



Agenda Attachments

Planning Committee

Wednesday, 6 November 2019, 6.00 pm

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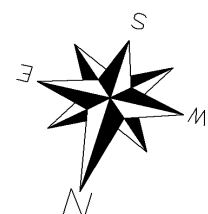
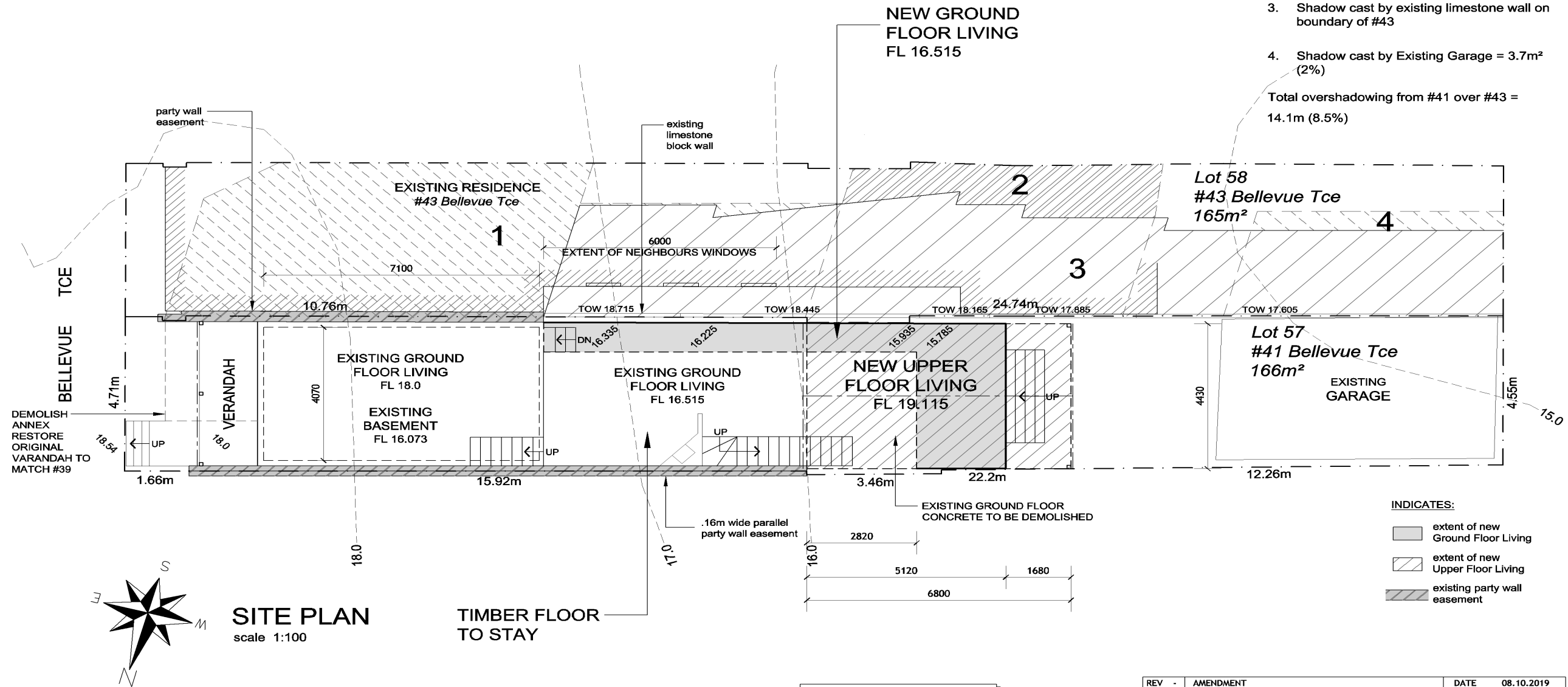
PC1911 - 1 DEFERRED ITEM - S.31 RECONSIDERATION - BELLEVUE TERRACE, NO. 41 (LOT 57), FREMANTLE - ALTERATIONS AND UPPER FLOOR ADDITIONS TO AN EXISTING SINGLE HOUSE - (NB DA0065/19)

Agenda attachment 1 – Amended Development Plans

CITY OF FREMANTLE
 These Revised Plans Form Part of
DA0065/19
8 October 2019

OVERSHADOWING

1. Shadow cast from #43 existing parapet wall on boundary = 45m² (27%)
 2. Shadow cast by #41 new addition = 10.4m² (6%)
 3. Shadow cast by existing limestone wall on boundary of #43
 4. Shadow cast by Existing Garage = 3.7m² (2%)
- Total overshadowing from #41 over #43 = 14.1m (8.5%)



SITE PLAN
scale 1:100

TIMBER FLOOR TO STAY

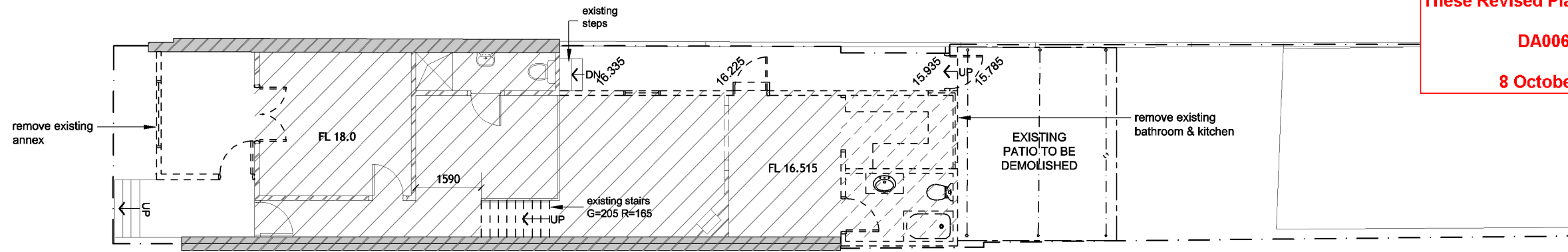
INDICATES:

- extent of new Ground Floor Living
- extent of new Upper Floor Living
- existing party wall easement

AREA SUMMARY:	
GF EXTENSION:	18.7m ²
LOFT:	30.1m ²

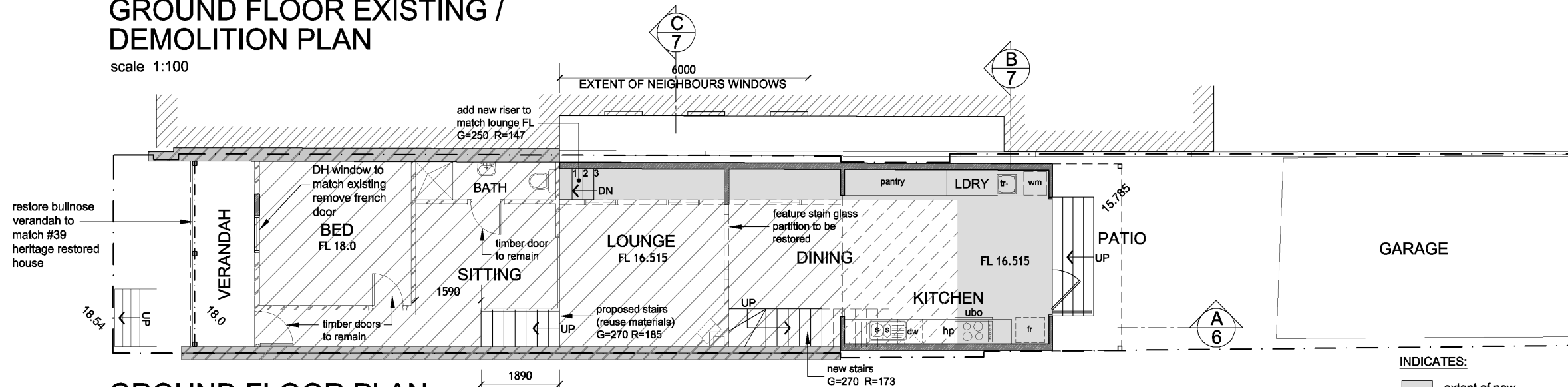
project 41 BELLEVUE TCE, FREMANTLE WA DREAM 2 REALITY CONSTRUCTIONS © M: 0402 831 641 E: andy@dream2reality.com.au	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="text-align: center;">REV - AMENDMENT</td> <td style="text-align: right;">DATE 08.10.2019</td> </tr> <tr> <td colspan="2" style="text-align: center;">NEW ALTERATIONS & EXTENSION</td> </tr> <tr> <td colspan="2" style="text-align: center;">SITE PLAN</td> </tr> <tr> <td>JB. 19011</td> <td>DATE. 08/2019</td> </tr> <tr> <td>scale 1:100</td> <td>sheet size A3</td> </tr> <tr> <td>sheet</td> <td style="text-align: center; font-size: 1.5em;">A01</td> </tr> </table>	REV - AMENDMENT	DATE 08.10.2019	NEW ALTERATIONS & EXTENSION		SITE PLAN		JB. 19011	DATE. 08/2019	scale 1:100	sheet size A3	sheet	A01
REV - AMENDMENT	DATE 08.10.2019												
NEW ALTERATIONS & EXTENSION													
SITE PLAN													
JB. 19011	DATE. 08/2019												
scale 1:100	sheet size A3												
sheet	A01												

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GROUND FLOOR EXISTING / DEMOLITION PLAN

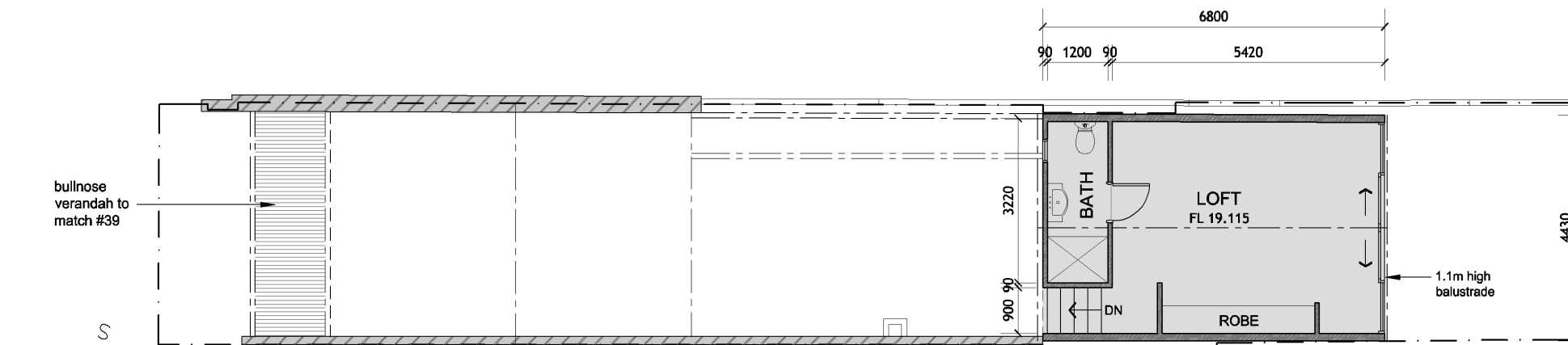
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GROUND FLOOR PLAN

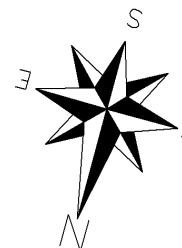
scale 1:100

- INDICATES:**
- extent of new
 - existing timber floor (retained)
 - existing concrete floor (demolished)
 - new stud wall
 - existing wall
 - demolished/ removed
 - existing party wall easement



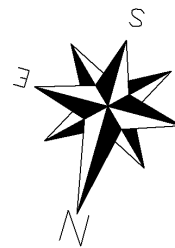
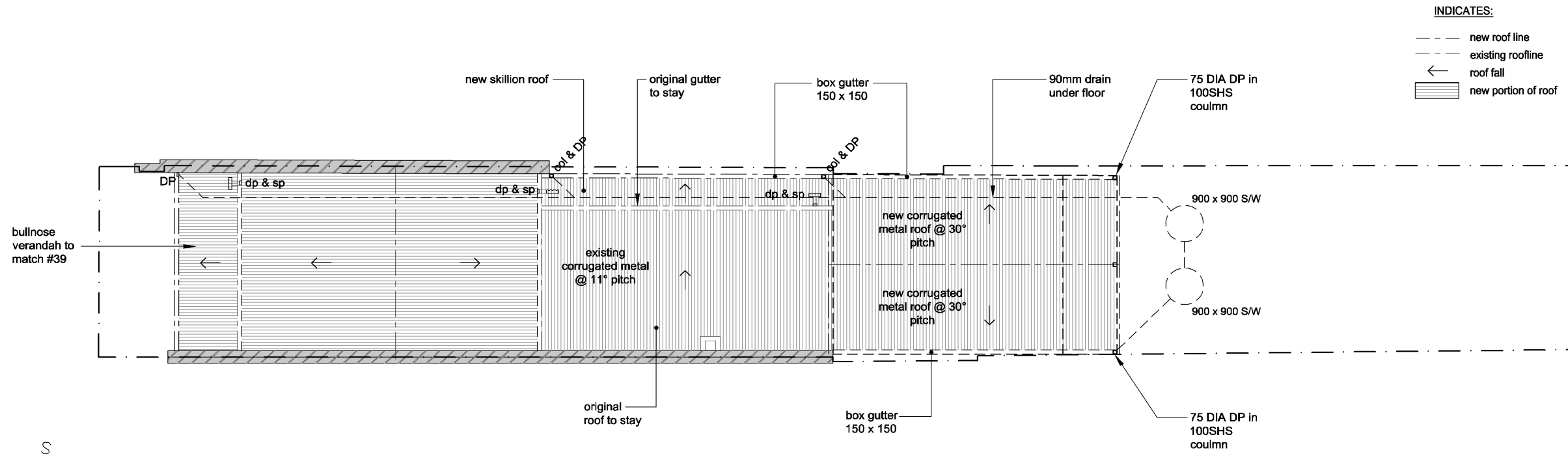
UPPER FLOOR PLAN

scale 1:100



REV - AMENDMENT	DATE 08.10.2019
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NEW ALTERATIONS & EXTENSION FLOOR PLANS	
JB. 19011	DATE. 08/2019
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DREAM 2 REALITY CONSTRUCTIONS © M: 0402 831 641 E: andy@dream2reality.com.au	

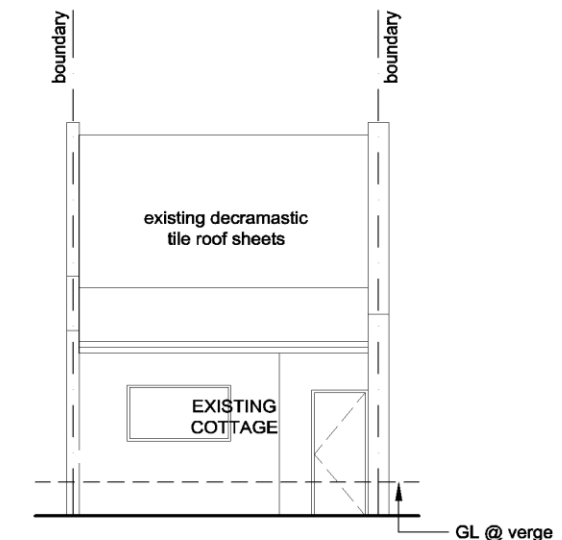
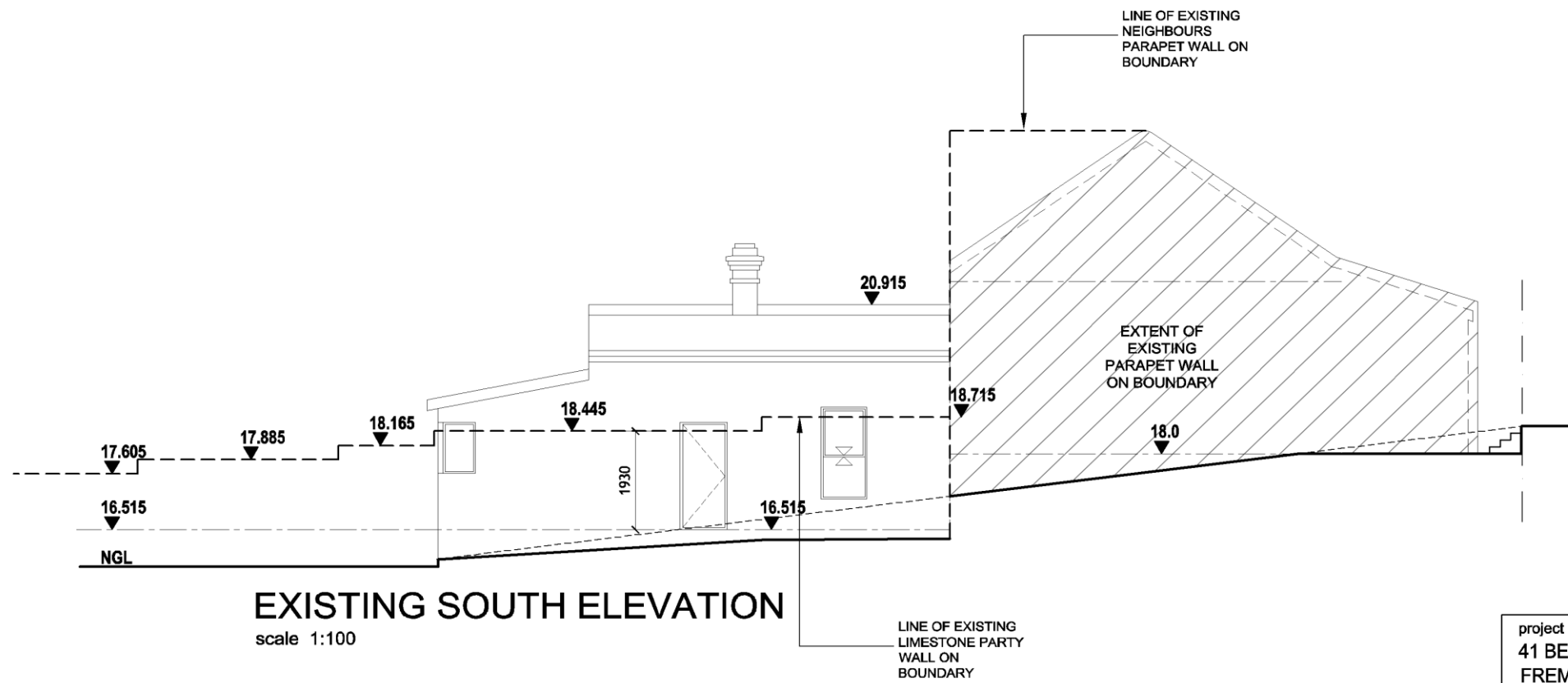
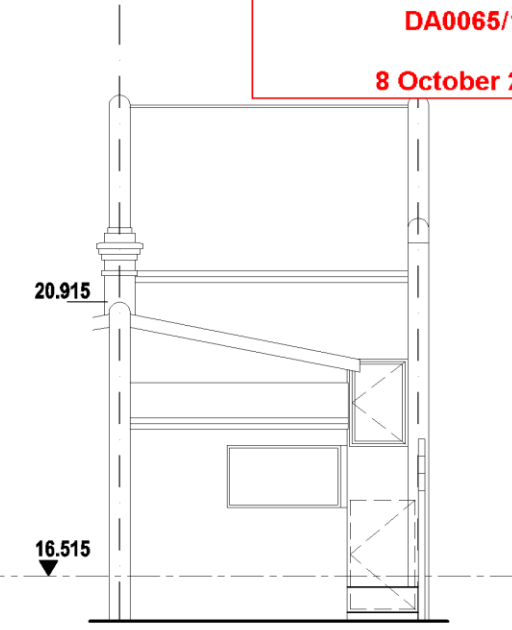
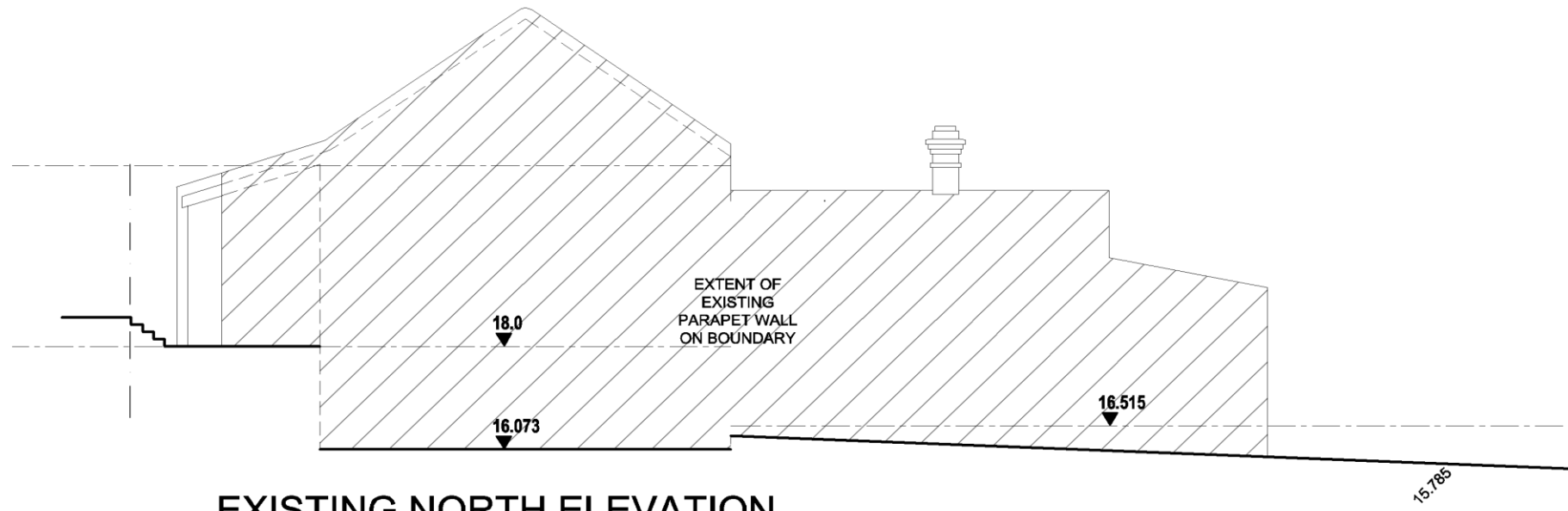
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ROOF / DRAINAGE PLAN
 scale 1:100

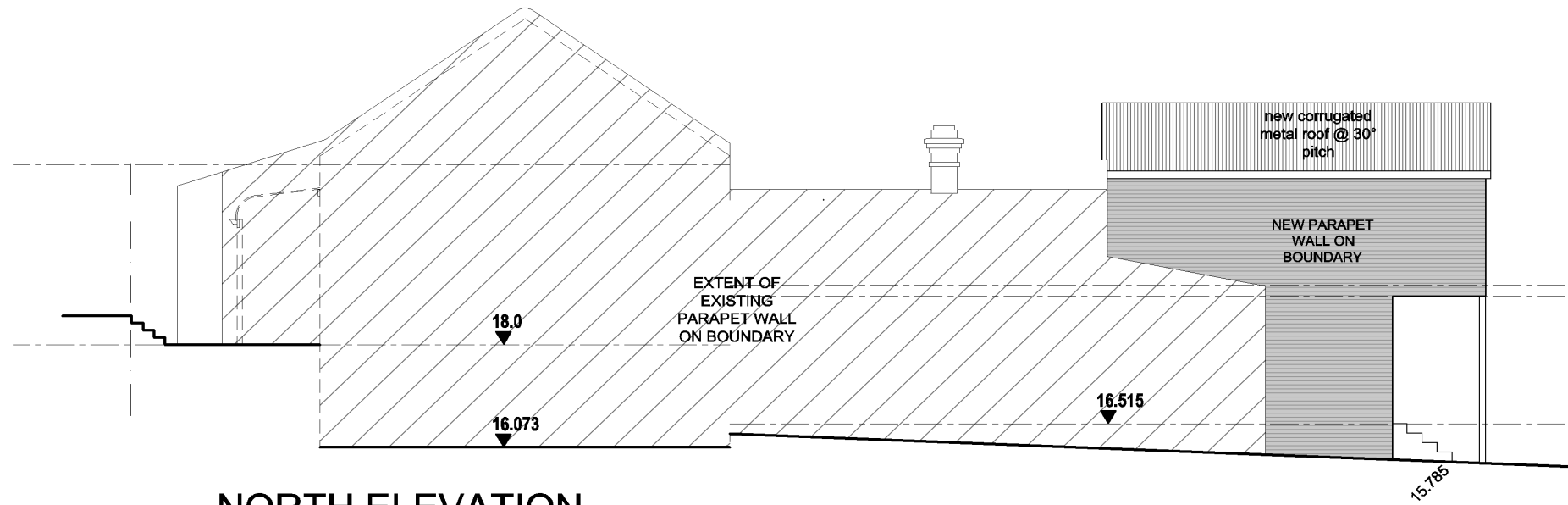
REV -	AMENDMENT	DATE	08.10.2019
project 41 BELLEVUE TCE, FREMANTLE WA		NEW ALTERATIONS & EXTENSION	
		ROOF PLAN	
JB.	19011	DATE.	08/2019
scale	1:100	sheet size	A3
sheet	A03		
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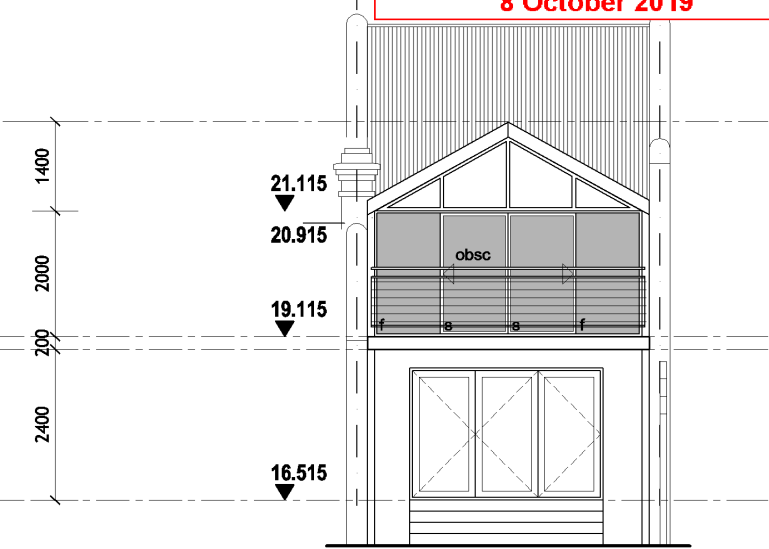


project 41 BELLEVUE TCE, FREMANTLE WA	REV - AMENDMENT	DATE 08.10.2019
DREAM 2 REALITY CONSTRUCTIONS © M: 0402 831 641 E: andy@dream2reality.com.au	NEW ALTERATIONS & EXTENSION	
	EXISTING ELEVATIONS	
	JB. 19011	DATE. 08/2019
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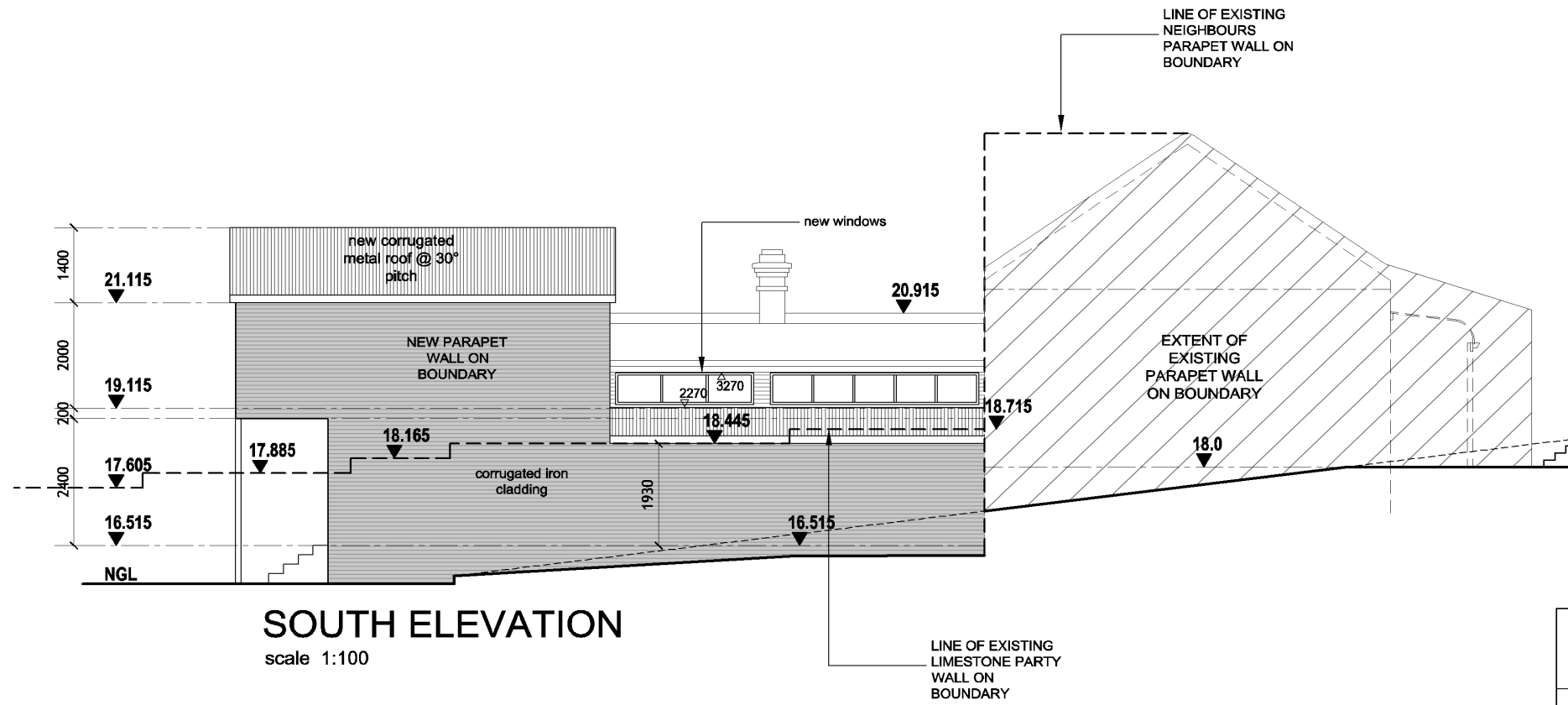
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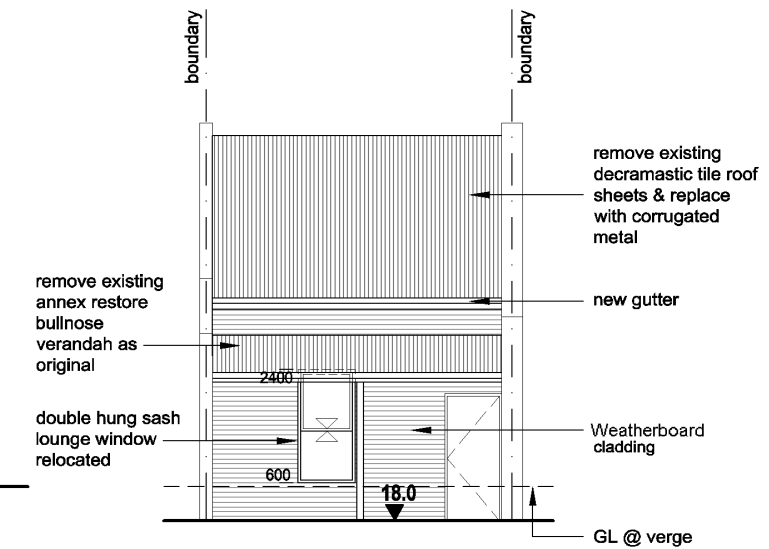
NORTH ELEVATION
scale 1:100



REAR (WEST) ELEVATION
scale 1:50



SOUTH ELEVATION
scale 1:100



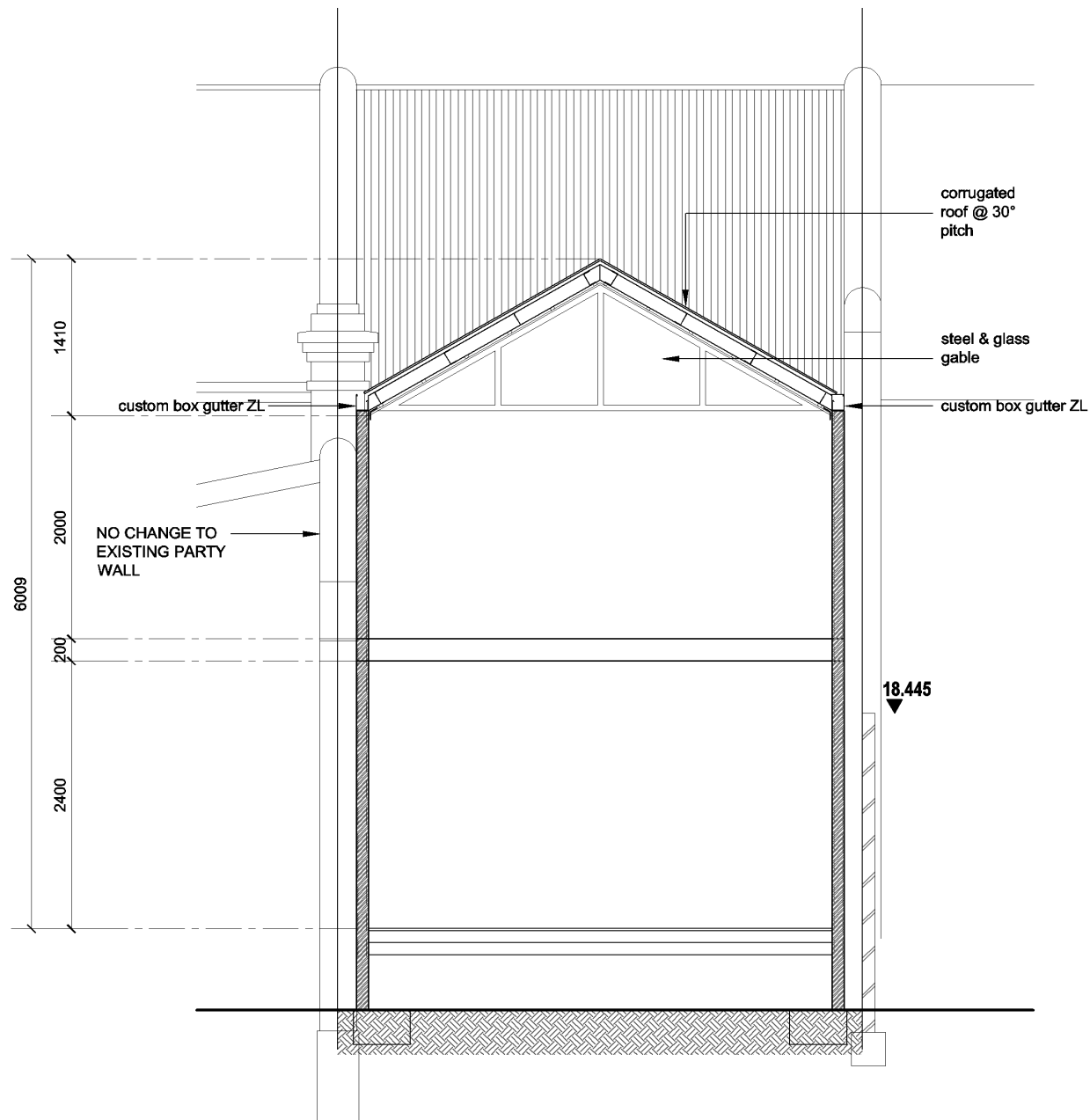
STREET ELEVATION
scale 1:100

REV	AMENDMENT	DATE	08.10.2019
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NEW ALTERATIONS & EXTENSION			
ELEVATIONS			
JB.	19011	DATE.	08/2019
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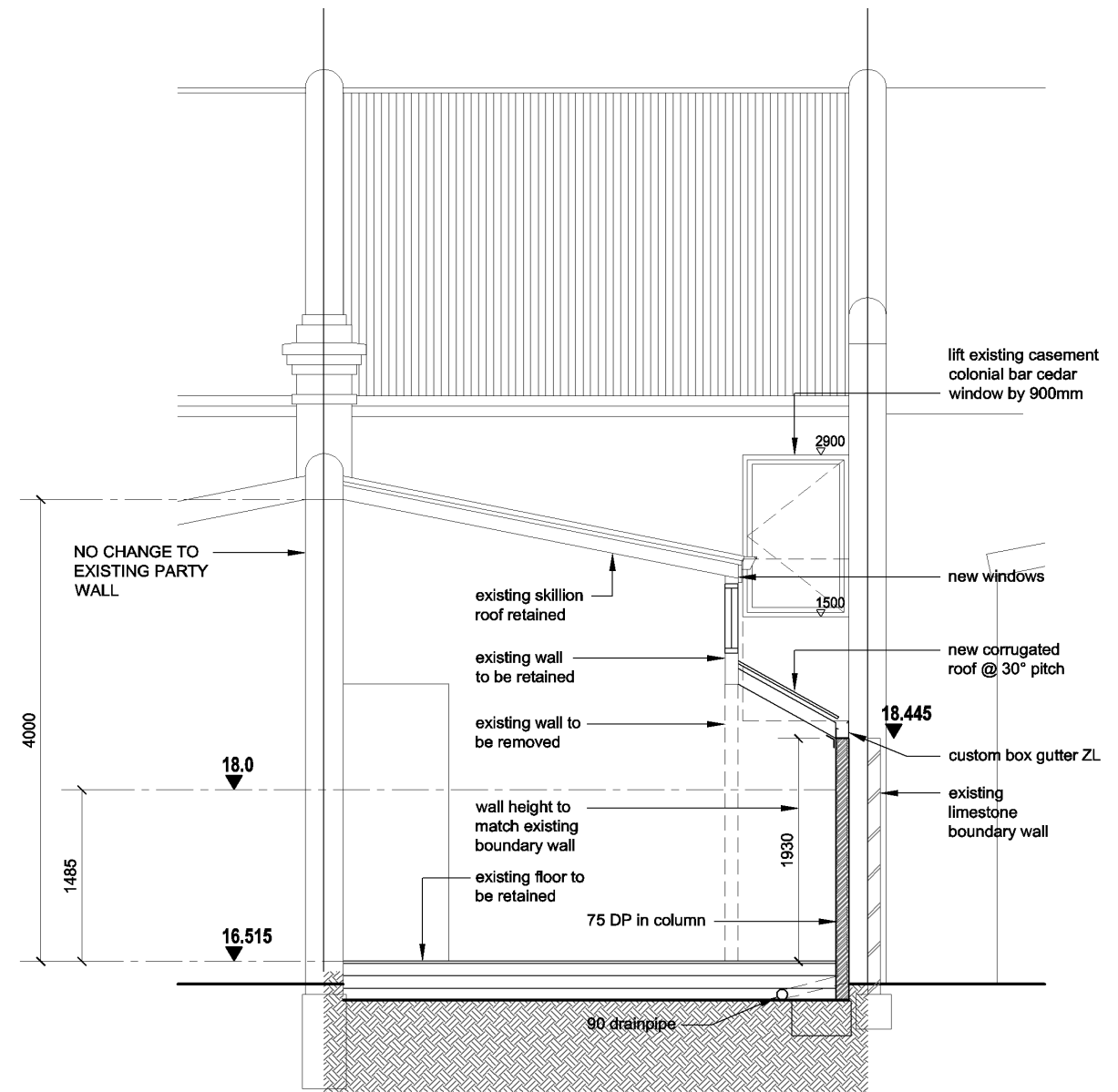
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SECTION B
scale 1:50



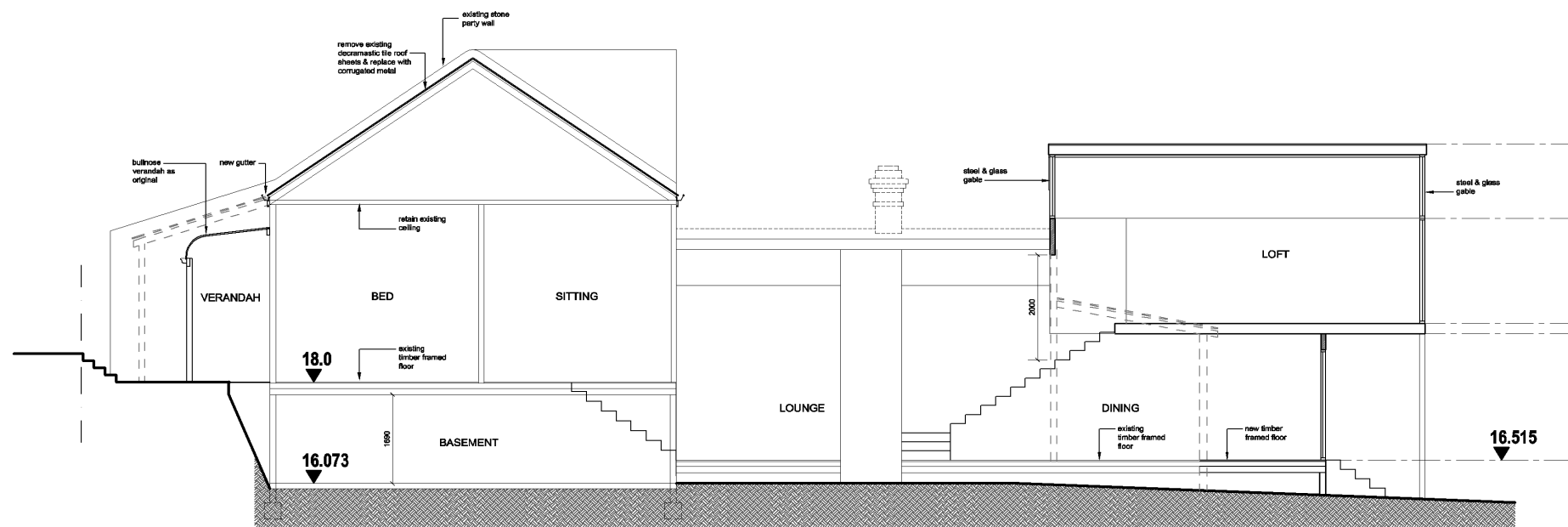
SECTION C
scale 1:50

REV	AMENDMENT	DATE
		08.10.2019
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NEW ALTERATIONS & EXTENSION SECTIONS		
JB.	19011	DATE. 08/2019
scale	1:50	sheet size A3
sheet	A06	
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8 October 2019



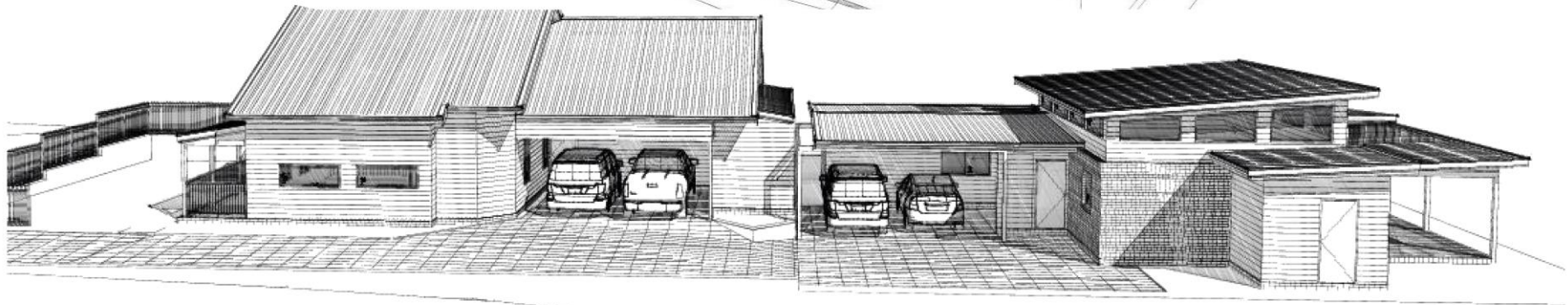
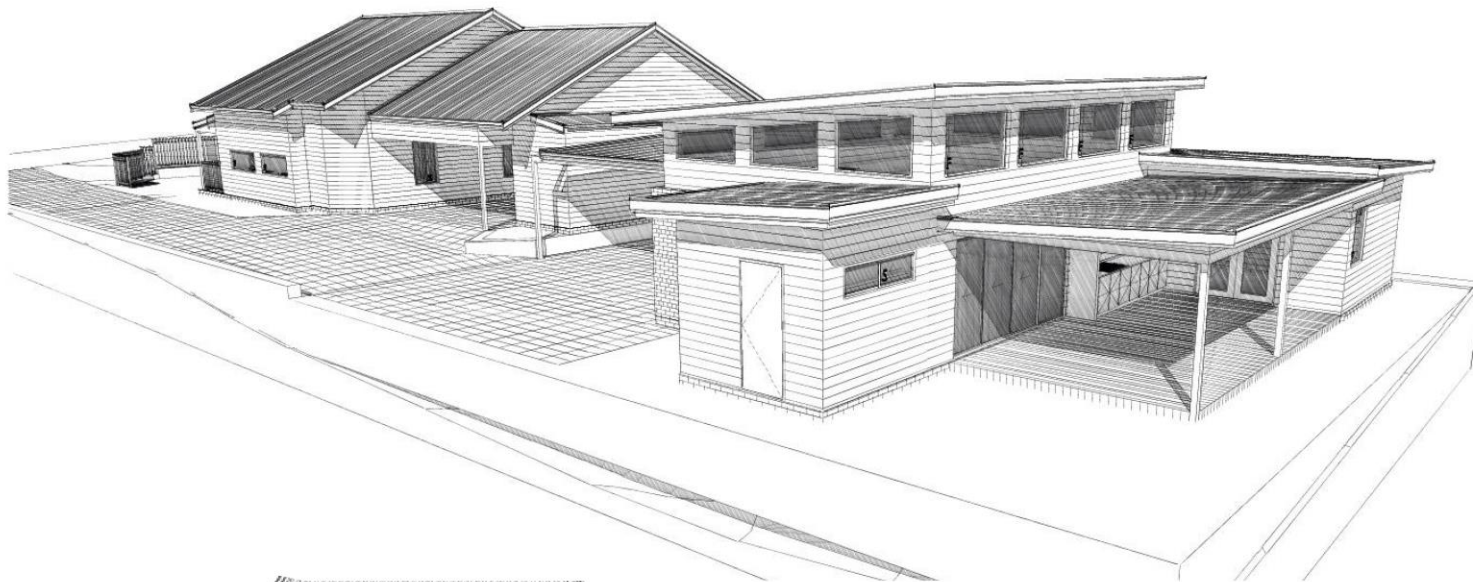
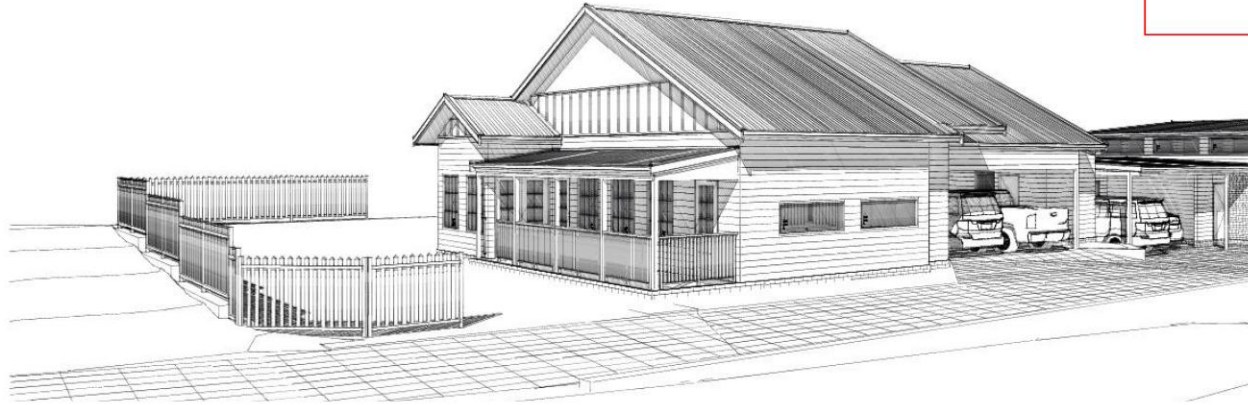
SECTION A
scale 1:100

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		SECTION	
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sheet	A07		
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PC1911 - 2 DEFERRED ITEM - COLLUICK STREET, NO.13 (LOT 1380), HILTON - TWO, SINGLE STOREY GROUPED DWELLINGS - (TG DA0262/19)

Agenda attachment 1 - Amended Development Plans

CITY OF FREMANTLE
These Revised Plans Form Part of
DA0269/19
14 October 2019



REVISION 13/10/2019 FLOOR LEVELS AND UNIT 1 ELEVS.
REVISION 27/08/2019 PICKET FENCING AND REDUCE DEPTH OF VERANDAH TO ACHIEVE 7M FRONT SETBACK

Neighbour Consent/Signature

I/We, have viewed the plans of the proposed residences and DO NOT OBJECT to the proposed A) siteworks to have more than 500mm cut and fill from natural ground Level B) more than 1 meter of retaining walls to both left and right side boundaries, rear boundary and including the front boundary.

Signed: _____ Date: _____ Address: _____
Signed: _____ Date: _____ Address: _____
Signed: _____ Date: _____ Address: _____



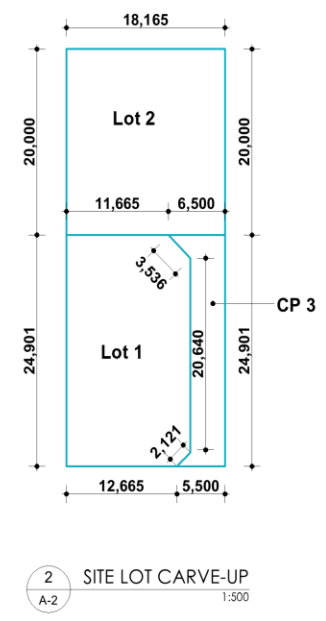
CLIENT:
Mr. Fred Boni

SITE ADDRESS:
13 Collick Street, Hilton

JOB NUMBER:
A058-19



1 GROUND FLOOR PLAN
A-2 1:100



2 SITE LOT CARVE-UP
A-2 1:500

General Notes

- 31c Ceilings Thru Out Unless Noted Otherwise
- 90mm studwalls with selected cladding thru Out Unless Noted Otherwise
- James Hardies Weatherboard panels
- 3c recycled bricks

Site Calculations

Zoning R20/25
50% Site Cover Allowed

UNIT 1 AREAS

Ground Floor	142.77
Verandah	17.20
Carport	31.63
TOTAL	191.60
PERIMETER	67.478m

SITE COVER COMPUTATION
LOT AREA-- 348.47m²+51.925m² = 400.395m²
SITE COVER --174.40m² (43.55%)

UNIT 2 AREAS

Ground Floor	145.67
Carport	39.01
Alfresco	32.93
TOTAL	217.61
PERIMETER	66.320m

SITE COVER COMPUTATION
LOT AREA-- 363.30m²+51.925m² = 415.225m²
SITE COVER --149.86m² (36.09%)

REVISION 13/10/2019 FLOOR LEVELS AND UNIT 1 ELEVS.
REVISION 27/08/2019 PICKET FENCING AND REDUCE DEPTH OF VERANDAH TO ACHIEVE 7M FRONT SETBACK

Neighbour Consent/Signature
I/We, have viewed the plans of the proposed residences and DO NOT OBJECT to the proposed A/sfeworks to have more than 500mm cut and fill from natural ground level 8) more than 1meter of retaining walls to both left and right side boundaries, rear boundary and including the front boundary.

Signed: _____ Date: _____ Address: _____
Signed: _____ Date: _____ Address: _____
Signed: _____ Date: _____ Address: _____

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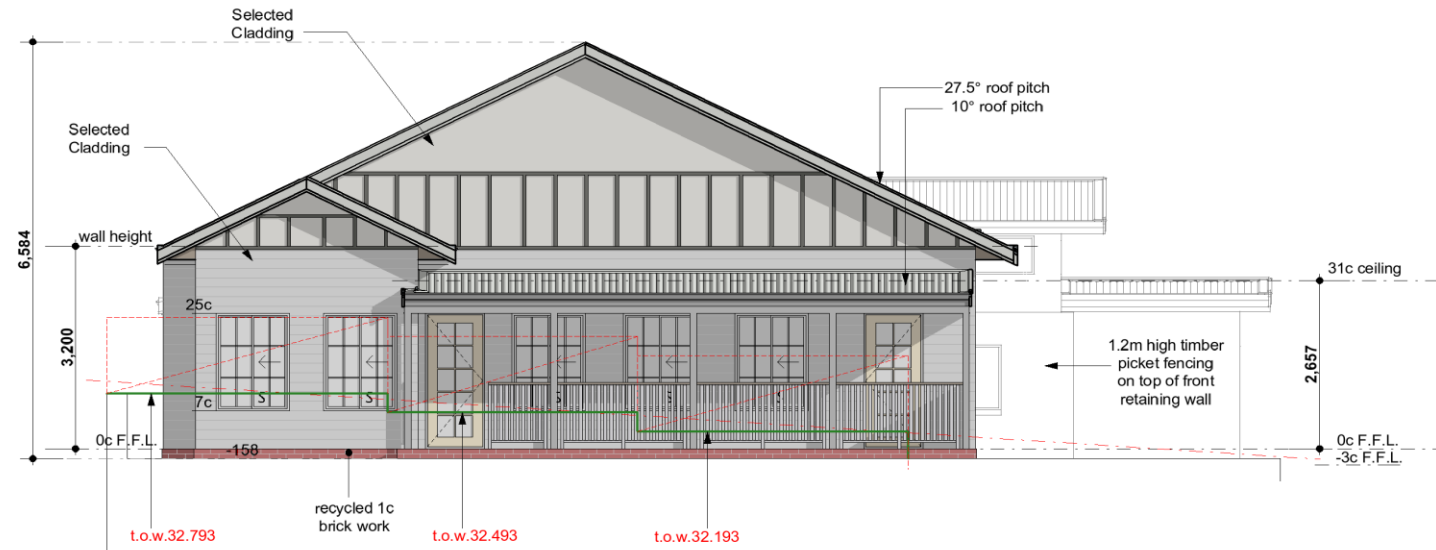
EDITION:
Concept Plans 01/07/19 MH
ISSUED FOR PLANNING
JOB NUMBER:
A058-19
DRAWINGS
SHEET 2 OF 5

CITY OF FREMANTLE
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14 October 2019

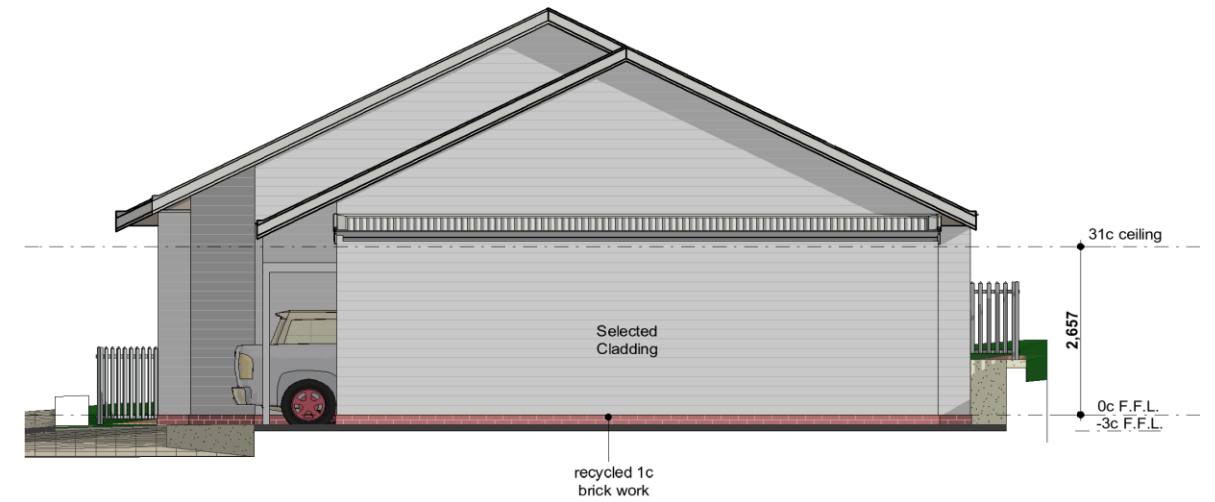
General Notes

31c Ceilings Thru Out
 Unless Noted Otherwise

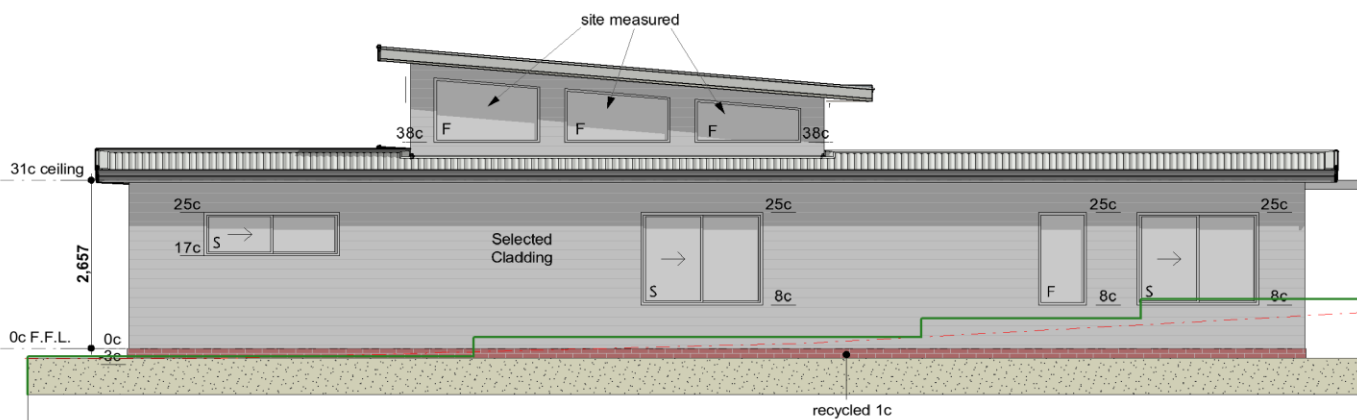
27.5° Roof Pitch
 James Hardies Weatherboard panels
 3c recycled bricks



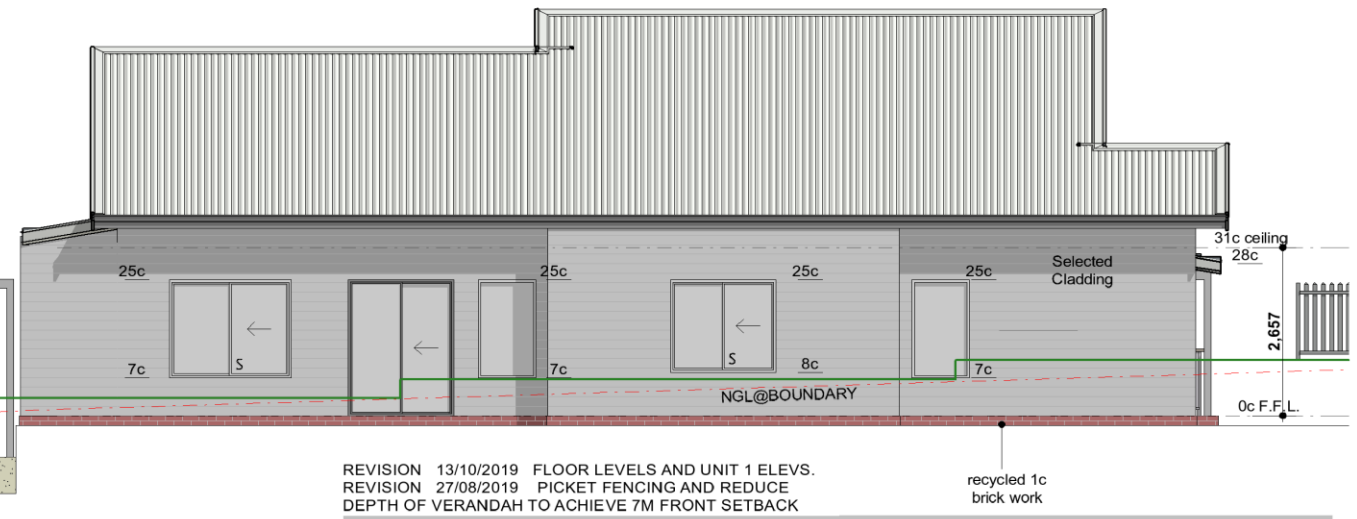
1 E1 FRONT ELEVATION
 A-3 1:100



3 E5 UNIT 1 REAR ELEVATION
 A-3 1:100



2 E2 LEFT SIDE ELEVATION
 A-3 1:100



REVISION 13/10/2019 FLOOR LEVELS AND UNIT 1 ELEVS.
 REVISION 27/08/2019 PICKET FENCING AND REDUCE
 DEPTH OF VERANDAH TO ACHIEVE 7M FRONT SETBACK

Neighbour Consent/Signature
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Signed: _____ Date: _____ Address: _____
 Signed: _____ Date: _____ Address: _____
 Signed: _____ Date: _____ Address: _____

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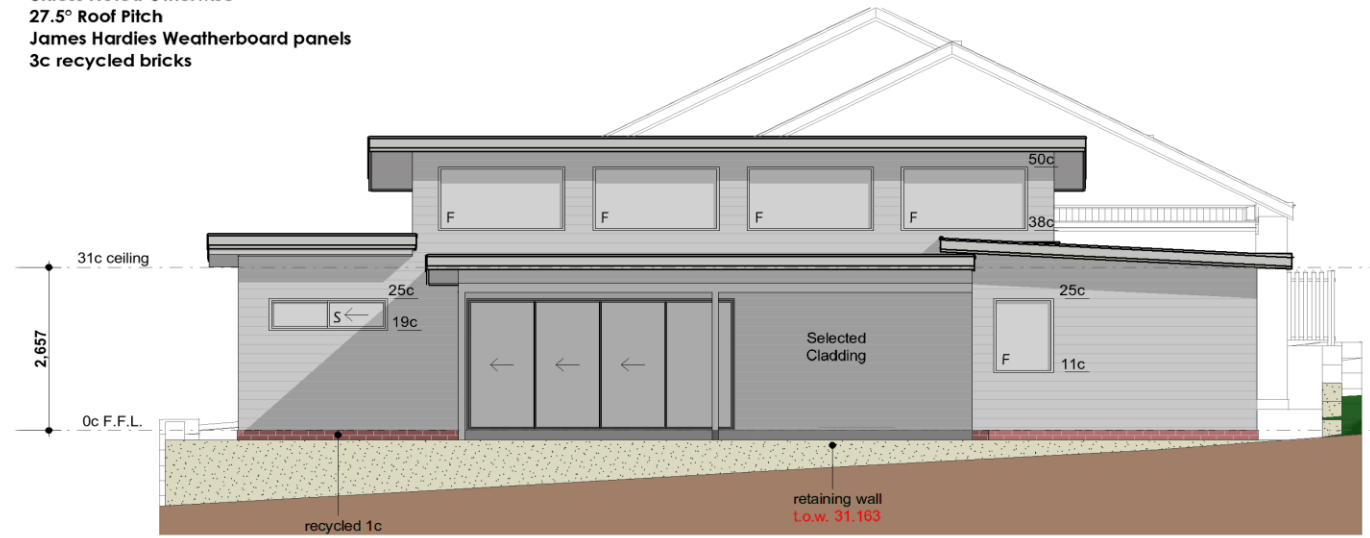
EDITION:
 Concept Plans 01/07/19 MH

ISSUED FOR PLANNING
JOB NUMBER:
 A058-19
DRAWINGS
 SHEET 3 OF 5

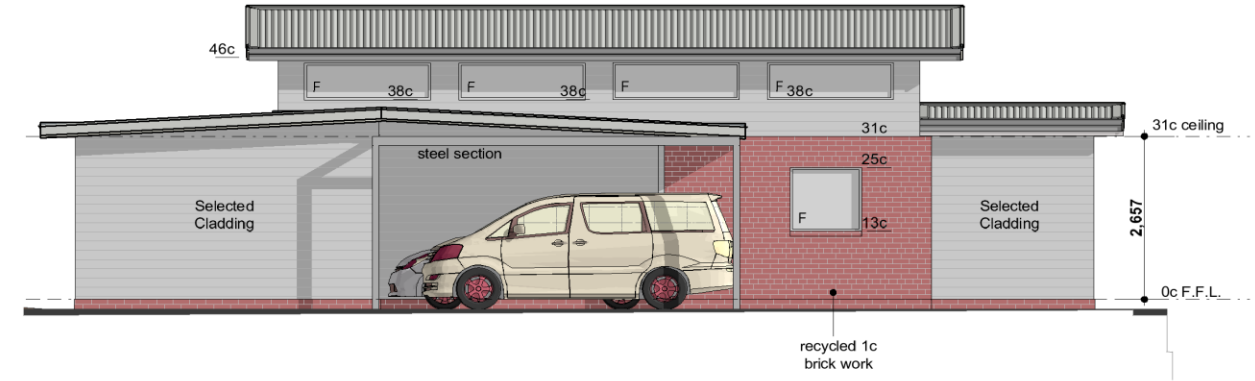
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14 October 2019

General Notes

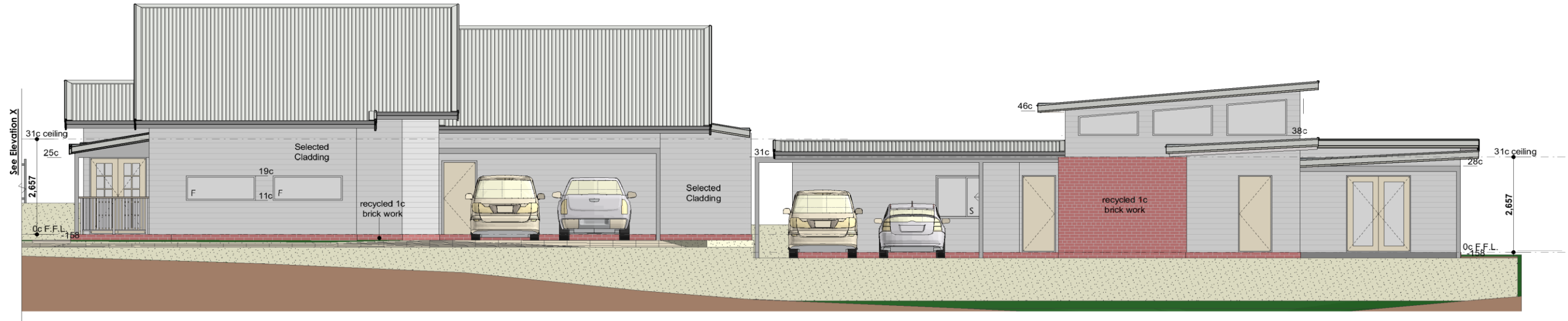
- 31c Ceilings Thru Out
- Unless Noted Otherwise
- 27.5° Roof Pitch
- James Hardies Weatherboard panels
- 3c recycled bricks



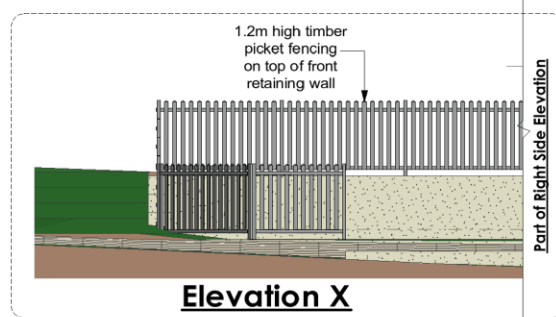
1 E3 UNIT 2 REAR ELEVATION
 A-4 1:100



3 E6 UNIT 2 FRONT ELEVATION
 A-4 1:100



2 RIGHT SIDE ELEVATION
 A-4 1:100



REVISION 27/08/2019 PICKET FENCING AND REDUCE DEPTH OF VERANDAH TO ACHIEVE 7M FRONT SETBACK

Neighbour Consent/Signature
 I/We, have viewed the plans of the proposed residences and DO NOT OBJECT to the proposed A) siteworks to have more than 500mm cut and fill from natural ground Level B) more than 1 meter of retaining walls to both left and right side boundaries, rear boundary and including the front boundary.

Signed: _____ Date: _____ Address: _____
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 Signed: _____ Date: _____ Address: _____

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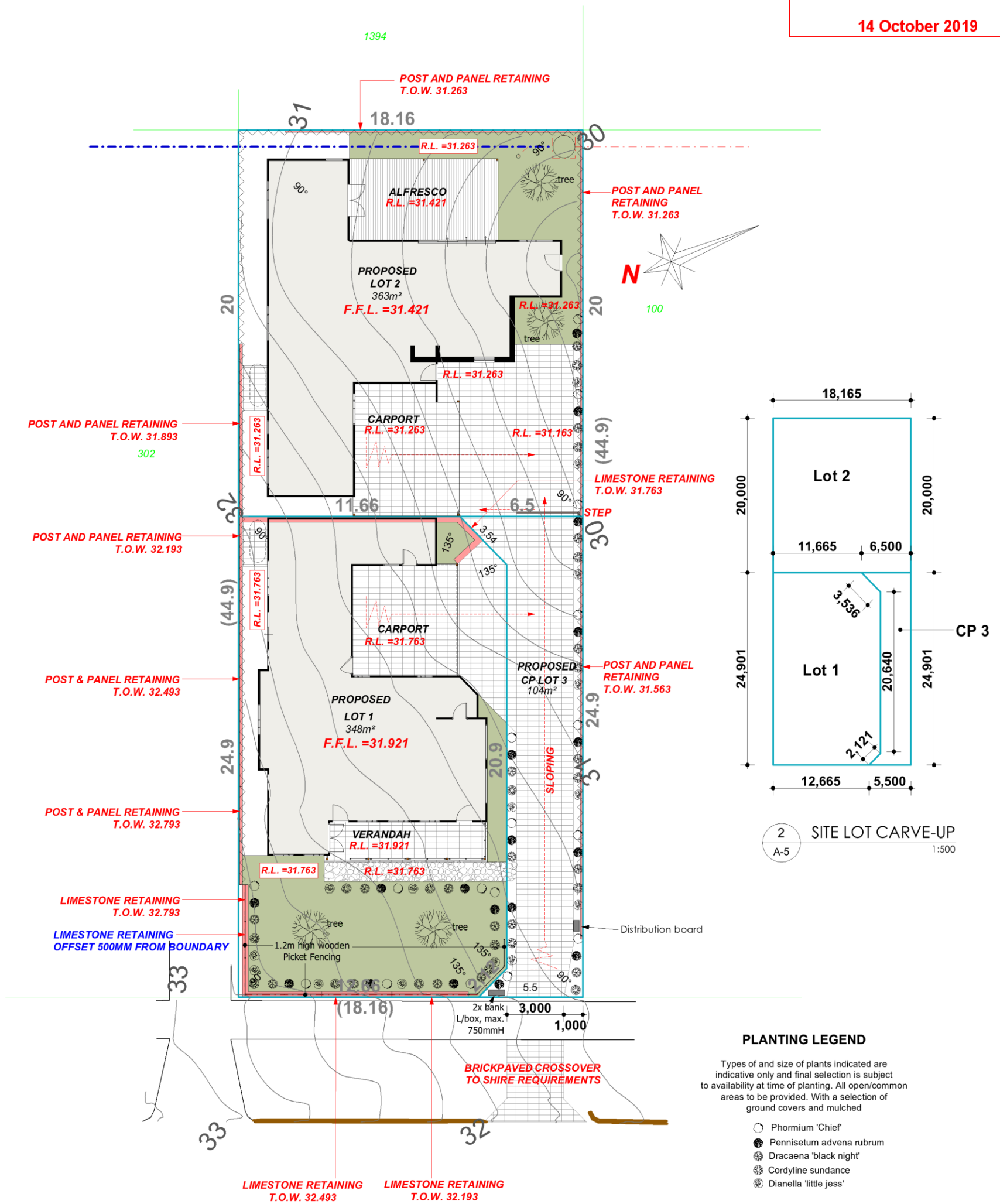
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DRAWINGS
 SHEET 4 OF 5

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14 October 2019



REVISION 13/10/2019 FLOOR LEVELS AND UNIT 1 ELEVS.
 REVISION 27/08/2019 PICKET FENCING AND REDUCE DEPTH OF VERANDAH TO ACHIEVE 7M FRONT SETBACK

Neighbour Consent/Signature

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EDITION:
Concept Plans 01/07/19 MH

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JOB NUMBER:
A058-19
DRAWINGS
 SHEET 5 OF 5

PC1911 - 3 TYDEMAN ROAD, NO 26 (LOT 24), NORTH FREMANTLE - CHANGE OF USE TO INDUSTRY SERVICES (BAKERY) AND ADDITIONS AND ALTERATIONS TO EXISTING BUILDING (TG DA0263/19)

Agenda attachment 1 – Amended Development Plans

NEW BAKERY

26 TYDEMAN ROAD | NORTH FREMANTLE | WA

DEVELOPMENT APPLICATION ISSUE (REVISED)

DEVELOPMENT APPLICATION
(NOT FOR CONSTRUCTION)

CITY OF FREMANTLE
These Revised Plans Form Part of
DA0263/19
15 October 2019

DRAWING REGISTER

- A0.00 COVER SHEET, REGISTER AND SITE LOCATION PLAN
- A0.01 EXISTING PHOTOGRAPHIC RECORD
- A0.02 EXISTING FEATURE SURVEY (PREPARED BY DB SURVEYS)
- A1.00 PROPOSED ROOF PLAN
- A1.01 PROPOSED FLOOR PLAN
- A2.00 PROPOSED ELEVATIONS - PAGE 01
- A2.01 PROPOSED ELEVATIONS - PAGE 02

9	DEVELOPMENT APPLICATION (REVISED)	2019 10 11
7	DEVELOPMENT APPLICATION (REVISED)	2019 09 11
6	DEVELOPMENT APPLICATION (REVISED)	2019 07 24
5	DEVELOPMENT APPLICATION	2019 06 26
4	DEVELOPMENT APPLICATION (DRAFT)	2019 06 05
3	DEVELOPED DESIGN (DRAFT)	2019 05 13
2	CONCEPT DESIGN (DRAFT)	2019 04 12
1	CONCEPT DESIGN (DRAFT)	2019 03 27
Revision	Comments	Date

Status:
DEVELOPMENT APPLICATION

FINESPUN
ARCHITECTURE, PLANNING & PROJECT MANAGEMENT

PO Box 431 MAYLANDS WA 6931
P: 08 9473 0764
E: hello@finespun.com.au
www.finespun.com.au
Architect Reg: 2318 ABN: 12 605 400 154

Project Description:
NEW BAKERY

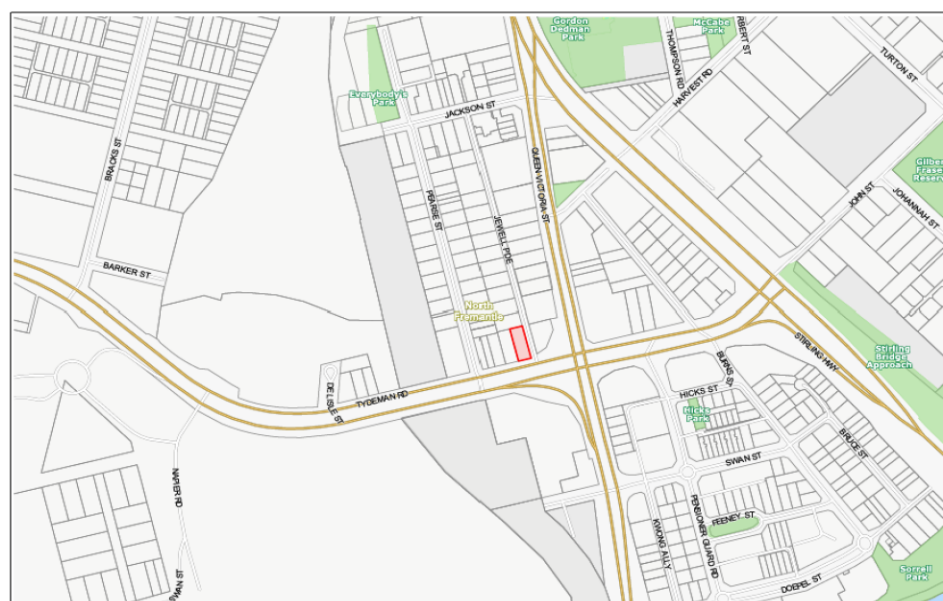
Project Address:
**26 TYDEMAN ROAD
NORTH FREMANTLE WA**

Project No: **317**
Drawn By: **MP**
AS Scale: **NTS**



Drawing Title:
**COVER PAGE, DWG REGISTER
AND SITE LOCATION**

Drawing: **A0.00** Revision: **8**



SUBJECT SITE - 26 TYDEMAN RD | Nth FREMANTLE | WA
SOURCE: CITY OF FREMANTLE WEBSITE



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15 October 2019



8	DEVELOPMENT APPLICATION (REVISED)	2019.10.11
7	DEVELOPMENT APPLICATION (REVISED)	2019.09.11
6	DEVELOPMENT APPLICATION (REVISED)	2019.07.24
5	DEVELOPMENT APPLICATION	2019.05.26
4	DEVELOPMENT APPLICATION (DRAFT)	2019.05.05
3	DEVELOPED DESIGN (DRAFT)	2019.03.13
2	CONCEPT DESIGN (DRAFT)	2019.04.12
1	CONCEPT DESIGN (DRAFT)	2019.03.27
Revision		Comments
Revision		Date

Status:
DEVELOPMENT APPLICATION
FINESPUN
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Architect Reg: 2318 ABN: 12 605 400 164

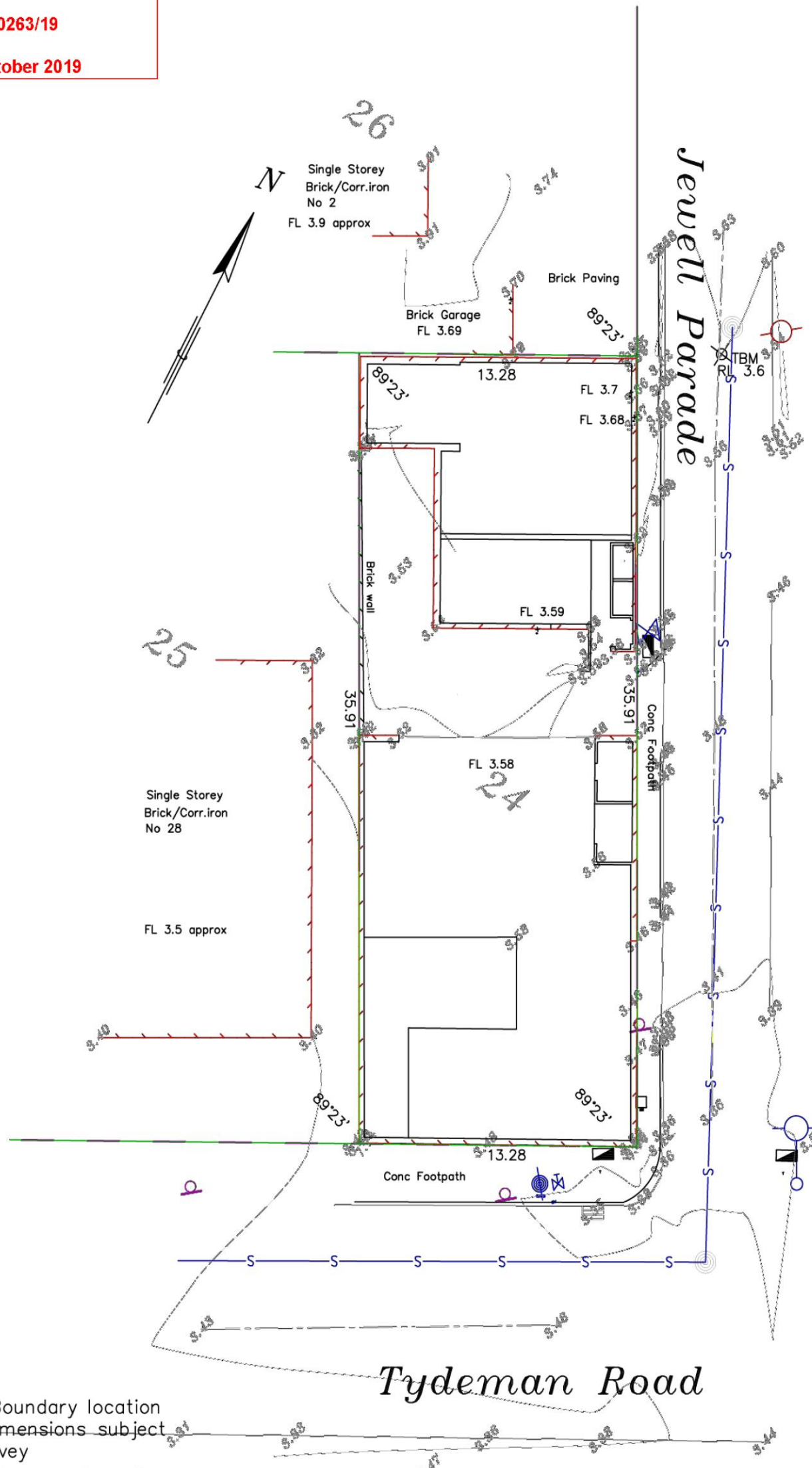
Project Description:
NEW BAKERY
Project Address:
**26 TYDEMAN ROAD
NORTH FREMANTLE WA**
Project No: **317**
Drawn By: **MP**
A3 Scale: **NTS**
Drawing Title:
**EXISTING PHOTOGRAPHIC
RECORD**
Drawing: **A0.01** Revision: **8**

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Scale 1:200 @ A3

Key Features

- Telecom 
- Water meter 
- Power Pole 
- Power Dome 
- Sewer M/H 
- Hydrant 
- Elec.Light 
- Sign 



Note: Boundary location and dimensions subject to survey
All underground services need to be verified

Feature Survey
Lot 24 on Plan 768
26 Tydemman Road Nth Fremantle

Car Park



db Surveys
55 Chrysothem Street Trigg Perth 6029
Ph/Fax 61 8 94481033
LICENSED LAND and ENGINEERING SURVEYORS

Revision	Comments	Date
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Project Description
NEW BAKERY

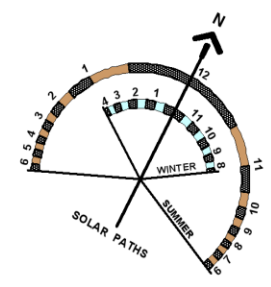
Project Address
**26 TYDEMAN ROAD
NORTH FREMANTLE WA**

Project No: **317**
Drawn By: **MP**
A3 Scale: **NTS**

Drawing Title
**EXISTING FEATURE SURVEY
PREPARED BY DB SURVEYS**

Drawing: **A0.02** Revision: **8**

DEVELOPMENT APPLICATION
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EXISTING SHEDS TO BE DEMOLISHED (SHOWN DASHED)

EXISTING SHEDS TO BE DEMOLISHED (SHOWN DASHED)

EXTENT OF EXISTING CONCRETE FLOOR SLAB TO BE DEMOLISHED (SHOWN HATCHED)

EXISTING INTERNAL PARTITIONS TO BE DEMOLISHED (SHOWN DASHED)

Single Storey Brick/Corr. Iron No 28 FL 3.5 approx

DEMO WORKS GENERAL NOTES:

EXISTING SERVICES:
- ALLOW FOR SITE UNDERGROUND SURVEY TO CONFIRM LOCATION OF EXISTING SERVICES PRIOR TO WORKS. DISCONNECT ALL SERVICES PRIOR TO DEMOLITION WORKS.
- CONFIRM EXISTING POWER FEED & LOCATION OF ALL EXISTING ELECTRICAL BOARDS ON SITE FOR COMPLETE SITE UPGRADE
- NEW GAS SUPPLY REQUIRED. LOCATION OF ALL METERS TO BE CONFIRMED ON SITE.
- CONFIRM LOCATION & SIZE OF ALL UNDERGROUND STORMWATER SOAKWELLS FOR REVIEW

PROVIDE ADEQUATE PROPPING WHERE NECESSARY DURING DEMOLITION WORK. A THOROUGH INVESTIGATION OF THE EXISTING BUILDING STRUCTURE CONDITIONS SHALL BE CARRIED OUT PRIOR TO ANY DEMOLITION.

ALL WALLS WHERE NOTED FOR DEMOLITION SHALL BE DEMOLISHED ENTIRELY UNLESS NOTED OTHERWISE. REMOVE ALL PREVIOUS SIGNAGE FROM BUILDING FACADES. MAKE GOOD WALL SURFACES FOR NEW PAINTWORK TO BUILDING 2

ALL DISUSED AND/OR REDUNDANT ELECTRICAL, MECHANICAL AND HYDRAULIC FIXTURES/FITTINGS SHALL BE REMOVED. MAKE GOOD WALL & ROOF SURFACES.

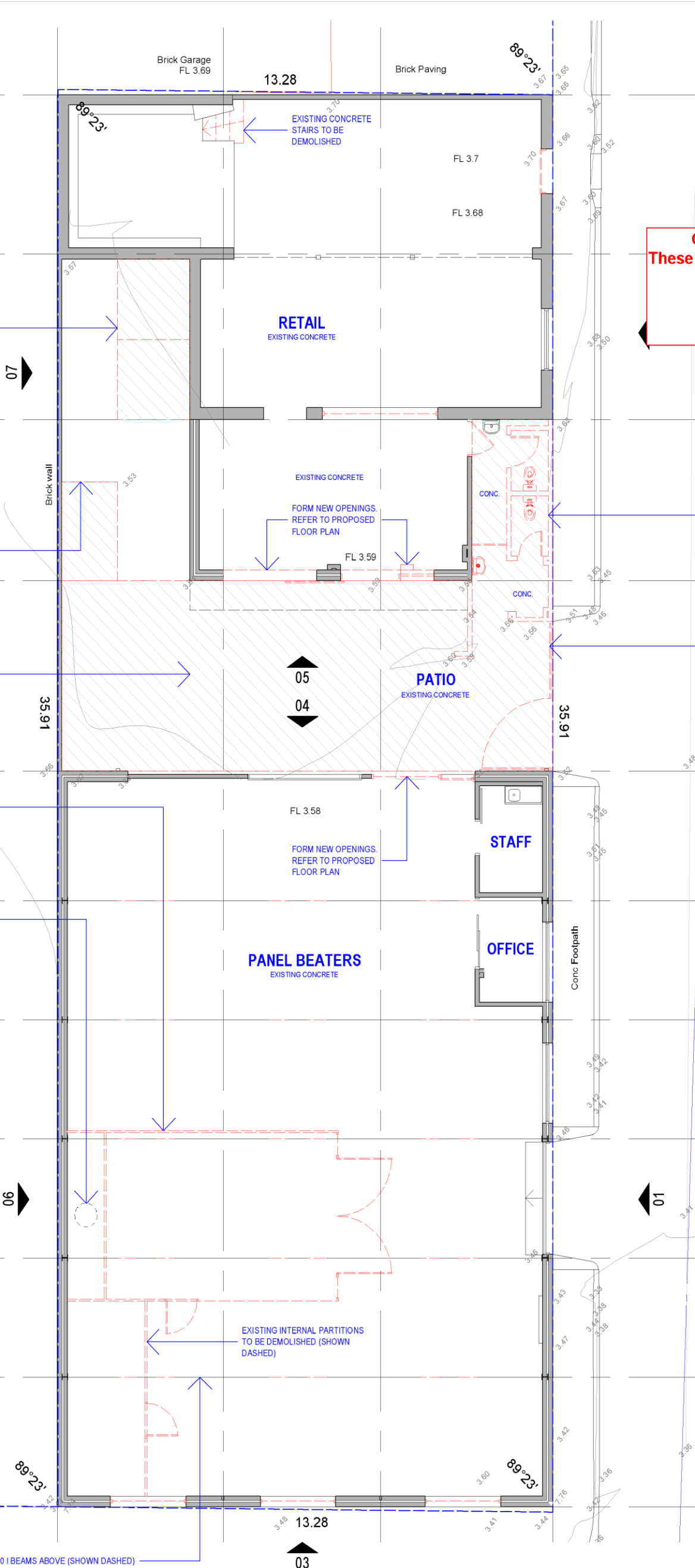
WHERE DEMOLITION WORK RESULTS IN DAMAGE TO ADJACENT WALL, FLOOR OR CEILING SURFACES, EVEN IF NOT NOTED, THESE SURFACES MUST BE MADE GOOD.

SAFETY FENCING AND/OR HOARDINGS SHALL BE ERECTED AS NECESSARY TO RESTRICT UNAUTHORISED ENTRY.

PROVIDE CORE HOLES AND PENETRATIONS IN SLABS AND WALLS NECESSARY FOR NEW SERVICES RETICULATION EVEN IF NOT SHOWN ON THIS DRAWING.

REFER TO PROPOSED FLOOR PLAN

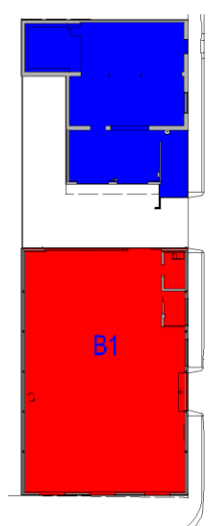
OVERHEAD 250 I BEAMS ABOVE (SHOWN DASHED)



EXISTING TOILETS TO BE DEMOLISHED

EXISTING ENTRY GATES TO BE DEMOLISHED

KEY PLAN SCALE 1:500



■	BUILDING 01 (B1) - AREA: 247.80 SQM
■	BUILDING 02 (B2) - AREA: 137.00 SQM
8	DEVELOPMENT APPLICATION (REVISED) 2019.10.11
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Revision	Comments Date

Status: **DEVELOPMENT APPLICATION**

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Architect Reg: 2318 ABN: 12 605 400 154

Project Description: **NEW BAKERY**

Project Address: **26 TYDEMAN ROAD NORTH FREMANTLE WA**

Project No: **317**

Drawn By: **MP**

A3 Scale: **NTS**

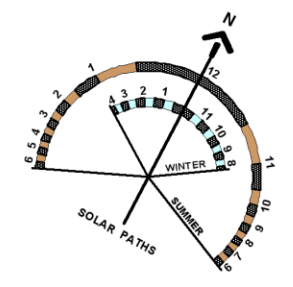
Drawing Title: **EXISTING / DEMO FLOOR PLAN**

01 DEMOLITION FLOOR PLAN
NEW BAKERY - SCALE 1:100

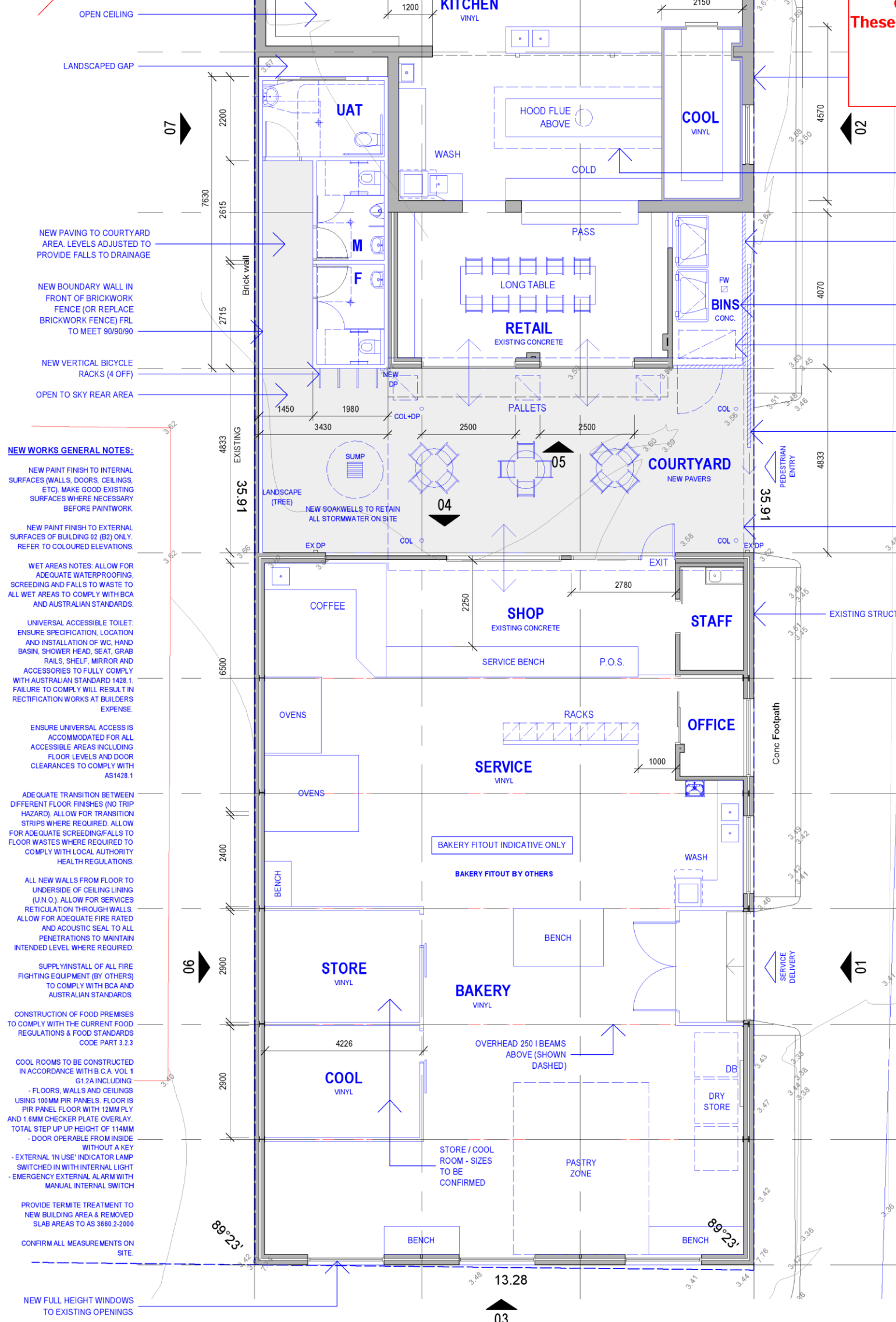
--- SCOPE OF DEMOLITION WORKS

Drawing: **A1.01** Revision: **8**

**DEVELOPMENT APPLICATION
(NOT FOR CONSTRUCTION)**



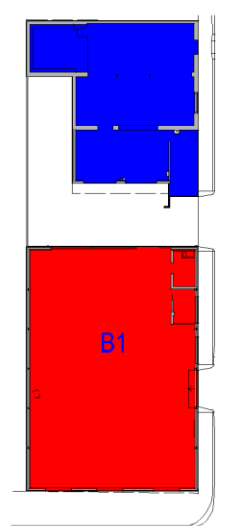
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15 October 2019



NEW WORKS GENERAL NOTES:

- NEW PAINT FINISH TO INTERNAL SURFACES (WALLS, DOORS, CEILINGS, ETC) MAKE GOOD EXISTING SURFACES WHERE NECESSARY BEFORE PAINTWORK.
- NEW PAINT FINISH TO EXTERNAL SURFACES OF BUILDING 02 (B2) ONLY. REFER TO COLOURED ELEVATIONS.
- WET AREAS NOTES: ALLOW FOR ADEQUATE WATERPROOFING, SCREEDING AND FALLS TO WASTE TO ALL WET AREAS TO COMPLY WITH BCA AND AUSTRALIAN STANDARDS.
- UNIVERSAL ACCESSIBLE TOILET: ENSURE SPECIFICATION, LOCATION AND INSTALLATION OF WC, HAND BASIN, SHOWER HEAD, SEAT, GRAB RAILS, SHELF, MIRROR AND ACCESSORIES TO FULLY COMPLY WITH AUSTRALIAN STANDARD 1428.1. FAILURE TO COMPLY WILL RESULT IN RECTIFICATION WORKS AT BUILDERS EXPENSE.
- ENSURE UNIVERSAL ACCESS IS ACCOMMODATED FOR ALL ACCESSIBLE AREAS INCLUDING FLOOR LEVELS AND DOOR CLEARANCES TO COMPLY WITH AS1428.1
- ADEQUATE TRANSITION BETWEEN DIFFERENT FLOOR FINISHES (NO TRIP HAZARD), ALLOW FOR TRANSITION STRIPS WHERE REQUIRED. ALLOW FOR ADEQUATE SCREEDING/FALLS TO FLOOR WASTES WHERE REQUIRED TO COMPLY WITH LOCAL AUTHORITY HEALTH REGULATIONS.
- ALL NEW WALLS FROM FLOOR TO UNDERSIDE OF CEILING LINING (U.N.O.). ALLOW FOR SERVICES RETICULATION THROUGH WALLS. ALLOW FOR ADEQUATE FIRE RATED AND ACOUSTIC SEAL TO ALL PENETRATIONS TO MAINTAIN INTENDED LEVEL WHERE REQUIRED.
- SUPPLY/INSTALL OF ALL FIRE FIGHTING EQUIPMENT (BY OTHERS) TO COMPLY WITH BCA AND AUSTRALIAN STANDARDS.
- CONSTRUCTION OF FOOD PREMISES TO COMPLY WITH THE CURRENT FOOD REGULATIONS & FOOD STANDARDS CODE PART 3.2.3
- COOL ROOMS TO BE CONSTRUCTED IN ACCORDANCE WITH B.C.A. VOL 1 G1.2A INCLUDING:
 - FLOORS, WALLS AND CEILINGS USING 100MM PIR PANELS. FLOOR IS PIR PANEL FLOOR WITH 12MM PLY AND 1.6MM CHECKER PLATE OVERLAY. TOTAL STEP UP HEIGHT OF 114MM
 - DOOR OPERABLE FROM INSIDE WITHOUT A KEY
 - EXTERNAL 'IN USE' INDICATOR LAMP SWITCHED IN WITH INTERNAL LIGHT
 - EMERGENCY EXTERNAL ALARM WITH MANUAL INTERNAL SWITCH
- PROVIDE TERMITE TREATMENT TO NEW BUILDING AREA & REMOVED SLAB AREAS TO AS 3660.2-2000
- CONFIRM ALL MEASUREMENTS ON SITE.

KEY PLAN SCALE 1:500



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Project Description:
NEW BAKERY
Project Address:
**26 TYDEMAN ROAD
NORTH FREMANTLE WA**
Project No: **317**
Drawn By: **MP**
A3 Scale: **NTS**
Drawing Title:
PROPOSED FLOOR PLAN

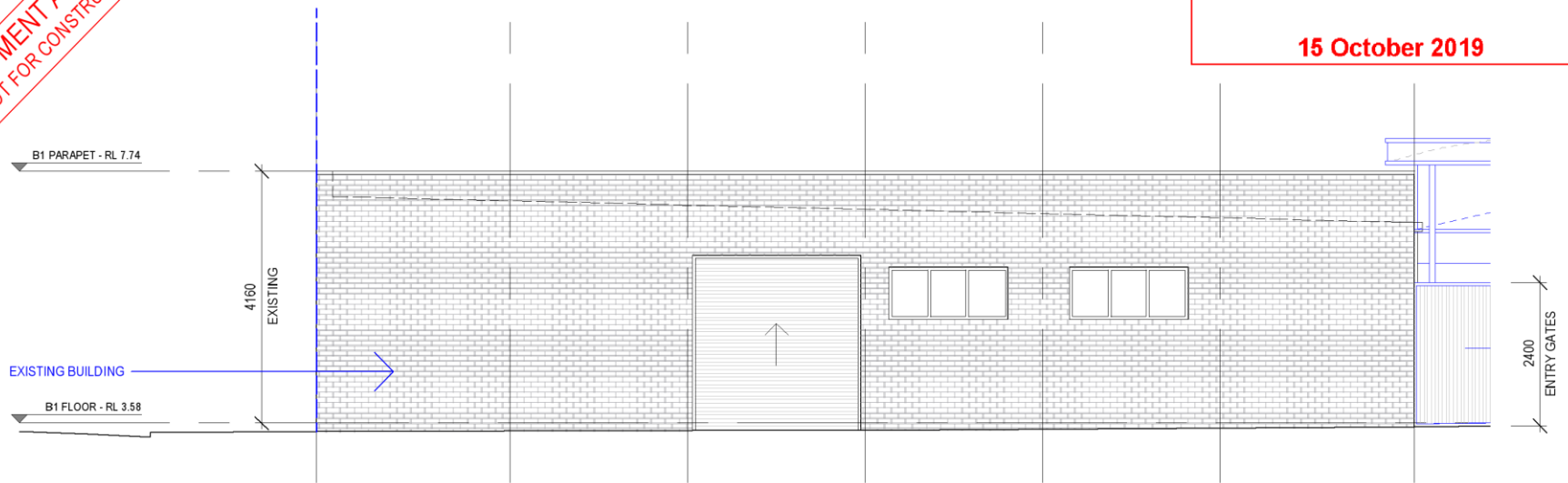
01 PROPOSED FLOOR PLAN
NEW BAKERY - SCALE 1:100

PROPOSED SCOPE OF WORKS

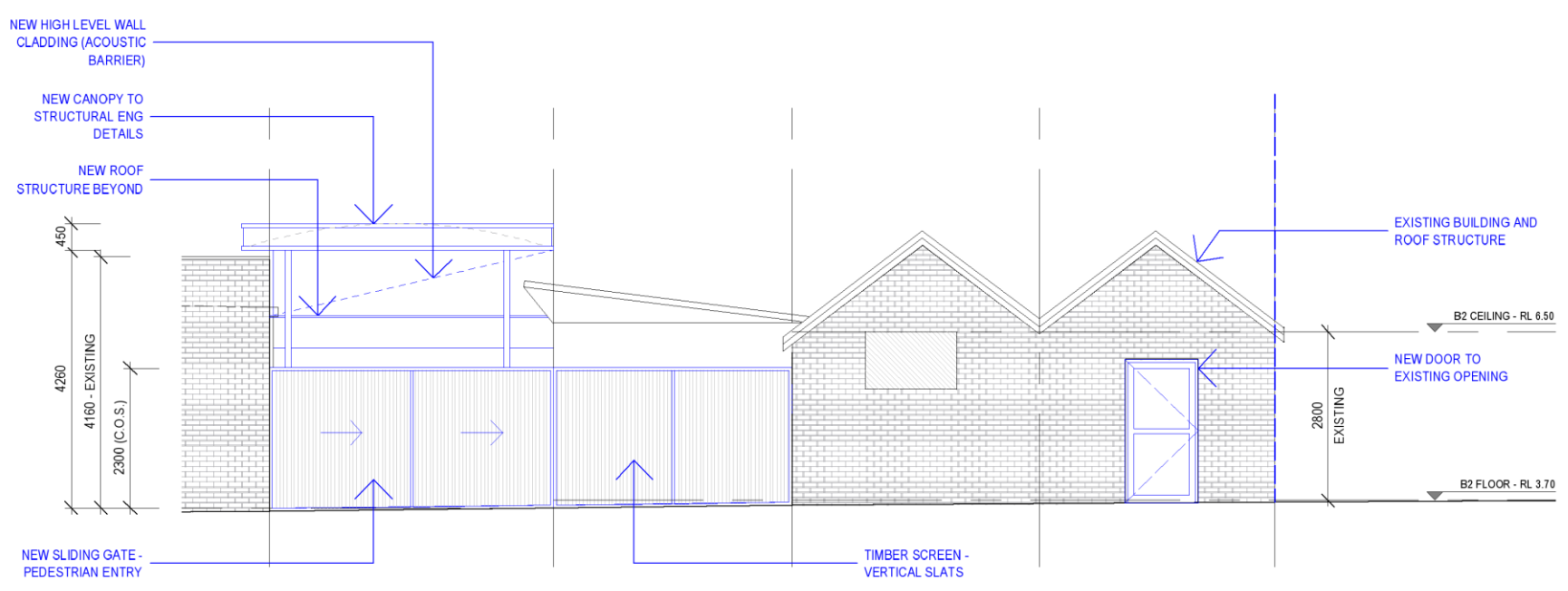
Drawing Revision
A1.02 8

**DEVELOPMENT APPLICATION
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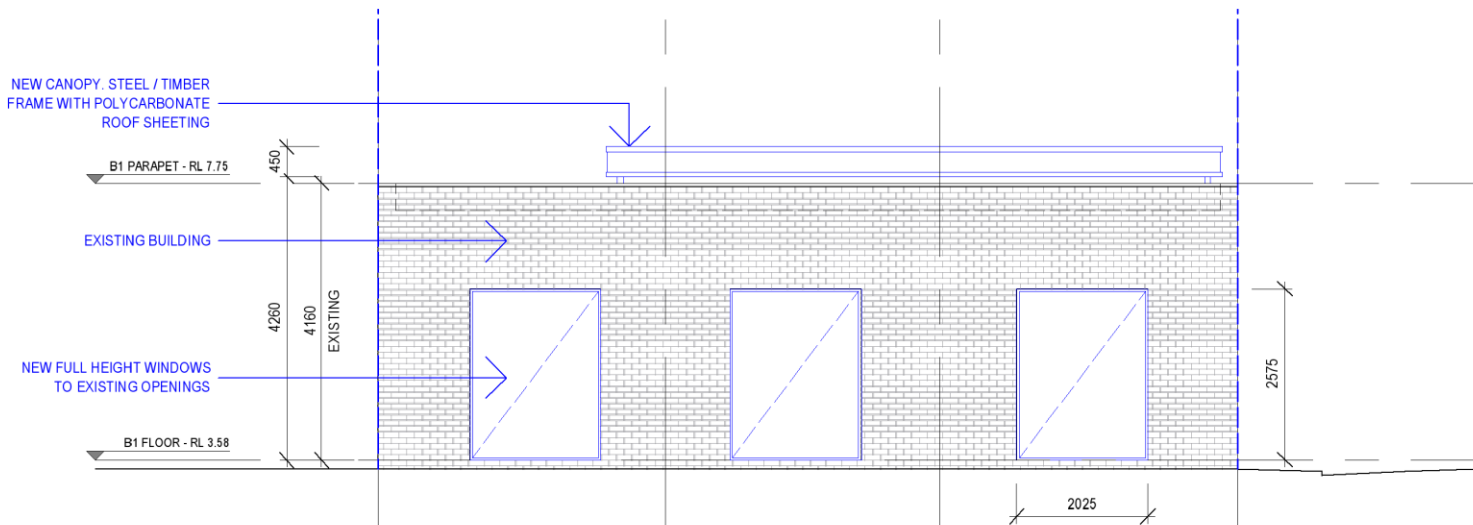
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01 ELEVATION 01 - BUILDING 01 (B1)
NEW BAKERY - SCALE 1:100



02 ELEVATION 02 - BUILDING 02 (B2)
NEW BAKERY - SCALE 1:100



03 ELEVATION 03 - BUILDING 01 (B1)
NEW BAKERY - SCALE 1:100

Revision	Comments	Date
8	DEVELOPMENT APPLICATION (REVISED)	2019 10 11
7	DEVELOPMENT APPLICATION (REVISED)	2019 09 11
6	DEVELOPMENT APPLICATION (REVISED)	2019 07 24
5	DEVELOPMENT APPLICATION	2019 06 26
4	DEVELOPMENT APPLICATION (DRAFT)	2019 06 05
3	DEVELOPED DESIGN (DRAFT)	2019 05 13
2	CONCEPT DESIGN (DRAFT)	2019 04 12
1	CONCEPT DESIGN (DRAFT)	2019 03 27

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NEW BAKERY

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**26 TYDEMAN ROAD
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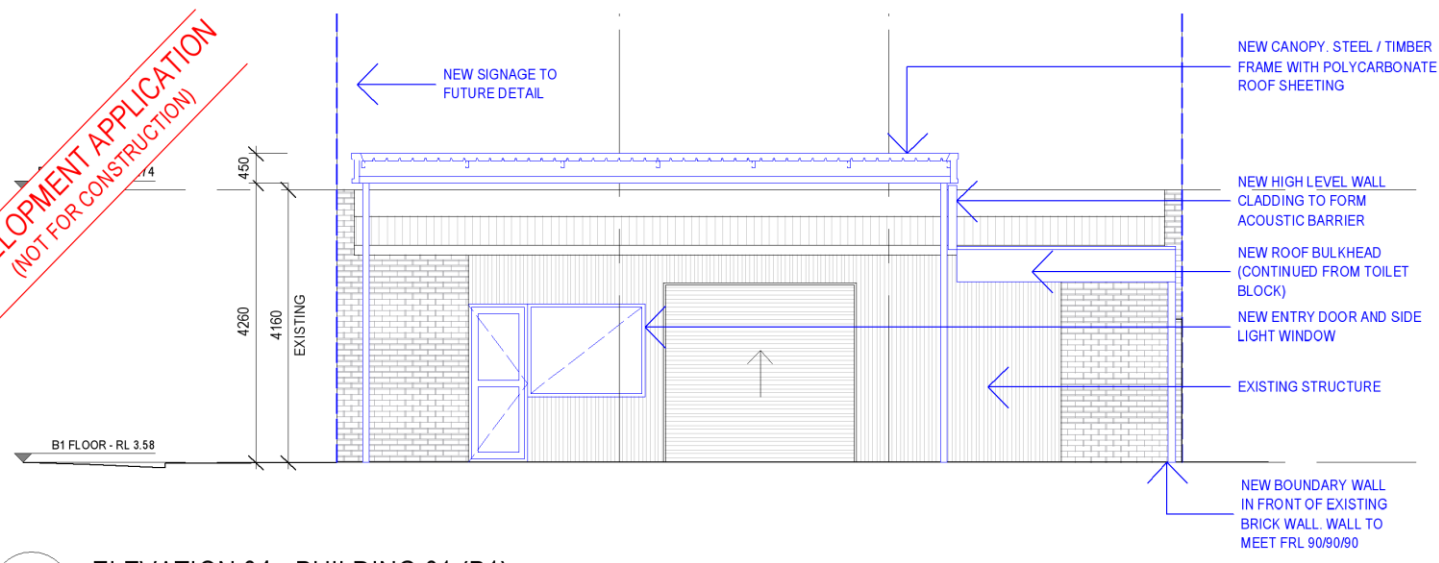
Project No: **317**
Drawn By: **MP**
A3 Scale: **NTS**

Drawing Title:
**PROPOSED ELEVATIONS
PAGE 01**

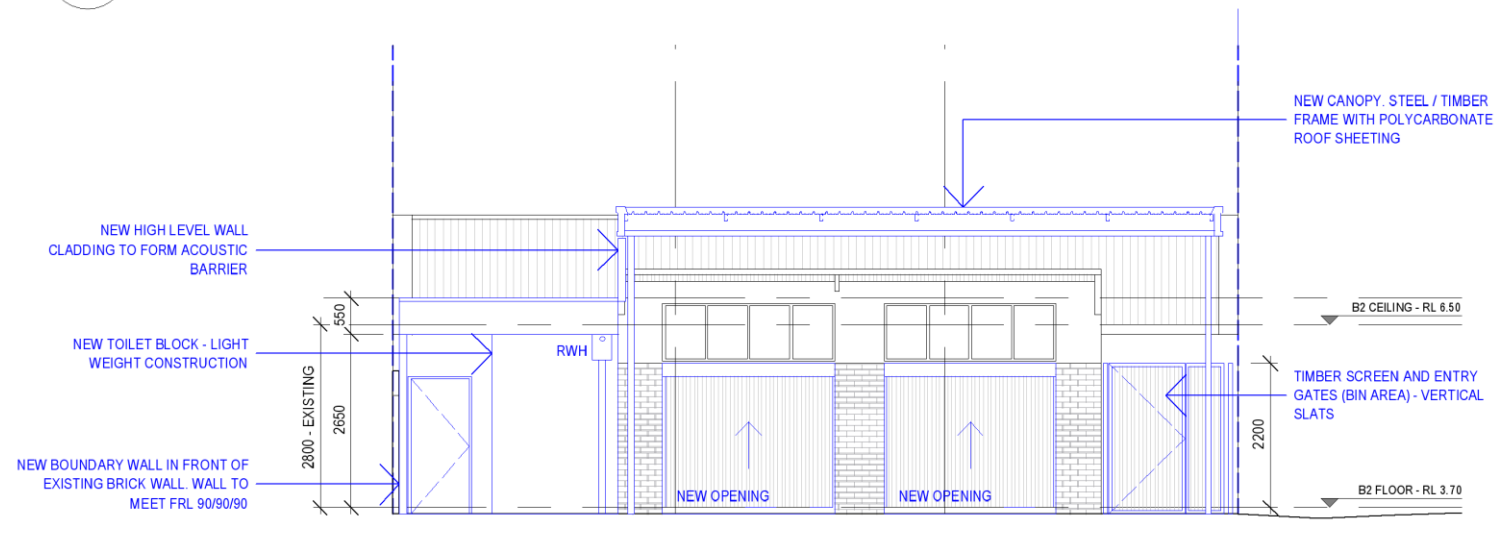
Drawing: **A2.00** Revision: **8**

PROPOSED SCOPE OF WORKS

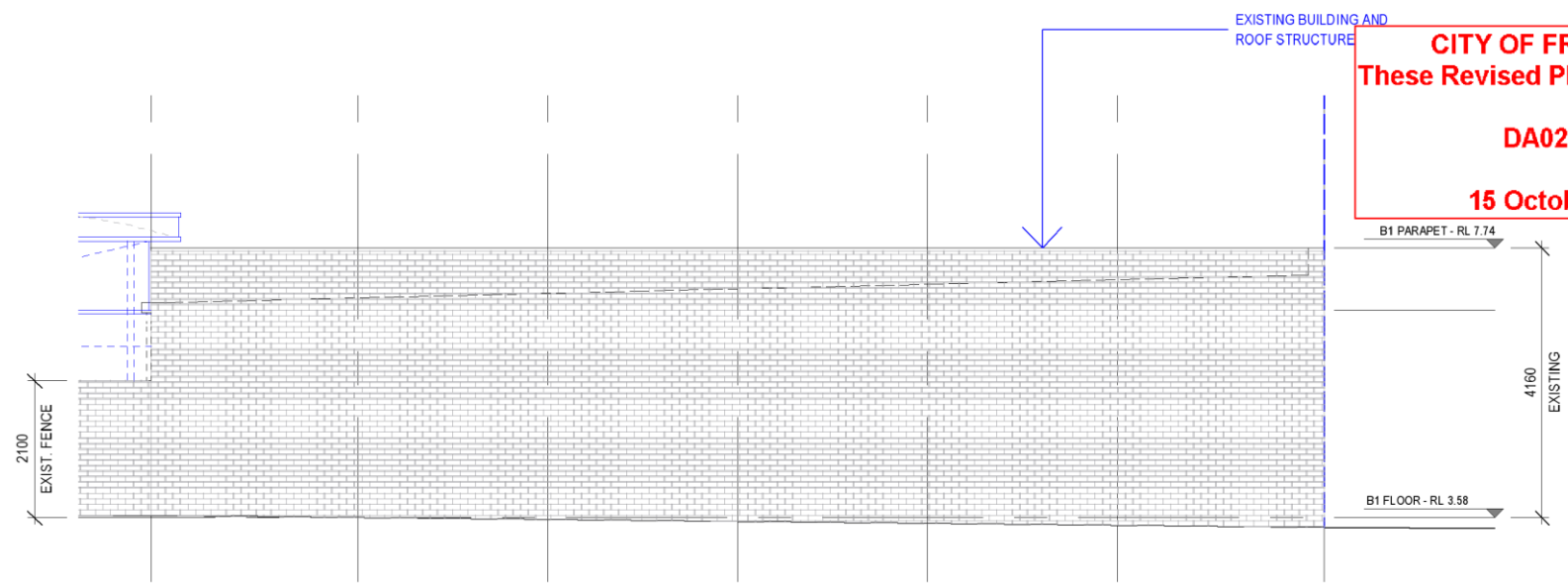
DEVELOPMENT APPLICATION
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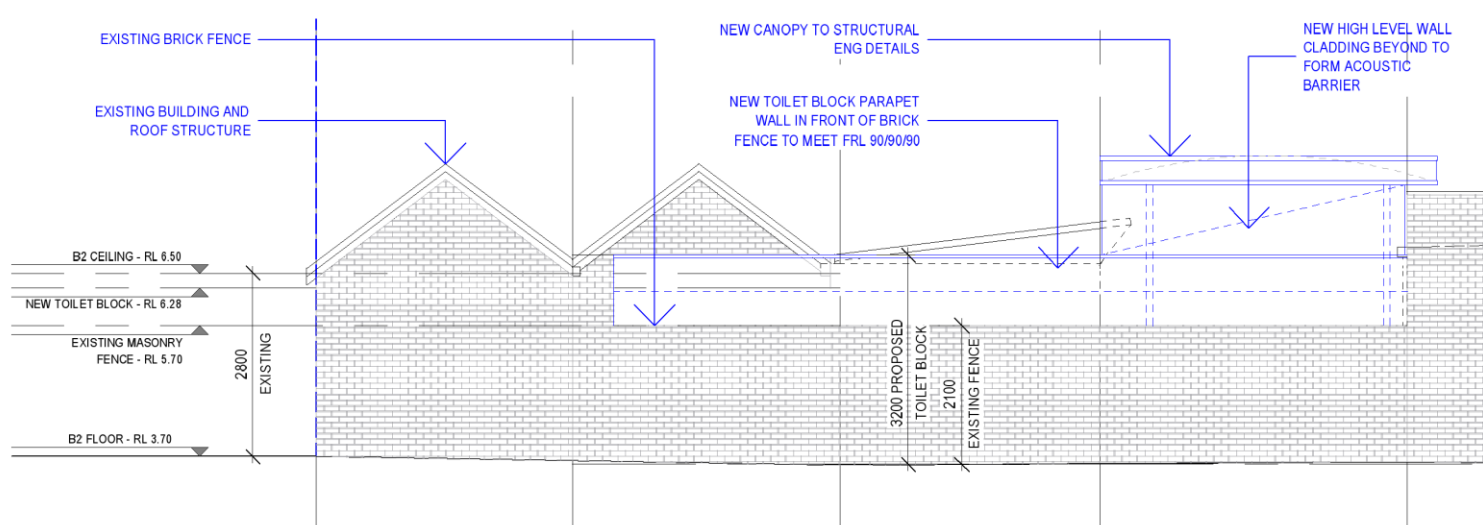
01 ELEVATION 04 - BUILDING 01 (B1)
NEW BAKERY - SCALE 1:100



02 ELEVATION 05 - BUILDING 02 (B2)
NEW BAKERY - SCALE 1:100



03 ELEVATION 06 - BUILDING 01 (B1)
NEW BAKERY - SCALE 1:100



04 ELEVATION 07 - BUILDING 02 (B2)
NEW BAKERY - SCALE 1:100

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Project No: **317**
Drawn By: **MP**
A3 Scale: **NTS**

Drawing Title:
**PROPOSED ELEVATIONS
PAGE 02**

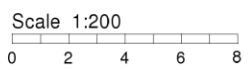
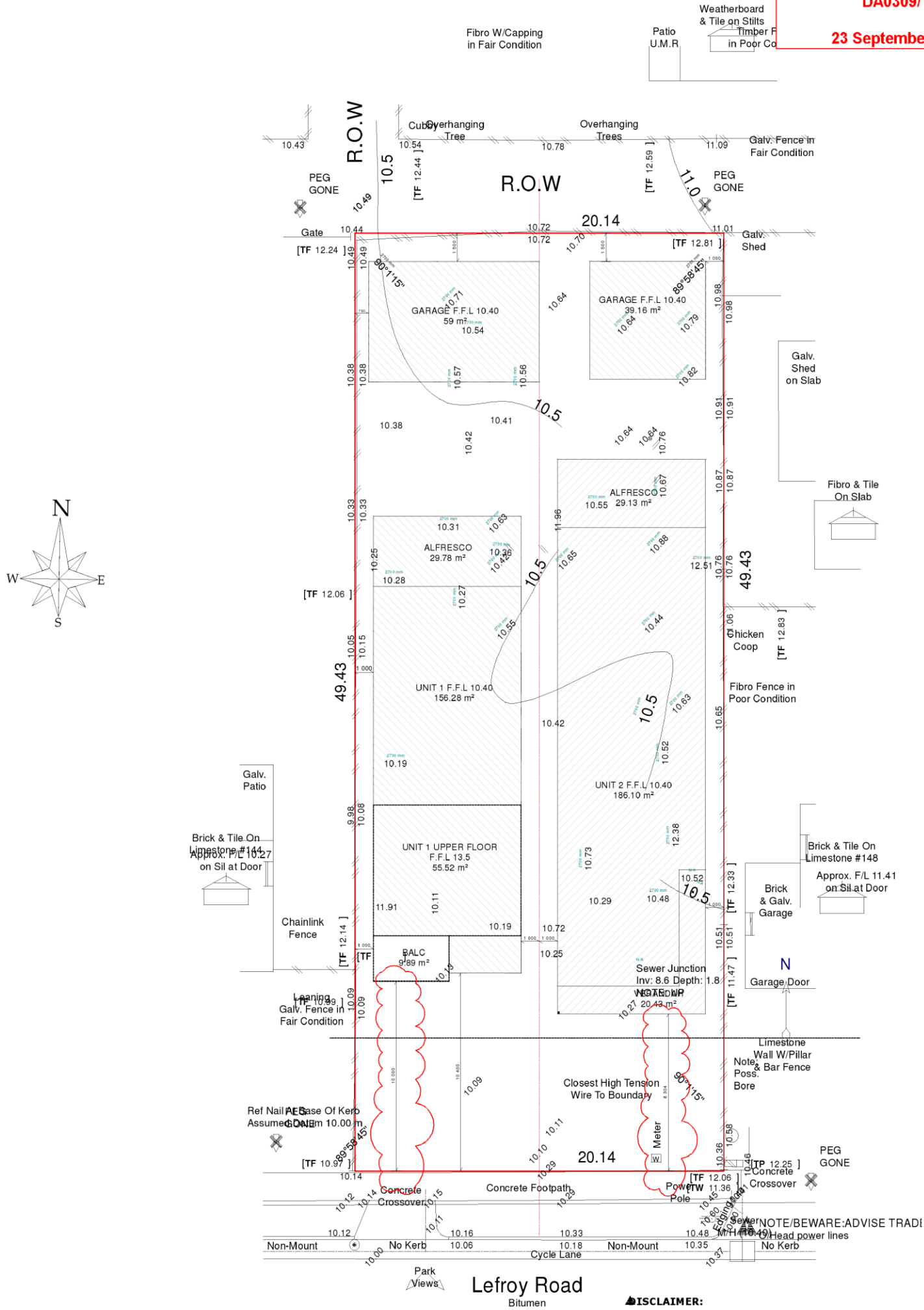
Drawing: **A2.01** Revision: **8**

PROPOSED SCOPE OF WORKS

PC1911 - 4 LEFROY ROAD, NO.146 (LOT 20), BEACONSFIELD - TWO STOREY AND SINGLE STOREY GROUPED DWELLINGS, AND HOME BUSINESS (BEAUTY THERAPY) (NB DA0309/19)

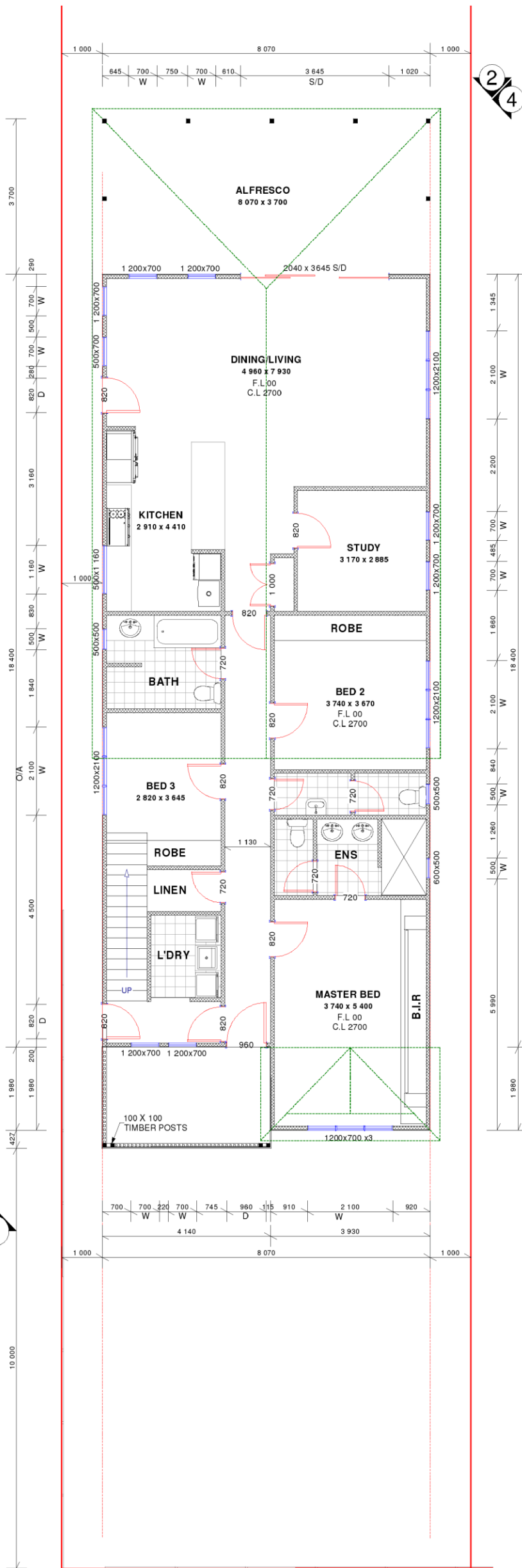
Agenda attachment 1 – Development Plans

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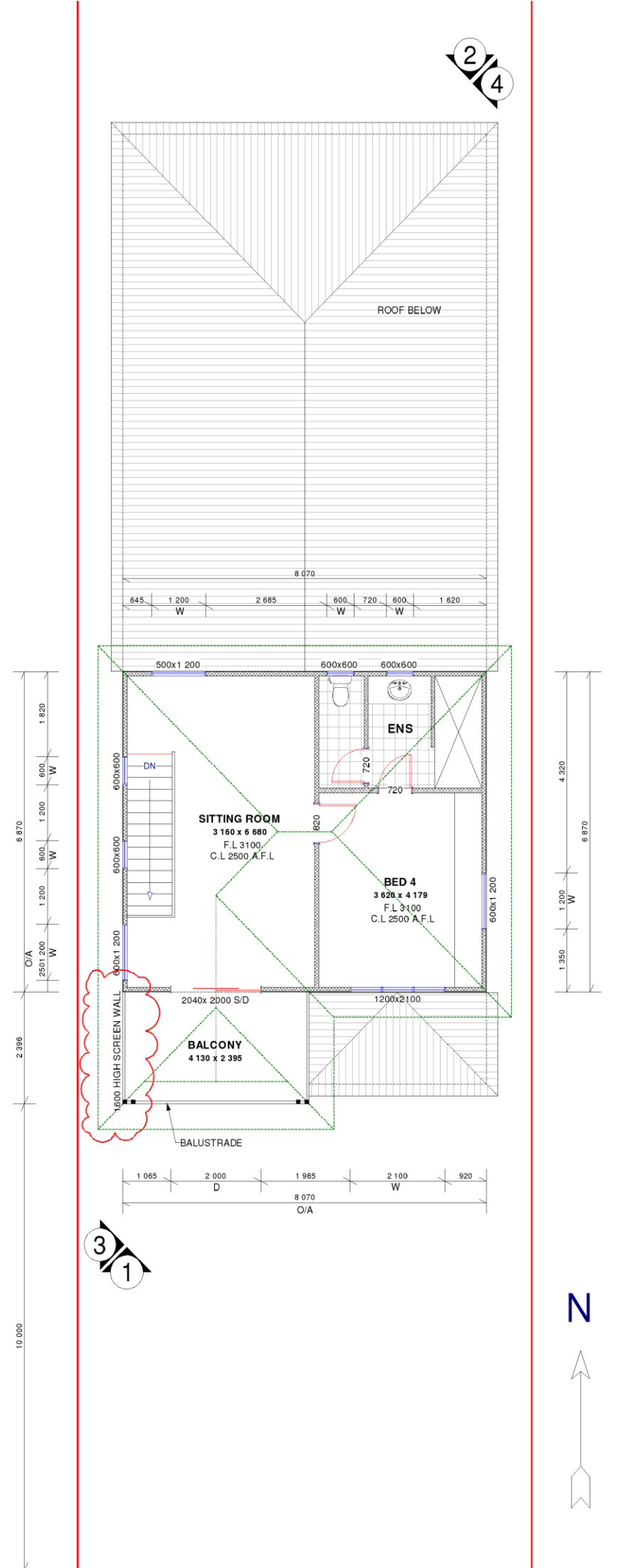


BUILDER MUST CHECK ALL DIMENSIONS ON THE SITE BEFORE COMMENCING ANY WORK				SITE PLAN			
SCALE:	1:200	DATE:	23/09/2019	NAME:	RS	CLIENT:	Val Newman
PLANNING DRAWINGS						ADDRESS:	146 Lefroy Road, Beaconsfield
REV 2						JOB No:	1905
						PAGE No:	1 of 8

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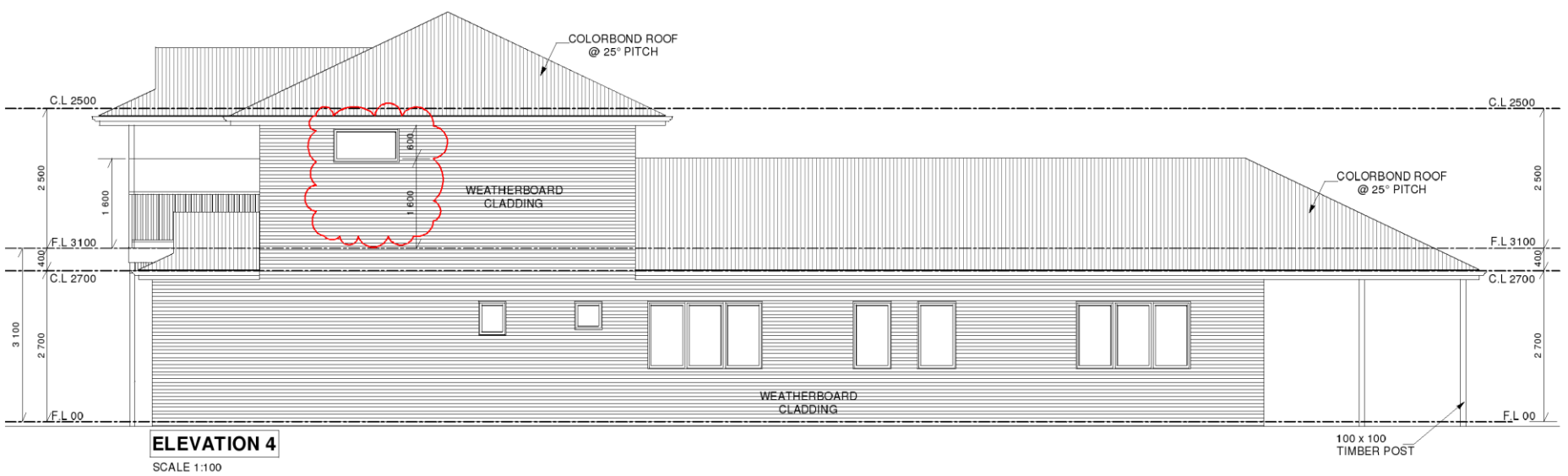
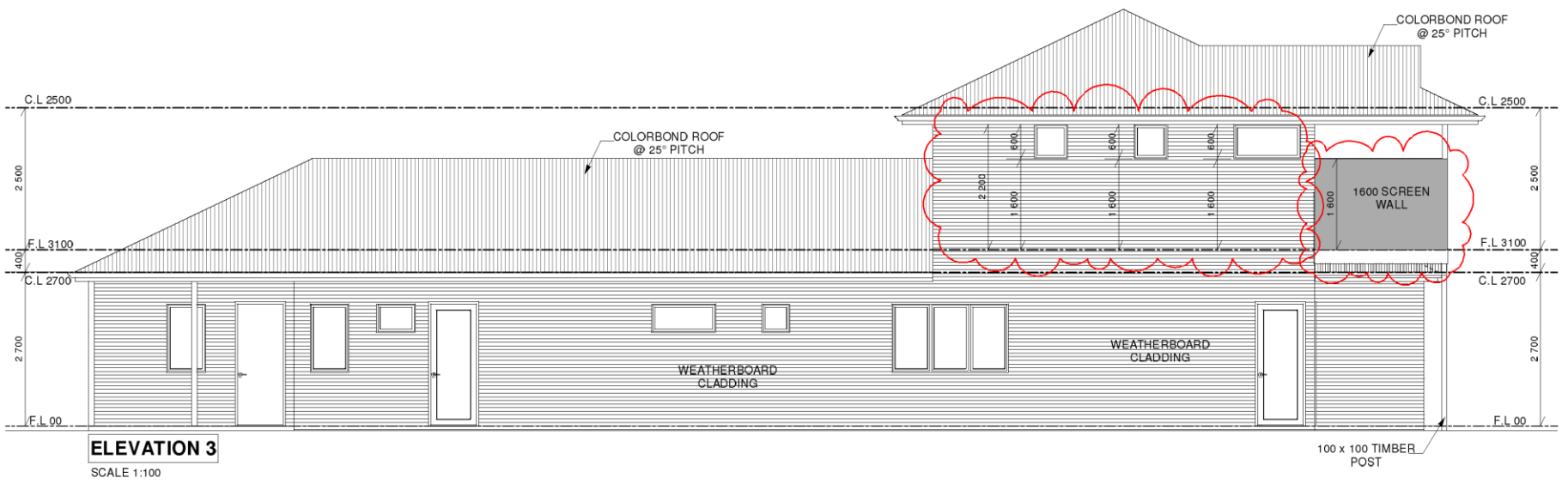
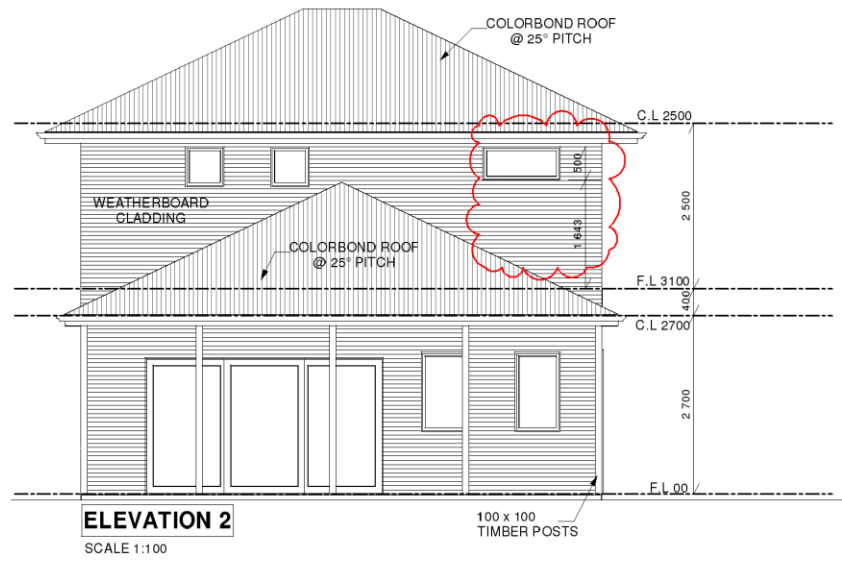
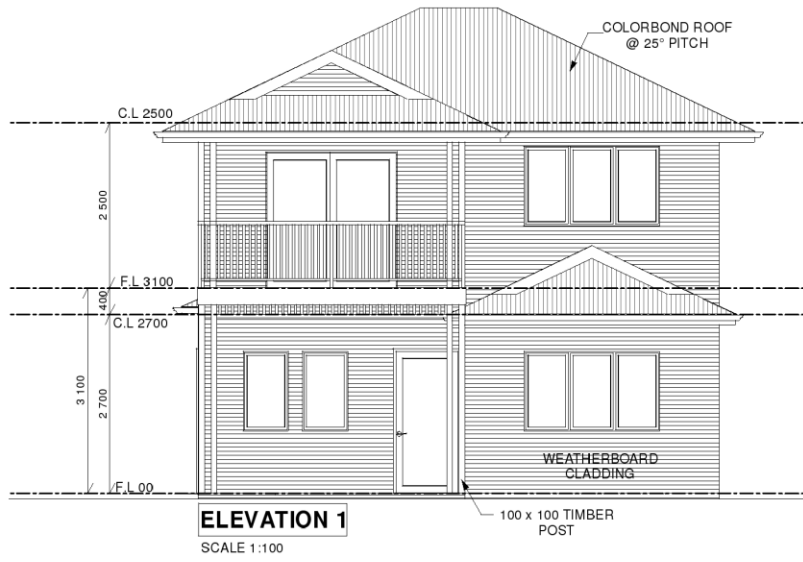
GROUND FLOOR
SCALE 1:100



UPPER FLOOR
SCALE 1:100

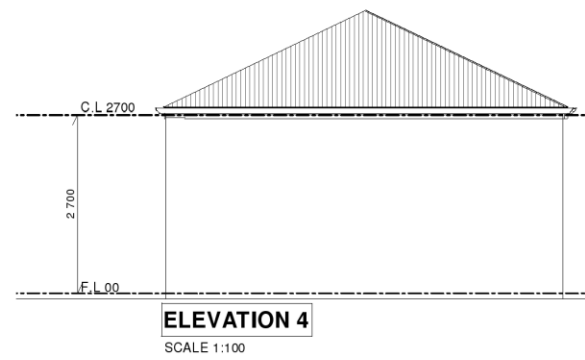
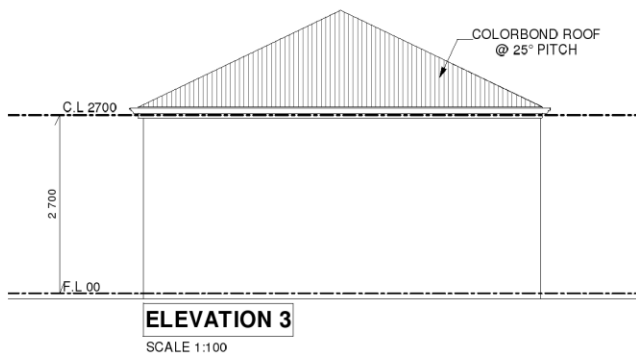
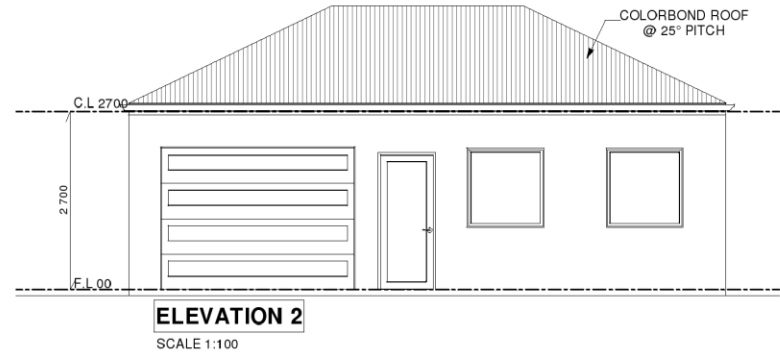
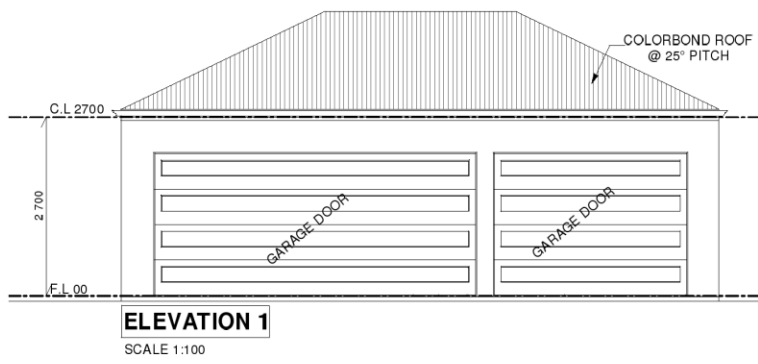
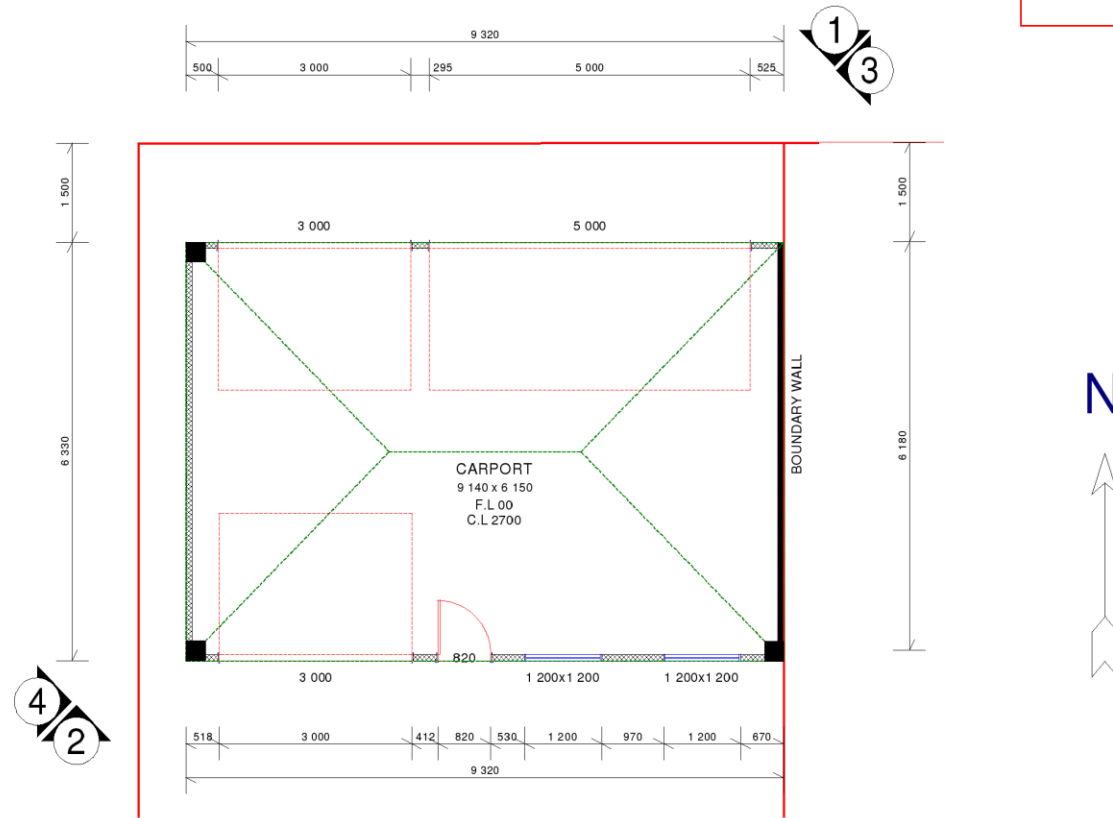
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SCALE:	1:100	DATE		CLIENT:	Val Newman
PLANNING DRAWINGS		23/09/2019	NAME	RS	JOB No: 1905
REV 2				ADDRESS:	146 Lefroy Road, Beaconsfield
				PAGE No:	2 of 8

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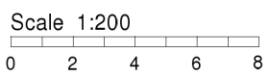
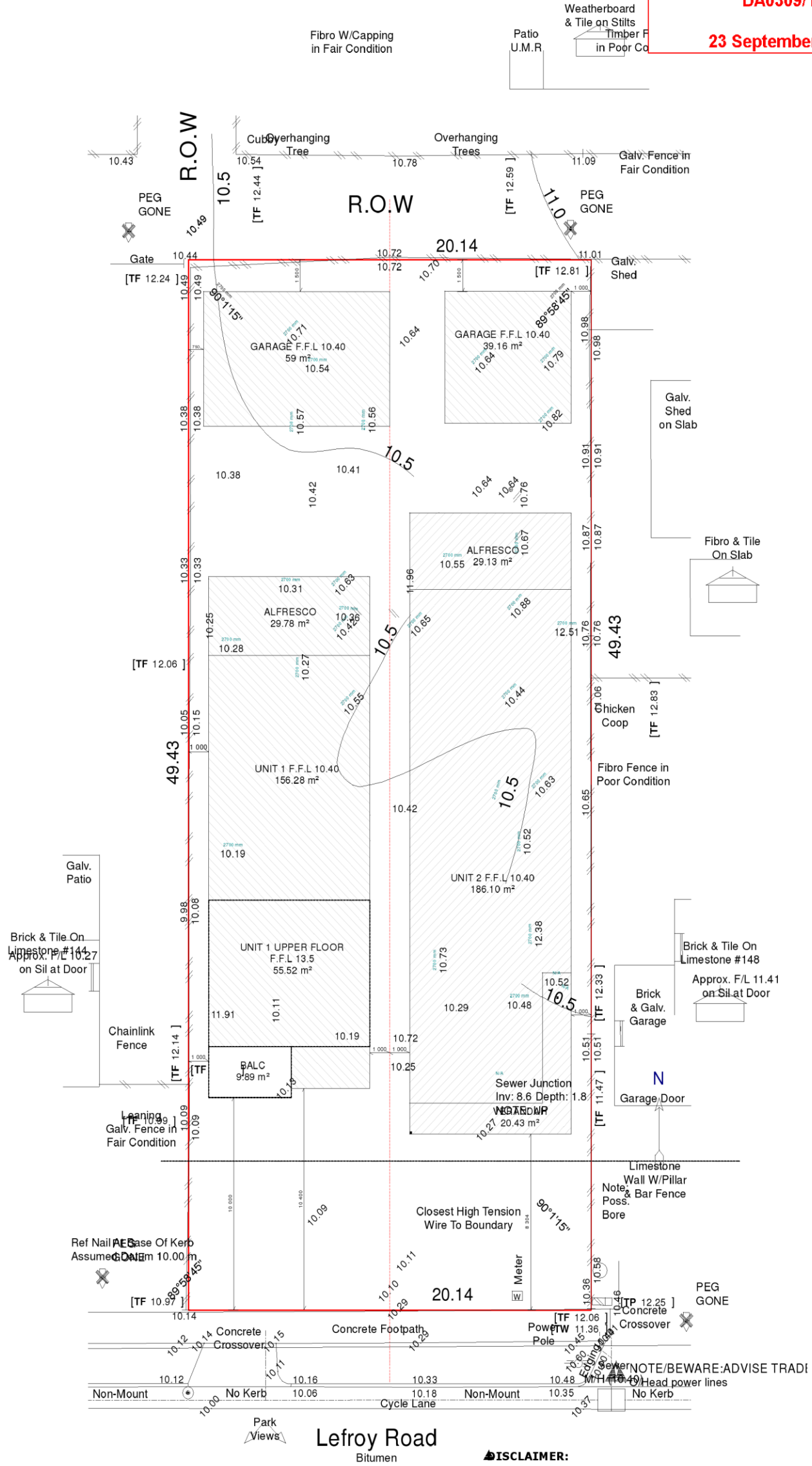
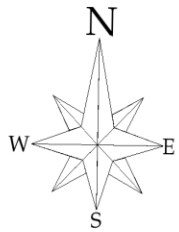
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PLANNING DRAWINGS		23/09/2019	RS		PAGE No: 3 of 8
REV 2					

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BUILDER MUST CHECK ALL DIMENSIONS ON THE SITE BEFORE COMMENCING ANY WORK				UNIT 1 GARAGE			
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	REV 2						

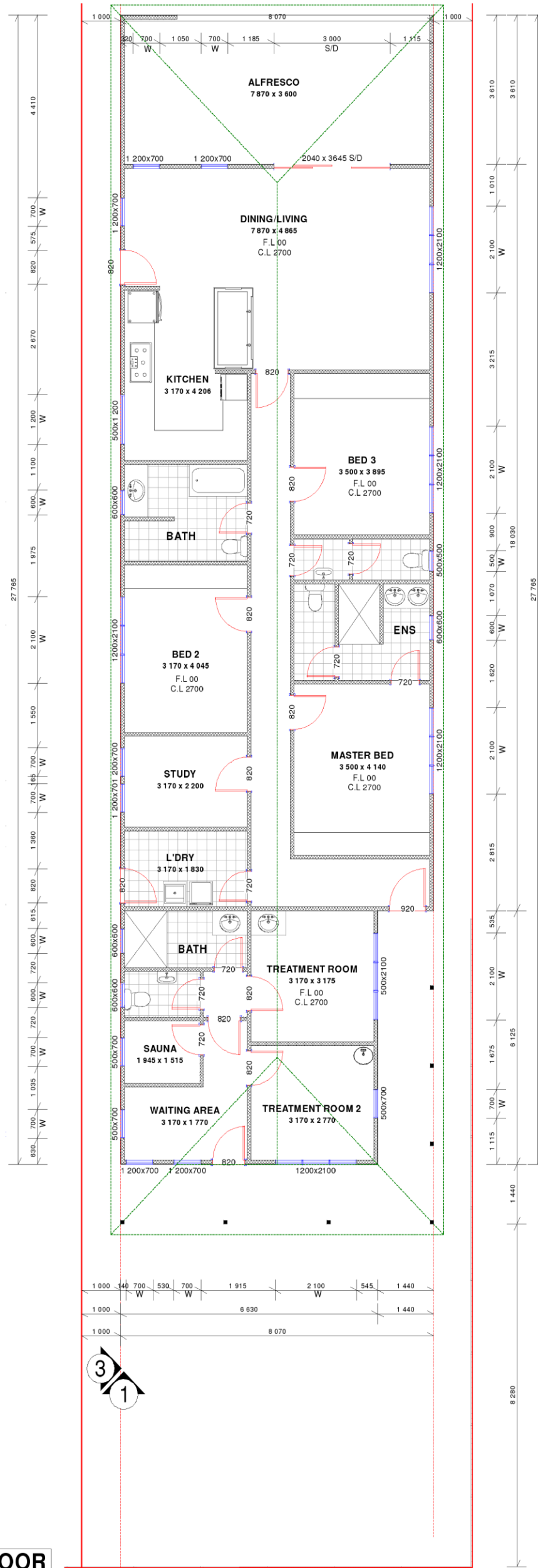
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DISCLAIMER:
HIGH TENSION POWER LINES. CHECK TITLE FOR EASEMENTS AND WESTERN POWER FOR SET-BACKS.

BUILDER MUST CHECK ALL DIMENSIONS ON THE SITE BEFORE COMMENCING ANY WORK				UNIT 2	
SCALE:	DATE	NAME	CLIENT:	JOB No:	1905
PLANNING DRAWINGS	23/09/2019	RS	Val Newman	PAGE No:	5 of 8
REV 2			ADDRESS: 146 Lefroy Road, Beaconsfield		

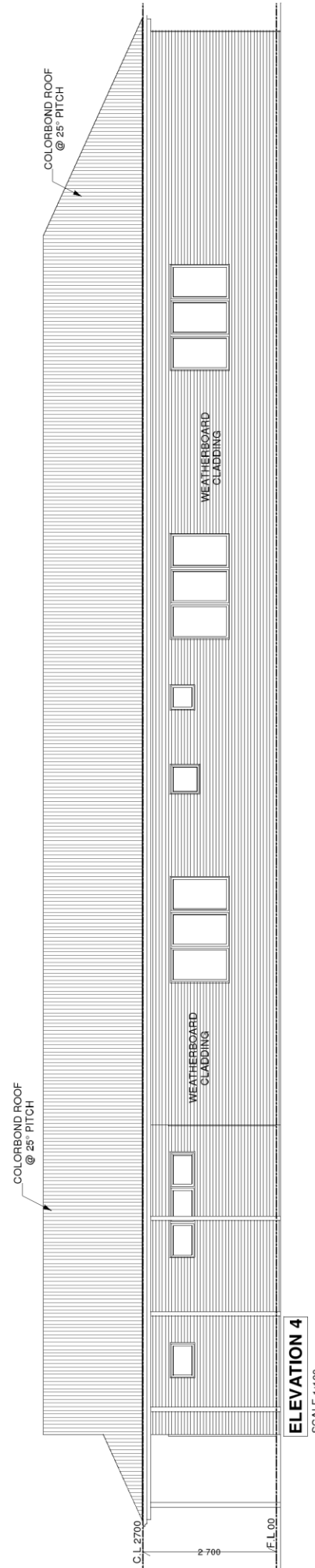
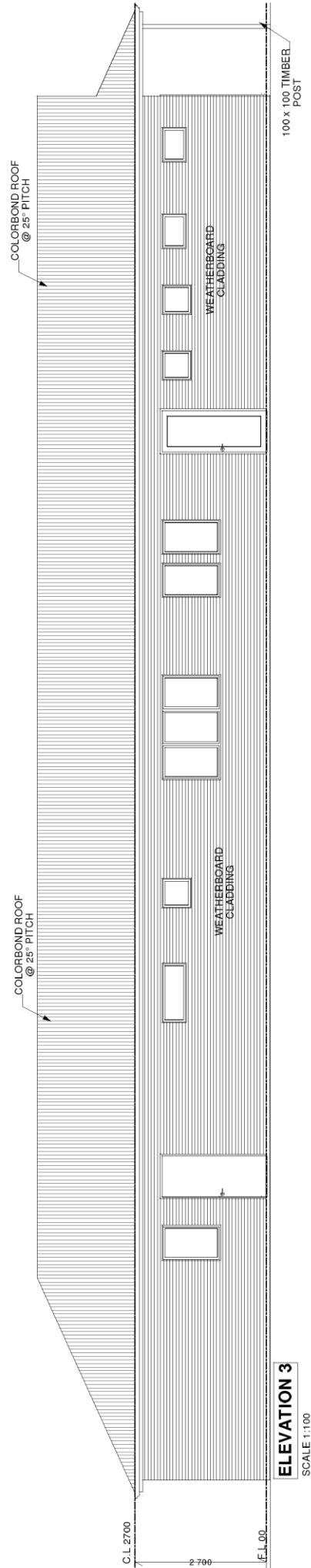
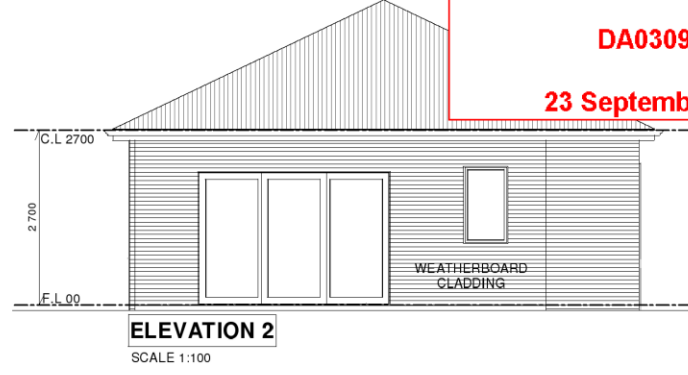
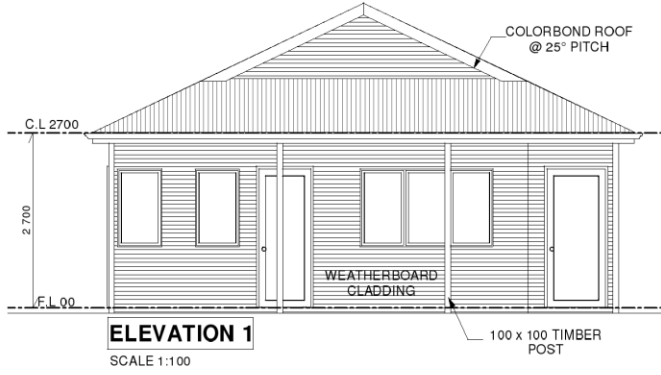
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These Revised Plans Form Part of
DA0309/19
23 September 2019



GROUND FLOOR
SCALE 1:100

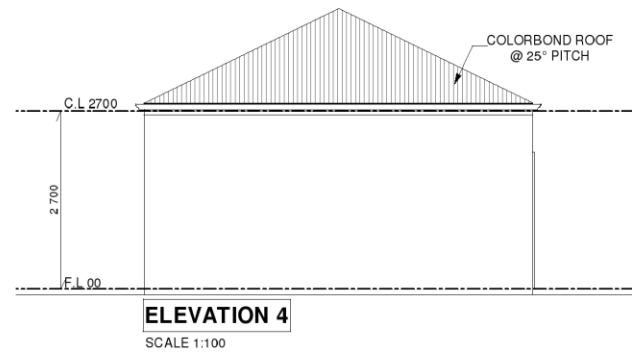
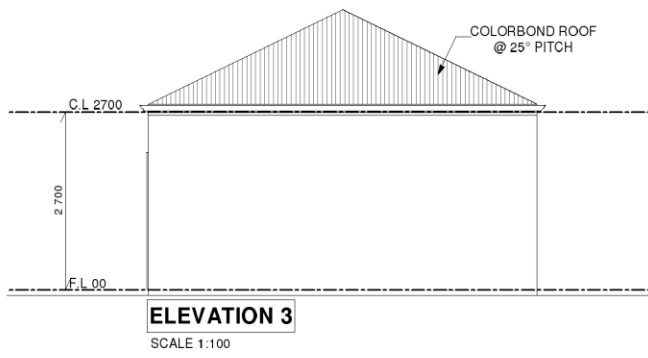
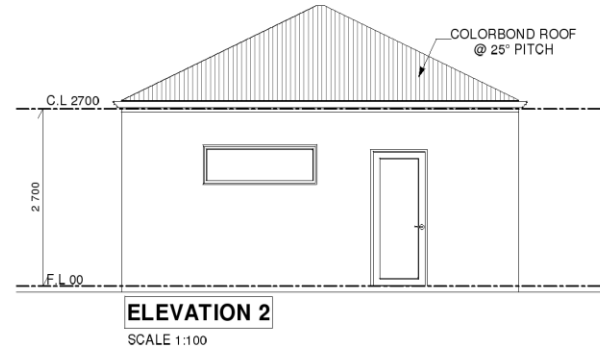
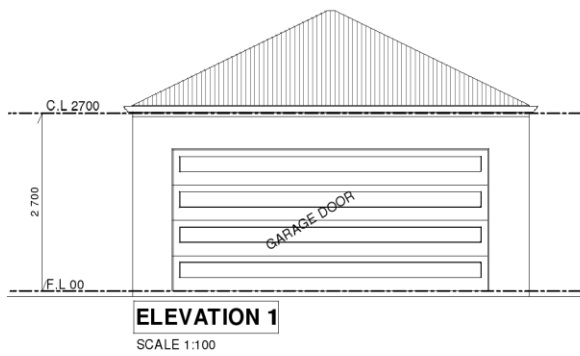
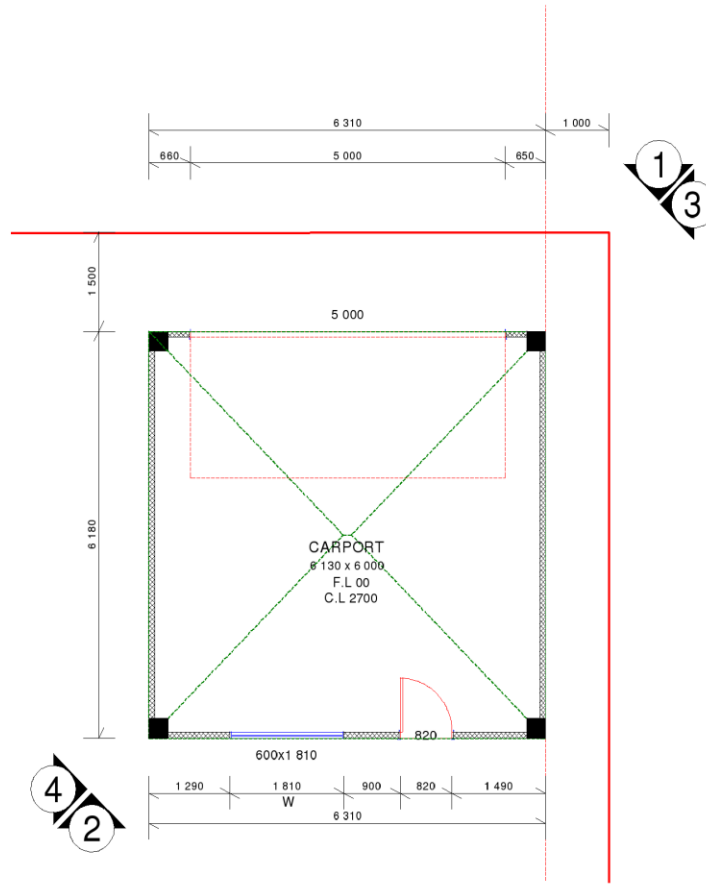
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SCALE:	DATE	NAME	CLIENT:	JOB NO.	1905
PLANNING DRAWINGS	23/09/2019	RS	Val Newman	PAGE NO.	6 of 8
REV 2			ADDRESS: 146 Lefroy Road, Beaconsfield		

CITY OF FREMANTLE
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DA0309/19
23 September 2019



BUILDER MUST CHECK ALL DIMENSIONS ON THE SITE BEFORE COMMENCING ANY WORK				UNIT 2	
SCALE: @ A1	DATE	NAME	CLIENT: Val Newman	JOB No:	1905
PLANNING DRAWINGS	23/09/2019	RS	ADDRESS: 146 Lefroy Road, Beaconsfield	PAGE No:	7 of 8
REV 2					

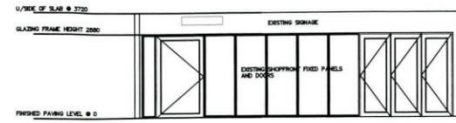
CITY OF FREMANTLE
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23 September 2019



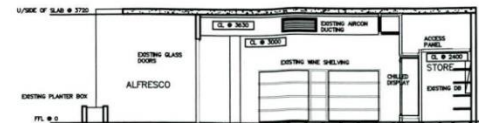
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PLANNING DRAWINGS		23/09/2019	RS		ADDRESS: 146 Lefroy Road, Beaconsfield	PAGE No:	8 of 8
REV 2							

PC1911 - 5 FREEMAN LOOP, NO. 19 (LOT 1), NORTH FREMANTLE - CHANGE OF USE FROM LIQUOR STORE TO TAVERN - (NB DA0315/19)
Agenda attachment 1 - Development Plans

CITY OF FREMANTLE
These Plans Form Part of
DA0315/19
23 Aug 2019



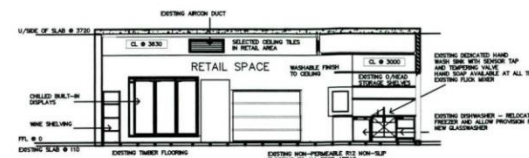
SECTION THROUGH ALFRESCO



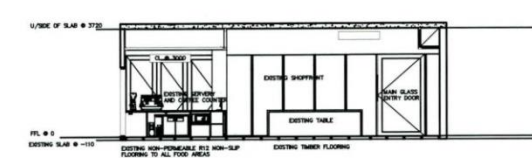
SECTION A-A



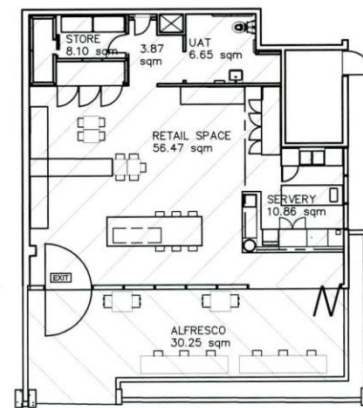
SECTION B-B



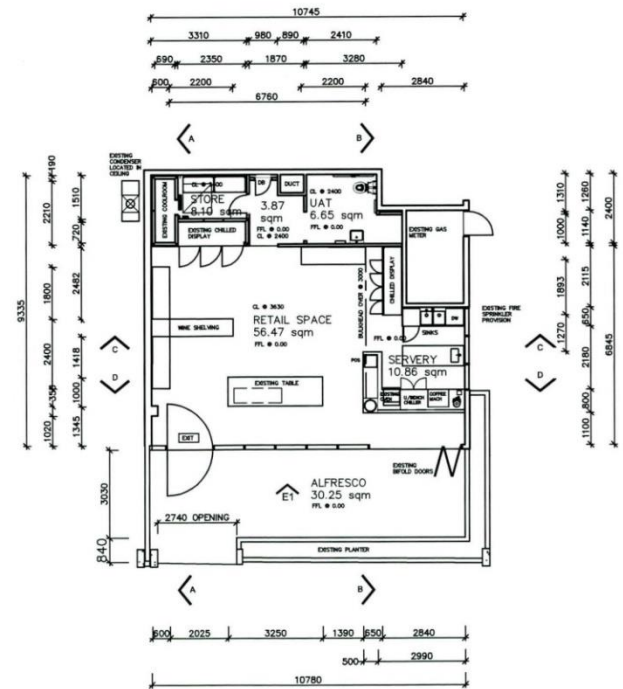
SECTION C-C



SECTION D-D



FLOOR PLAN - PROPOSED AND REDEFINED LICENCED AREA
1:50



FLOOR PLAN - AS BUILT
1:50



PROPOSED CHANGE OF USE TO 'TAVERN'
TENANCY 1 19 FREEMAN LOOP
LEIGHTON BEACH NORTH FREMANTLE
FLOOR PLAN, ELEVATION & SECTIONS

INTERNAL AREAS	
STORAGE	6.20 sqm
CIRCULATION	3.87 sqm
UAT	6.65 sqm
RETAIL	56.47 sqm
SERVERY	10.86 sqm
OTHER	5.65 sqm
TOTAL INTERNAL	89.70 sqm
ALFRESCO	30.25 sqm
TOTAL AREA	119.95 sqm
MAXIMUM PATRONS	25

R.A.F.
SCALE 1:50
AUGUST 2019

20190815-A-01 Rev 1

APPROX NORTH



ISSUED FOR REVIEW
DESCRIPTION
REV

070819 R.A.F.
DATE BY

PC1911 - 6 CHADWICK STREET, NO5A/B (LOT 1613), HILTON - DEMOLITION OF TWO GROUPED DWELLINGS - (TG PW0012/19)

Agenda attachment 1 - Development Plans



SA & B CHADWICK ST

CITY OF FREMANTLE
These Plans Form Part of

PW0012/19

9 Sept 2019



PC1911 - 7 COLLUCK STREET, NO. 28A/B (LOT 32), HILTON – DEMOLITION OF TWO GROUPED DWELLINGS - (TG PW0013/19)

Agenda attachment 1 - Development Plans



Government of Western Australia
Department of Communities

28 COLLICK ST HILTON



28A + B COLLYCK ST HILTON

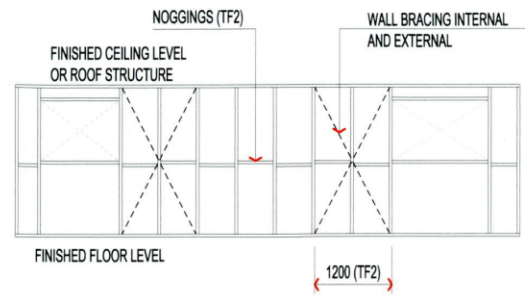
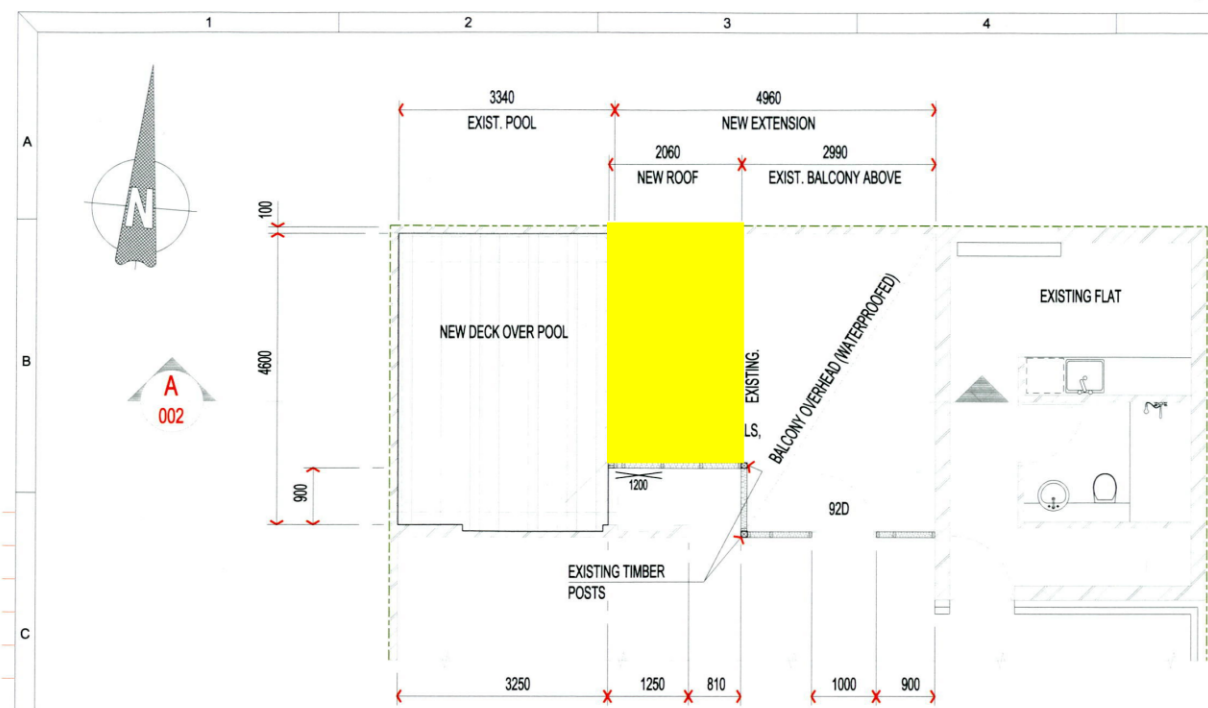


CITY OF FREMANTLE
These Plans Form Part of

PW0013/19

9 Sept 2019

CITY OF FREMANTLE
These Plans Form Part of
DA0357/19
18 Sept 2019



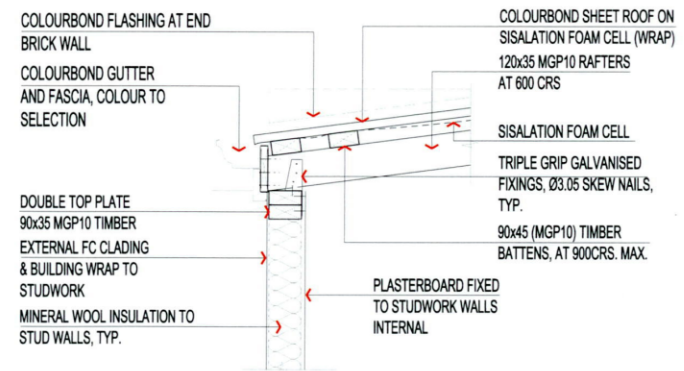
GENERAL NOTES

1. ALL DIMENSIONS ARE IN MILLIMETRES, LE
2. DRAWINGS ARE NOT TO BE SCALED, READ
3. FOR A3 PRINTING SCALES DOUBLE DUE TO
4. LEVELS (RLS) ARE TAKEN TO TOP OF STR

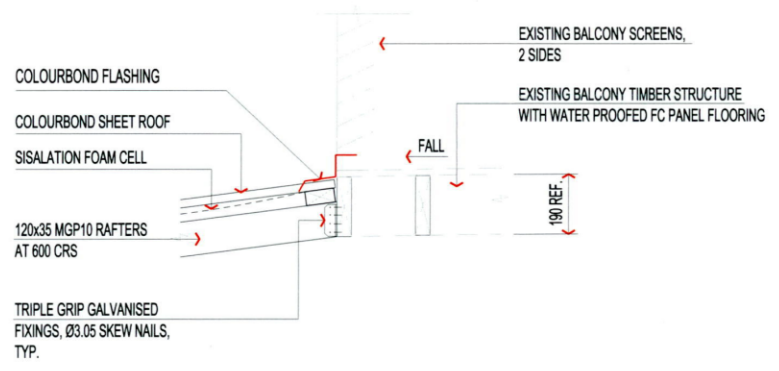
TIMBER FRAMING NOTES

- TF1 ROOF
 ROOF FRAMING ROOF FRAMING TO MING TO A 5% BL
 ROOF CROSS BRACINGS 30 X 0.8 MM G1 METAL STRAP (4-2.8 NAILS EACH END) AT WALL PLATE
 FIX TO INTERMEDIATE RAFTERS WITH 2 X 2.8 NAILS
- TF2 LOWER WALLS (2700 H)
 WALL STUDS 90 X 45 MGP10 STUDS AT 600 CTRS
 BOTTOM PLATE 90 X 45 MGP10
 TOP PLATE 2- 90 X 35 MGP10
 NOGGINGS AT 1350 MAX CRS
- TF3 MULTIPLE STUDS AT SIDES F OPENING DOUBLE STUDS FOR 1200 TO 2100 OPENINGS,
 TRIPLE STUDS UP TO 3000 & 4 STUDS UP TO 4000
- TF4 LINTELS - (UNLESS NOTED OTHERWISE)
 UPPER
 OPENINGS UP TO 1200 1600 2100 2500
 TIMBER 120 X 45 140 X 45 190 X 45 240 X 45
 LOWER
 OPENINGS UP TO 1200 1200
 TIMBER 140 X 45 REFER PLAN
 ALL LINTELS SHALL BE MGP10
- TF5 TIE DOWN
 PROVIDE M12 HD RODS EACH END OF BRACING WALLS
 UPPER FLOOR
 PROVIDE 1-M10 IBTG101201 POWERS BLUE TIP SCREW BOLT AT EACH END OF WALL FRAMES
 BRACE ENDS AND ADJACENT EVERY 2ND STUD PROVIDE 2-M10 IBTG101201 POWERS BLUE
 TIP SCREW BOLTS AT EITHER SIDE OF OPENINGS. 1800 DENOTES MIN LENGTH OF STRAP
 WALL BRACING PROVIDE STRAP WALL BRACING IN ACCORDANCE WITH TABLE 818 OF AS6842
 BRACING TO BE AS PER (G) kNm
- TF6 ADDITIONAL STUDS & NOGGINGS TO BE INSTALLED AS REQUIRED TO SUIT THE NCBL
 INSTALLATION REQUIREMENTS REFER MANUFACTURERS INSTRUCTIONS FOR DETAILS

PLAN - ROOFED EXTENSION
SCALE 1:50



DETAIL 5
SCALE 1:10



DETAIL 6
SCALE 1:10

DESIGN CRITERIA

1. DEAD, LIVE AND WIND LOADS TO AS1170.1 & AS1170.2
2. TC2, REGION A
3. BASIC WIND VELOCITY 2.1 m/s
4. STEEL SHEET ROOF

LEGEND

- TO BE DEMOLISHED
- NEW EXTENSION
- EXISTING BRICKWORK
- CONCRETE
- SITE BOUNDARY
- NEW STEEL BEAMS
- NEW STUDWORK
- DENOTES STRIP BRACING LENGTH



NOTES:

Rev	Date	Description
0	AUG 19	AFC
A	JULY 19	ISSUED FOR REVIEW

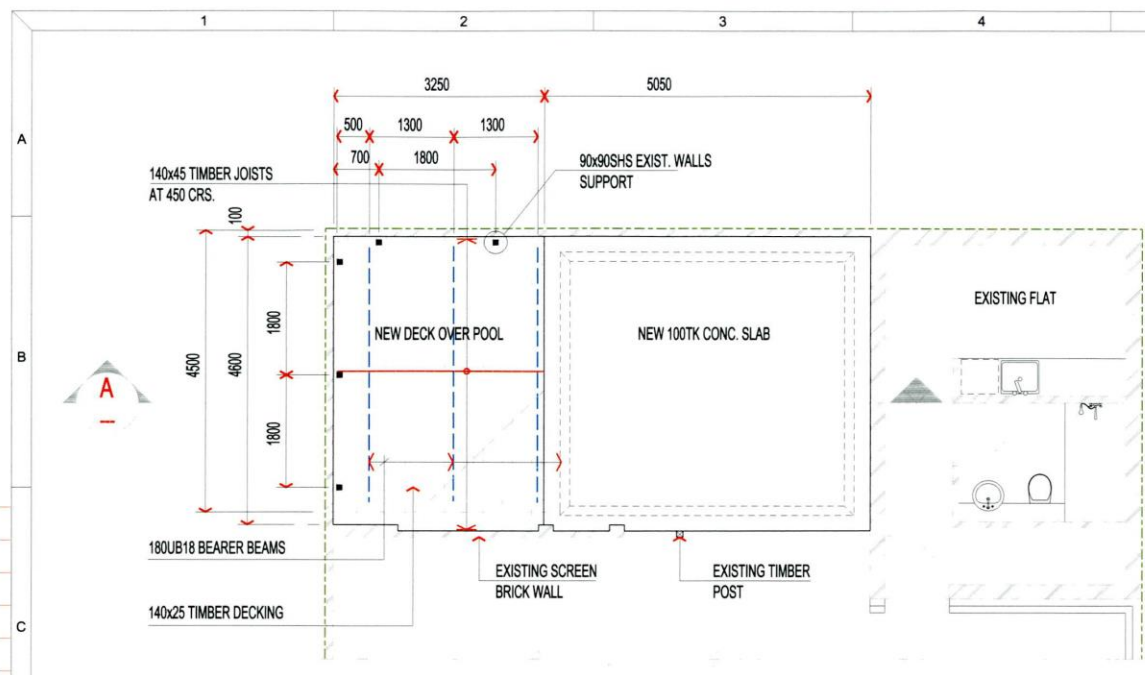
Draftsperson	Engineer
D. ESPINOZA	JUSTIN KELLY
Project Manager	Client

DRAWINGS MUST BE CHECKED, APPROVED AND SIGNED OFF PRIOR TO MANUFACTURE BY THE PROJECT MANAGER, ENGINEER AND BUILDER.

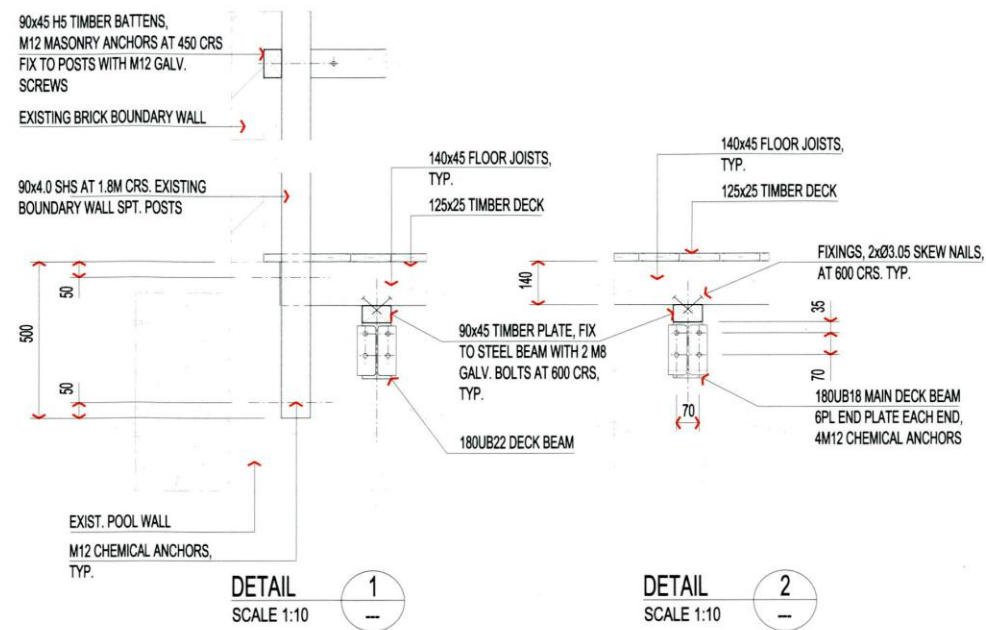
Project	EXTENSIONS, MODIFICATIONS & NEW PERMANENT STRUCTURAL COVER TO EXISTING POOL AT 6 ROSE STREET SOUTH FRMANTLE, WA 6162		
Title	WALLS & ROOF, PLAN - SECTIONS AND DETAILS		
Drawing Number	ROSE003P/0	Sheet	1
Revision		Revision	0

JUSTIN KELLY
MIEAUST #2425643

CITY OF FREMANTLE
These Plans Form Part of
DA0357/19
18 Sept 2019

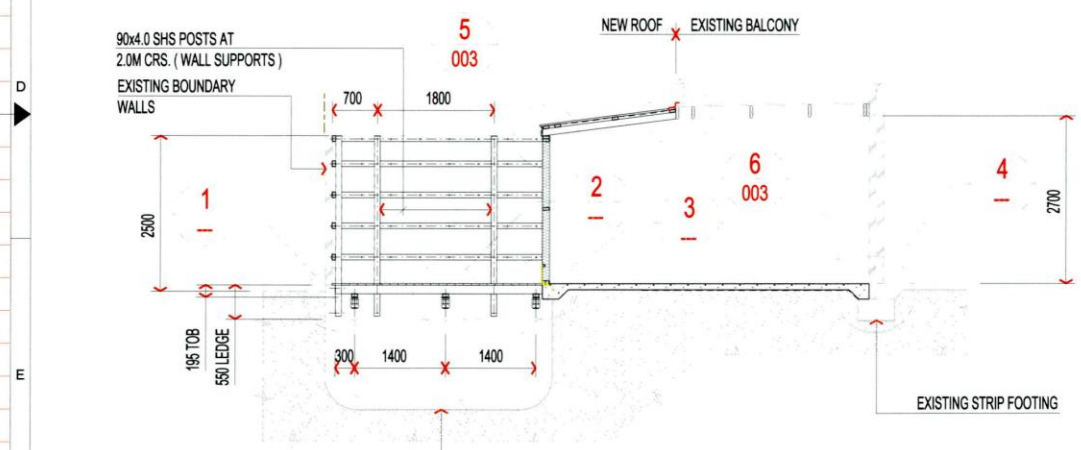


DETAIL 1
SCALE 1:50

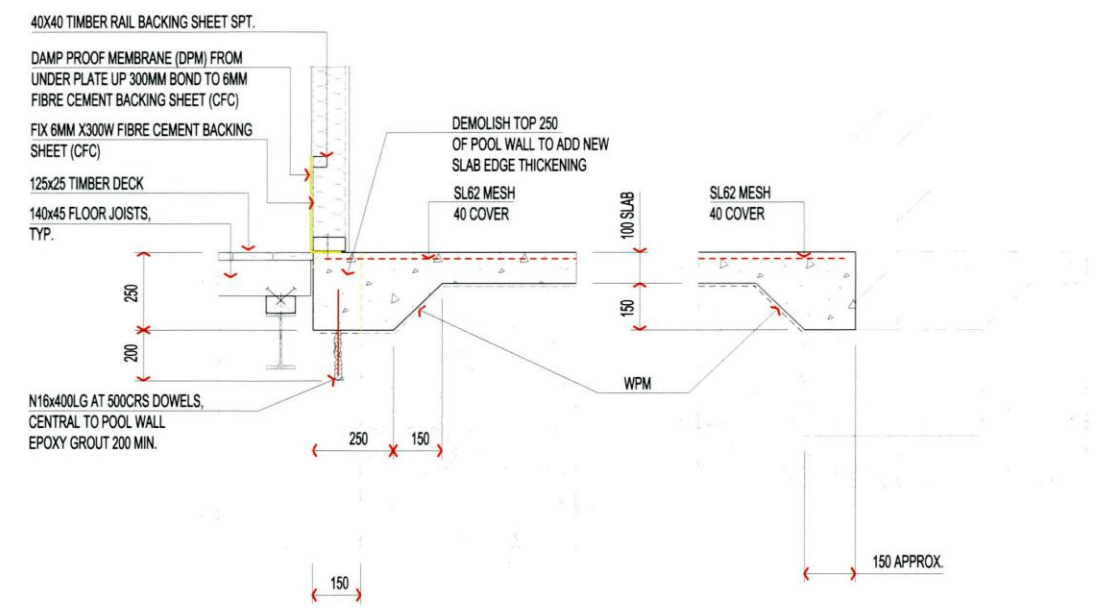


DETAIL 1
SCALE 1:10

DETAIL 2
SCALE 1:10



SECTION A
SCALE 1:50



DETAIL 3
SCALE 1:10

DETAIL 4
SCALE 1:10

- GENERAL**
- ALL DIMENSIONS TO FACE UNLESS OTHERWISE SPECIFIED
 - ALL STEELWORK TO BE GALVANNEAL
 - MATERIAL UNO TO BE GRADE 250 HOT ROLLED PLATES TO AS 3678
 - HOT ROLLED TFB TO AS 3679.1
 - WELDING TO COMPLY WITH AS1554 PARTS 1 AND 2
 - EXTERNAL STEELWORK TREATMENT TO CONFORM WITH AS/NZS 2312
 - ALL STEELWORK IN CONTACT WITH GROUND IS TO HAVE 2 COATS OF HIGH BUILD EXTERNAL EPOXY, 0.15 TO 0.2mm THICKNESS
 - ALL TIMBER WORK TO BE IN ACCORDANCE WITH THE NATIONAL TIMBER FRAMING CODE AS1684
 - FOOTINGS AND SLABS TO COMPLY WITH AS2870
 - ALL CONCRETE TO COMPLY WITH AS 3600 & PRE-MIXED FROM AN APPROVED SUPPLIER.
 - FOOTINGS GRADE N20, MAX AGG SIZE 20mm, SLUMP 80mm
 - SLABS GRADE N20, MAX AGG SIZE 20mm, SLUMP 80mm
 - ALL TIMBER GRADE MGP10 H3 UNO
 - SITE CLASSIFICATION - SOIL CLASS 'A' IN ACCORDANCE WITH AS2870 BASED ON LOCAL KNOWLEDGE OF THE SITE'S GEOLOGY
 - DESIGN CRITERIA
1) WIND REGION A, TC3
2) ALL LOADINGS INCLUDING BALUSTRADES TO AS 1170.1

- LEGEND**
- TO BE DEMOLISHED
 - NEW BRICKWORK
 - EXISTING BRICKWORK
 - CONCRETE
 - SITE BOUNDARY
 - NEW STEEL BEAMS
 - NEW STUDWORK



Kelly Structural Design
Engineering & Drafting

NOTES:

Rev	Date	Description	Drawn	Checked
0	AUG 19	AFC	D. ESPINOZA	JUSTIN KELLY
B	JULY 19	REVISED TO CLIENT REVIEW	D. ESPINOZA	JUSTIN KELLY
A	JULY 19	ISSUED FOR REVIEW	D. ESPINOZA	JUSTIN KELLY

DRAWINGS MUST BE CHECKED, APPROVED AND SIGNED OFF PRIOR TO MANUFACTURE BY THE PROJECT MANAGER, ENGINEER AND BUILDER.

Project: EXTENSIONS, MODIFICATIONS & NEW PERMANENT STRUCTURAL COVER TO EXISTING POOL AT 6 ROSE STREET SOUTH FRMANTLE, WA 6162
Title: PLAN SECTIONS AND DETAILS
Drawing Number: ROSE002P/0
Sheet: 2
Revision: 0

JUSTIN KELLY
MIEAUST # 2425643

CITY OF FREMANTLE
These Plans Form Part of
DA0357/19
18 Sept 2019

GENERAL NOTES

GENERAL
G.1 THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL OTHER CONSULTANTS DRAWINGS AND CONTRACT SPECIFICATIONS, ALL DISCREPANCIES SHALL BE REFERRED TO THE ENGINEER FOR DECISION BEFORE PROCEEDING WITH WORK.
G.2 DO NOT SCALE FROM THE DRAWINGS.
G.3 REFER TO ARCHITECTURAL DRAWINGS FOR SETTING OUT DETAILS
G.4 ALL WORK TO COMPLY WITH THE LATEST SAA CODES AND AMENDMENTS
G.5 THE BUILDER SHALL ENSURE STABILITY OF STRUCTURE DURING ALL PHASES OF CONSTRUCTION
G.6 ALL DIMENSIONS EXPRESSED IN MILLIMETRES (MM)

FOUNDATIONS, FOOTINGS AND SLABS ON GROUND
F.1 ALL HAVE BEEN DESIGNED TO AS2870.
F.2 PROOF COMPACT THE NATURAL GROUND TO ACHIEVE 8 BLOWS PER 300MM TO DEPTH OF 750MM WHEN TESTED WITH A STANDARD PERTH SAND PENETROMETER
F.3 LOCATE FOOTINGS CENTRALLY UNDER WALLS AND COLUMNS UNO
F.4 PROVIDE AND APPROVED MOISTURE PROOF MEMBRANE TO THE UNDERSIDE OF ALL SLABS ON GROUND
F.5 STEP FOOTINGS UNDER AND PLUMBING PIPES OF CONDUITS MAINTAINING THE SPECIFIED DEPTH AT ALL TIMES
F.6 PLACE CLEAN COMPACTED SAND FILL AS SPECIFIED TO ACHIEVE THE REQUIRED FINISHED GROUND AND FLOOR LEVELS

TIMBER
T.1 ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH AS 1720.1 SAA TIMBER STRUCTURES CODE AND AS 1684 NATIONAL TIMBER FRAMING CODE.
T.2 WASHERS SHALL BE PROVIDED UNDER ALL NUTS AND BOLT HEADS BEARING AGAINST TIMBER IN ACCORDANCE WITH THE FOLLOWING:
BOLT SIZE WASHER
UP TO M12 50X50X3.0MM
M16 57X57X4.0MM
M20 65X65X5.0MM
OVER M20 75X75X6.0MM
T.3 ALL TIMBER EXPOSED TO THE WEATHER, DAMP ENVIRONMENTS OR PESTS (WHITE ANTS) TO BE TREATED WITH AN APPROVED PEST RESISTING AND WOOD PRESERVING COMPOUND ON ALL FACES, ENDS AND NOTCHES
T.4 ROOF FRAMING TO COMPLY WITH AS1684.2 RESIDENTIAL TIMBER FRAMED CONSTRUCTION FOR N2 WIND CLASSIFICATION (W33)
TF.5 NOMINAL FIXINGS SHALL COMPLY WITH TABLE 9.4 OF AS 1684.2, UNI
TF.6 PROVIDE SPECIFIC TIE-DOWN FIXING REQUIREMENTS AS ACCORDANCE WITH TABLE 9.7 OF AS 1684.4-1999

TIMBER FRAMING
TF1. ROOF
ROOF FRAMING ROOF FRAMING TO
ROOF CROSS BRACING 30 X 0.8MM G.I. METAL STRIP (4 - 2.8 NAILS EACH END) AT WALL PLATE, FIX TO INTERMEDIATE RAFTERS WITH 2 X 2.8 NAILS
TF2. LOWER WALLS (2700 H)
WALL STUDS 90 X 45 MGP10 STUDS AT 600 CTRS
BOTTOM PLATE 90 X 45 MGP10
TOP PLATE 90 X 35 MGP10
NOGGINGS AT 1350 CTRS

TF4. MULTIPLE STUDS AT SIDES OF OPENING DOUBLE STUDS FOR 1200 TO 2700 OPENINGS, TRIPLE STUDS UP TO 3000 AND 4 STUDS UP TO 4000






TF5. LINTELS - (UNO)
UPPER
OPENINGS UP TO 1200 1600 2100 2500
TIMBER 120 X 45 140 X 45 190 X 45 240 X 45
LOWER
OPENINGS UP TO 1200 +1200
TIMBER 120 X 45 REFER TO PLAN
ALL LINTELS SHALL BE MPG10

TF6. TIE DOWN
GROUND FLOOR - PROVIDE 1-M10 (BTG10120) "POWERS" BLUE-TIP SCREW BOLT AT EACH END OF WALL FRAMES. BRACE ENDS AND ADJACENT EVERY 2ND STUD. PROVIDE 2 - M10 "POWERS" BLUE-TIP SCREW BOLTS AT EITHER SIDE OF OPENINGS

TF7. 1800 DENOTES MINIMUM LENGTH OF STRAP WALL BRACING. PROVIDE STRAP WALL BRACING IN ACCORDANCE WITH TABLE 8.18 OF AS1684.0 BRACING AS PER - 3KN/M.

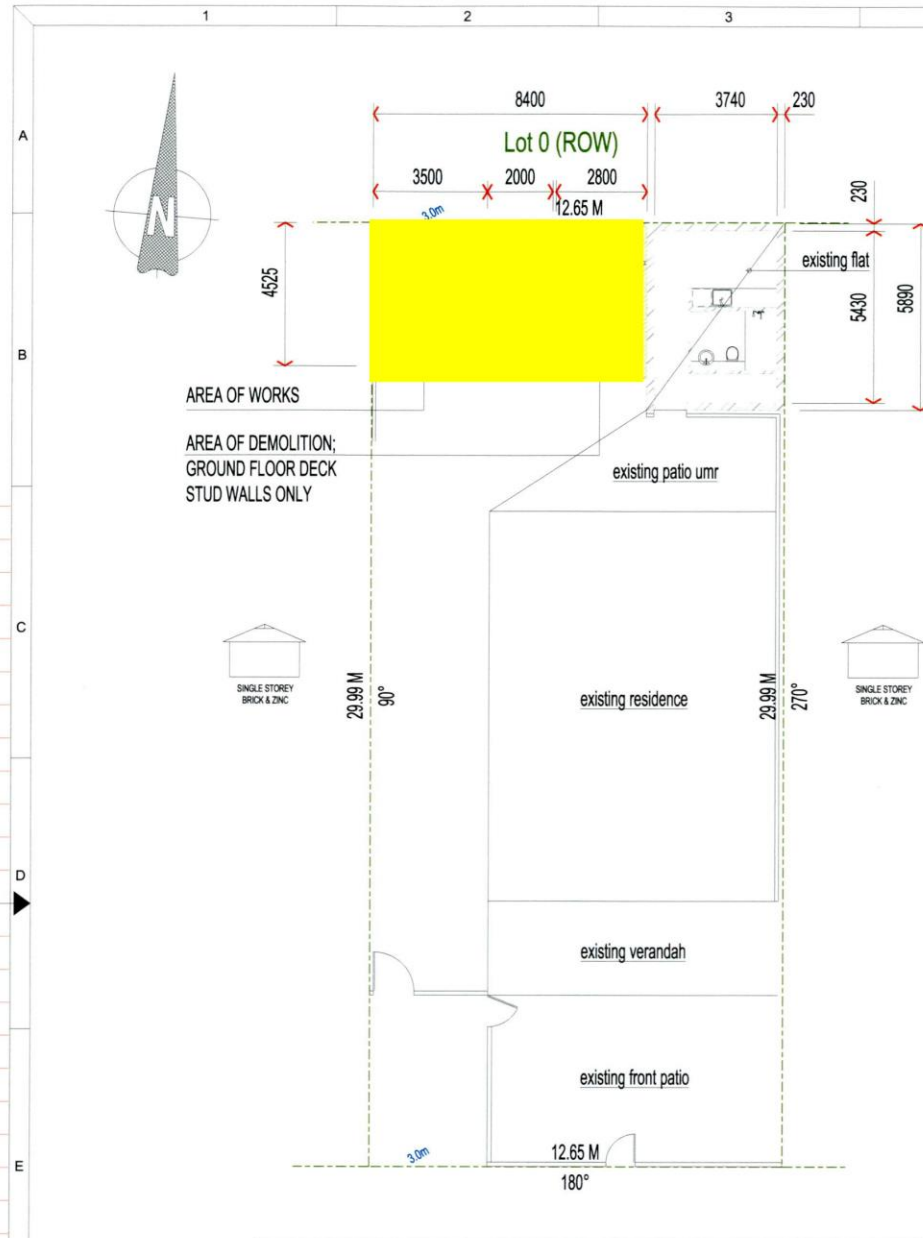
DESIGN CRITERIA
DC.1 IMPOSED LOADS HAVE BEEN CALCULATED IN ACCORDANCE WITH AS 1170.1 'PERMANENT, IMPOSED AND OTHER ACTIONS' AND ARE THE FOLLOWING
ROOF = 0.25KPA
FLOORS = 1.5KPA
DC.2 WIND LOADS HAVE BEEN CALCULATED IN ACCORDANCE WITH AS4055-2006 'WIND LOADS FOR HOUSING' AND THE FOLLOWING CRITERIA:
WIND CLASSIFICATION = N2

LEGEND

-  TO BE DEMOLISHED
-  EXTENT OF NEW WORKS
-  EXISTING BRICKWORK
-  EXISTING RESIDENCE OUTLINE
-  PROPERTY BOUNDARY

PROPERTY DETAILS

Address :
**6 ROSE STREET,
SOUTH FREMANTLE WA 6162**
Lot 21
Property Number 6796
Property Status Current
Property Type Residential - Improved
Strata Lot
Strata Plan
Volume / Folio 1813 / 342
Land Area 379m²
Landgate Polygon No. 276170



ROSE STREET
SITE PLAN - EXISTING
SCALE 1:100



Kelly Structural Design
Engineering & Drafting

NOTES:

Rev	Date	Description	Draftsperson	Engineer
0	AUG 19	AFC	D. ESPINOZA	JUSTIN KELLY
A	MAY 19	ISSUED FOR REVIEW		

Please check scale bar before scaling this drawing

DRAWINGS MUST BE CHECKED, APPROVED AND SIGNED OFF PRIOR TO MANUFACTURE BY THE PROJECT MANAGER, ENGINEER AND BUILDER.

Project EXTENSIONS, MODIFICATIONS & NEW PERMANENT STRUCTURAL COVER TO EXISTING POOL AT 6 ROSE STREET SOUTH FREMANTLE, WA 6162

Title SITE LAYOUT AND NOTES

Drawing Number ROSE001P/0 Sheet 1 Revision 0

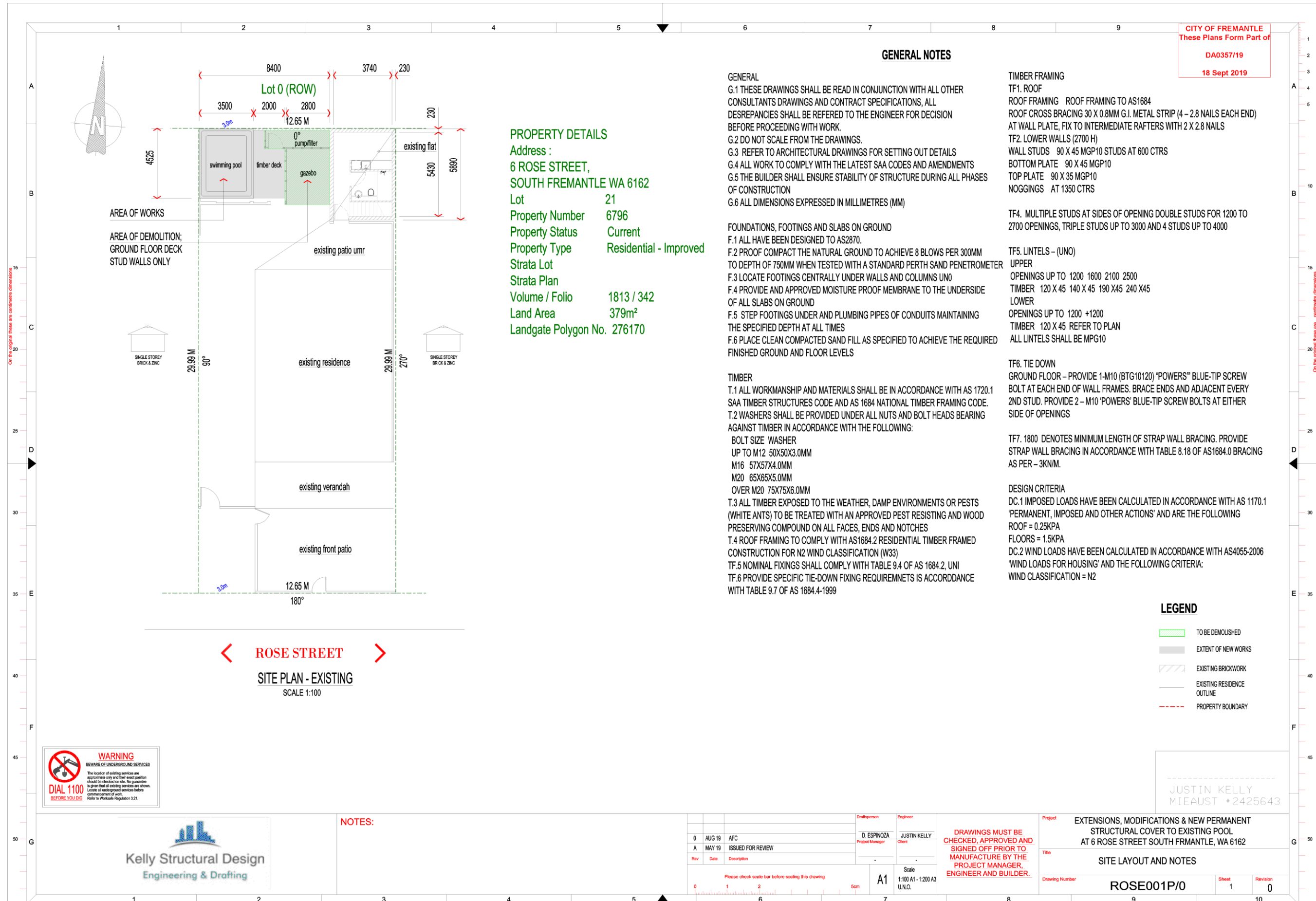
JUSTIN KELLY
MIEAUST #2425643

CITY OF FREMANTLE
These Plans Form Part of
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18 Sept 2019

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- TIMBER**
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T.6 PROVIDE SPECIFIC TIE-DOWN FIXING REQUIREMENTS IS ACCORDANCE WITH TABLE 9.7 OF AS 1684.4-1999
- TIMBER FRAMING**
TF1. ROOF
ROOF FRAMING ROOF FRAMING TO AS1684
ROOF CROSS BRACING 30 X 0.8MM G.I. METAL STRIP (4 - 2.8 NAILS EACH END) AT WALL PLATE, FIX TO INTERMEDIATE RAFTERS WITH 2 X 2.8 NAILS
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WALL STUDS 90 X 45 MGP10 STUDS AT 600 CTRS
BOTTOM PLATE 90 X 45 MGP10
TOP PLATE 90 X 35 MGP10
NOGGINGS AT 1350 CTRS
- TF4. MULTIPLE STUDS AT SIDES OF OPENING DOUBLE STUDS FOR 1200 TO 2700 OPENINGS, TRIPLE STUDS UP TO 3000 AND 4 STUDS UP TO 4000
- TF5. LINTELS - (UNO)
UPPER
OPENINGS UP TO 1200 1600 2100 2500
TIMBER 120 X 45 140 X 45 190 X 45 240 X 45
LOWER
OPENINGS UP TO 1200 +1200
TIMBER 120 X 45 REFER TO PLAN
ALL LINTELS SHALL BE MPG10
- TF6. TIE DOWN
GROUND FLOOR - PROVIDE 1-M10 (BTG10120) 'POWERS' BLUE-TIP SCREW BOLT AT EACH END OF WALL FRAMES. BRACE ENDS AND ADJACENT EVERY 2ND STUD. PROVIDE 2 - M10 'POWERS' BLUE-TIP SCREW BOLTS AT EITHER SIDE OF OPENINGS
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FLOORS = 1.5KPA
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WIND CLASSIFICATION = N2

PROPERTY DETAILS
Address :
6 ROSE STREET,
SOUTH FREMANTLE WA 6162
Lot 21
Property Number 6796
Property Status Current
Property Type Residential - Improved
Strata Lot
Strata Plan
Volume / Folio 1813 / 342
Land Area 379m²
Landgate Polygon No. 276170



ROSE STREET
SITE PLAN - EXISTING
SCALE 1:100

- LEGEND**
- TO BE DEMOLISHED
 - EXTENT OF NEW WORKS
 - EXISTING BRICKWORK
 - EXISTING RESIDENCE OUTLINE
 - PROPERTY BOUNDARY



Kelly Structural Design
Engineering & Drafting

NOTES:

0	AUG 19	AFC	Draftsperson	D. ESPINOZA	Engineer	JUSTIN KELLY
A	MAY 19	ISSUED FOR REVIEW	Project Manager		Client	
Rev	Date	Description				

DRAWINGS MUST BE CHECKED, APPROVED AND SIGNED OFF PRIOR TO MANUFACTURE BY THE PROJECT MANAGER, ENGINEER AND BUILDER.

Project EXTENSIONS, MODIFICATIONS & NEW PERMANENT STRUCTURAL COVER TO EXISTING POOL AT 6 ROSE STREET SOUTH FREMANTLE, WA 6162

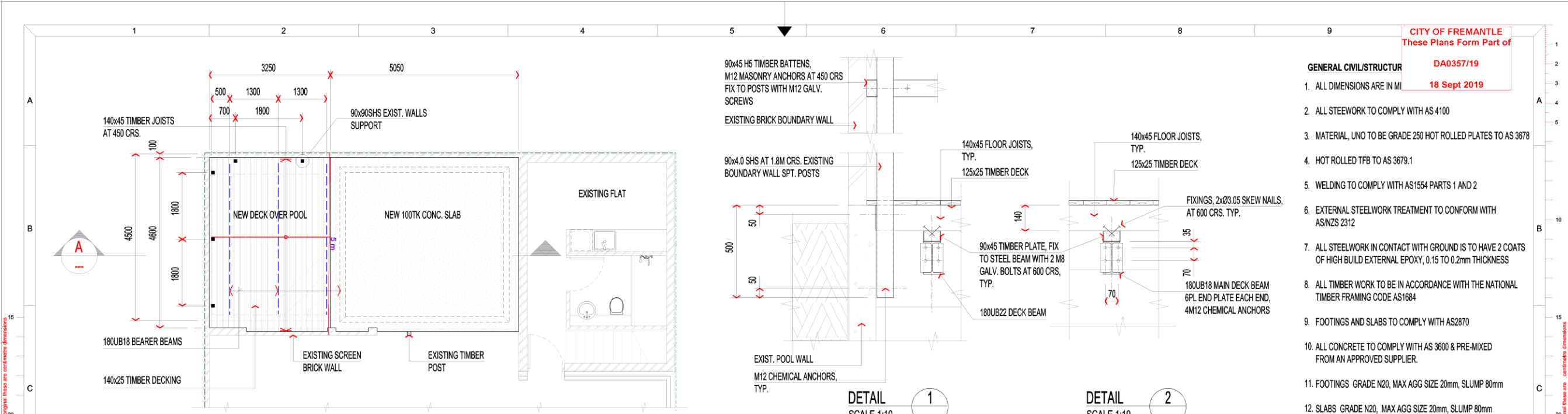
Title SITE LAYOUT AND NOTES

Drawing Number ROSE001P/0 Sheet 1 Revision 0

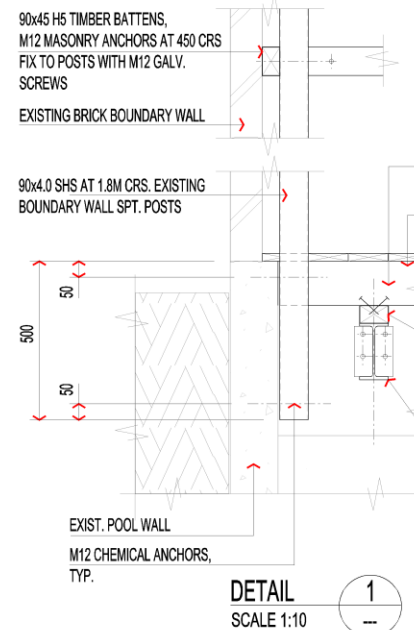


Scale 1:100 A1 - 1:200 A3 U.N.O.

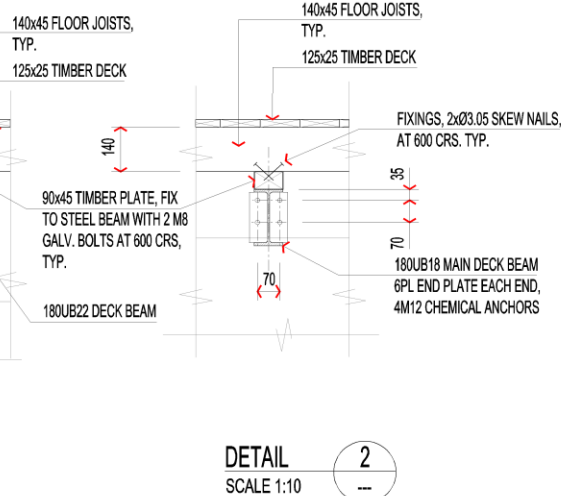
CITY OF FREMANTLE
These Plans Form Part of
GENERAL CIVIL/STRUCTUR DA0357/19
18 Sept 2019



DETAIL 1
SCALE 1:50

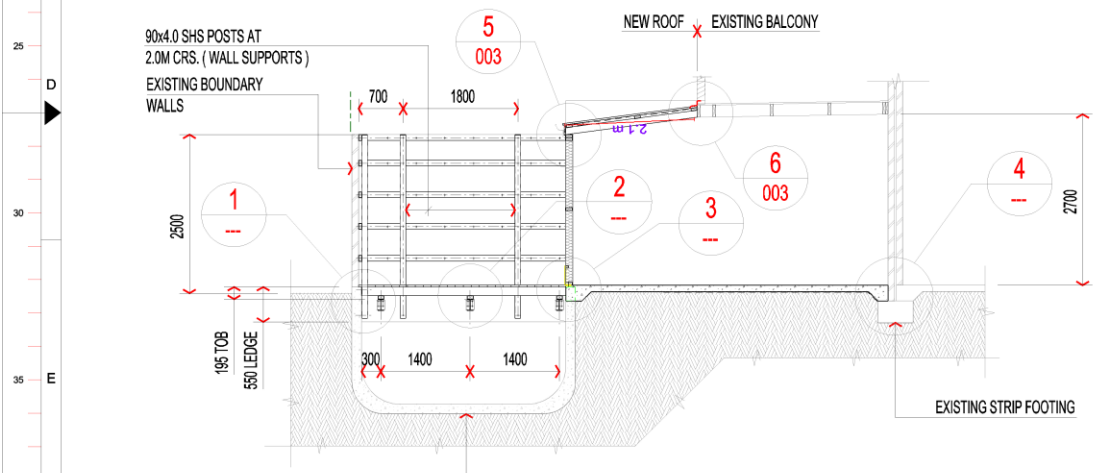


DETAIL 1
SCALE 1:10

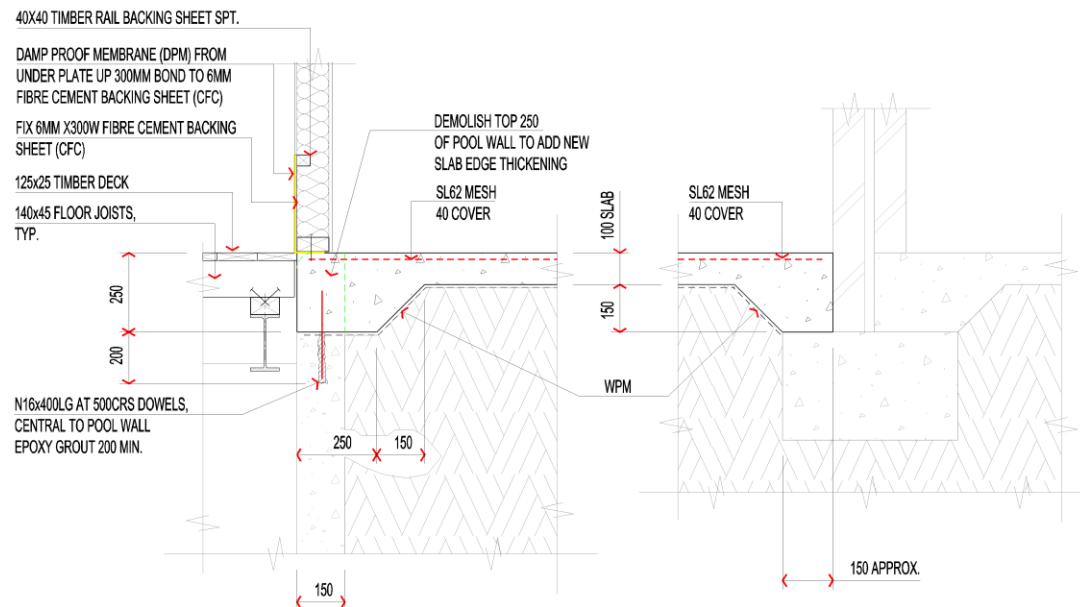


DETAIL 2
SCALE 1:10

- ALL DIMENSIONS ARE IN MILLIMETERS
- ALL STEELWORK TO COMPLY WITH AS 4100
- MATERIAL, UNO TO BE GRADE 250 HOT ROLLED PLATES TO AS 3678
- HOT ROLLED TFB TO AS 3679.1
- WELDING TO COMPLY WITH AS1554 PARTS 1 AND 2
- EXTERNAL STEELWORK TREATMENT TO CONFORM WITH ASINZS 2312
- ALL STEELWORK IN CONTACT WITH GROUND IS TO HAVE 2 COATS OF HIGH BUILD EXTERNAL EPOXY, 0.15 TO 0.2mm THICKNESS
- ALL TIMBER WORK TO BE IN ACCORDANCE WITH THE NATIONAL TIMBER FRAMING CODE AS1684
- FOOTINGS AND SLABS TO COMPLY WITH AS2870
- ALL CONCRETE TO COMPLY WITH AS 3600 & PRE-MIXED FROM AN APPROVED SUPPLIER.
- FOOTINGS GRADE N20, MAX AGG SIZE 20mm, SLUMP 80mm
- SLABS GRADE N20, MAX AGG SIZE 20mm, SLUMP 80mm
- ALL TIMBER GRADE MGP10 H3 UNO
- SITE CLASSIFICATION
- SOIL CLASS 'A' IN ACCORDANCE WITH AS2870 BASED ON LOCAL KNOWLEDGE OF THE SITE'S GEOLOGY
- DESIGN CRITERIA
1) WIND REGION A, TC3
2) ALL LOADINGS INCLUDING BALUSTRADES TO AS 1170.1



SECTION A
SCALE 1:50



DETAIL 3
SCALE 1:10

DETAIL 4
SCALE 1:10

LEGEND

- TO BE DEMOLISHED
- NEW BRICKWORK
- EXISTING BRICKWORK
- CONCRETE
- SITE BOUNDARY
- NEW STEEL BEAMS
- NEW STUDWORK

JUSTIN KELLY
MIEAUST #2425643



NOTES:

Rev	Date	Description	Drawn	Checked	Engineer
0	AUG 19	AFC			
B	JULY 19	REVISED TO CLIENT REVIEW	D. ESPINOZA		JUSTIN KELLY
A	JULY 19	ISSUED FOR REVIEW			

DRAWINGS MUST BE CHECKED, APPROVED AND SIGNED OFF PRIOR TO MANUFACTURE BY THE PROJECT MANAGER, ENGINEER AND BUILDER.

Project EXTENSIONS, MODIFICATIONS & NEW PERMANENT STRUCTURAL COVER TO EXISTING POOL AT 6 ROSE STREET SOUTH FRMANTLE, WA 6162

Title PLAN SECTIONS AND DETAILS

Drawing Number ROSE002P/0 Sheet 2 Revision 0



CITY OF FREMANTLE
These Plans Form Part of
DA0357/19
18 Sept 2019

GENERAL NOTES

1. ALL DIMENSIONS ARE IN MILLIMETRES, LEVELS AND BOUND...
2. DRAWINGS ARE NOT TO BE SCALED, READ DIMENSIONS SHC...
3. FOR A3 PRINTING SCALES DOUBLE DUE TO PRINTING REDUCTION
4. LEVELS (RL'S) ARE TAKEN TO TOP OF STRUCTURE
IE: TOP OF SLAB

TIMBER FRAMING NOTES

- TF1 ROOF
ROOF FRAMING ROOF FRAMING TO MING TO A 5% BL
ROOF CROSS BRACINGS 30 X 0.8 MM G1 METAL STRAP (4-2.8 NAILS EACH END) AT WALL PLATE
FIX TO INTERMEDIATE RAFTERS WITH 2 X 2.8 NAILS

- TF2 LOWER WALLS (2700 H)
WALL STUDS 90 X 45 MGP10 STUDS AT 600 CTRS
BOTTOM PLATE 90 X 45 MGP10
TOP PLATE 2-90 X 35 MGP10
NOGGINGS AT 1350 MAX CRS

- TF3 MULTIPLE STUDS AT SIDES F OPENING DOUBLE STUDS FOR 1200 TO 2100 OPENINGS,
TRIPLE STUDS UP TO 3000 & 4 STUDS UP TO 4000

- TF4 LINTELS - (UNLESS NOTED OTHERWISE)
UPPER
OPENINGS UP TO 1200 1600 2100 2500
TIMBER 120 X 45 140 X 45 190 X 45 240 X 45
LOWER
OPENINGS UP TO 1200 1200
TIMBER 140 X 45 REFER PLAN
ALL LINTELS SHALL BE MGP10

- TF5 TIE DOWN
PROVIDE M12 HD RODS EACH END OF BRACING WALLS
UPPER FLOOR
PROVIDE 1-M10 IBTG101201 POWERS BLUE TIP SCREW BOLT AT EACH END OF WALL FRAMES
BRACE ENDS AND ADJACENT EVERY 2ND STUD PROVIDE 2-M10 IBGTG101201 POWERS BLUE
TIP SCREW BOLTS AT EITHER SIDE OF OPENINGS. 1800 DENOTES MIN LENGTH OF STRAP
WALL BRACING PROVIDE STRAP WALL BRACING IN ACCORDANCE WITH TABLE 818 OF AS6842
BRACING TO BE AS PER (G) kNm

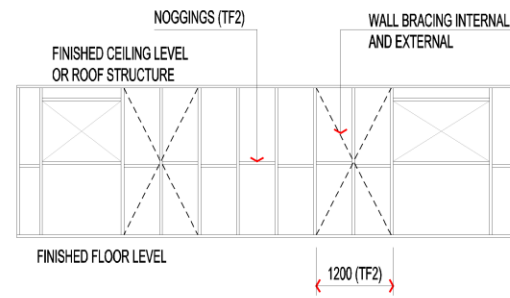
- TF6 ADDITIONAL STUDS & NOGGINGS TO BE INSTALLED AS REQUIRED TO SUIT THE NCBL
INSTALLATION REQUIREMENTS REFER MANUFACTURERS INSTRUCTIONS FOR DETAILS

DESIGN CRITERIA

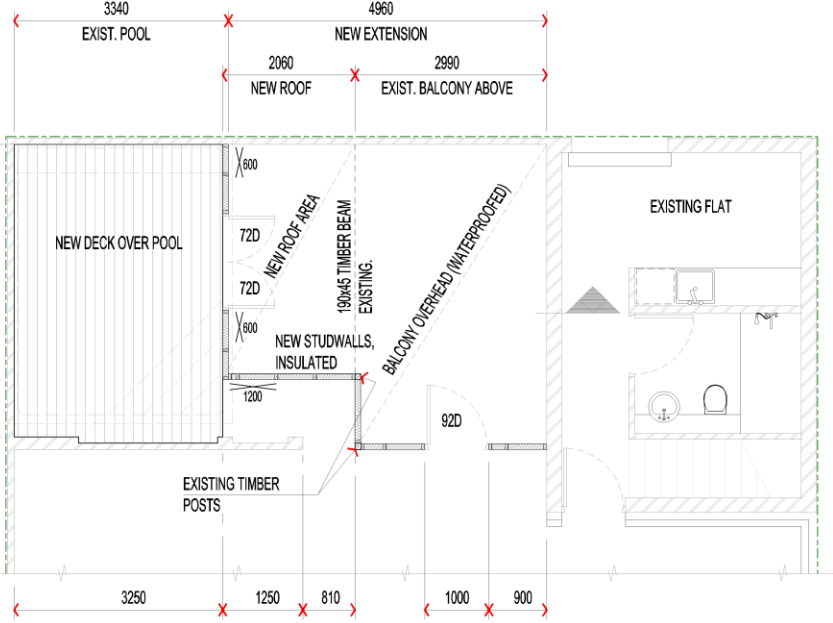
1. DEAD, LIVE AND WIND LOADS TO AS1170.1 & AS1170.2
2. TC2, REGION A
3. BASIC WIND VELOCITY 2.1 m/s
4. STEEL SHEET ROOF

LEGEND

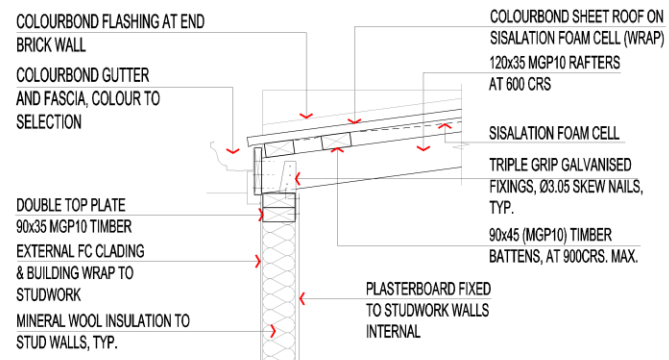
- TO BE DEMOLISHED
- NEW EXTENSION
- EXISTING BRICKWORK
- CONCRETE
- SITE BOUNDARY
- NEW STEEL BEAMS
- NEW STUDWORK
- DENOTES STRIP BRACING LENGTH



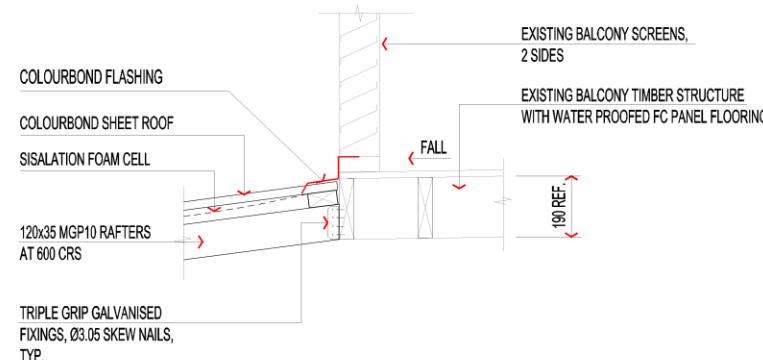
TYP. STUD WALL ELEMENTS
SCALE 1:50



PLAN - ROOFED EXTENSION
SCALE 1:50



DETAIL 5
SCALE 1:10



DETAIL 6
SCALE 1:10



NOTES:

Rev	Date	Description
0	AUG 19	AFC
A	JULY 19	ISSUED FOR REVIEW

Draftsperson	Engineer
D. ESPINOZA	JUSTIN KELLY
Project Manager	Client

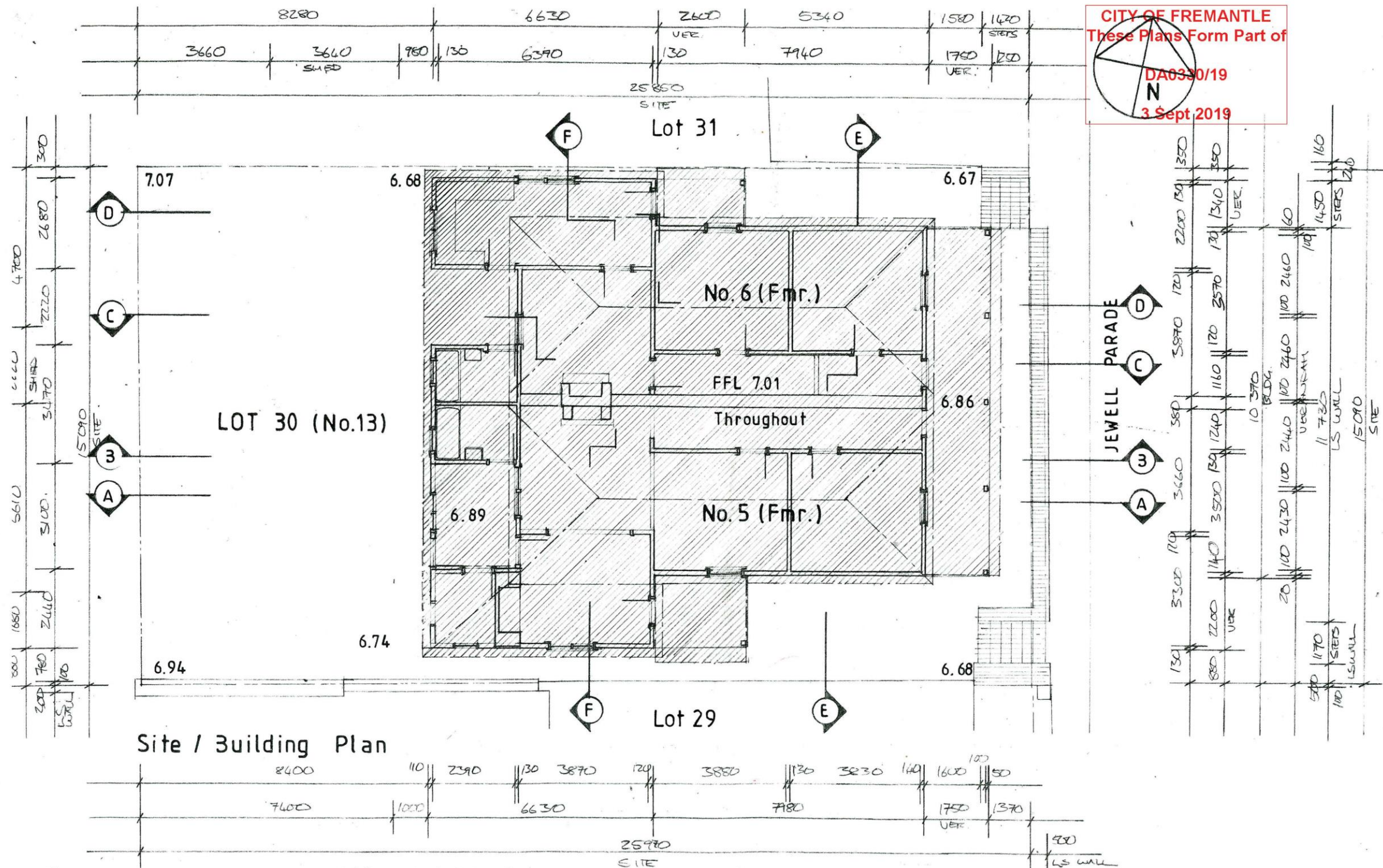
DRAWINGS MUST BE CHECKED, APPROVED AND SIGNED OFF PRIOR TO MANUFACTURE BY THE PROJECT MANAGER, ENGINEER AND BUILDER.

Project	EXTENSIONS, MODIFICATIONS & NEW PERMANENT STRUCTURAL COVER TO EXISTING POOL AT 6 ROSE STREET SOUTH FRMANTLE, WA 6162
Title	WALLS & ROOF, PLAN - SECTIONS AND DETAILS
Drawing Number	ROSE003P/0
Sheet	1
Revision	0



JUSTIN KELLY
MIEAUST #2425643

PC1911 - 10 JEWELL PARADE, NO. 13 (LOT 30), NORTH FREMANTLE - DEMOLITION OF GROUPED DWELLING (JL DA0330/19)

Agenda attachment 1 - Development Plans



Site / Building Plan

 Portion to be Demolished
 Portion to be Retained

SCALE 1: 100	DRAWING TITLE PROPOSED DEMOLITION	DRAWING NO. D1.
DATE AUG 19		

Timber-Framed Duplex (1898)
Lot 30, Jewell Parade, Nth. Fremantle

Scale 1:100

John W. Kirkness B.A., B.Arch.

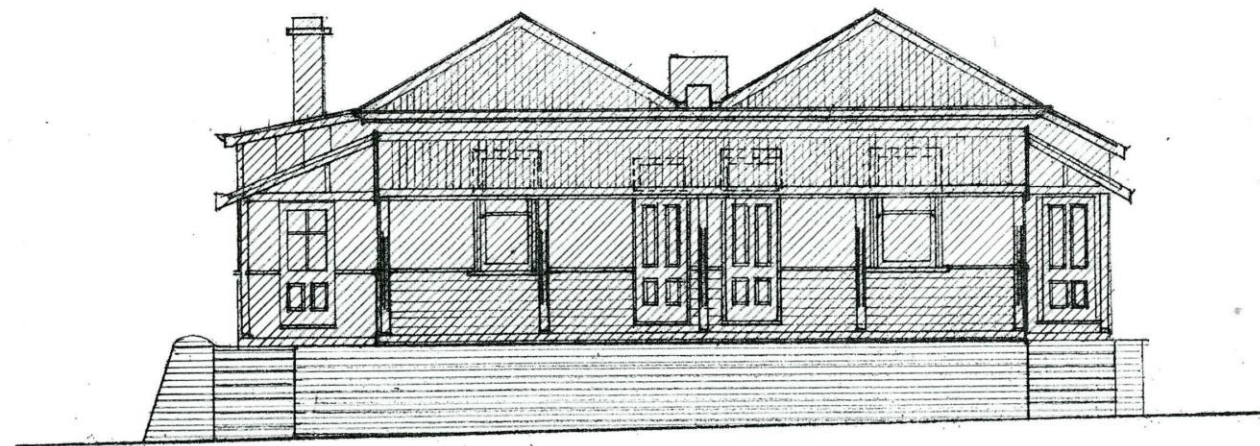
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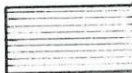
CITY OF FREMANTLE
These Plans Form Part of

DA0330/19

3 Sept 2019



East (Streetfront) Elevation

 Portion to be Demolished
 Portion to be Retained

SCALE 1:100	DRAWING TITLE Demolition Proposal	DRAWING NO D2.
DATE AUG 19		

Timber-Framed Duplex (1898)
Lot 30, Jewell Parade, Nth. Fremantle

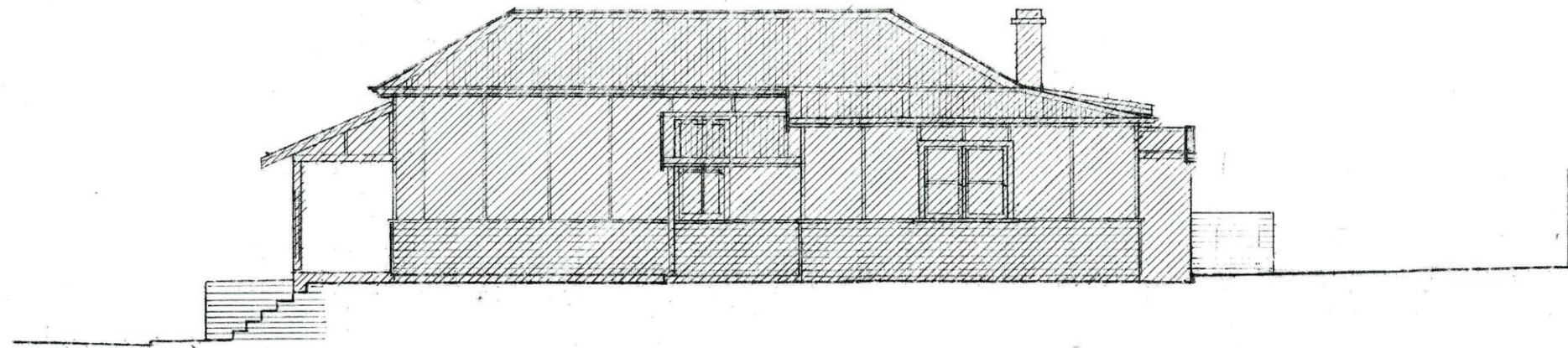
As Existing Drawings (2012)

Scale 1:100



John W. Kirkness B.A., B.Arch.

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CITY OF FREMANTLE
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DA0330/19
3 Sept 2019



North (Side) Elevation

 Portion to be Demolished
 Portion to be Retained

SCALE 1: 100	DRAWING TITLE Proposed Demolition	DRAWING NO D3.
DATE AUG 19		

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John W. Kirkness B.A., B.Arch.

Timber-Framed Duplex (1898)
Lot 30, Jewell Parade, Nth. Fremantle

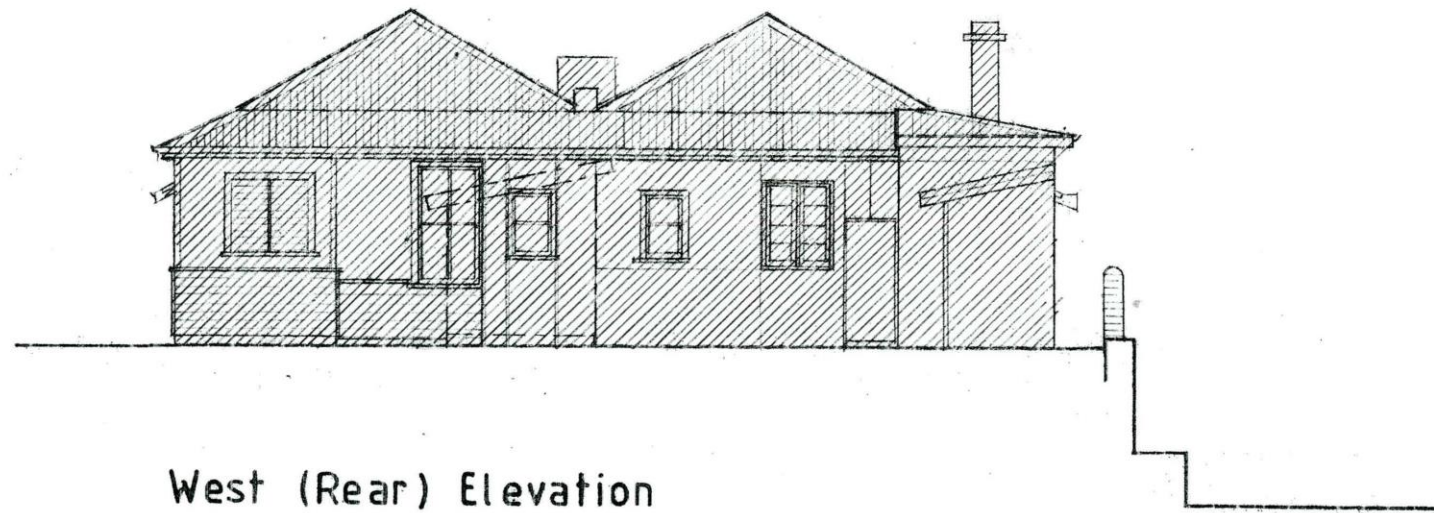
As Existing Drawings (2012)

Scale 1:100



CITY OF FREMANTLE
These Plans Form Part of

DA0330/19

3 Sept 2019



West (Rear) Elevation

 Portion to be Demolished
 Portion to be Retained

SCALE 1: 100	DRAWING TITLE Proposed Demolition	DRAWING NO D4.
DATE AUG 19		

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Timber-Framed Duplex (1898)
Lot 30, Jewell Parade, Nth. Fremantle

As Existing Drawings (2012)

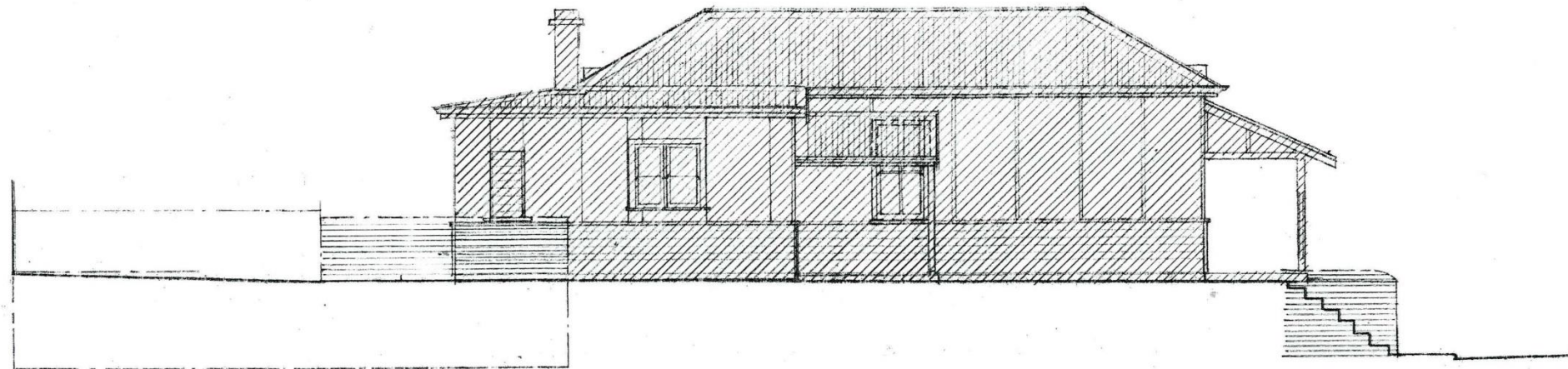
Scale 1:100

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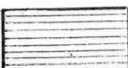
CITY OF FREMANTLE
These Plans Form Part of

DA0330/19

3 Sept 2019



South (Side) Elevation

 Portion to be Demolished
 Portion to be Retained

SCALE 1:100	DRAWING TITLE Proposed Demolition	DRAWING NO D5.
DATE AUG 19		

Timber-Framed Duplex (1898)
Lot 30, Jewell Parade, Nth. Fremantle

As Existing Drawings (2012)

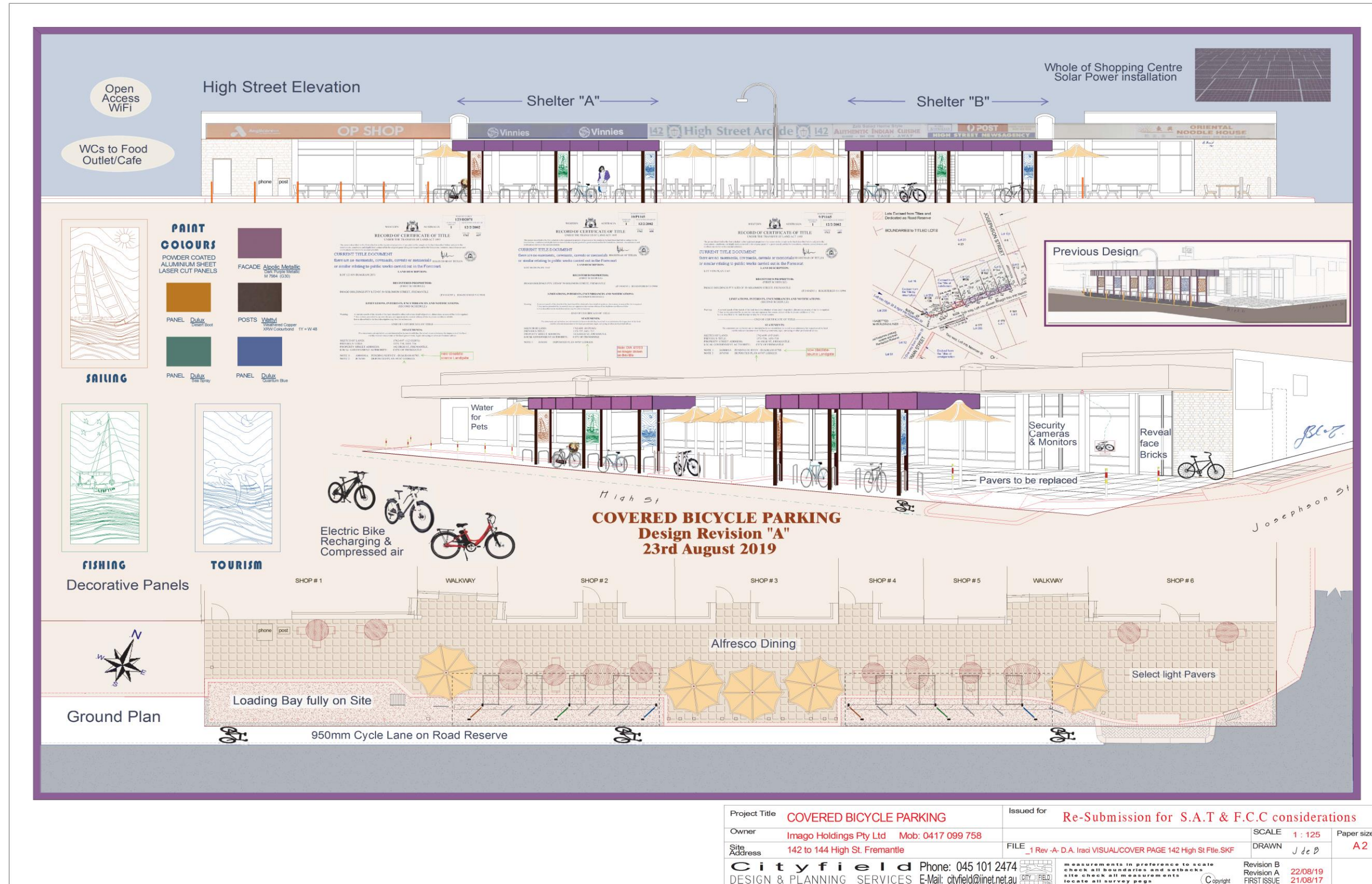
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All drawings shall be verified before commencing fabrication / works.
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John W. Kirkness B.A., B.Arch.

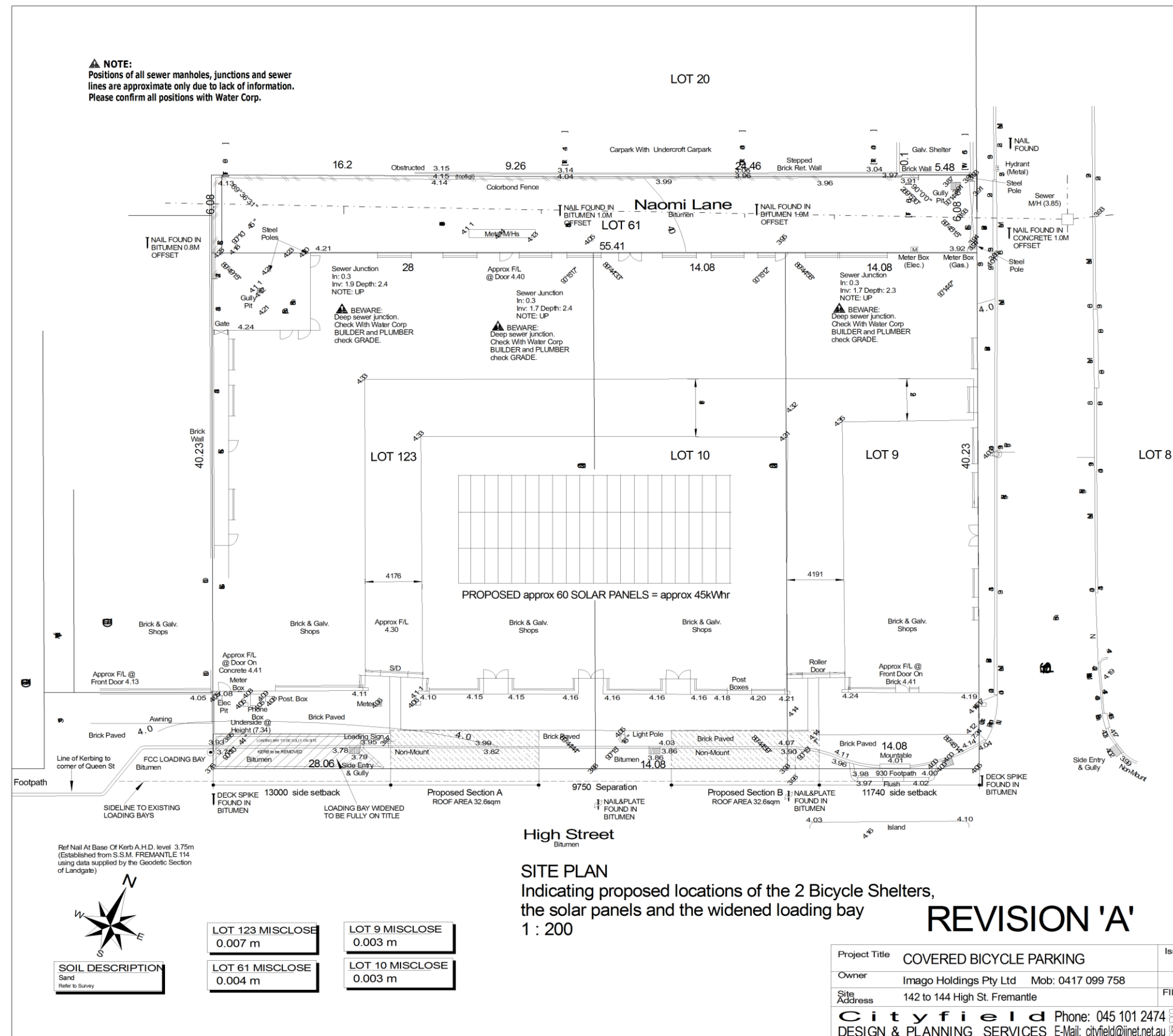
PC1911 - 11 HIGH STREET, NO.142 (LOTS 9, 10, AND 123), FREMANTLE - PROPOSED ADDITIONS AND ALTERATIONS TO EXISTING COMMERCIAL DEVELOPMENT (JK DA0417/17)

Agenda attachment 1 – Amended Plans



Project Title	COVERED BICYCLE PARKING	Issued for	Re-Submission for S.A.T & F.C.C considerations	
Owner	Imago Holdings Pty Ltd Mob: 0417 099 758	SCALE	1 : 125	Paper size
Site Address	142 to 144 High St. Fremantle	DRAWN	J de B	A2
Cityfield DESIGN & PLANNING SERVICES Phone: 045 101 2474 E-Mail: cityfield@inet.net.au		FILE	_1 Rev -A- D.A. Iraci VISUAL/COVER PAGE 142 High St File.SKF	
		Revision B	22/08/19	
		Revision A	21/08/17	
		FIRST ISSUE		

NOTE:
Positions of all sewer manholes, junctions and sewer lines are approximate only due to lack of information. Please confirm all positions with Water Corp.



High Street
Bitumen

SITE PLAN
Indicating proposed locations of the 2 Bicycle Shelters, the solar panels and the widened loading bay
1 : 200

LOT 123 MISCLOSE 0.007 m	LOT 9 MISCLOSE 0.003 m
LOT 61 MISCLOSE 0.004 m	LOT 10 MISCLOSE 0.003 m

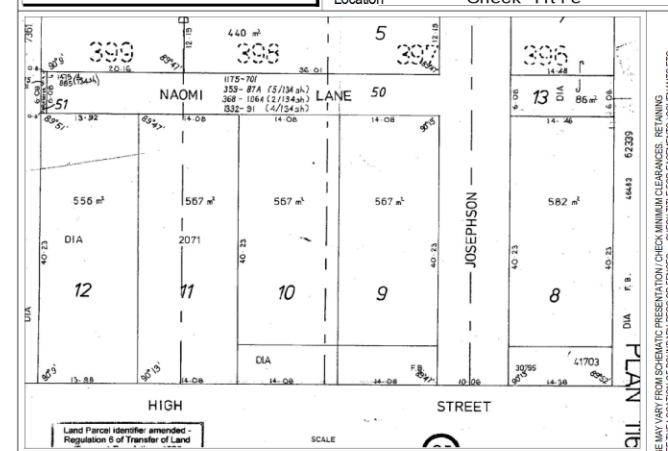
SOIL DESCRIPTION
Sand
Refer to Survey

Latitude: 32°03'11"55 Longitude 115°45'00"0E

Lot	Volume	Folio
9	1762	609
10	1762	608
123	1762	607
61	2813	97

CLIENT: Imago Holdings Pty Ltd
CONTRACT/JOB NO.: 430-13/26
MAP REF: COASTAL Check Shire
144 - 142 High Street
Suburb: Fremantle
Loc. Auth: CITY OF FREMANTLE
D. Plan: 185 2071
Volume Table Folio Table: 76440
Location: Check Title

Scale 1:200
Date: 25 Jul 17



Elec. U/Ground	Water Yes	Sewer ---
Gas Call 13 13 58	Must Put Something	Footpath Brick
Road Bitumen	Kerb Non-Mount / Nil	Drainage Good



COTTAGE & ENGINEERING SURVEYS
Licensed Surveyors
87-89 Guthrie Street, Osborne Park, Western Australia
Telephone: (08) 9446 7361 Facsimile: (08) 9445 2998
Email: perth@cottage.com.au Website: www.cottage.com.au
J/N: 42 054 Drawn: B. Saliba

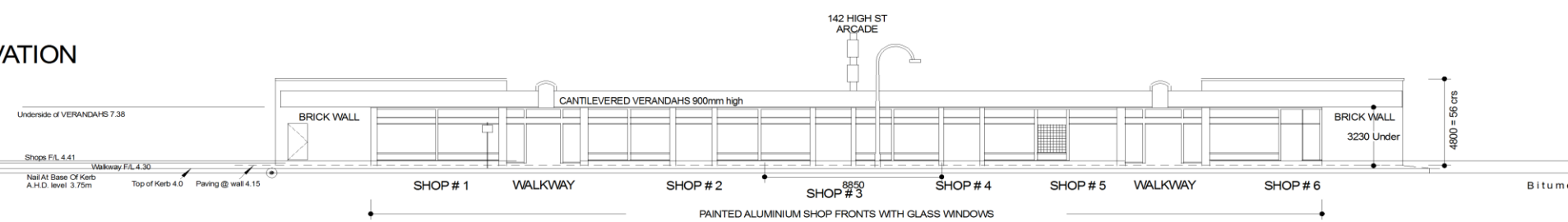
DISCLAIMER:
Survey shows visible features only and will not show locations of underground pipes or conduits for internal or mains services. Verification of the location of all internal and mains services should be confirmed prior to finalisation of any design work.

DISCLAIMER:
Cottage & Engineering surveys accept no responsibility for any physical on site changes to the parcel or portion of the parcel of land shown on this survey including any adjoining neighbours levels and features that have occurred after the date on this survey. All sewer details plotted from information supplied by Water Corporation.

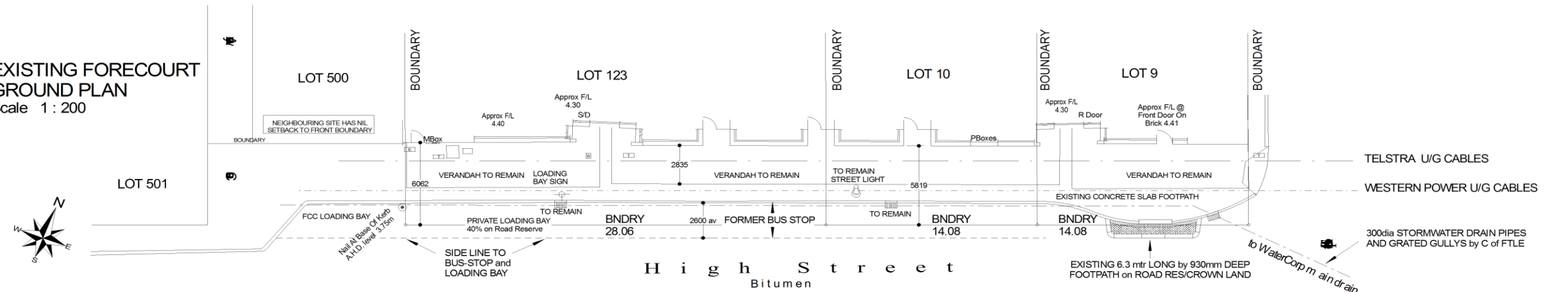
DISCLAIMER:
Due to lack of survey marks/pins, all building offset dimensions & features are approximate only and positioned from existing walls/fences and walls which may not be on the correct alignment and are to be verified when required. Any design that involves additions to any structures shown or portion of structures remaining after any demolition has taken place requires boundaries to be re-surveyed and exact offsets provided to your designer/architect before any plans are produced and before any work is started on site.

Project Title	COVERED BICYCLE PARKING	Issued for	Re-Submission for S.A.T & F.C.C considerations
Owner	Imago Holdings Pty Ltd Mob: 0417 099 758	SCALE	1 : 200
Site Address	142 to 144 High St. Fremantle	Paper size	A2
FILE	_1 Rev -A- D.A. Iraci SITE SURVEY 142 High St File.SKF	DRAWN	J d e B
Cityfield Phone: 045 101 2474	DESIGN & PLANNING SERVICES E-Mail: cityfield@inet.net.au	Revision B	23/08/19
		Revision A	21/08/17
		PAGE No	1/4

EXISTING FRONT ELEVATION
Scale 1 : 200

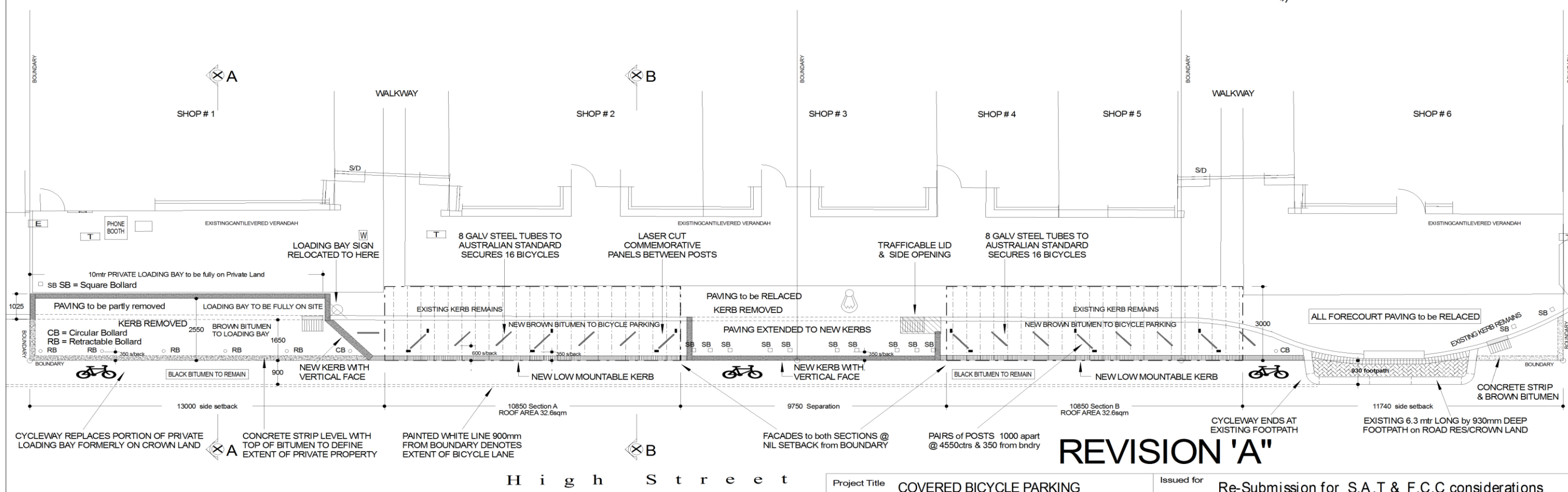


EXISTING FORECOURT
GROUND PLAN
Scale 1 : 200

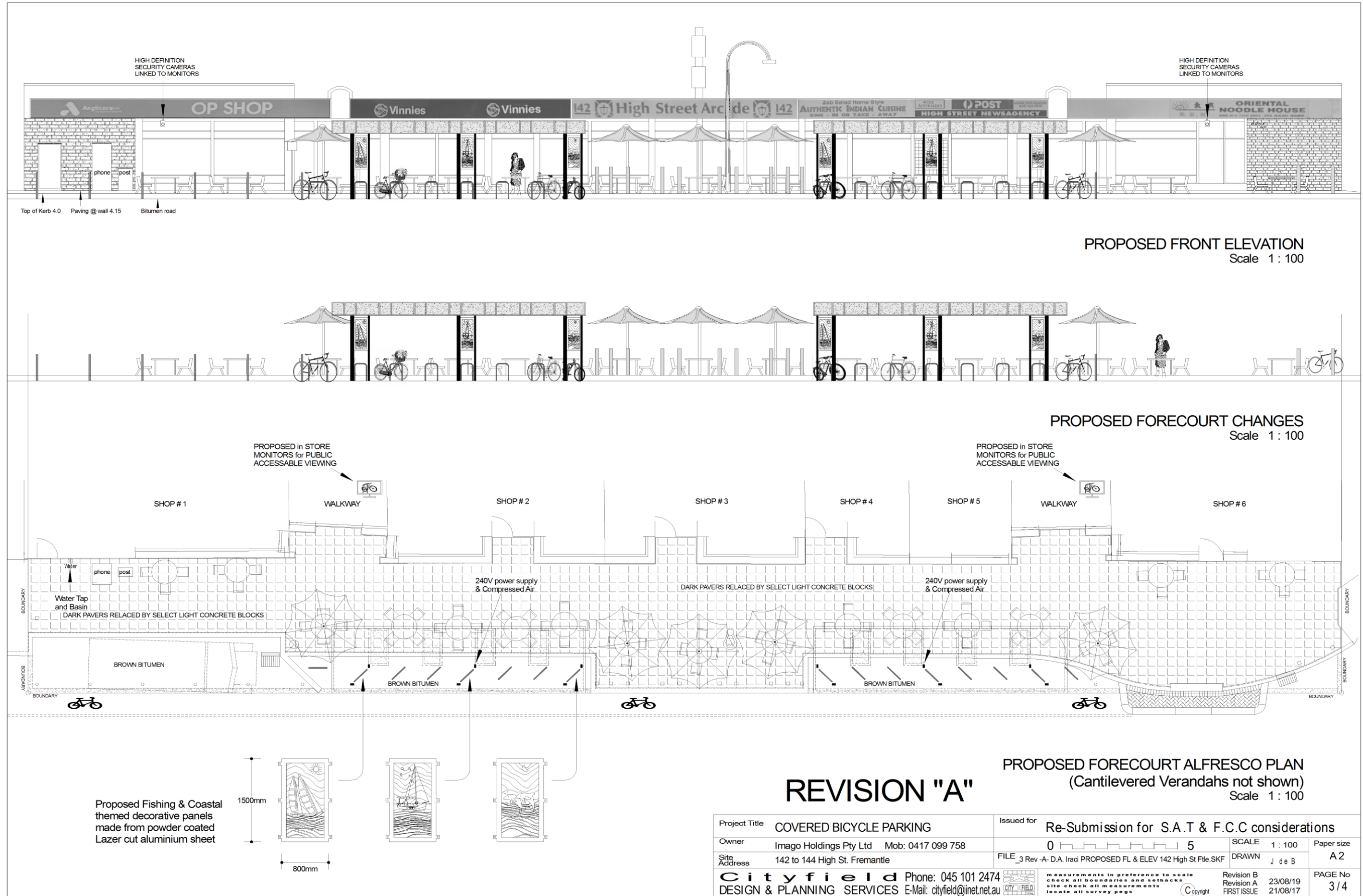


REVISION 'A'

PROPOSED FORECOURT GROUND PLAN
Scale 1 : 100



Project Title	COVERED BICYCLE PARKING	Issued for	Re-Submission for S.A.T & F.C.C considerations	
Owner	Imago Holdings Pty Ltd Mob: 0417 099 758	Scale	1 : 200	Paper size
Site Address	142 to 144 High St. Fremantle	FILE	0 10	A2
Cityfield Phone: 045 101 2474 DESIGN & PLANNING SERVICES E-Mail: cityfield@inet.net.au		DRAWN	J de B	PAGE No
		Revision B	23/08/19	2/4
		Revision A2	21/08/17	



PC1911 - 12 INFORMATION REPORT - NOVEMBER 2019

Agenda attachment 1 - Schedule of applications determined under delegated authority

1. . CARNAC STREET, NO. 33 (LOT 8), FREMANTLE INTERNAL ALTERATIONS TO EXISTING SINGLE HOUSE - (TG - DA0335/19)
2. SOUTH TERRACE, NO. 194 (LOT 2), FREMANTLE - STORE AND BATHROOM EXTERNAL ADDITION TO EXISTING SINGLE HOUSE - (CJ DA0321/19)
3. JOSLIN STREET, NO.32 (LOT 1669), HILTON – TWO LOT SURVEY STRATA SUBDIVISION - (NB WAPC780-19)
4. CLIFF STREET, NO. 18 (LOT 51), FREMANTLE - TWO LOT (AND COMMON PROPERTY) SURVEY STRATA SUBDIVISION - (CJ WAPC841-19)
5. COLLICK STREET, 61 (LOT 201), HILTON - ADDITIONS TO EXISTING SINGLE HOUSE - (JCL DA0297-19)
6. JACKSON STREET, NO.5 (LOT 300), NORTH FREMANTLE - VARIATION TO PREVIOUS PLANNING APPROVAL DA0260/18 (TWO STOREY SINGLE HOUSE) - (JL VA0028/19)
7. SOUTH TERRACE, NO. 2 (LOT 801), FREMANTLE - ADDITIONS AND ALTERATIONS TO EXISTING BUILDING - (CJ DA0211/19)
8. CARPARK 13, HENDERSON STREET, NO. 10 (LOT 375), FREMANTLE - SIGNAGE ADDITION TO AN EXISTING PUBLIC CAR PARK - (NB DA0289/19)
9. BROMLEY ROAD, NO. 17A (LOT 44), HILTON - SINGLE BEDROOM GROUPED DWELLING - (NB DA0339/19)
10. CHARLES STREET, NO. 26 (LOT 200), SOUTH FREMANTLE - VARIATION TO PREVIOUS DEVELOPMENT APPROVAL DA0432/18 (TWO STOREY ADDITIONS AND ALTERATIONS TO EXISTING SINGLE HOUSE) - (CJ VA0032/19)
11. HIGH STREET MALL, NO. 135 (LOT 383), FREMANTLE - INTERNAL FIT OUT GT6 - (CJ DA045/19)
12. SOLOMON STREET, NO. 154 (LOT 12), BEACONSFIELD ADDITIONS (TWO STOREY) TO EXISTNG SINGLE HOUSE - (TG - DA0325/19)
13. HIGH STREET MALL, NO. 135 (LOT 383), FREMANTLE - INTERNAL FIT OUT GT9 - (CJ DA0347/19)

14. HIGH STREET MALL, NO. 135 (LOT 383), FREMANTLE - INTERNAL FIT OUT AND SIGNAGE (GT25) - (CJ DA0337/19)
15. BAKER STREET, NO. 12 (LOT 15), FREMANTLE REROOF TO EXISTING SINGLE HOUSE - (TG - DA0363/19)
16. BURNS STREET, NO. 11/42 (LOT 11), NORTH FREMANTLE – SECTION 40 (WHOLESALE) – (CJ LL0010/19)
17. EAST STREET, 31 (LOT 4), FREMANTLE - UNAUTHORISED ALTERATION TO EXISTING MULTIPLE DWELLING - (JCL DA0314-19)
18. HOWARD STREET, 33 (LOT 2), FREMANTLE FA ADE ALTERATIONS TO EXISTING SINGLE HOUSE - (JCL DA0356-19)
19. SWANBOURNE STREET, NO. 7 (LOT 34), FREMANTLE ADDITIONS (CARPORT) TO EXISTING SINGLE HOUSE - (TG - DA0334/19)
20. HENRY STREET, NO. 7 (LOT 59), FREMANTLE- ADDITION OF SHADE SAILS TO EXISTING BUILDING - (CJ DA0328/19)
21. HIGH STREET, NO. 120 (LOT 800), FREMANTLE - INTERNAL ALTERATIONS TO TENANCIES 11A AND 12 IN AN EXISTING COMMERCIAL BUILDING - (NB DA0366/19)
22. LITTLE HIGH STREET, TOWNHOUSES 3 AND 4, AND 6 AND 7 (LOT 3, 4, 6, AND 7), FREMANTLE RECONSTRUCTION OF FA ADE OF EXISTING BUILDINGS - (TG - DA0377/19)
23. STOCKDALE ROAD, NO. 30-46 (LOT 88), O'CONNOR - WAREHOUSE AND SHOWROOM DEVELOPMENT - (CJ DA0487/18)
24. NICHOLAS CRESCENT, 35 (LOT 1), HILTON - EXTENSION TO EXISTING DECK - (JCL DA0333/19)
25. TYDEMAN ROAD, NO. 34 (LOT 3), NORTH FREMANTLE ADDITIONS (FRONT FENCE AND GATE) TO EXISTING SINGLE HOUSE - (TG - DA0313/19)
26. TYDEMAN ROAD, NO. 34 (LOT 3), NORTH FREMANTLE ADDITIONS (FRONT FENCE AND GATE) TO EXISTING SINGLE HOUSE - (TG - DA0313/19)
27. HOLDSWORTH STREET, NO. 1 (LOT 536), FREMANTLE INTERNAL ADDITIONS, PATIO AND A SHADE SAIL STRUCTURE TO EXISTING TAVERN - (TG - DA0343/19)
28. CLARKE STREET, NO. 9 (LOT 29), HILTON - ADDITIONS AND ALTERATIONS TO AN EXISTING SINGLE HOUSE - (NB DA0329/19)

29. BANNISTER STREET, NO. 1-5 (STRATA LOTS 1-36), FREMANTLE MURAL ON EXTERNAL WALL OF EXISTING BUILDING- (TG - DA0361/19)
30. HIGH STREET MALL, NO. 135 (LOT 803), FREMANTLE - ADDITIONS AND ALTERATIONS AND SOLAR PANEL ADDITION TO EXISTING BUILDINGS - (CJ DA0368/19)
31. GIBSON STREET, 9 (LOT 60), BEACONSFIELD - ADDITIONS AND ALTERATIONS TO EXISTING SINGLE HOUSE - (JCL DA0040/19)
32. MORAN STREET, NO. 9/2-14 (LOT 974), BEACONSFIELD- PATIO AND INTERNAL FENCE ADDITION TO EXISTING GROUPED DWELLING - (CJ DA0382/19)
33. SOUTH TERRACE, 296 (LOT 46), SOUTH FREMANTLE - DA - VARIATION TO DA0002-19 ALTERATIONS TO EXISTING DWELLING AND ANCILLARY DWELLING - (JCL VA0030-19)
34. CHARLES STREET, NO. 22 (STRATA LOT 3), SOUTH FREMANTLE ALTERATIONS TO EXISTING GROUPED DWELLING - (TG - DA0380/19)
35. FORREST STREET, NO. 3/174 (LOT 3), FREMANTLE - PATIO ADDITION TO EXISTING GROUPED DWELLING - (CJ DA0387/19)
36. SOUTH TERRACE, NO. 1 OF 177 (STRATA LOT 1), SOUTH FREMANTLE PARTIAL CHANGE OF USE TO SHOP - (TG - DA0350/19)
37. WOOD STREET, NO. 29 AND 31 (LOTS 25 AND 26), FREMANTLE – SUBDIVISION CLEARANCE – (TG WAPC 156616)
38. PHILLIMORE STREET, NO. 11 OF 14 (LOT 1536), FREMANTLE INTERNAL ALTERATIONS (TELECOMMUNICATIONS INFRASTRUCTURE) TO EXISTING BUILDING - (TG DA0373/19)
39. HIGH STREET, 250 (LOT 7), FREMANTLE - PATIO ADDITION TO EXISTING SINGLE HOUSE - (JCL DA0396/19)
40. MOUQUET VISTA, NO. 3 (LOT 11), WHITE GUM VALLEY- TWO STOREY SINGLE HOUSE - (JL DA383/19)
41. ELLEN STREET, NO. 90 (LOT 2053), FREMANTLE ADDITIONS (THREE MODULAR CLASSROOMS) TO EXISTING EDUCATIONAL ESTABLISHMENT - (TG - PW0015/19)
42. MARMION STREET, NO. 37 (LOT 1613) FREMANTLE - TWO LOT SUBDIVISION - WAPC604-19
43. CHESTER STREET, NO. 3 (LOT 20), SOUTH FREMANTLE - ALTERATIONS AND UPPER FLOOR ADDITIONS TO EXISTING SINGLE HOUSE - (NB DA0346/19)

