	RHA
A100	
Scale@A3	1 : 100

08-Feb-19 12:01:22 PM

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**8 February 2019**



① 00 GROUND FLOOR  
1 : 100



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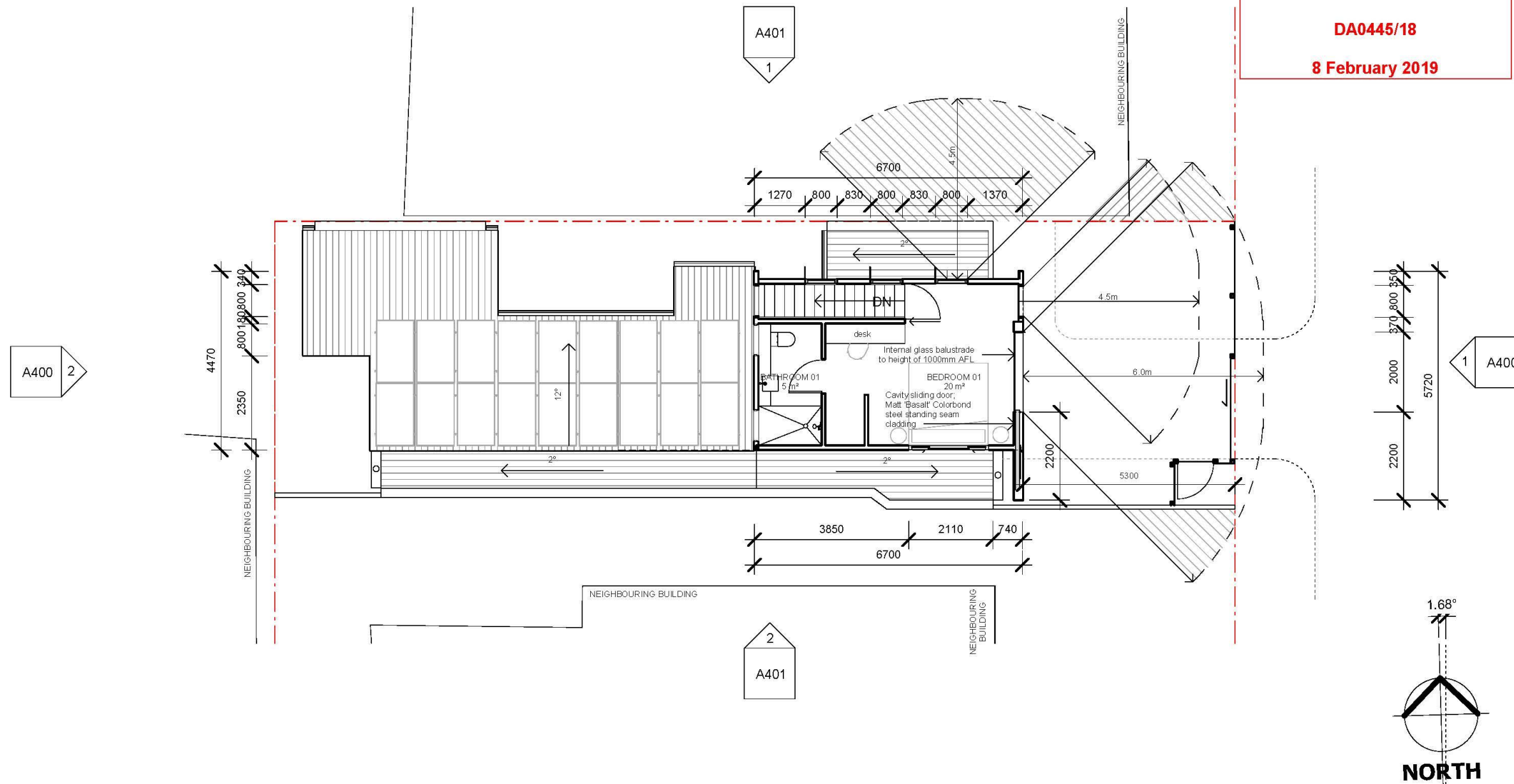
No.	Description	Date

WARD, R  
WARD RESIDENCE  
119 ATTFIELD STREET, SOUTH  
FREMANTLE, WA, 6162

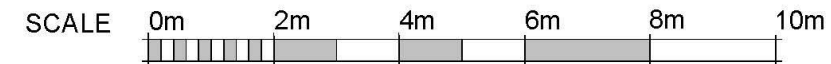
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Project number	-
Date	190207
Drawn by	RHA
Checked by	RHA
A101	
Scale@A3	1 : 100

08-Feb-19 11:29:59 AM

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① 01 FIRST FLOOR  
1 : 100



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No.	Description	Date

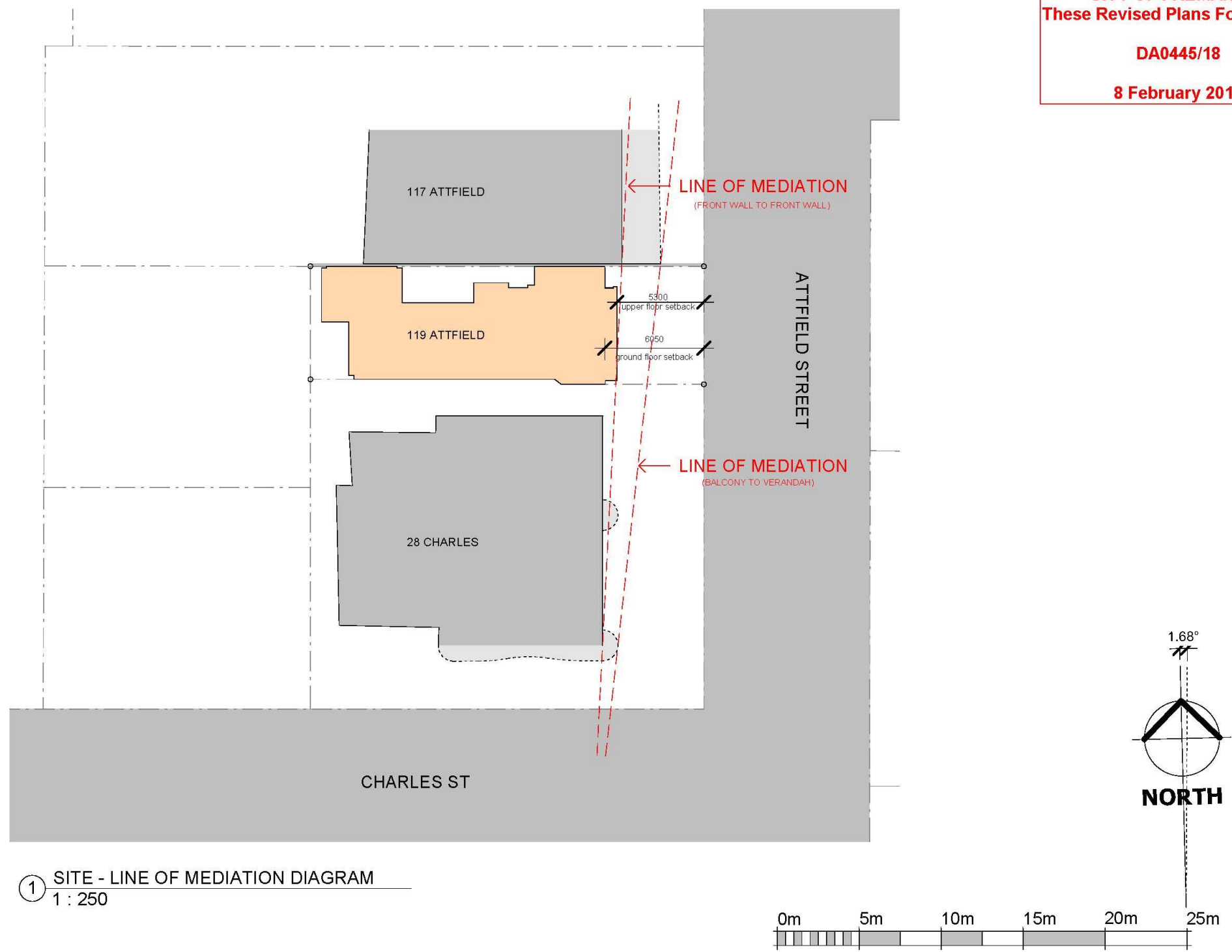
WARD, R  
WARD RESIDENCE  
119 ATTFIELD STREET, SOUTH  
FREMANTLE, WA, 6162

**FLOOR PLAN**


Project number	-	A102
Date	190207	
Drawn by	RHA	
Checked by	RHA	
Scale@A3		1 : 100

08-Feb-19 11:56:37 AM

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**8 February 2019**



① SITE - LINE OF MEDIATION DIAGRAM  
1 : 250

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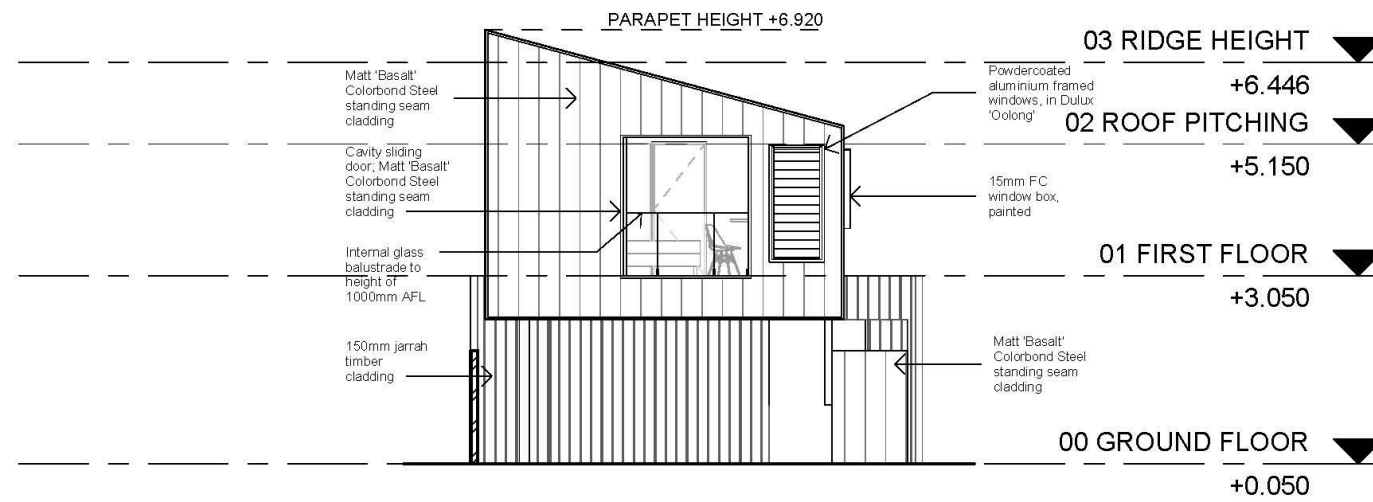
No.	Description	Date

WARD, R  
  
WARD RESIDENCE  
119 ATTFIELD STREET, SOUTH  
FREMANTLE, WA, 6162

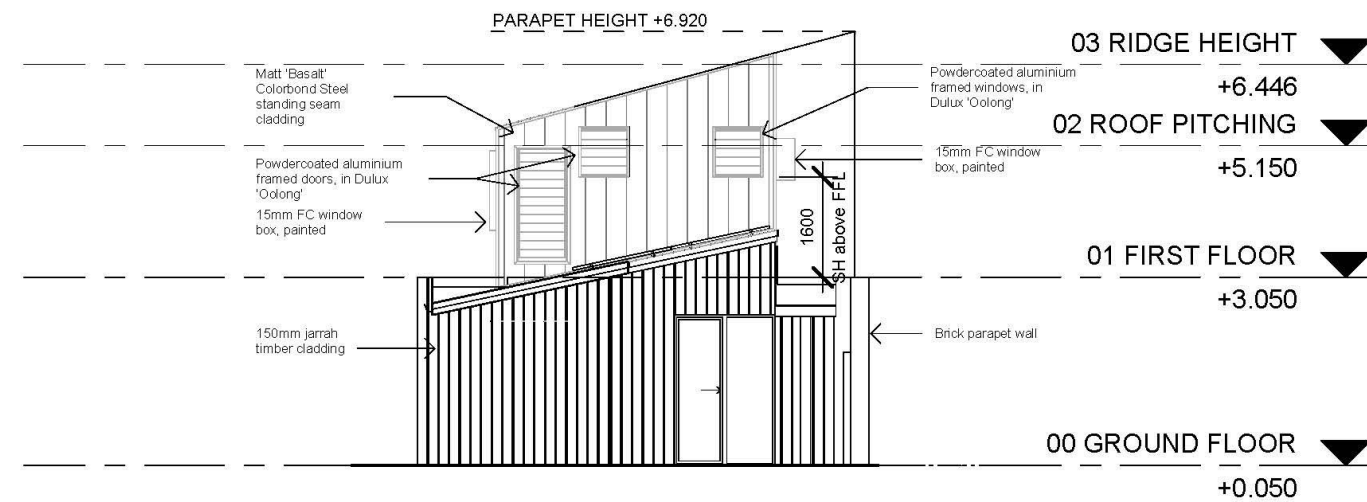
SITE - LINE OF MEDIATION	
Project number	-
Date	190207
Drawn by	RHA
Checked by	RHA
Scale@A3	1 : 250

07-Feb-19 6:29:57 PM

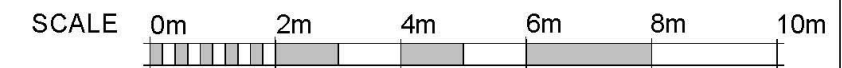
**CITY OF FREMANTLE**  
These Revised Plans Form Part of  
**DA0445/18**  
**8 February 2019**



① EAST  
1 : 100



② WEST  
1 : 100



**RICHARD HAMMOND ARCHITECT**  
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0438 918 753 | RICHARD@HRARCHITECTS.COM.AU

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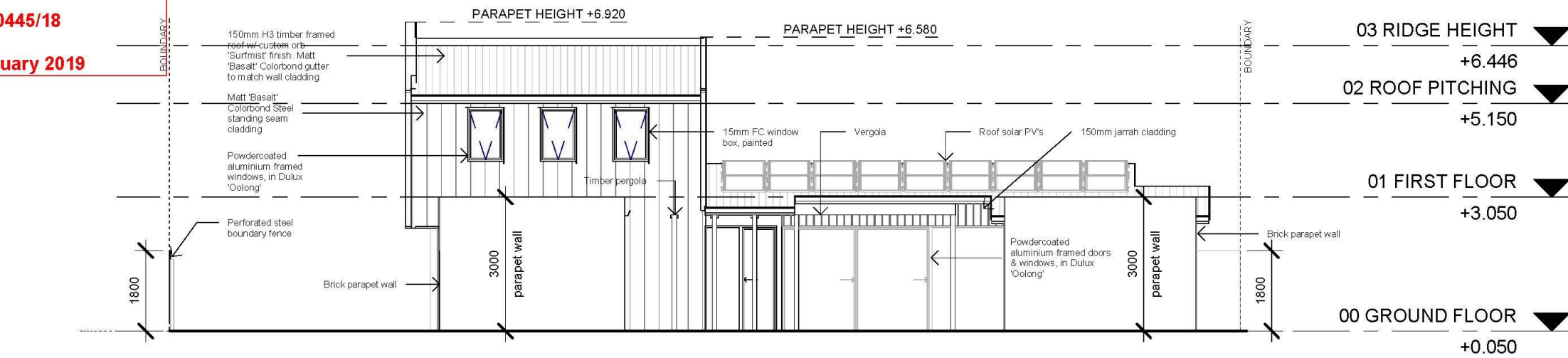
No.	Description	Date

WARD, R  
WARD RESIDENCE  
119 ATTFIELD STREET, SOUTH  
FREMANTLE, WA, 6162

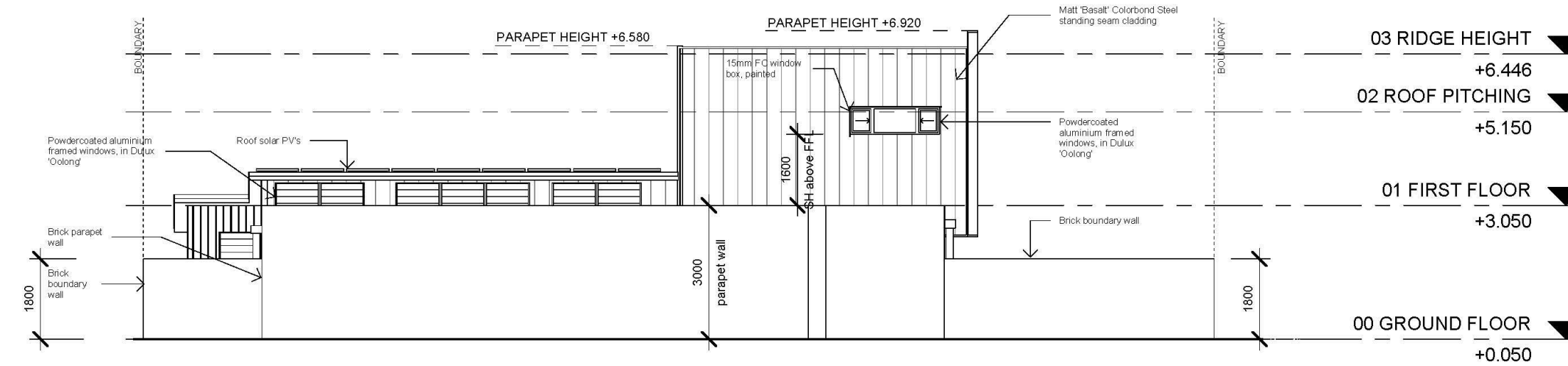
ELEVATIONS	
Project number	-
Date	190207
Drawn by	RHA
Checked by	RHA
A400	
Scale@A3	1 : 100

08-Feb-19 11:30:07 AM

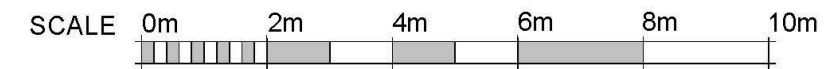
**CITY OF FREMANTLE**  
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**DA0445/18**  
**8 February 2019**



① NORTH  
1 : 100



② SOUTH  
1 : 100



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No.	Description	Date

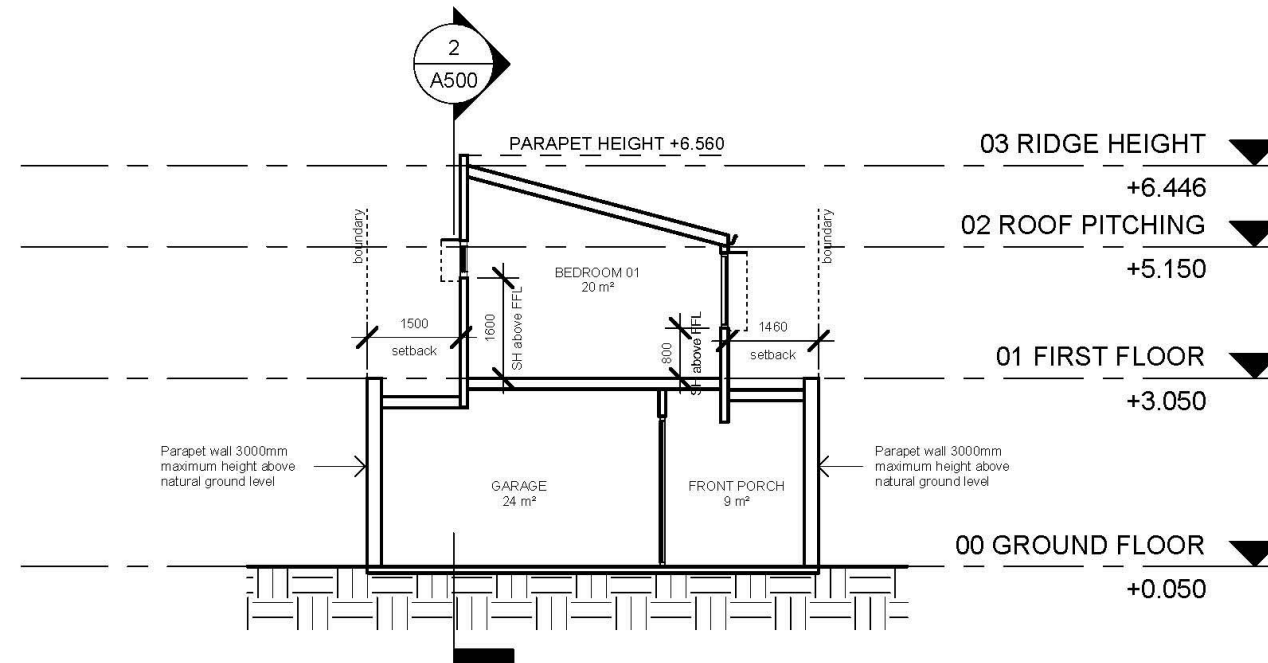
WARD, R  
WARD RESIDENCE  
119 ATTFIELD STREET, SOUTH  
FREMANTLE, WA, 6162

**ELEVATIONS**

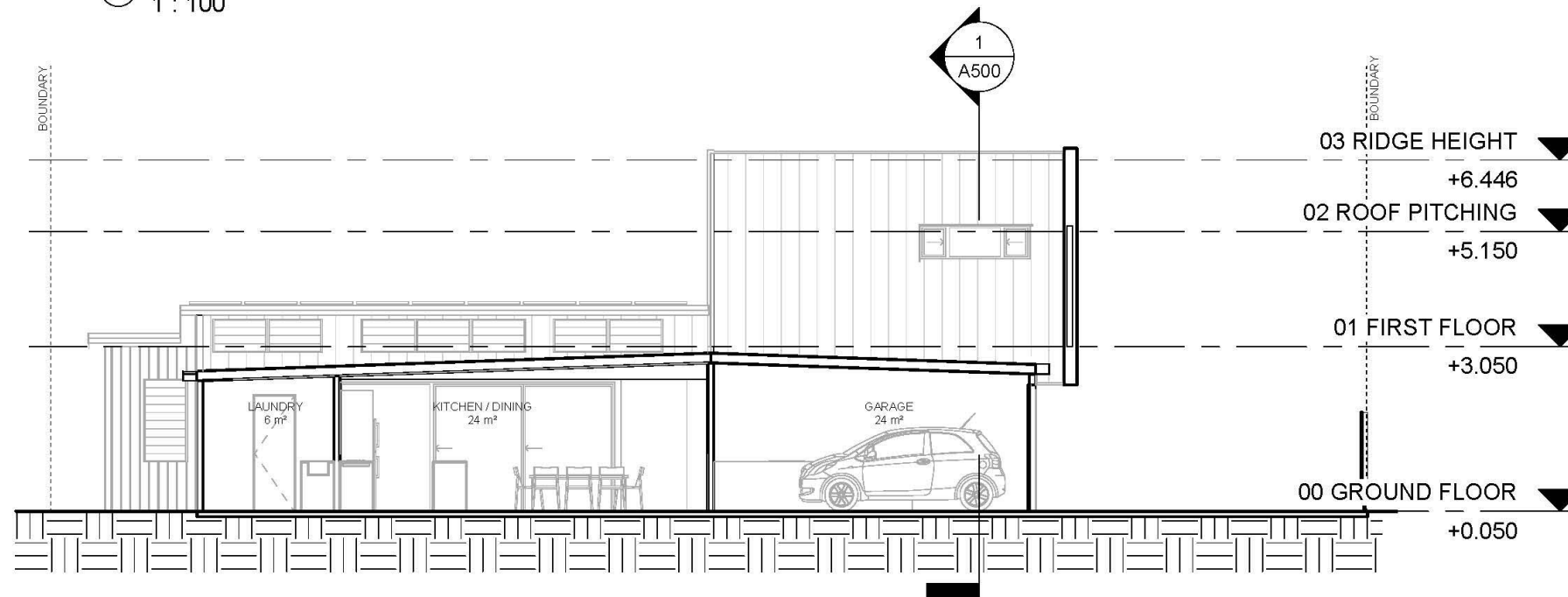
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Drawn by	RHA	
Checked by	RHA	
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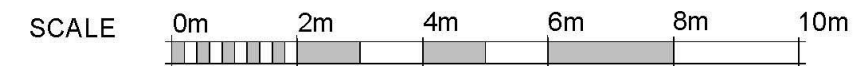
CITY OF FREMANTLE  
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DA0445/18  
8 February 2019



1 SECTION D-D  
1 : 100



2 SECTION B-B  
1 : 100



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No.	Description	Date

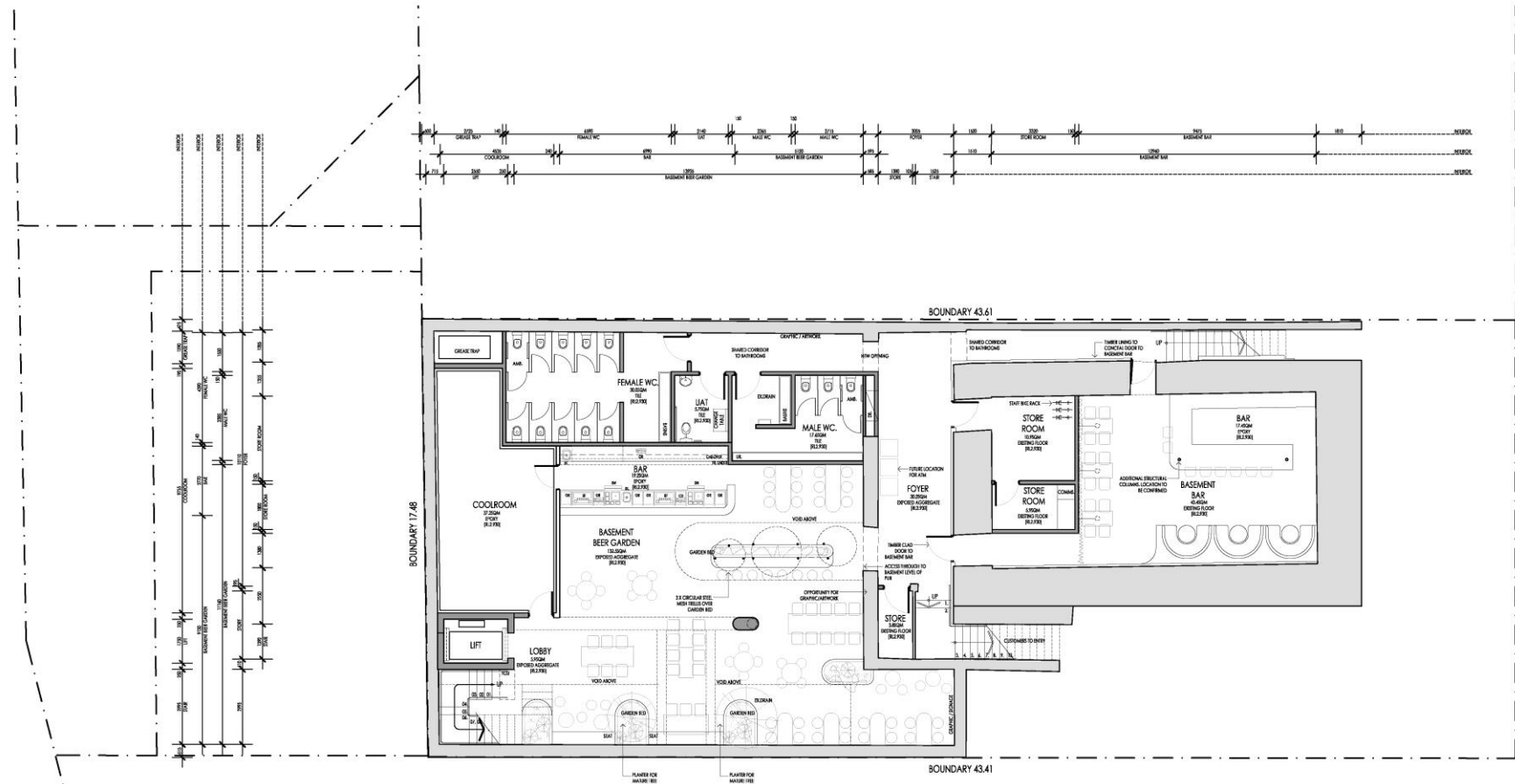
WARD, R  
WARD RESIDENCE  
119 ATTFIELD STREET, SOUTH  
FREMANTLE, WA, 6162

SECTIONS	
Project number	-
Date	190207
Drawn by	RHA
Checked by	RHA
A500	
Scale@A3	1 : 100

07-Feb-19 5:31:01 PM

PC1903 -5 SOUTH TERRACE, NO. 92 (LOT 5), FREMANTLE - CHANGE OF USE (TAVERN) AND ADDITIONS AND ALTERATIONS TO EXISTING BUILDING - (TG DA0572/18)  
ATTACHMENT 1 – Development Plans

CITY OF FREMANTLE  
These Revised Plans Form Part of  
DA0572/18  
6 February 2019

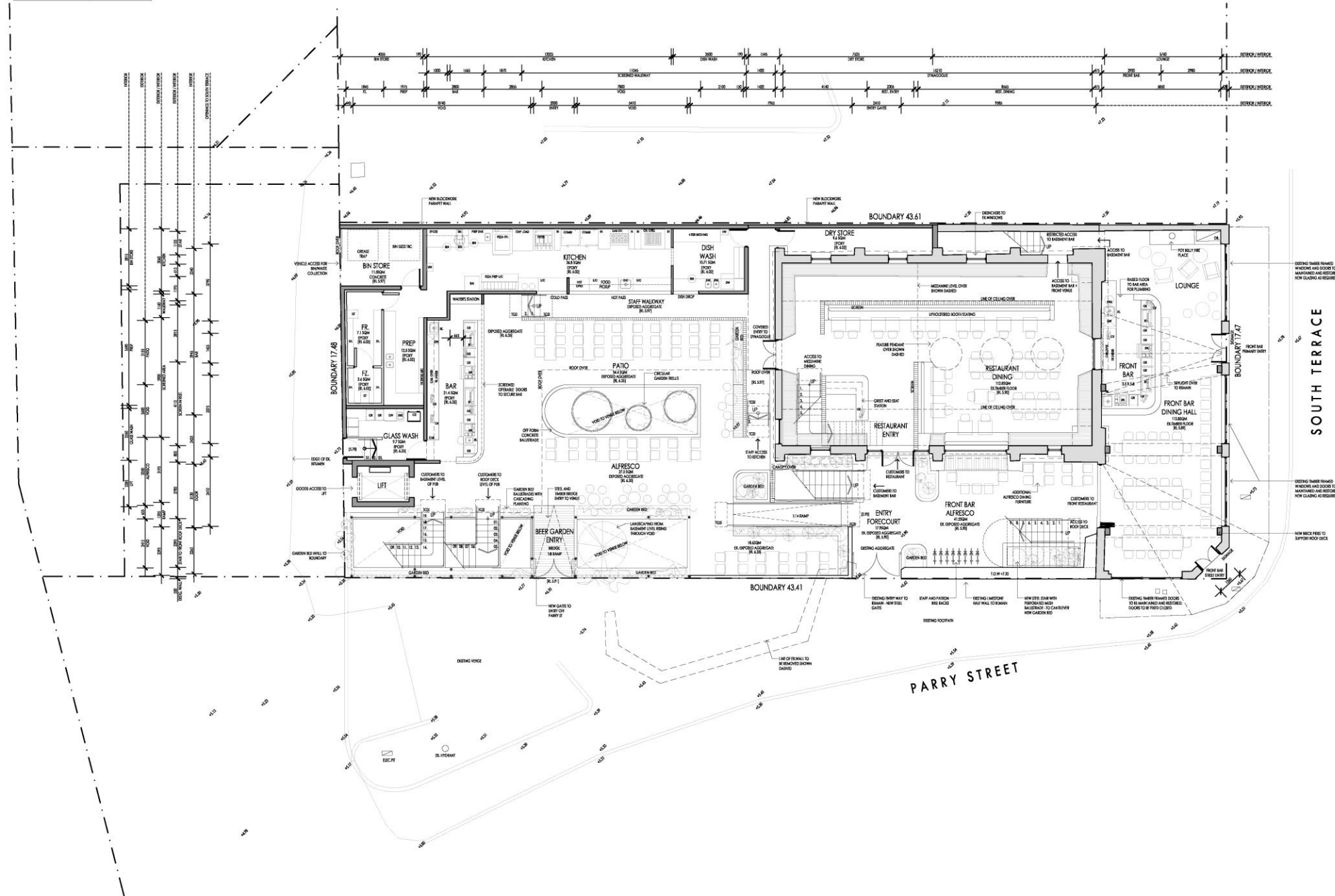


• BASEMENT FLOOR PLAN •  
1:100 @ A1

PROJECT THE OLD SYNAGOGUE  
92 SOUTH TERRACE, FREMANTLE  
CLIENT 2018 ONWARDS PTY LTD.  
ISSUED FOR DA // 13 DEC 2018

A03

CITY OF FREMANTLE  
These Revised Plans Form Part of  
DA0572/18  
6 February 2019

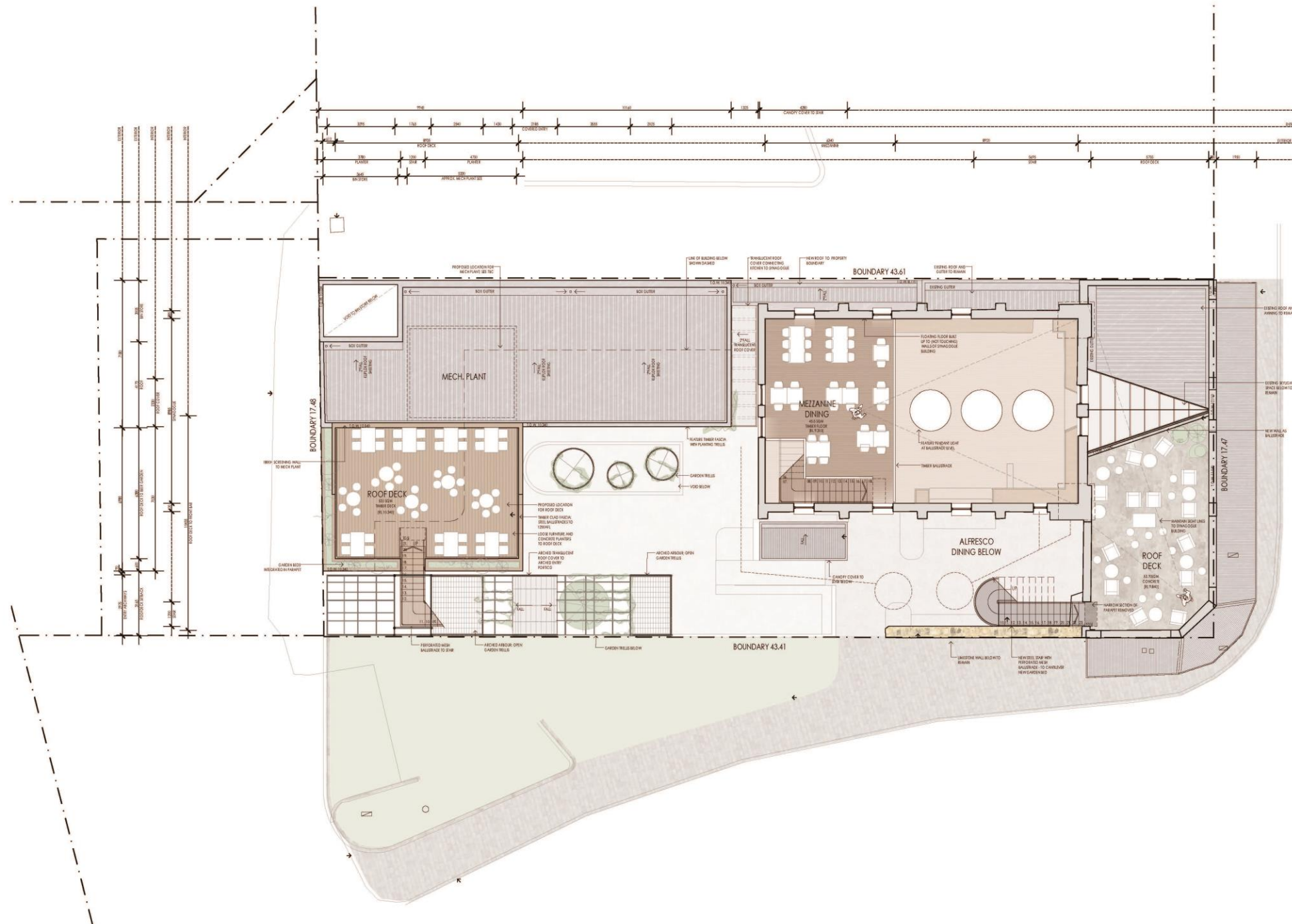


• GROUND FLOOR PLAN •  
1:100 @ A1

PROJECT THE OLD SYNAGOGUE  
92 SOUTH TERRACE, FREMANTLE  
CLIENT 2018 ONWARDS PTY LTD.  
ISSUED FOR DA // 13 DEC 2018

**A04**

CITY OF FREMANTLE  
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DA0572/18  
14 Dec 2018



• MEZZANINE / ROOFTOP PLAN •  
1:100 @ A1

PROJECT THE OLD SYNAGOGUE  
92 SOUTH TERRACE, FREMANTLE  
DATE 2018 ONWARDS PTY LTD.  
ISSUE FOR DA // 13 DEC 2018

A05

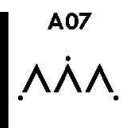






• ELEVATIONS •  
1:100 @ A1

PROJECT THE OLD SYNAGOGUE  
92 SOUTH TERRACE, FREMANTLE  
CLIENT 2018 ONWARDS PTY LTD.  
DATE ISSUED FOR DA // 13 DEC 2018



CITY OF FREMANTLE  
These Plans Form Part of  
DA0572/18  
14 Dec 2018



CITY OF FREMANTLE  
These Plans Form Part of  
DA0572/18  
14 Dec 2018



**ATTACHMENT 2- Site Photos**



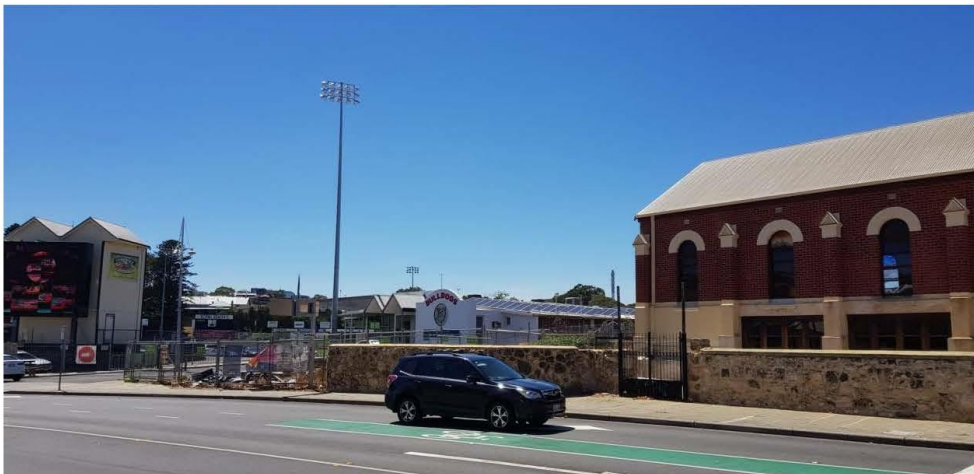
1: View of subject site from City of Fremantle Car Park 16



2: View of subject site from City of Fremantle Car Park 16



3: View of subject site from City of Fremantle Car Park 16



4: View of subject site from Parry Street road footpath adjacent to Scots Presbyterian Church



5: View of subject site from Parry Street road footpath adjacent to Scots Presbyterian Church



6: View of subject site from Parry Street road footpath adjacent to Scots Presbyterian Church



7: View of subject site from western intersection corner adjacent to Fremantle Technical College



8: View of subject site from western intersection corner adjacent to Fremantle Technical College



9: View of subject site from South Terrace road reserve adjacent to Norfolk Hotel



10: View of subject site from City of Fremantle car park 61 (Cappuccino Strip)



11: View of subject site from City of Fremantle car park 61 (Cappuccino Strip)

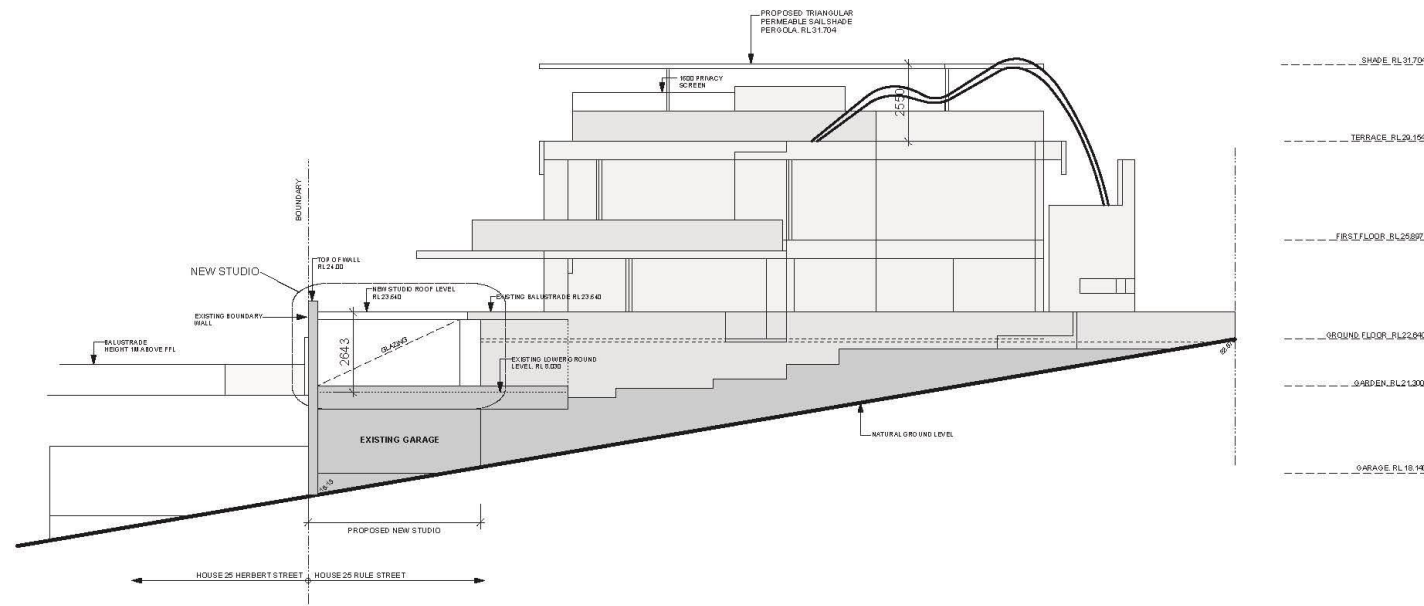


12: View of subject site from City of Fremantle car park 61 (Cappuccino Strip)

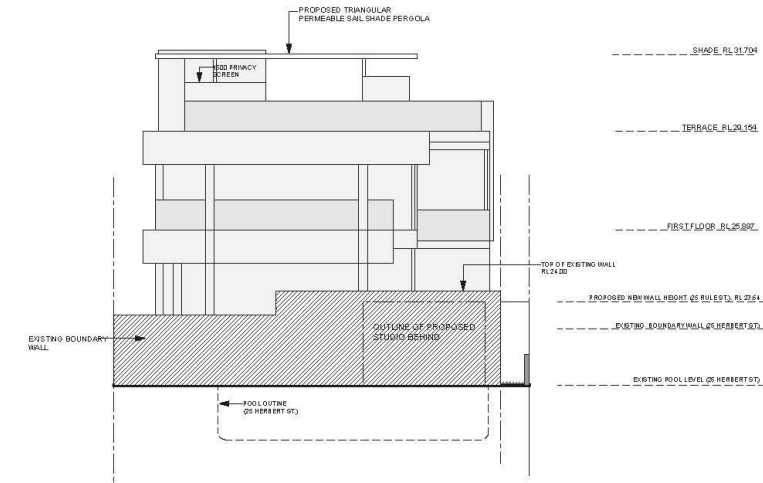


13: View of subject site from City of Fremantle car park 61 (Cappuccino Strip)



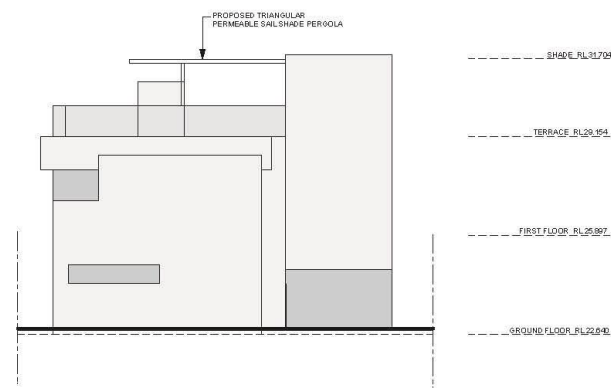


SOUTH (FAY STREET) ELEVATION 1:100

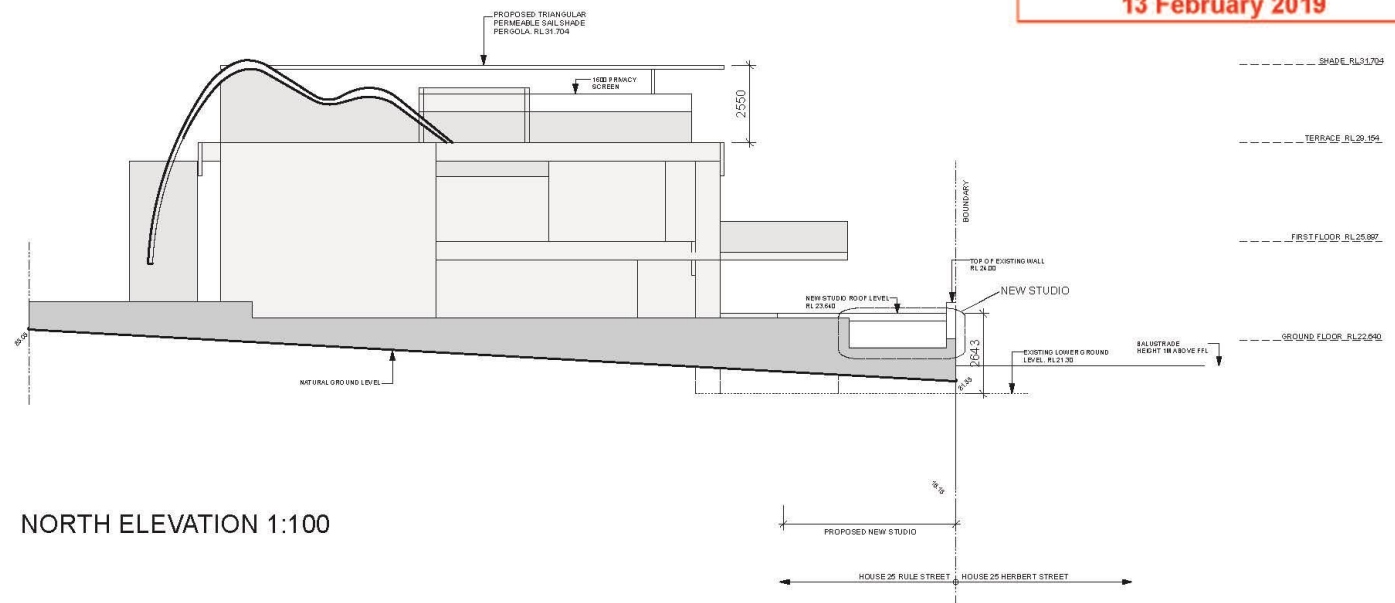


WEST ELEVATION 1:100

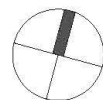
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 These Revised Plans Form Part of  
**DA0490/18**  
**13 February 2019**



EAST ELEVATION (RULE STREET) 1:100



NORTH ELEVATION 1:100



25 RULE STREET NORTH FREMANTLE  
**NEW STUDIO**  
 BLAINE BRACKENRIDGE ARCHITECTURE  
 FEBRUARY 2019 A2

**ATTACHMENT 2 – Site Photos**



Subject site from Fay Street



Subject site from Fay Street



Subject site from corner Fay Street & Rule Street



Subject site from Rule Street across the front setback of 27 Rule Street

PC1903 -7 STIRLING HIGHWAY, NO. 82-84 (LOTS 11 AND 12) AND ALFRED ROAD, NO. 5 (LOT 5) - ALTERATIONS, UPPER FLOOR ADDITION, AND ADDITIONAL USE OF OFFICE IN AN EXISTING COMMERCIAL BUILDING - (NB DA0332/18)

ATTACHMENT 1: Development Plans

CITY OF FREMANTLE  
These Revised Plans Form Part of  
DA0332/18  
20 FEBRUARY 2019

**82 - 84 Stirling Hwy North Fremantle**  
Proposed Changes and Additions (revised)

Development Application

B Development Application (rev 2) 20.02.19

---

**Contact Details**

**Primary Contact**

**Owner: John Woodward**  
**Phone: 0418 952 981**

Designer: United Studio  
David Smith  
Phone: 0402 795 775  
email: david@unitedstudio.com.au

**united studio**

6 Hilda Street, Shenton Park  
Western Australia 6008  
e: david@unitedstudio.com.au  
p: 0402 795 775

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**DA0332/18**

Notes:  
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Location Aerial  
NTS

**82 - 84 Stirling Hwy**  
**North Fremantle**  
Proposed Changes and Additions (revised)

Prev Issue	Date

Date: 20.02.19  
Drawn: DS  
Sheet Size: A3  
Scale: n/a  
Rev : 1

Drawing	Issue
01	B

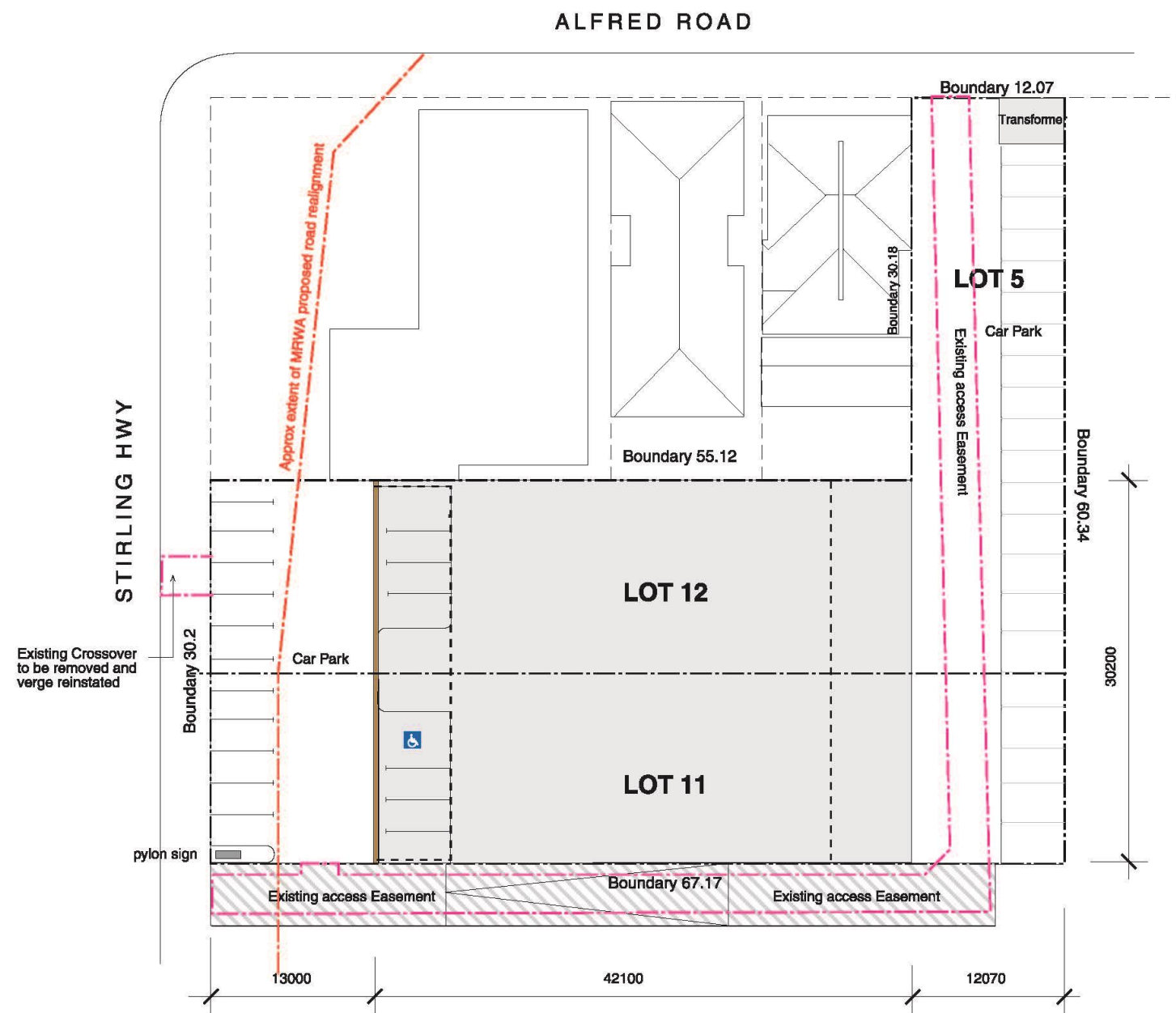
**united studio**

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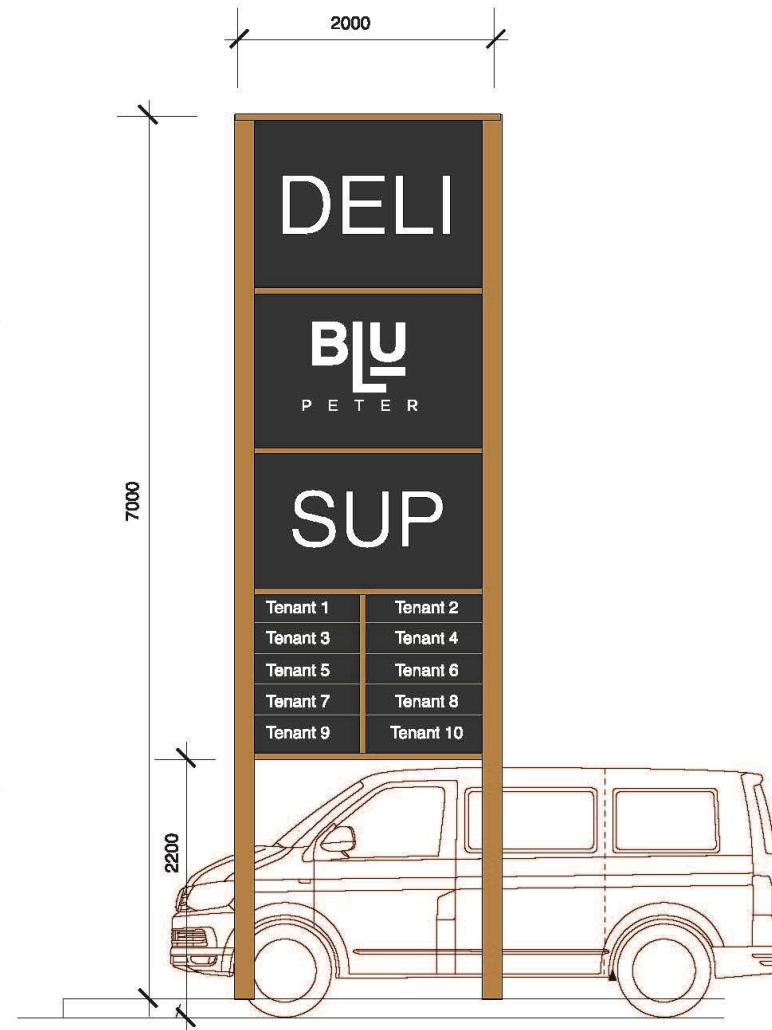


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**DA0332/18**

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 Site Plan - Proposed  
1:400



Elevation  
Proposed Double Sided Pylon Sign  
1:50

Ensure Sightlines are achieved in accordance with AS2890.1 - 2004

**82 - 84 Stirling Hwy  
North Fremantle**  
Proposed Changes and  
Additions (revised)

Prev Issue      Date

Date: 20.02.19  
Drawn: DS  
Sheet Size: A3  
Scale: as noted  
Rev: 2

Drawing      Issue



**03 B**

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Western Australia 6008  
e: david@unitedstudio.com.au  
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-  Fire isolated Stair  
All doors to be self closing with FRL -/60/30. Non load bearing walls FRL -/120/120
-  Plant / duct

Ex - Existing 163 x 155 x 10mm steel H section columns  
N - new 400 dia conc columns

**82 - 84 Stirling Hwy**  
**North Fremantle**  
Proposed Changes and Additions (revised)

Prev Issue      Date

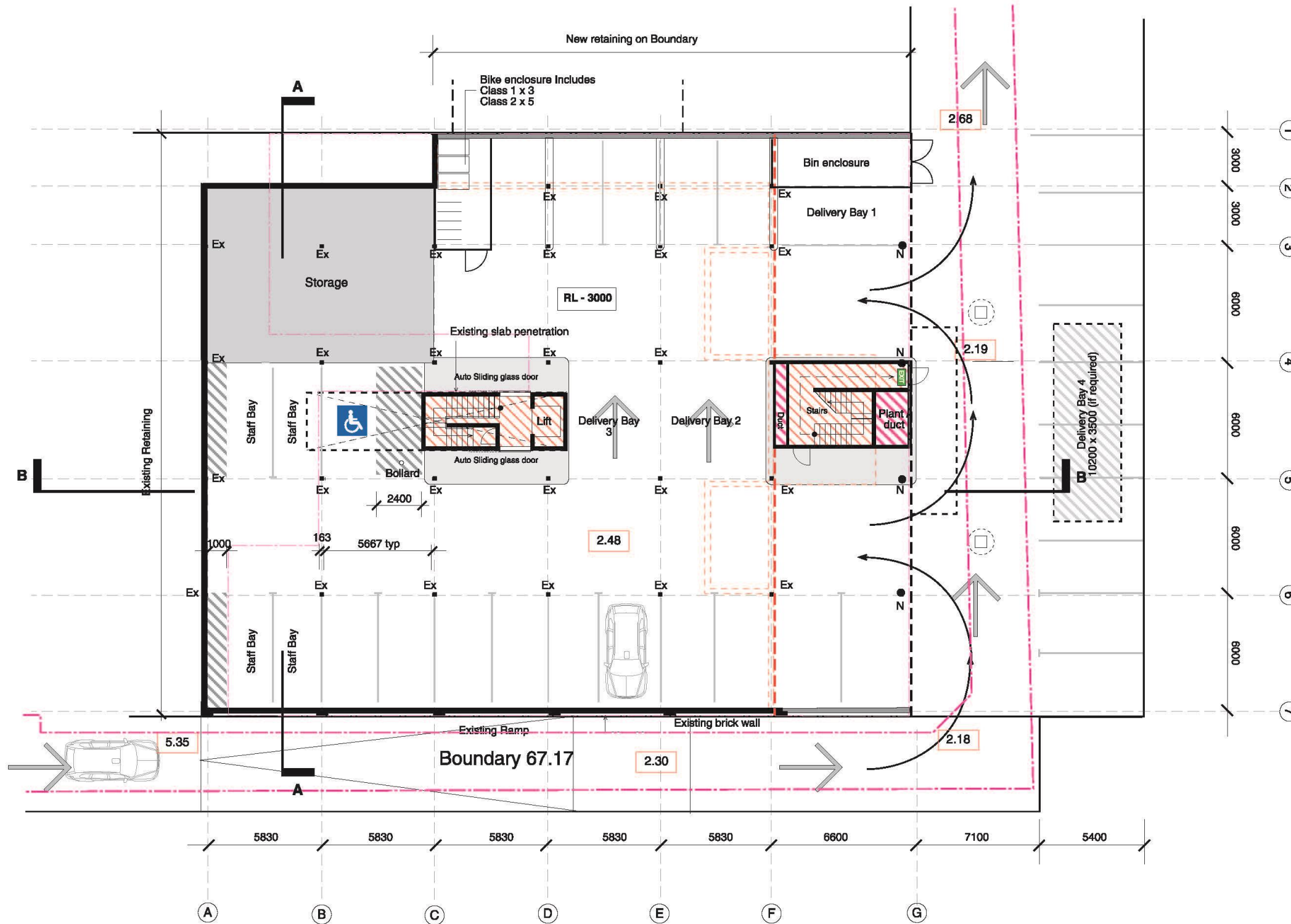
Date: 20.02.19  
Drawn: DS  
Sheet Size: A3  
Scale: 1: 200  
Rev: 1

Drawing    Issue

**04 B**

**united studio**





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Western Australia 6008  
e: david@unitedstudio.com.au  
p: 0402 795 775

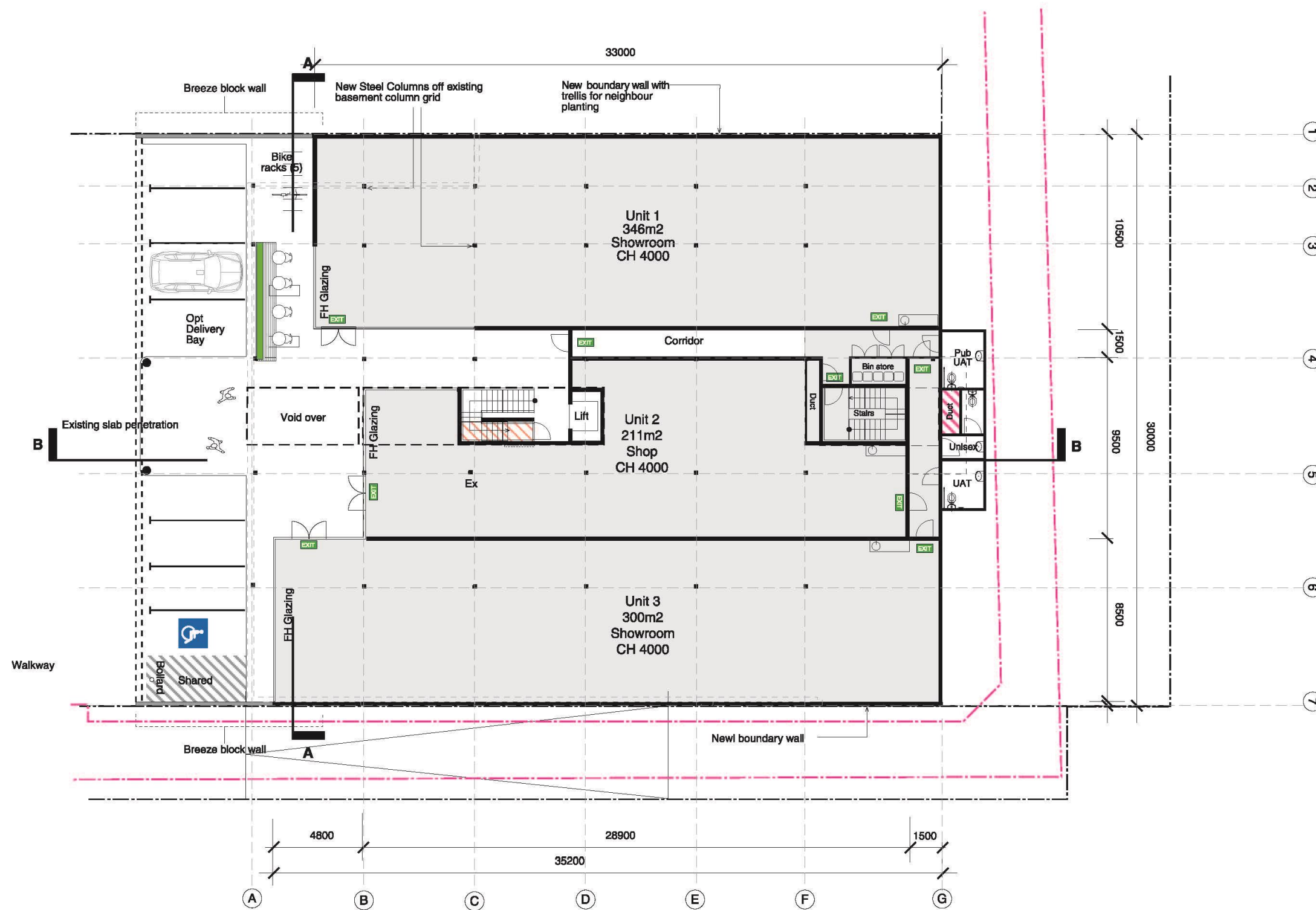


 **Basement Plan**  
1:200

**CITY OF FREMANTLE**  
These Revised Plans Form Part of  
**DA0332/18**  
**20 FEBRUARY 2019**

- Notes:**
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-  Existing Suspended Concrete Slab
-  Proposed Extension to Suspended Concrete Slab
-  Fire Isolated Stair  
All doors to be self closing with FRL -/60/30. Non load bearing walls FRL -/120/120
-  Plant / duct



**82 - 84 Stirling Hwy  
North Fremantle**  
Proposed Changes and Additions (revised)

Prev Issue	Date

Date: 20.02.19  
Drawn: DS  
Sheet Size: A3  
Scale: 1: 200  
Rev : 1

Drawing	Issue
05	B

**05 B**

**united studio**

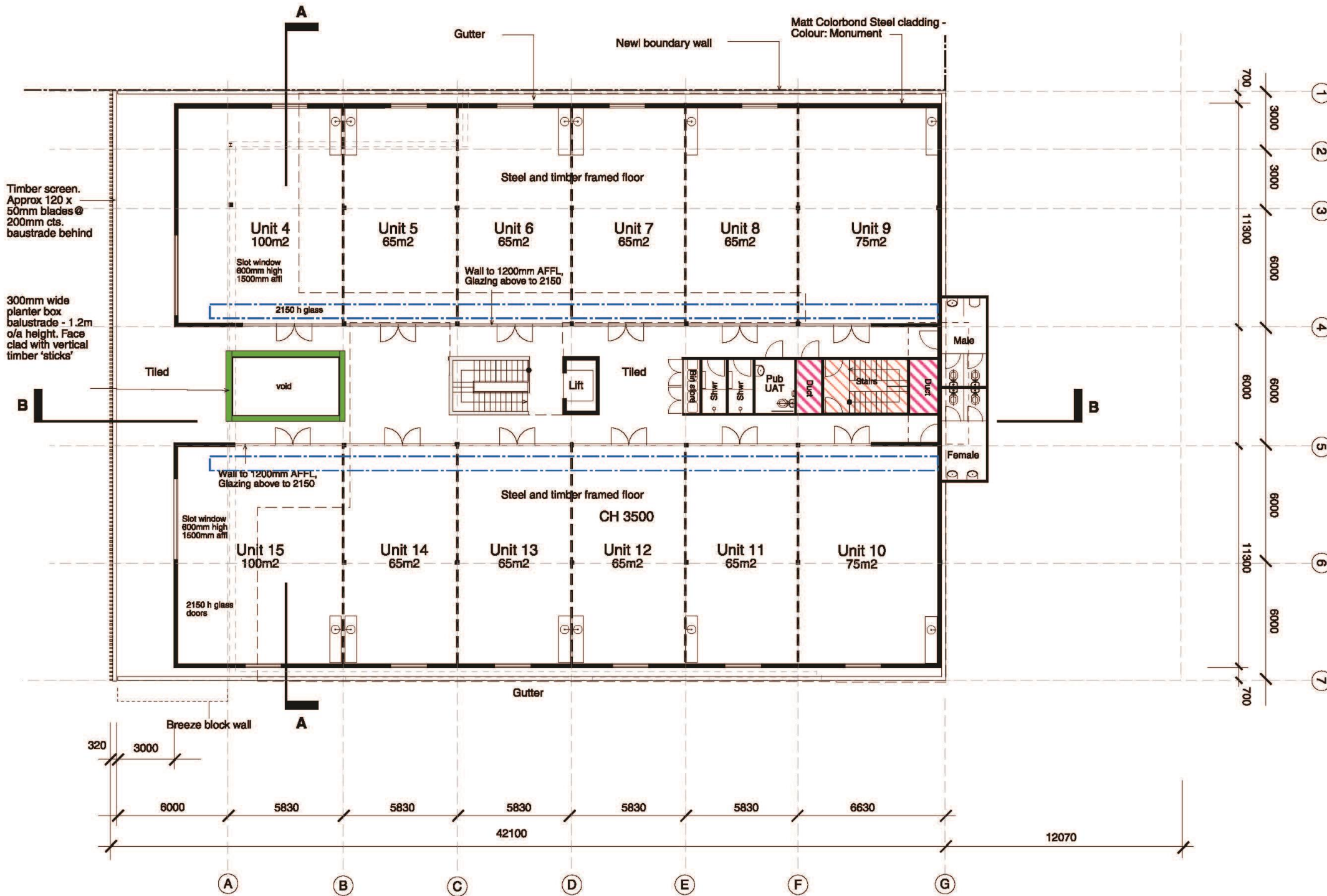
6 Hilda Street, Shenton Park  
Western Australia 6008  
e: david@unitedstudio.com.au  
p: 0402 795 775

 **Ground Floor Plan**  
1:200  
Total NLA 857m2  
Shop 211m2  
Showroom 646m2

**CITY OF FREMANTLE**  
These Revised Plans Form Part of  
**DA0332/18**

- Notes FEBRUARY 2019**
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-  Fire Isolated Stair  
All doors to be self closing with FRL -/60/30. Non load bearing walls FRL -/120/120
-  Plant / duct



**82 - 84 Stirling Hwy**  
North Fremantle  
Proposed Changes and Additions (revised)

Prev Issue      Date

Date: 20.02.19  
Drawn: DS  
Sheet Size: A3  
Scale: 1: 200  
Rev : 1

Drawing    Issue  
**06    B**

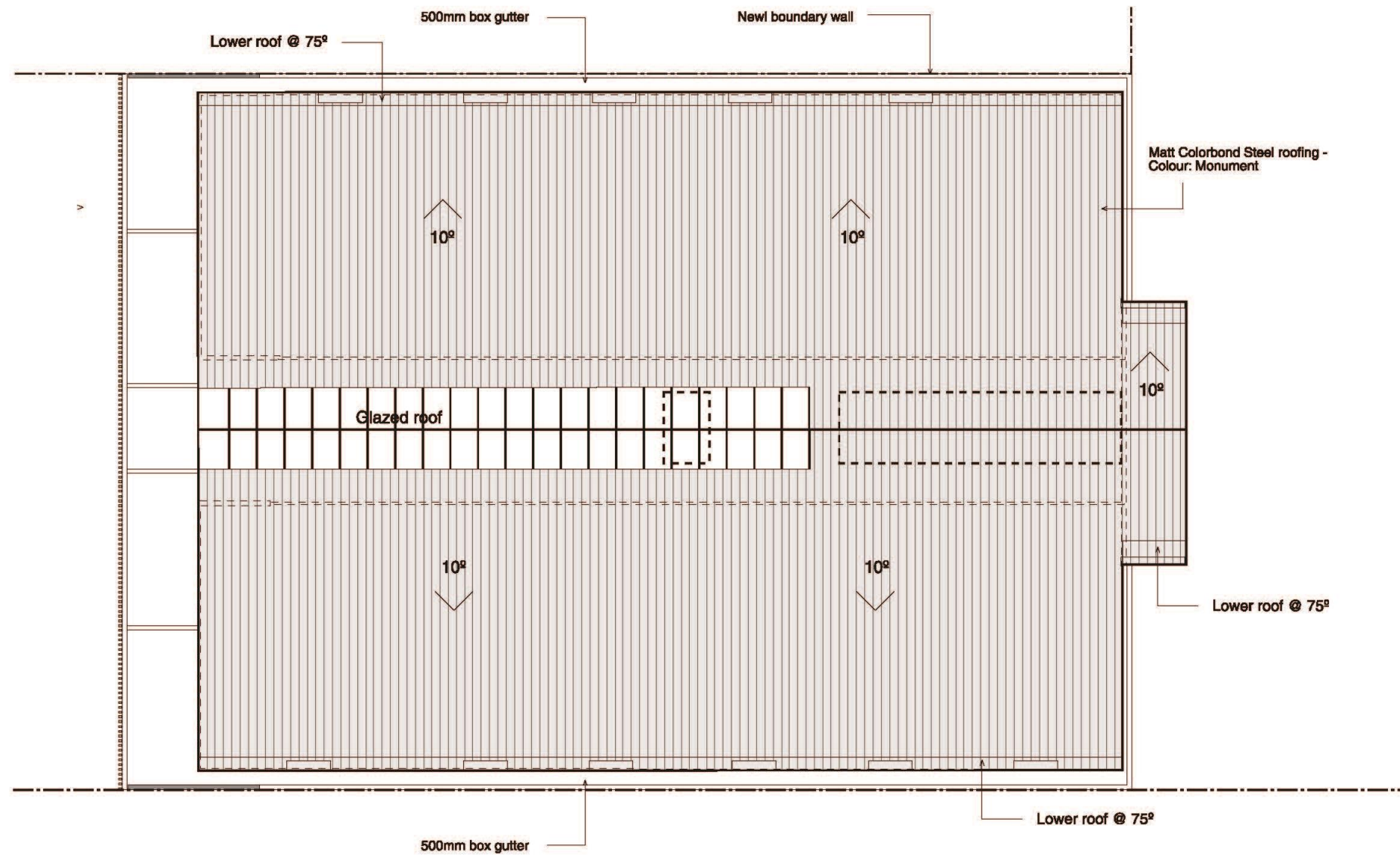
**united studio**  
6 Hilda Street, Shenton Park  
Western Australia 6008  
e: david@unitedstudio.com.au  
p: 0402 795 775

 **First Floor Plan**  
1:200  
NLA 870m<sup>2</sup>

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DA0332/18

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**82 - 84 Stirling Hwy**  
**North Fremantle**  
Proposed Changes and Additions (revised)

Prev Issue	Date

Date: 20.02.19  
Drawn: DS  
Sheet Size: A3  
Scale: 1: 200  
Rev : 1

Drawing	Issue
07	B

**07 B**

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Western Australia 6008  
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p: 0402 795 775

 **Roof Plan**  
1:200

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**DA0332/18**

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West Elevation  
1:100

**82 - 84 Stirling Hwy**  
**North Fremantle**  
Proposed Changes and Additions

Prev Issue      Date

Date: 20.02.19  
Drawn: DS  
Sheet Size: A3  
Scale: 1:100  
Rev : 0

Drawing      Issue

**08 B**

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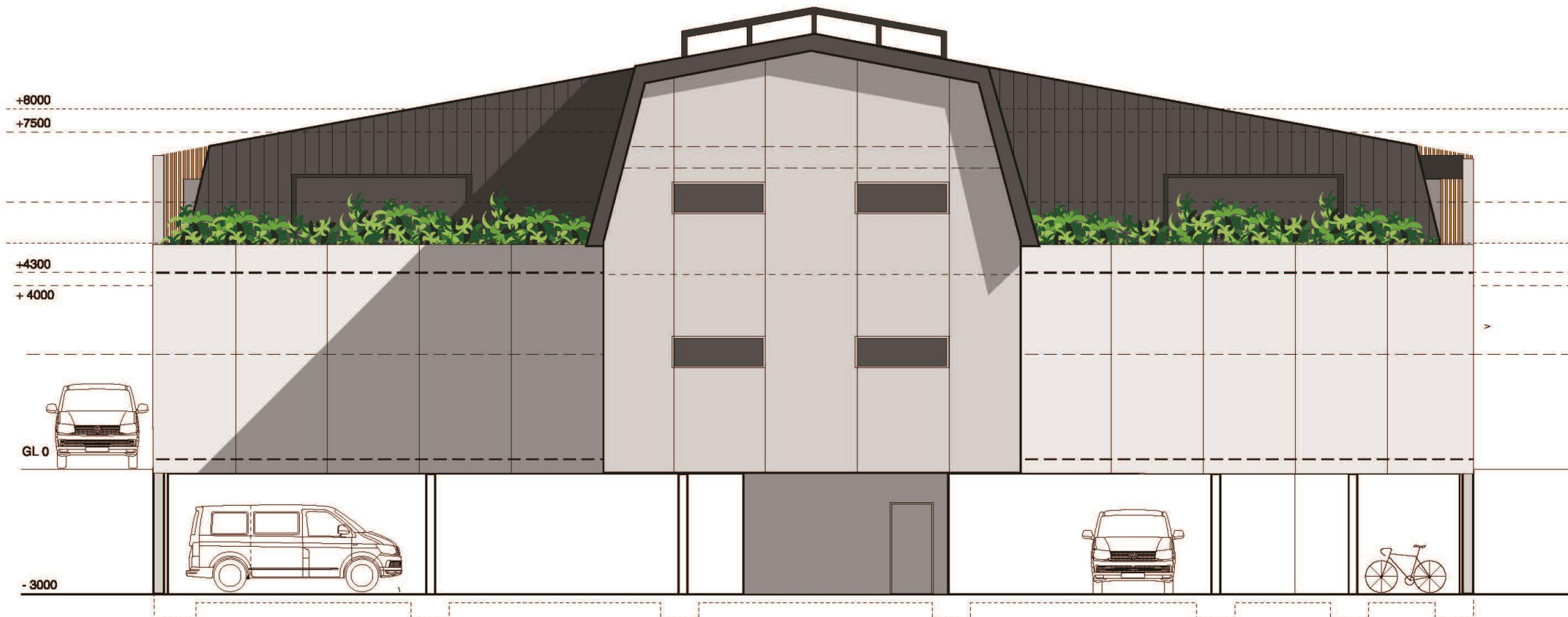
**DA0332/18**

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**East Elevation**  
1:100

**82 - 84 Stirling Hwy**  
**North Fremantle**  
Proposed Changes and Additions

Prev Issue	Date

Date: 20.12.18  
Drawn: DS  
Sheet Size: A3  
Scale: 1:100  
Rev : 0

Drawing	Issue
09	B

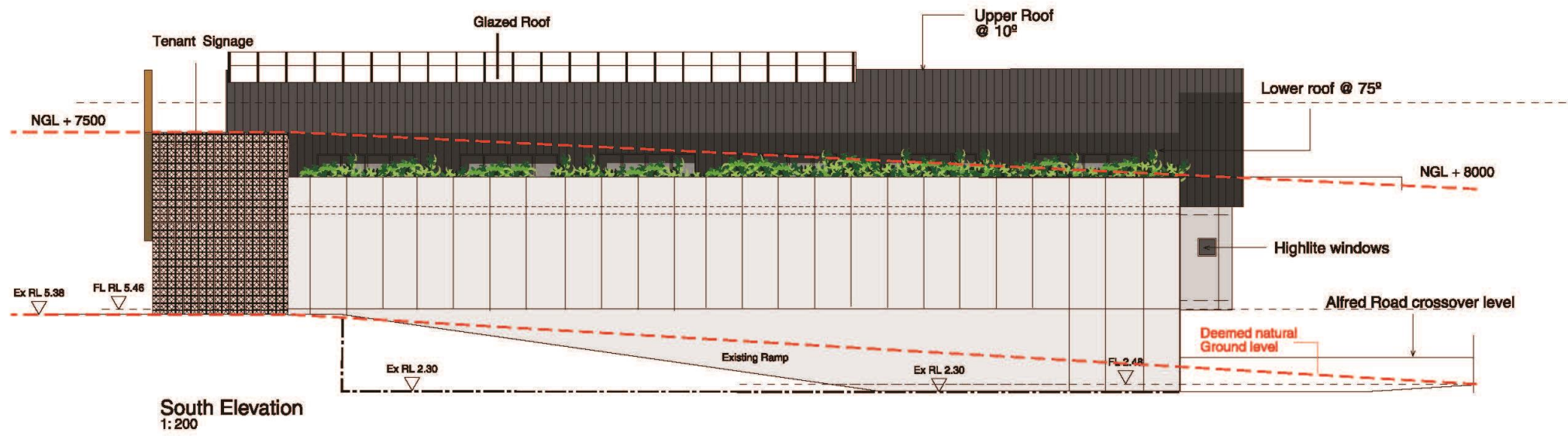
**09 B**

**united studio**

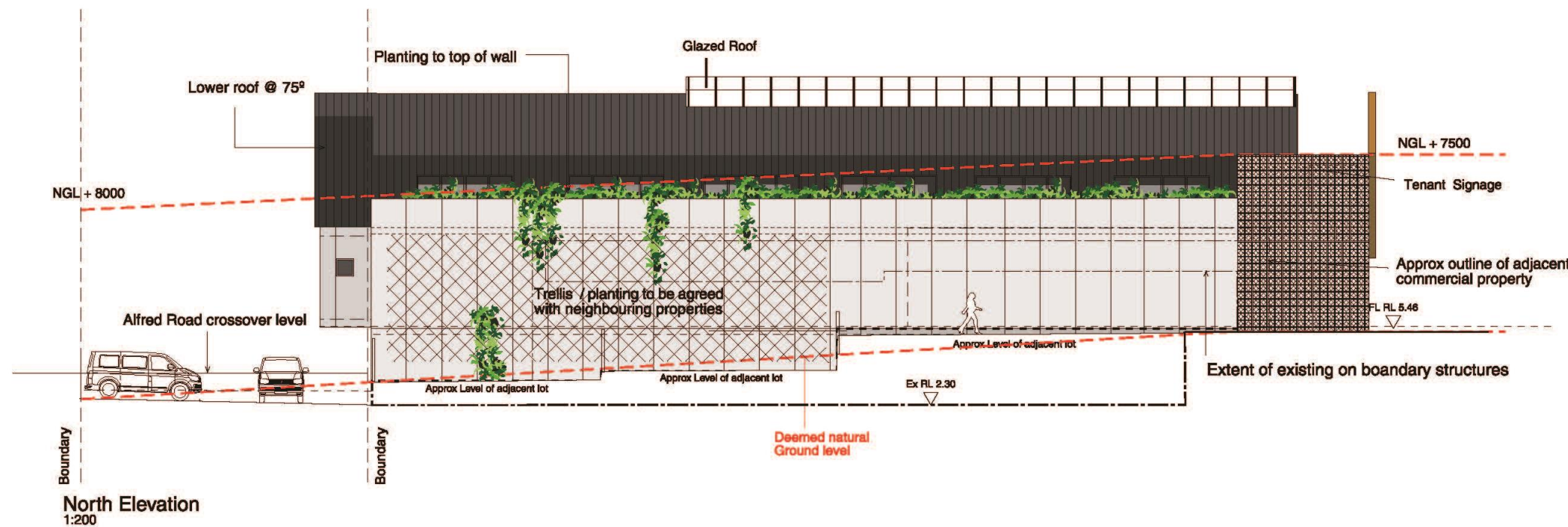
6 Hilda Street, Shenton Park  
Western Australia 6008  
e: david@unitedstudio.com.au  
p: 0402 795 775

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**DA0332/18**

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South Elevation  
1:200



North Elevation  
1:200

**82 - 84 Stirling Hwy  
North Fremantle  
Proposed Changes and  
Additions**

Prev Issue      Date

Date: 20.02.19  
Drawn: DS  
Sheet Size: A3  
Scale: 1: 100  
Rev : 1

Drawing      Issue

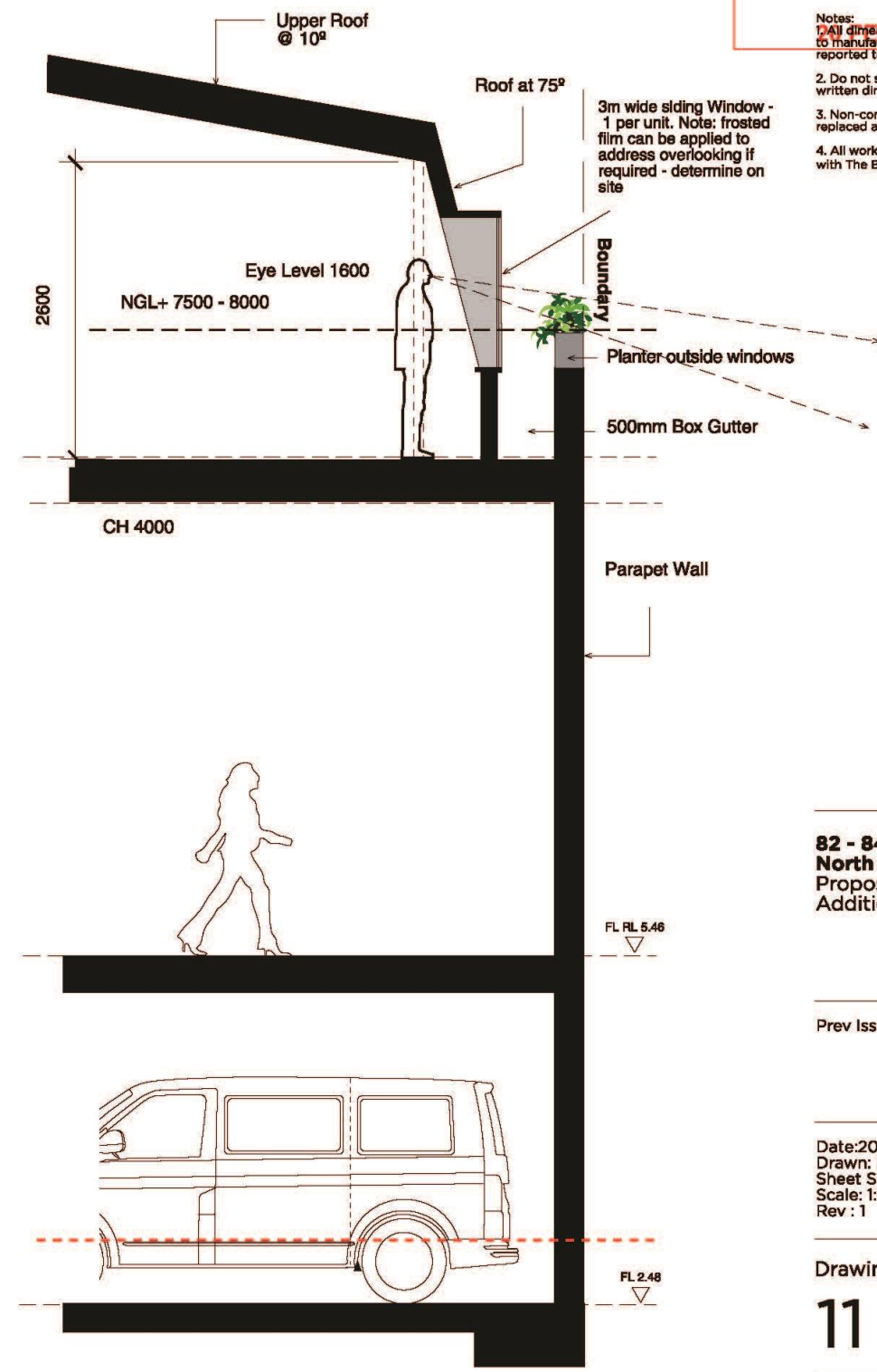
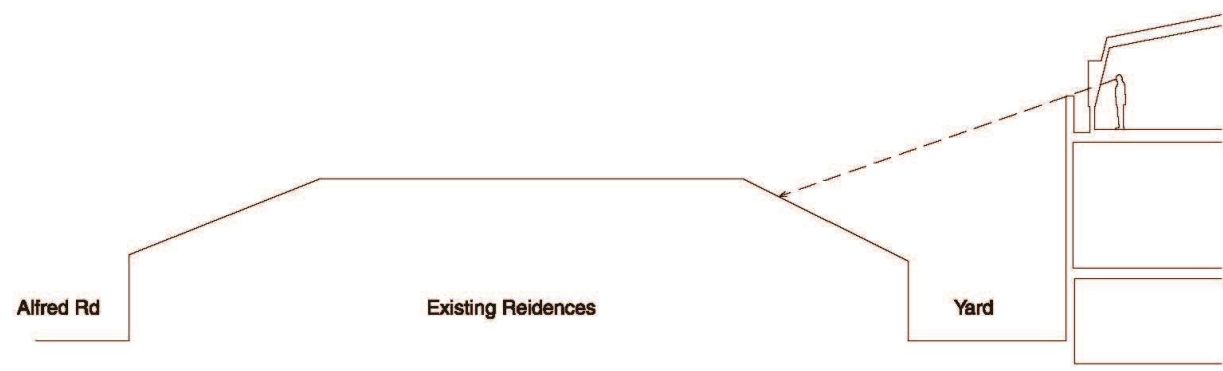
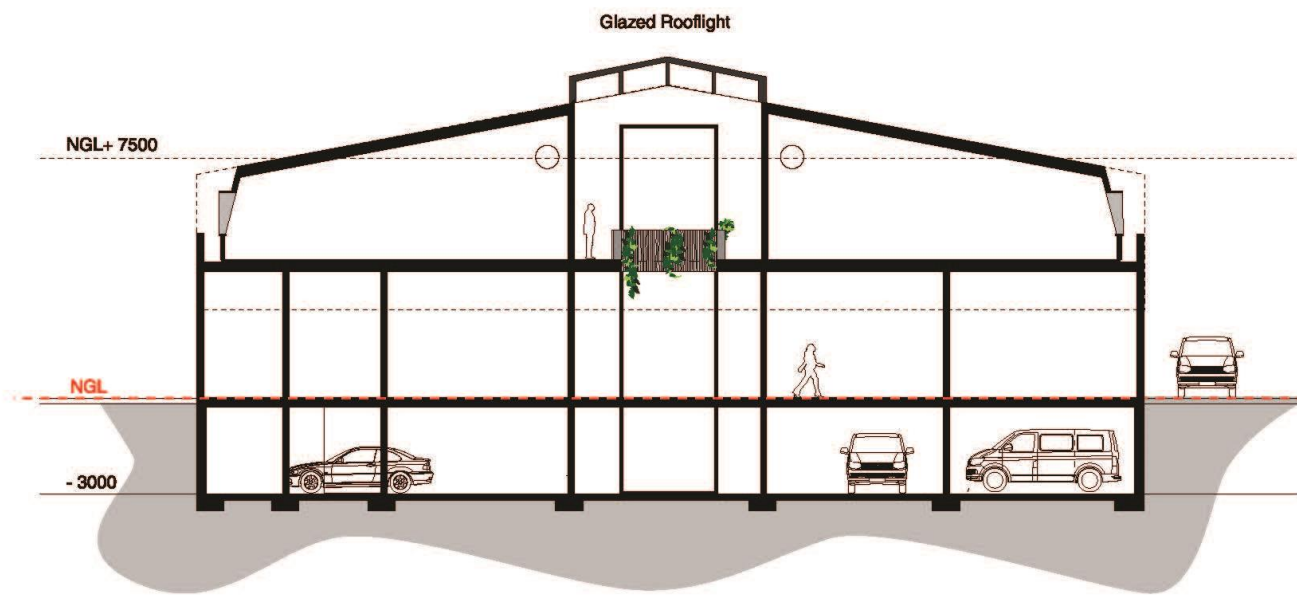
**10      B**

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**DA0332/18**

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Section  
1:50

**82 - 84 Stirling Hwy  
North Fremantle  
Proposed Changes and  
Additions**

Prev Issue	Date

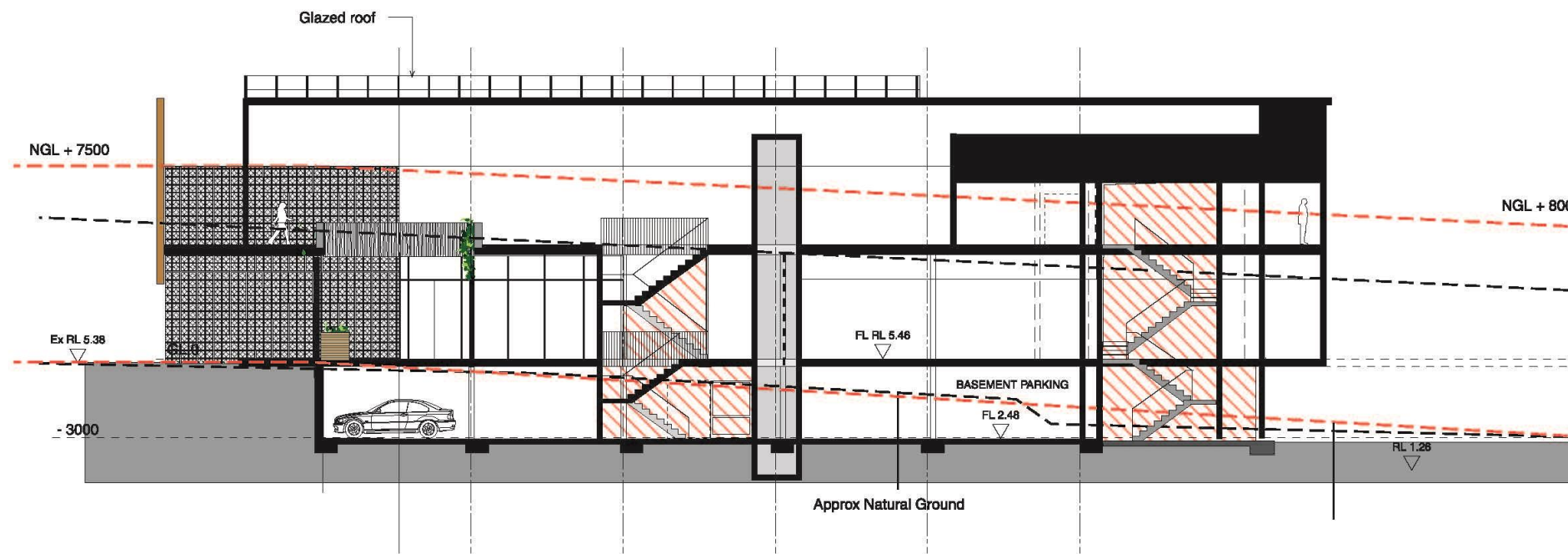
Date: 20.02.19  
Drawn: DS  
Sheet Size: A3  
Scale: 1:100  
Rev: 1

Drawing	Issue
11	B

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**DA0332/18**

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Section BB  
1:200

**82 - 84 Stirling Hwy  
North Fremantle**  
Proposed Changes and Additions

Prev Issue	Date

Date: 20.02.19  
Drawn: DS  
Sheet Size: A3  
Scale: 1: 200  
Rev : 0

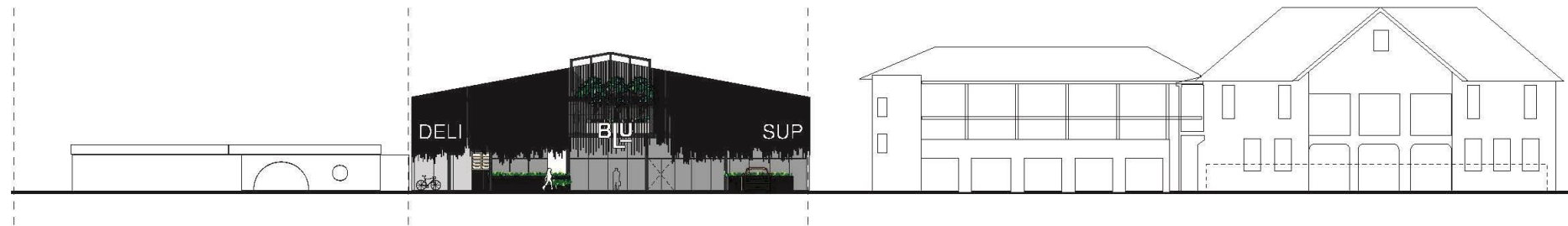
Drawing	Issue
12	B

**united studio**  
6 Hilda Street, Shenton Park  
Western Australia 6008  
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p: 0402 795 775

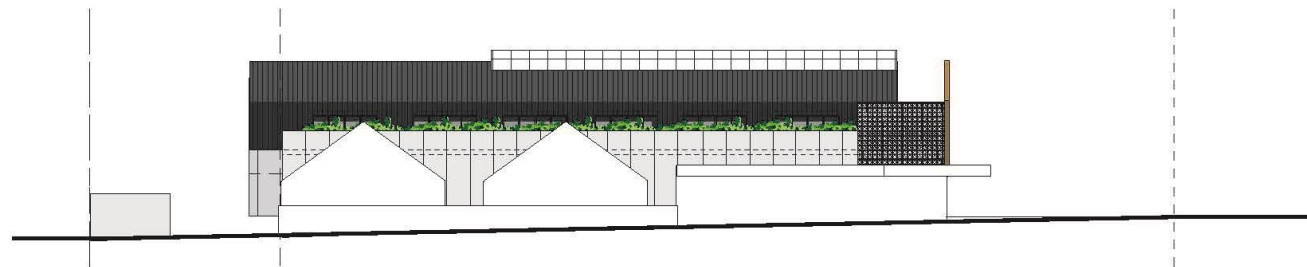
**CITY OF FREMANTLE**  
**These Revised Plans Form Part of**

**DA0332/18**

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**Stirling Hwy Elevation**  
1:400



**Alfred Rd Elevation**  
1:400

**82 - 84 Stirling Hwy**  
**North Fremantle**  
Proposed Changes and Additions

Prev Issue	Date

Date: 20.02.19  
Drawn: DS  
Sheet Size: A3  
Scale: 1:400  
Rev : 0

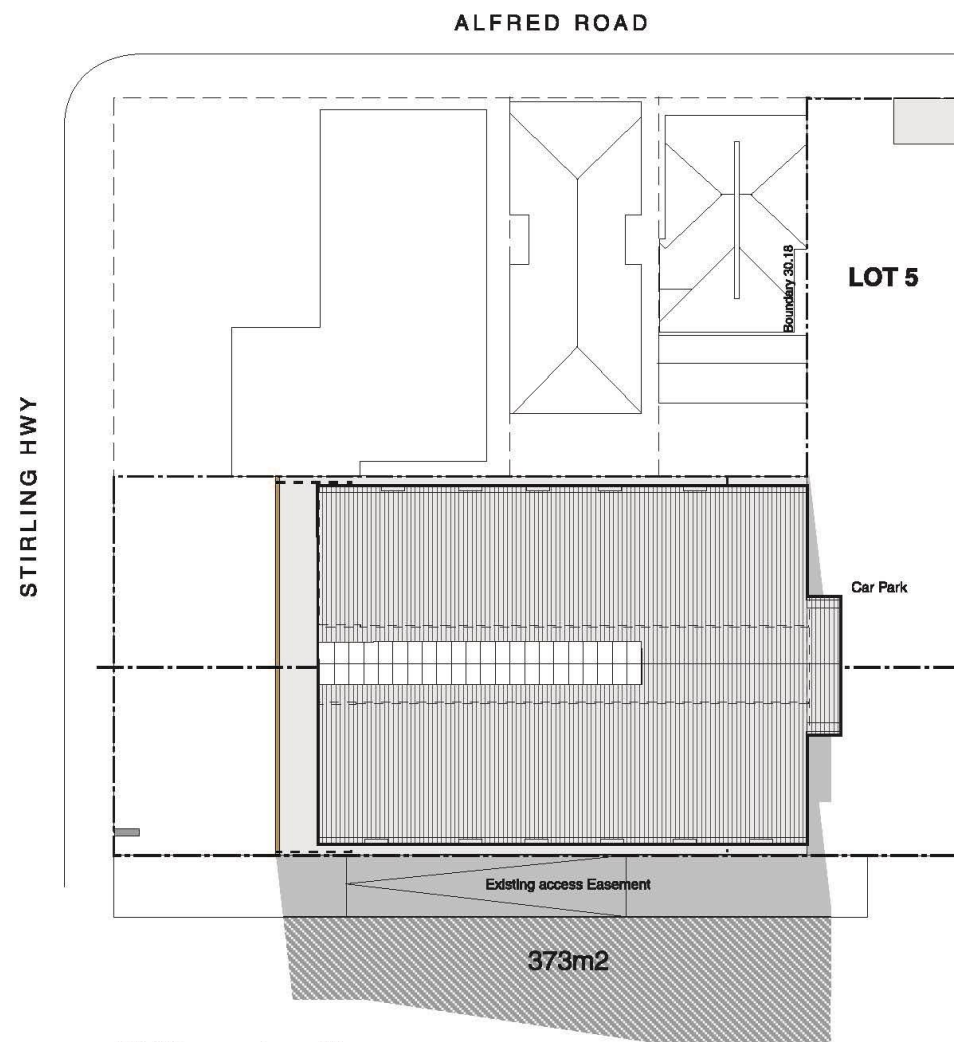
Drawing	Issue
13	B

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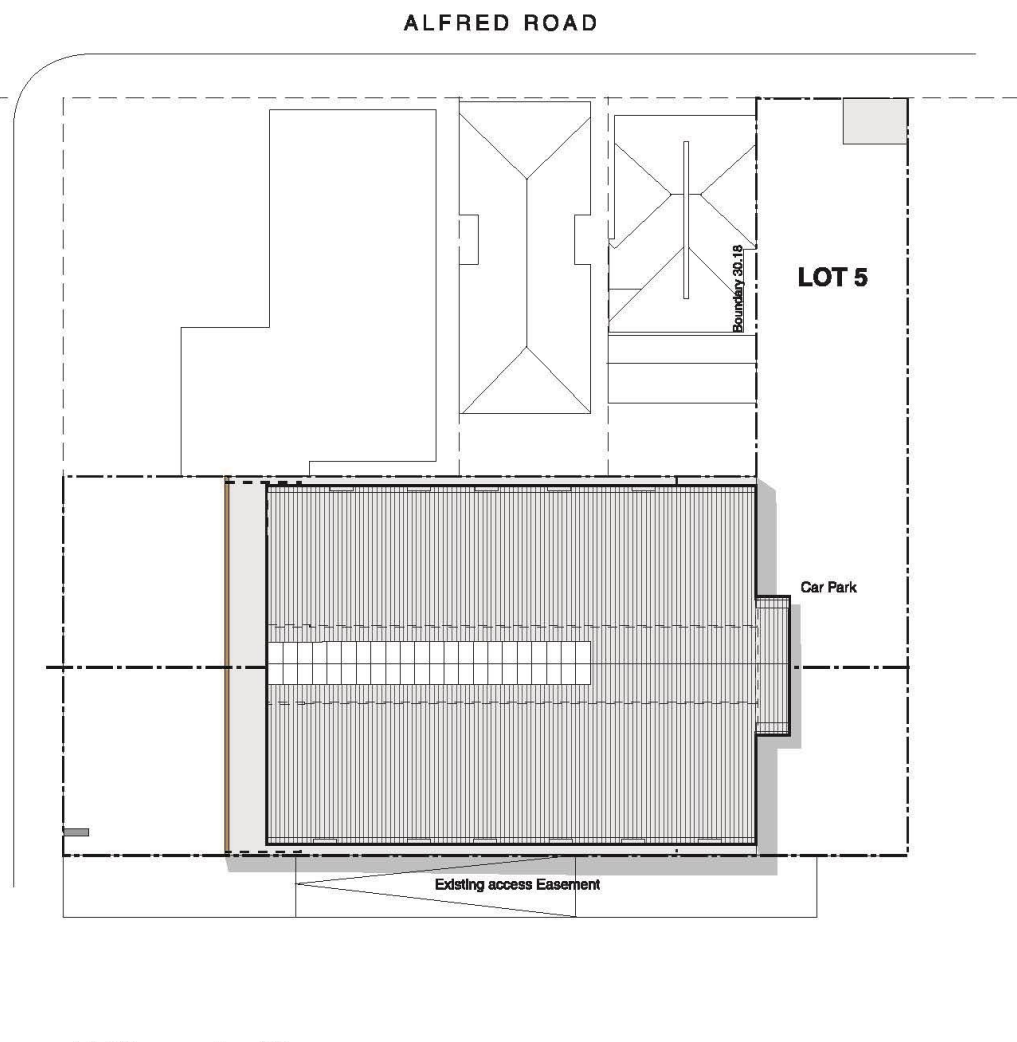
6 Hilda Street, Shenton Park  
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12.00 noon June 21



12.00 noon Jan 21

**82 - 84 Stirling Hwy  
North Fremantle**  
Proposed Changes and Additions

Prev Issue	Date

Date: 20.02.19  
Drawn: DS  
Sheet Size: A3  
Scale: 1: 400  
Rev : 0

Drawing	Issue
14	B

**14 B**

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Overshadowing Plan  
1: 500

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**DA0332/18**

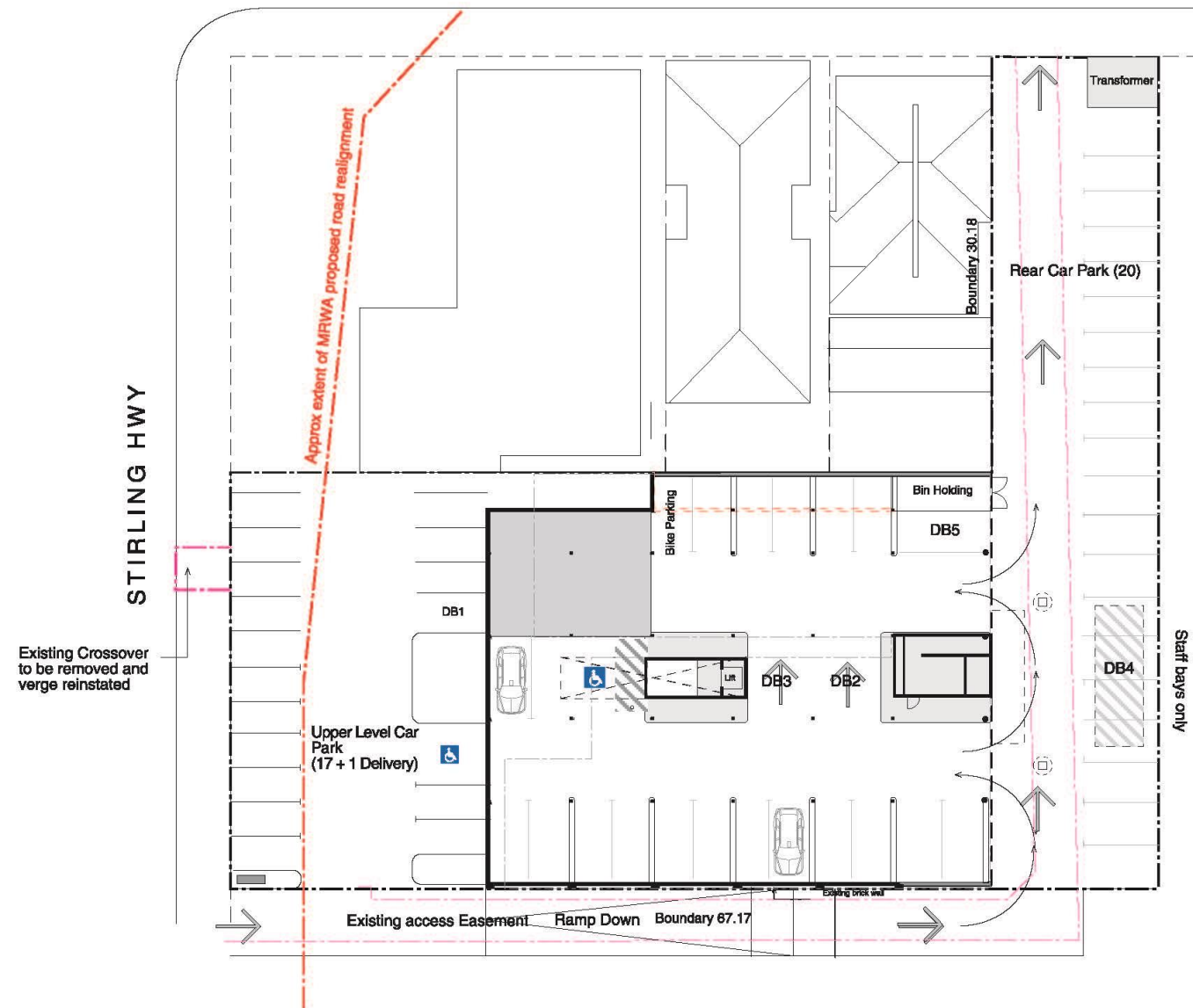
Notes:  
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ALFRED ROAD



Parking Requirements			
Area	Car Parking	Delivery	Bike Parking
Shop 211m2	11 bays	-	1
Showroom 646m2	13 Bays	3	1
Office 870m2	29 Bays	2	5
<b>TOTAL Req</b>	<b>53 Bays</b>	<b>5</b>	<b>7</b>
<b>Provided</b>	<b>57 Bays</b>	<b>5</b>	<b>10</b>
<b>Notes</b>	Delivery Bay 1, 2,3,5 - 6000 x 3500 Delivery Bay 4 - 10200 x 3500		

**82 - 84 Stirling Hwy**  
**North Fremantle**  
Proposed Changes and Additions (revised)

Prev Issue      Date

Date: 20.02.19  
Drawn: DS  
Sheet Size: A3  
Scale: 1:400  
Rev : 0

Drawing      Issue

**15      B**

**united studio**

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e: david@unitedstudio.com.au  
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 **Parking Plan**  
1:400

Material Palette

**CITY OF FREMANTLE**  
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Glazed roof



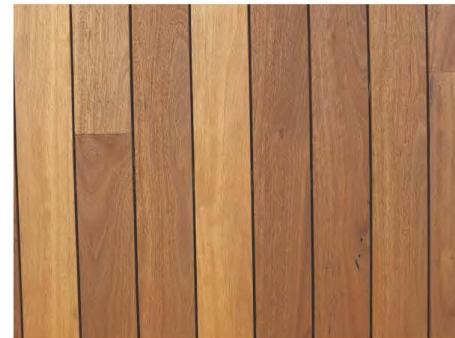
Upper level Colorbond cladding



Ground level glazing



Ground level and exterior wall finish



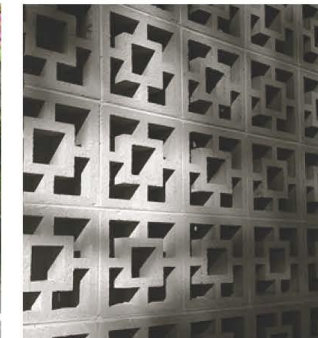
Upper level decking



Upper level planted balustrade



Upper level planting



Breeze blocks



Timber screen



Timber screen - profiled



Ground level planter/bench



Atrium suspended lighting

**82 - 84 Stirling Hwy**  
**North Fremantle**  
Proposed Changes and Additions (revised)

Prev Issue	Date

Date: 20.02.19  
Drawn: DS  
Sheet Size: A3  
Scale: n/a  
Rev : 1

Drawing	Issue
16	B

**16 B**

**united studio**

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Western Australia 6008  
e: david@unitedstudio.com.au  
p: 0402 795 775

## ATTACHMENT 2: Site Photos



**Photo 1:** Streetscape of existing development



**Photo 2:** Rear of site (from Rose Hotel boundary)



**Photo 3:** Easement access-way between subject site and Rose Hotel from rear.




**Photo 4:** Northern elevation from residential lot.

PC1903 -8 SOLOMON STREET, NO. 145 (LOT 5), BEACONSFIELD -  
DEMOLITION OF SINGLE HOUSE - (TG DA0020/19)

ATTACHMENT 1 – Development Plans


LOT 5 (NO.145) SOLOMON STREET, BEACONSFIELD  
DEMOLITION OF EXISTING HOUSE

CITY OF FREMANTLE  
These Plans Form Part of  
DA0020/19  
18 Jan 2019



nearmap  
aerial imagery change

NORTH Top of Page  
Not to Scale  
Property outlined **BLUE**  
Building to be demolished outlined **RED**  
Source: Nearmaps (22.12.18)



planning and development

**ATTACHMENT 2 – Site Photos**

**CITY OF FREMANTLE**  
**These Plans Form Part of**  
**DA0020/19**  
**18 Jan 2019**



APPEARANCE IN SOLOMON STREET



FRONT ELEVATION

**CITY OF FREMANTLE**  
**These Plans Form Part of**  
**DA0020/19**  
**18 Jan 2019**



TIMBER DECAY



ASBESTOS WALLS

CITY OF FREMANTLE  
These Plans Form Part of  
DA0020/19  
18 Jan 2019



SLIPPAGE, SW CORNER



WHITE ANT DAMAGE EXTERNAL

**CITY OF FREMANTLE**  
**These Plans Form Part of**  
**DA0020/19**  
**18 Jan 2019**



WHITE ANT DAMAGE INTERNAL



WHITE ANT DAMAGE INTERNAL

## ATTACHMENT 3 – Heritage Assessment



### Heritage comments - internal

**Address:** 145 Solomon Street  
**Application number:** DA0020/19  
**Proposal:** Demolition of single house and outbuildings (Heritage Area)  
**Requesting officer:** Tom Geddes  
**Date:** 26 February 2019

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**Heritage comment:**

145 Solomon Street is located within the South Fremantle Heritage Area but the dwelling on site is not individually heritage listed by the City of Fremantle nor is it considered to justify future listing.

The house at 145 Solomon Street displays to a limited degree, some characteristics of the California Bungalow style.

It is considered that the place is of limited or no cultural heritage significance, as it does not make a significant contribution to the streetscape and the broader significance of the heritage area.

It is considered therefore that the house at 145 Solomon Street does not fulfil the criteria for entry in the local Heritage List. Accordingly the demolition of the dwelling and associated outbuildings is supported.

**Recommendation:**

It is recommended that the proposal be supported.

**Alan Kelsall**  
Heritage Coordinator

**PC1903 -9 UPDATE ON METRO SOUTH-WEST JDAP DETERMINATIONS  
AND RELEVANT STATE ADMINISTRATIVE TRIBUNAL  
APPLICATIONS FOR REVIEW**

**ATTACHMENT 1**

<b>1. Application Reference</b>
DAP002/18
<b>Site Address and Proposal</b>
193 South Terrace, South Fremantle – Proposed three storey mixed use development
<b>Planning Committee Consideration/Decision</b>
<ul style="list-style-type: none"> <li>At its meeting held on 5 December 2018, Council resolved to support the officer's recommendation to refuse the application.</li> </ul>
<b>JDAP Decision</b>
<ul style="list-style-type: none"> <li>At its meeting held on 14 December 2018, the Metro South-West Joint Development Assessment Panel refused the application in accordance with the officer's recommendation.</li> <li>Currently subject of an Application for Review by the State Administrative Tribunal.</li> <li>A mediation session was held in February 2019.</li> <li>A second mediation session has been scheduled for April 2019.</li> </ul>

<b>2. Application Reference</b>
DA0189/18
<b>Site Address and Proposal</b>
1/87 Stirling Highway, North Fremantle – Proposed Two Storey Addition and Home Business
<b>Planning Committee Consideration/Decision</b>
<ul style="list-style-type: none"> <li>Council refused the application at its meeting held 3 October 2018.</li> </ul>
<b>Current Status</b>
<ul style="list-style-type: none"> <li>Currently subject of an Application for Review by the State Administrative Tribunal.</li> <li>A mediation session is scheduled for January 2019.</li> <li>In accordance with a SAT direction issued on 17 January 2019, the applicant is to submit revised plans for Council's reconsideration.</li> <li>An amended proposal is expected to be presented to the Planning Committee in April 2019.</li> </ul>

<b>3. Application Reference</b>
DA0560/17
<b>Site Address and Proposal</b>
137 South Terrace, Fremantle – Proposed two storey Grouped dwelling and conversion of existing Ancillary dwelling to Outbuilding
<b>Planning Committee Consideration/Decision</b>
<ul style="list-style-type: none"> <li>• Council refused the application at its meeting held 7 November 2018.</li> </ul>
<b>Current Status</b>
<ul style="list-style-type: none"> <li>• Currently subject of an Application for Review by the State Administrative Tribunal.</li> <li>• A mediation session was held in February 2019.</li> <li>• In accordance with a SAT direction issued on 13 February 2019, the applicant is to submit revised plans for Council's reconsideration.</li> </ul>

<b>4. Application Reference</b>
DA0290/18
<b>Site Address and Proposal</b>
5A and 5B Letitia Road, North Fremantle – Two, two storey with undercroft grouped dwellings
<b>Planning Committee Consideration/Decision</b>
<ul style="list-style-type: none"> <li>• Council refused the application at its meeting held on 16 January 2019.</li> </ul>
<b>Current Status</b>
<ul style="list-style-type: none"> <li>• Currently subject of an Application for Review by the State Administrative Tribunal.</li> <li>• A mediation session is scheduled for March 2019.</li> </ul>

**PC1903 -10 SCHEDULE OF APPLICATIONS DETERMINED UNDER  
DELEGATED AUTHORITY**

**ATTACHMENT 1**

1. **HOLDSWORTH STREET, NO. 1A (LOT 536), FREMANTLE - VARIATION TO DA0488/15 (CONSERVATION WORKS TO EXISTING TAVERN) -(CJ VA0047/18)**
2. **YALGOO, 2A (STRATA LOT 2), WHITE GUM VALLEY - UNAUTHORISED ADDITION TO EXISTING GROUPED DWELLING - (JCL DA0592\_18)**
3. **SOUTH TERRACE, 378 (LOT 18), SOUTH FREMANTLE ANCILLARY DWELLING - (JCL DA0518-18)**
4. **MARKET STREET, NO. 21-33 (LOT 127), FREMANTLE - ADDITION OF NBN INFRASTRUCTURE TO EXISTING BUILDING - (CJ DA0578/18)**
5. **YALGOO AVENUE, NO. 14 (LOT 36), WHITE GUM VALLEY - ADDITIONS AND ALTERATIONS TO EXISTING SINGLE HOUSE - (CJ DA0547/18)**
6. **RUSSELL STREET, 29 (LOT 1), SOUTH FREMANTLE - ADDITIONS AND ALTERATIONS TO EXISTING GROUPED DWELLING - (JCL DA0566\_18)**
7. **PAGET, 29 (STRATA LOT 1), HILTON CARPORT ADDITION TO EXISTING GROUPED DWELLING - (JCL DA0031\_19)**
8. **HIGH STREET, 1-32\_1 (LOT 23), FREMANTLE - INSTALLATION OF NBN INFRASTRUCTURE - (JCL DA0555\_18)**
9. **BANNISTER STREET, 1-5 (LOT 501), FREMANTLE - INSTALLATION OF NBN INFRASTRUCTURE - (JCL DA0556\_18)**
10. **HIGH STREET, 9-19 (LOTS 19, 31, 32) (OWSTONS BUILDINGS), FREMANTLE - INSTALLATION OF NBN INFRASTRUCTURE - (JCL DA0557\_18)**
11. **PARK LANE, 1-26\_48 HENRY STREET (LOT 50), FREMANTLE - INSTALLATION OF NBN INFRASTRUCTURE - (JCL DA0558\_18)**
12. **PROWSE STREET, NO. 13A (STRATA LOT 2), BEACONSFIELD – SINGLE STOREY GROUPED DWELLING (TG DA0568/19)**
13. **WATKINS STREET, NO.110 (LOT 881), WHITE GUM VALLEY – TWO STOREY SINGLE HOUSE – (JL DA0542/18)**
14. **WATKINS, 107B (STRATA LOT 2), WHITE GUM VALLEY – SINGLE STOREY SINGLE HOUSE - (JCL DA0402/18)**

15. **JOHN STREET, 6/18 (STRATA LOT 6), NORTH FREMANTLE – ADDITIONS (PERGOLA, OUTBUILDING AND CARPORT) TO GROUPED DWELLING (TG DA0008/19)**
16. **HIGH STREET, NO. 99 (LOT 10), FREMANTLE - ALTERATIONS TO EXISTING BUILDING - (CJ DA0548/18)**
17. **HAMPTON ROAD, NO. 97 (15), FREMANTLE - SIGNAGE TO EXISTING BUILDING (TG DA0036/19)**
18. **HARVEST ROAD, NO. 52 (LOTS 12 AND 13), NORTH FREMANTLE, ADDITIONS (TWO STOREY) TO EXISTING SINGLE HOUSE**
19. **MONTREAL STREET (LOT 1819), FREMANTLE – OFFICE AND CAR PARKING**
20. **HIGH STREET MALL, NO. 135 (LOT 383), FREMANTLE - VARIATION TO DAP005/17 (PARTIAL DEMOLITION AND ADDITIONS AND ALTERATIONS TO EXISTING BUILDING (OFFICE, SHOP AND TAVERN))- (CJ VA0044/18)**
21. **SOUTH STREET, NO. 261 (LOT 1 SSP 44247), BEACONSFIELD - EXTERNAL FIXTURES (SOLAR PANELS) TO AN EXISTING SINGLE HOUSE - (NB DA0034/19)**
22. **SWEETMAN STREET, 14B (LOT 2), WHITE GUM VALLEY ADDITION TO EXISTING GROUPED DWELLING - (JCL DA0512-18)**
23. **LEE AVENUE, NO.27 (LOT 67), HILTON – TWO (2) LOT WITH COMMON PROPERTY SURVEY STRATA SUBDIVISION - (CJ WAPC25-19)**
24. **HIGH STREET, NO. 279A, (STRATA LOT 2), FREMANTLE TWO STOREY GROUPED DWELLING - (JCL DA0417-18)**
25. **MARINE TERRACE, NO. 176-238 (LOT 602), SOUTH FREMANTLE - UNAUTHORISED PARTIAL CHANGE OF USE TO FAST FOOD OUTLET AND PATIO ADDITION - (CJ DA0573/18)**
26. **HOPE STREET, NO. 65 (LOT 34), WHITE GUM VALLEY - REAR SINGLE STOREY ADDITION, DECK AND PATIO TO EXISTING SINGLE HOUSE - (NB DA0582/18)**
27. **FORSYTH STREET, NO. 1/79 (LOT 6), O CONNOR - CHANGE OF USE (PRIVATE RECREATION) TO EXISTING BUILDING - (TG DA0038/19)**
28. **MARSHALL WAY, NO. 31 (LOT 176), SAMSON - ADDITIONAL USE OF HOME BUSINESS (HAIRDRESSING - RETROSPECTIVE) IN AN EXISTING SINGLE HOUSE - (TG DA0012-19)**

29. **SOUTH STREET, NO. 18 (LOT 3), FREMANTLE - ADDITIONS (CARPORT) TO EXISTING SINGLE HOUSE - (TG DA0560-18)**
30. **MALCOLM STREET, NO. 5 (LOT 700), FREMANTLE - OUTBUILDING TO SINGLE HOUSE - (TG DA0021-19)**
31. **PASS CRESCENT, NO.24 (LOT 84), BEACONSFIELD – ADDITIONS AND ALTERATIONS TO THE EXISTING SINGLE HOUSE - (JL DA0025/19)**
32. **HAMPTON ROAD, NO. 139 (LOT 47), SOUTH FREMANTLE – REAR ADDITIONS TO AN EXISTING SINGLE HOUSE - (NB DA0553/18)**
33. **SAMSON STREET, NO. 158A (LOT 2 SSP 71484), WHITE GUM VALLEY - OUTBUILDING ADDITION TO AN EXISTING SINGLE HOUSE - (NB DA0051/19)**
34. **SOUTH STREET, NO.339 (LOT 1557), HILTON – DEMOLITION OF EXISTING CARPORT AND REAR ADDITIONS OF EXISTING SINGLE HOUSE - (JL DA0579/18)**
35. **PILBARRA STREET, NO. 15 (LOT 2), WHITE GUM VALLEY – ADDITIONS (SOLAR PANELS) TO SINGLE HOUSE – (TG DA0039/19)**
36. **SOUTH STREET, NO. 339 (LOT 1557), HILTON - TWO (2) LOT SURVEY STRATA SUBDIVISION - (CJ WAPC 1306-18)**
37. **SELLENGER AVENUE, NO. 51 (LOT 389), SAMSON – GARAGE AND ADDITION TO EXISTING SINGLE HOUSE - (NB DA0010/19)**
38. **DELAMERE LANE, NO. 14 (LOT 2), BEACONSFIELD - ADDITIONS AND ALTERATIONS TO EXISTING SINGLE HOUSE - (CJ DA0559/18)**
39. **CLONTARF ROAD, NO. 3 (LOT 62), BEACONSFIELD - TWO (2) LOT FREEHOLD (GREEN TITLE) SUBDIVISION - (CJ WAPC 157465)**
40. **DUFFIELD AVENUE, NO. 28 (LOT 200), BEACONSFIELD - TWO LOT SURVEY STRATA SUBDIVISION - (CJ WAPC52-19)**
41. **THOMPSON ROAD, NO. 61 (LOT 2), NORTH FREMANTLE - PRIMARY STREET FENCE ADDITION TO EXISTING SINGLE HOUSE - (NB DA0046/19)**
42. **COLLICK STREET, NO. 2 (LOT 206), HILTON – TWO LOT (WITH COMMON PROPERTY) SURVEY STRATA SUBDIVISION - (CJ WAPC54-19)**
43. **HOLLAND STREET, NO. 17 (LOT 181), FREMANTLE – VARIATION TO DA0623/16 (SINGLE STOREY ADDITIONS AND ALTERATIONS TO EXISTING SINGLE HOUSE) - (CJ VA0045/18)**

44. **MCCLEERY STREET, NO. 12 (LOT 8), BEACONSFIELD – VARIATION TO DA0455/18 (SINGLE STOREY ADDITIONS AND ALTERATIONS TO EXISTING SINGLE HOUSE – (TG VA0002/19)**
45. **ATTFIELD STREET, NO.126 (STRATA LOT 1), SOUTH FREMANTLE – EXTENSION OF TERM OF PLANNING APPROVAL FOR DA0671/14 (ANCILLARY DWELLING ADDITION TO EXISTING SINGLE HOUSE) (JL ET02/19)**
46. **DALY STREET, NO. 17 (STRATA LOT 2), SOUTH FREMANTLE - STREET FENCE ADDITION TO EXISTING SINGLE HOUSE - (SM DA0257/18)**