



Minutes Attachments

Planning Committee

Wednesday, 6 November 2019, 6.00 pm

Table of Contents

Contents	Page
Minutes Attachments	1
PC1911 - 1 DEFERRED ITEM - S.31 RECONSIDERATION - BELLEVUE TERRACE, NO. 41 (LOT 57), FREMANTLE - ALTERATIONS AND UPPER FLOOR ADDITIONS TO AN EXISTING SINGLE HOUSE - (NB DA0065/19)	4
PC1911 - 3 TYDEMAN ROAD, NO 26 (LOT 24), NORTH FREMANTLE - CHANGE OF USE TO INDUSTRY SERVICES (BAKERY) AND ADDITIONS AND ALTERATIONS TO EXISTING BUILDING (TG DA0263/19)	11
PC1911 - 5 FREEMAN LOOP, NO. 19 (LOT 1), NORTH FREMANTLE - CHANGE OF USE FROM LIQUOR STORE TO TAVERN - (NB DA0315/19)	19
PC1911 - 10 JEWELL PARADE, NO. 13 (LOT 30), NORTH FREMANTLE - DEMOLITION OF GROUPED DWELLING (JL DA0330/19)	21
PC1911 - 11 HIGH STREET, NO.142 (LOTS 9, 10, AND 123), FREMANTLE - PROPOSED ADDITIONS AND ALTERATIONS TO EXISTING COMMERCIAL DEVELOPMENT (JK DA0417/17)	26
PC1911 - 2 DEFERRED ITEM - COLLICK STREET, NO.13 (LOT 1380), HILTON - TWO, SINGLE STOREY GROUPED DWELLINGS - (TG DA0262/19)	31
PC1911 - 4 LEFROY ROAD, NO.146 (LOT 20), BEACONSFIELD - TWO STOREY AND SINGLE STOREY GROUPED DWELLINGS, AND HOME BUSINESS (BEAUTY THERAPY) (NB DA0309/19)	36
PC1911 - 6 CHADWICK STREET, NO5A/B (LOT 1613), HILTON - DEMOLITION OF TWO GROUPED DWELLINGS - (TG PW0012/19)	44
PC1911 - 7 COLLICK STREET, NO. 28A/B (LOT 32), HILTON – DEMOLITION OF TWO GROUPED DWELLINGS - (TG PW0013/19)	45
PC1911 - 8 SOUTH TERRACE, NO.240 & 242 (LOTS 30 & 31), SOUTH FREMANTLE - PARTIAL CHANGE OF USE TO RESTAURANT AND SMALL BAR TO EXISTING BUILDING (TG DA0349/19)	46

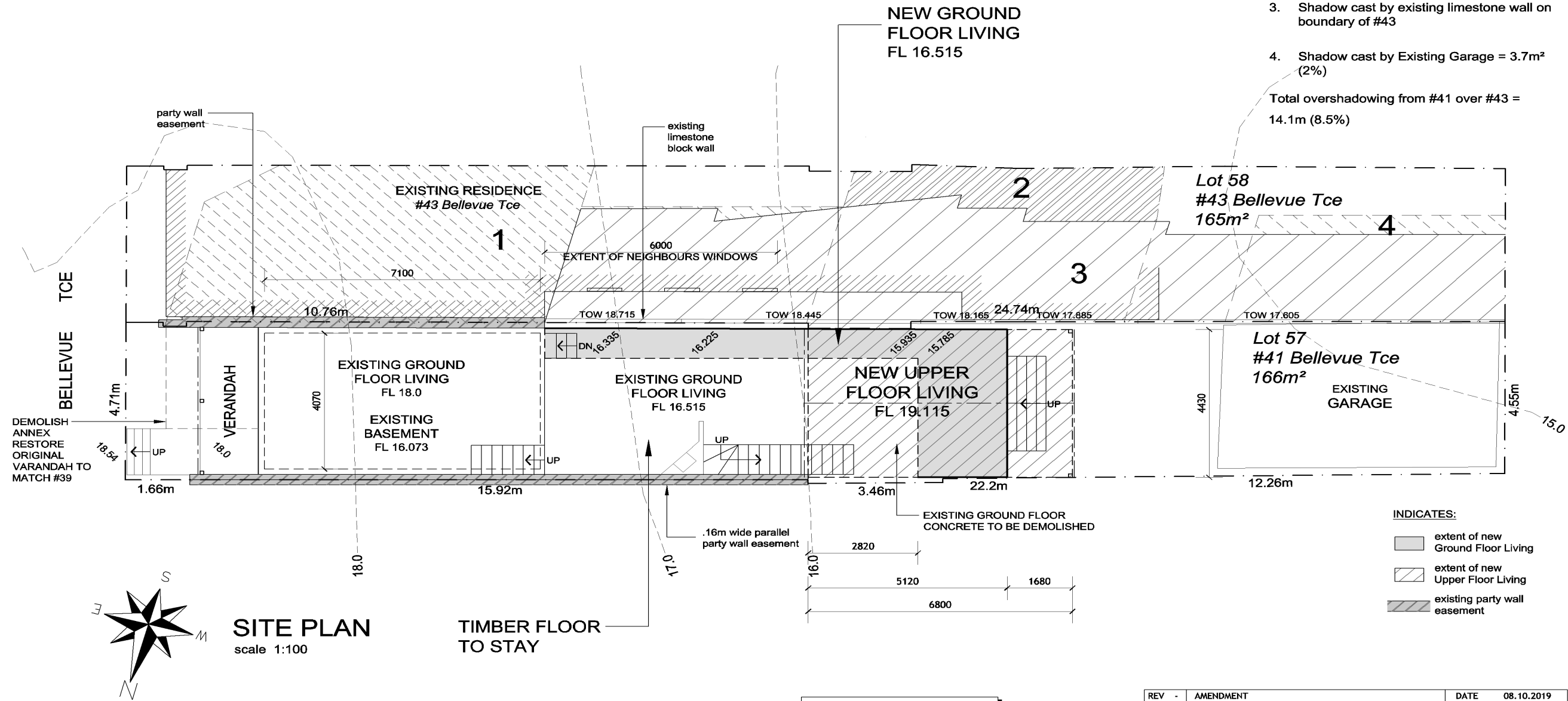
PC1911 - 9	ROSE STREET, NO.6 (LOT 21), SOUTH FREMANTLE - UNAUTHORISED PERGOLA ADDITION AND ADDITIONS TO EXISTING SINGLE HOUSE (JL DA0357/19)	48
PC1911 - 12	INFORMATION REPORT - NOVEMBER 2019	56

PC1911 - 1 DEFERRED ITEM - S.31 RECONSIDERATION - BELLEVUE TERRACE, NO. 41 (LOT 57), FREMANTLE - ALTERATIONS AND UPPER FLOOR ADDITIONS TO AN EXISTING SINGLE HOUSE - (NB DA0065/19)

Minutes attachment 1 – Amended Development Plans

CITY OF FREMANTLE
These Revised Plans Form Part of
DA0065/19
8 October 2019

- OVERSHADOWING**
1. Shadow cast from #43 existing parapet wall on boundary = 45m² (27%)
 2. Shadow cast by #41 new addition = 10.4m² (6%)
 3. Shadow cast by existing limestone wall on boundary of #43
 4. Shadow cast by Existing Garage = 3.7m² (2%)
- Total overshadowing from #41 over #43 = 14.1m (8.5%)



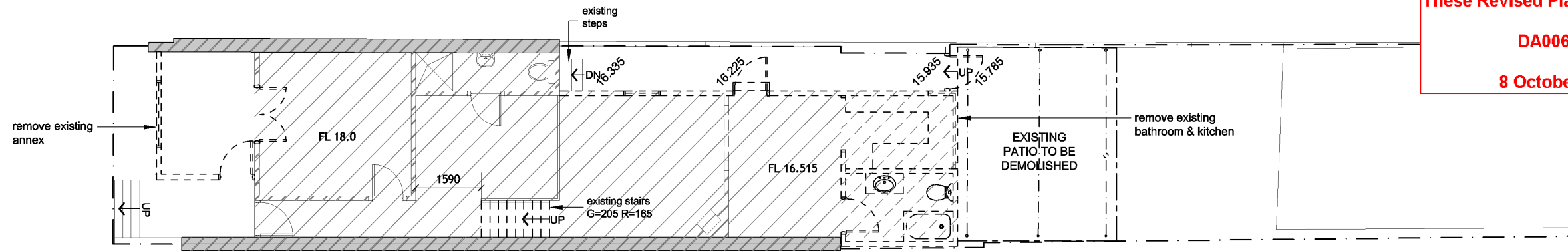
SITE PLAN
scale 1:100

TIMBER FLOOR TO STAY

AREA SUMMARY:	
GF EXTENSION:	18.7m ²
LOFT:	30.1m ²

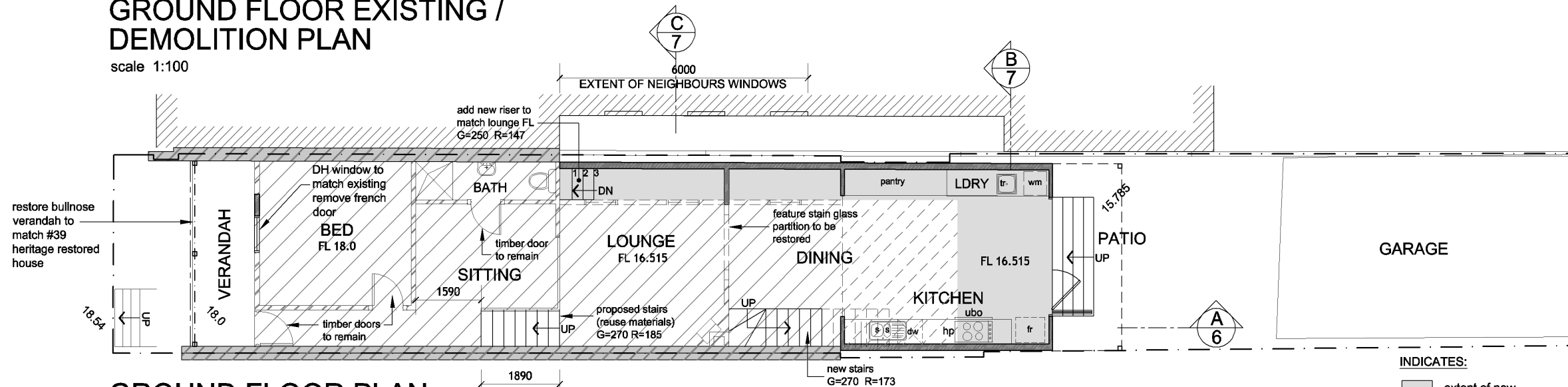
REV	AMENDMENT	DATE	08.10.2019
project 41 BELLEVUE TCE, FREMANTLE WA			
NEW ALTERATIONS & EXTENSION			
SITE PLAN			
JB.	19011	DATE.	08/2019
scale	1:100	sheet size	A3
sheet	A01		
DREAM 2 REALITY CONSTRUCTIONS © M: 0402 831 641 E: andy@dream2reality.com.au			

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GROUND FLOOR EXISTING / DEMOLITION PLAN

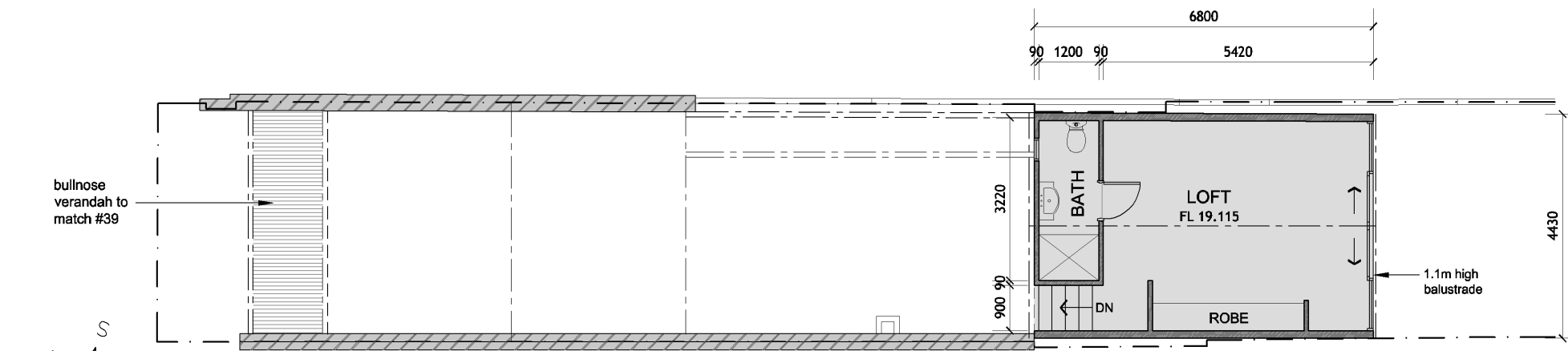
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GROUND FLOOR PLAN

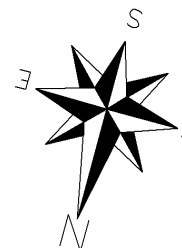
scale 1:100

- INDICATES:
- extent of new
 - existing timber floor (retained)
 - existing concrete floor (demolished)
 - new stud wall
 - existing wall
 - demolished/ removed
 - existing party wall easement



UPPER FLOOR PLAN

scale 1:100

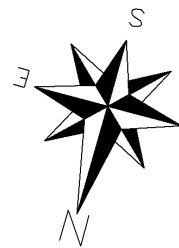
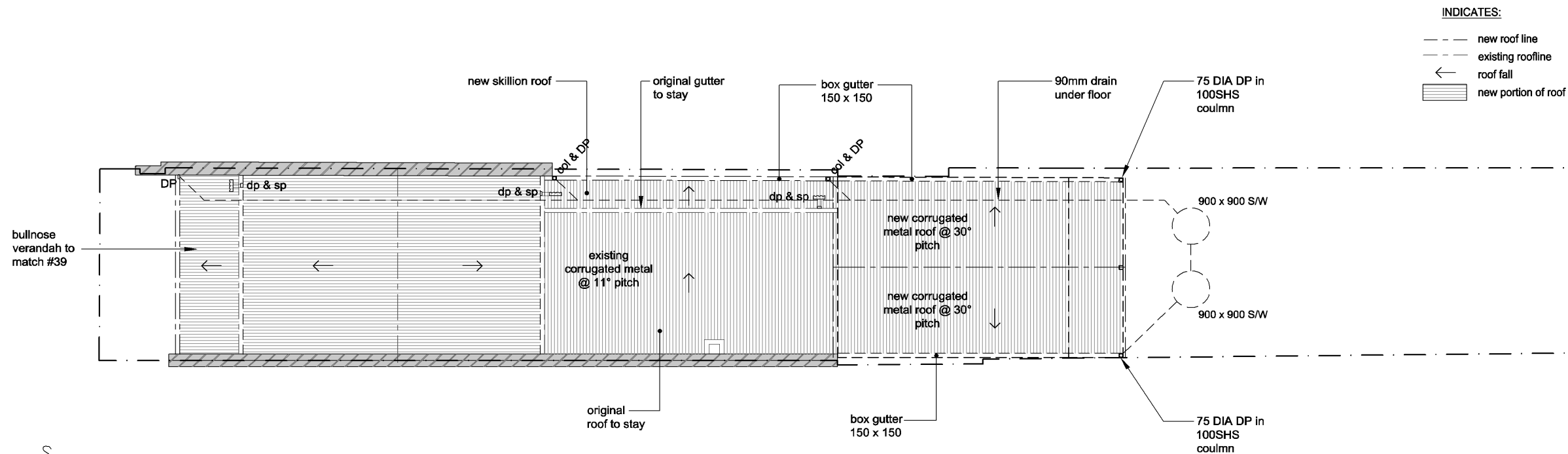


REV	AMENDMENT	DATE	08.10.2019
project 41 BELLEVUE TCE, FREMANTLE WA		NEW ALTERATIONS & EXTENSION FLOOR PLANS	
DREAM 2 REALITY CONSTRUCTIONS © M: 0402 831 641 E: andy@dream2reality.com.au		JB. 19011	DATE. 08/2019
		scale 1:100	sheet size A3
		A02	

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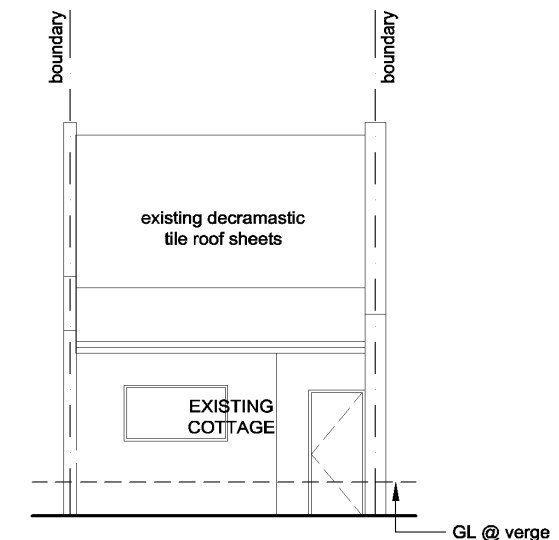
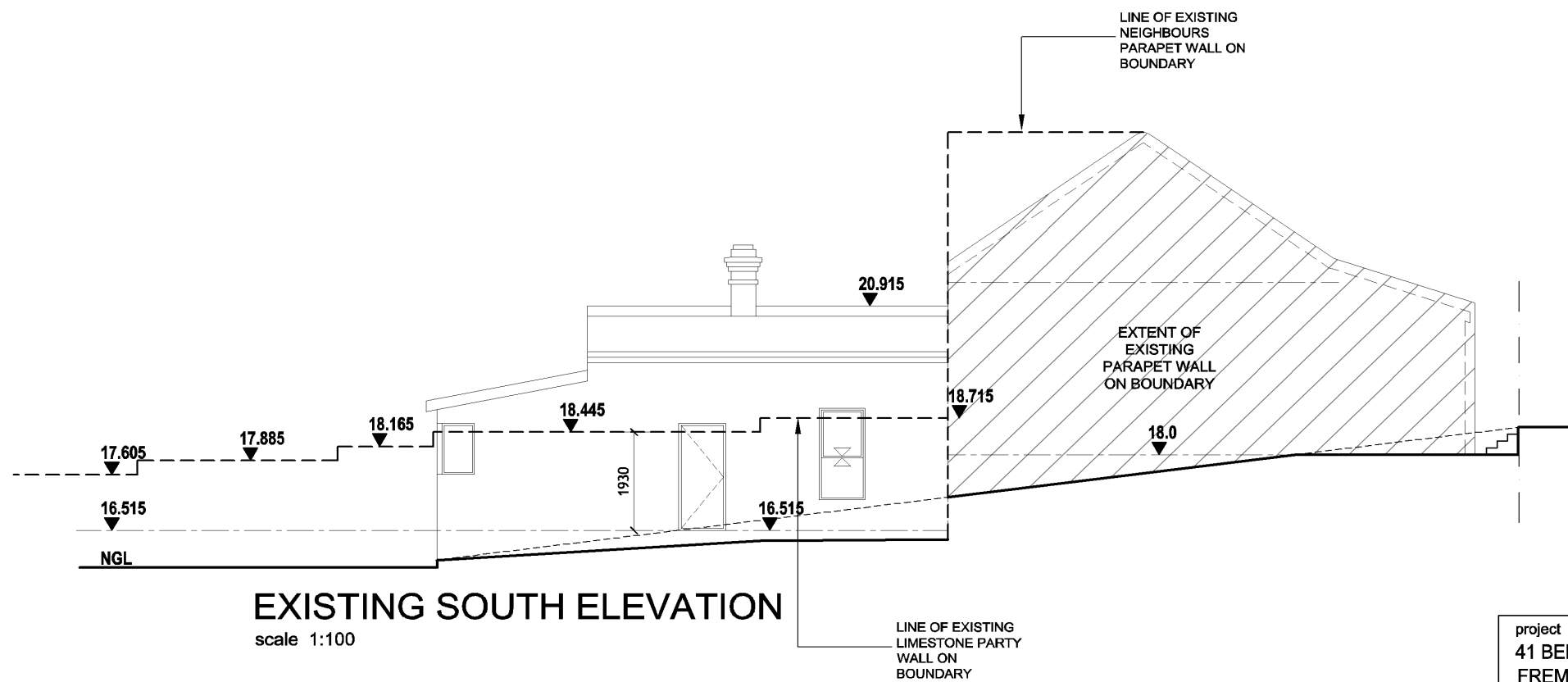
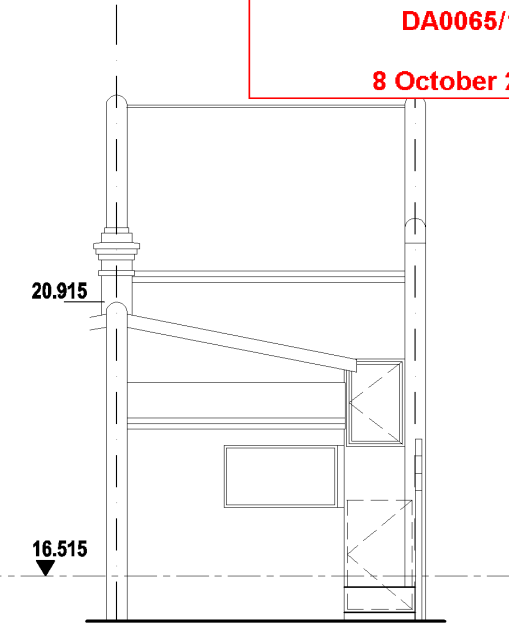
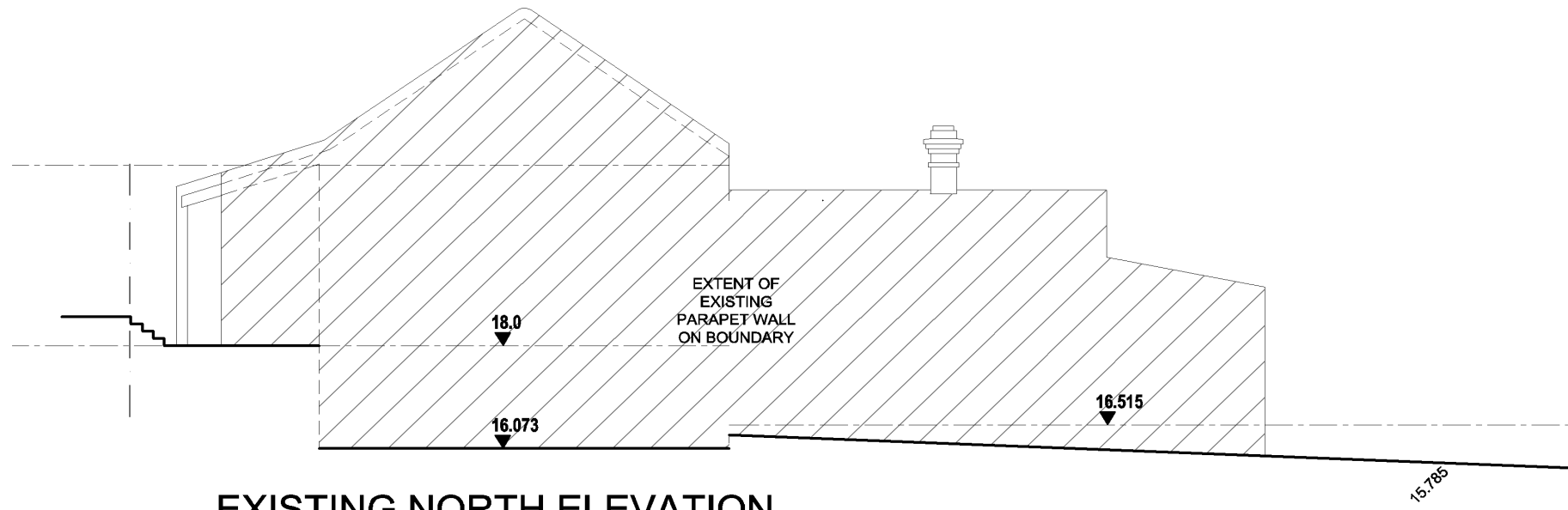
8 October 2019



ROOF / DRAINAGE PLAN
scale 1:100

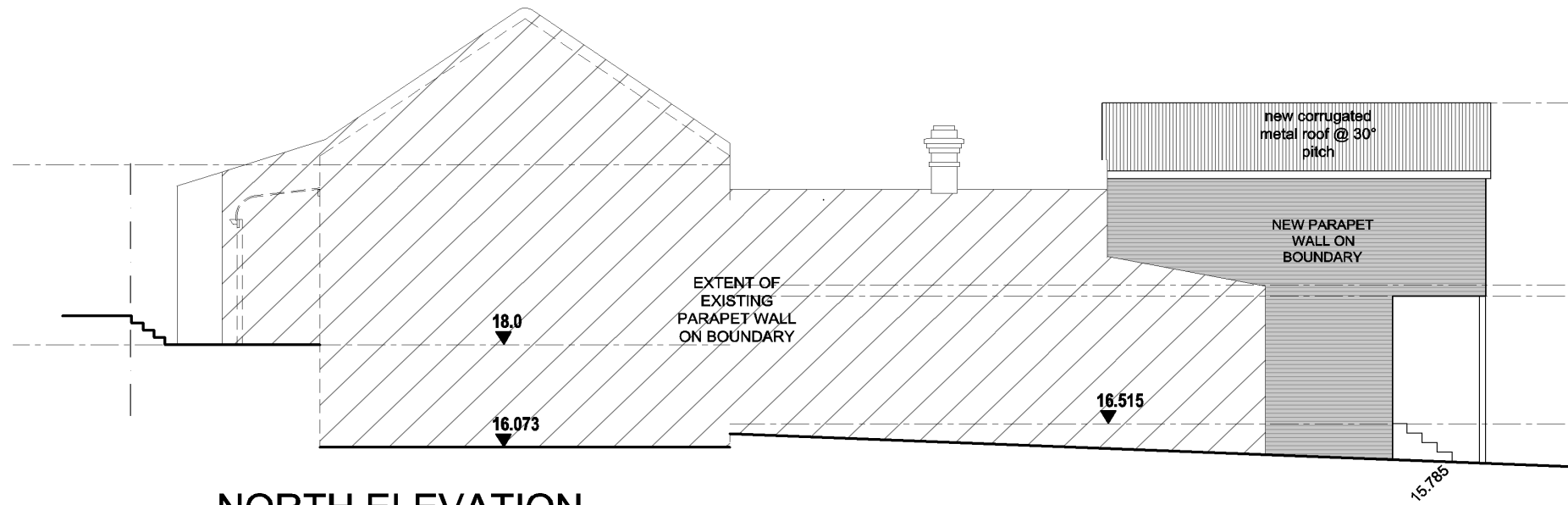
REV	AMENDMENT	DATE	08.10.2019
project		NEW ALTERATIONS & EXTENSION	
41 BELLEVUE TCE, FREMANTLE WA		ROOF PLAN	
JB.	19011	DATE.	08/2019
scale	1:100	sheet size	A3
sheet	A03		
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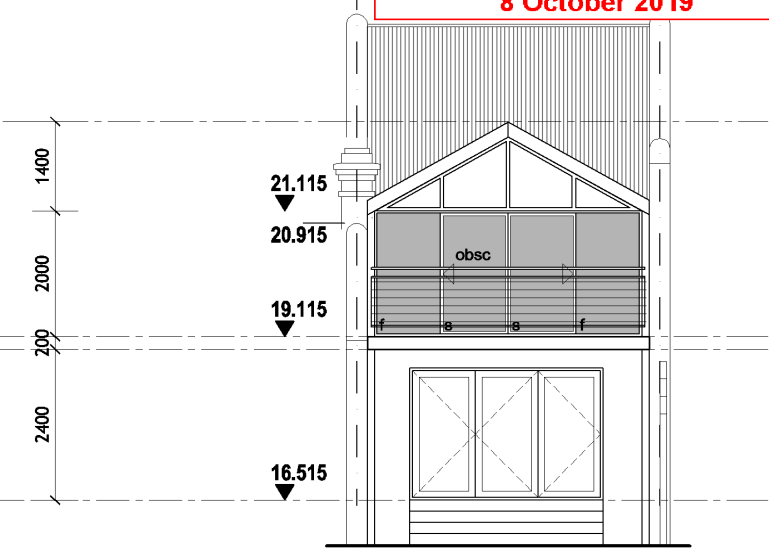


project 41 BELLEVUE TCE, FREMANTLE WA	REV - AMENDMENT	DATE 08.10.2019
DREAM 2 REALITY CONSTRUCTIONS © M: 0402 831 641 E: andy@dream2reality.com.au	NEW ALTERATIONS & EXTENSION	
	EXISTING ELEVATIONS	
	JB. 19011	DATE. 08/2019
	scale 1:100	sheet size A3
	sheet A04	

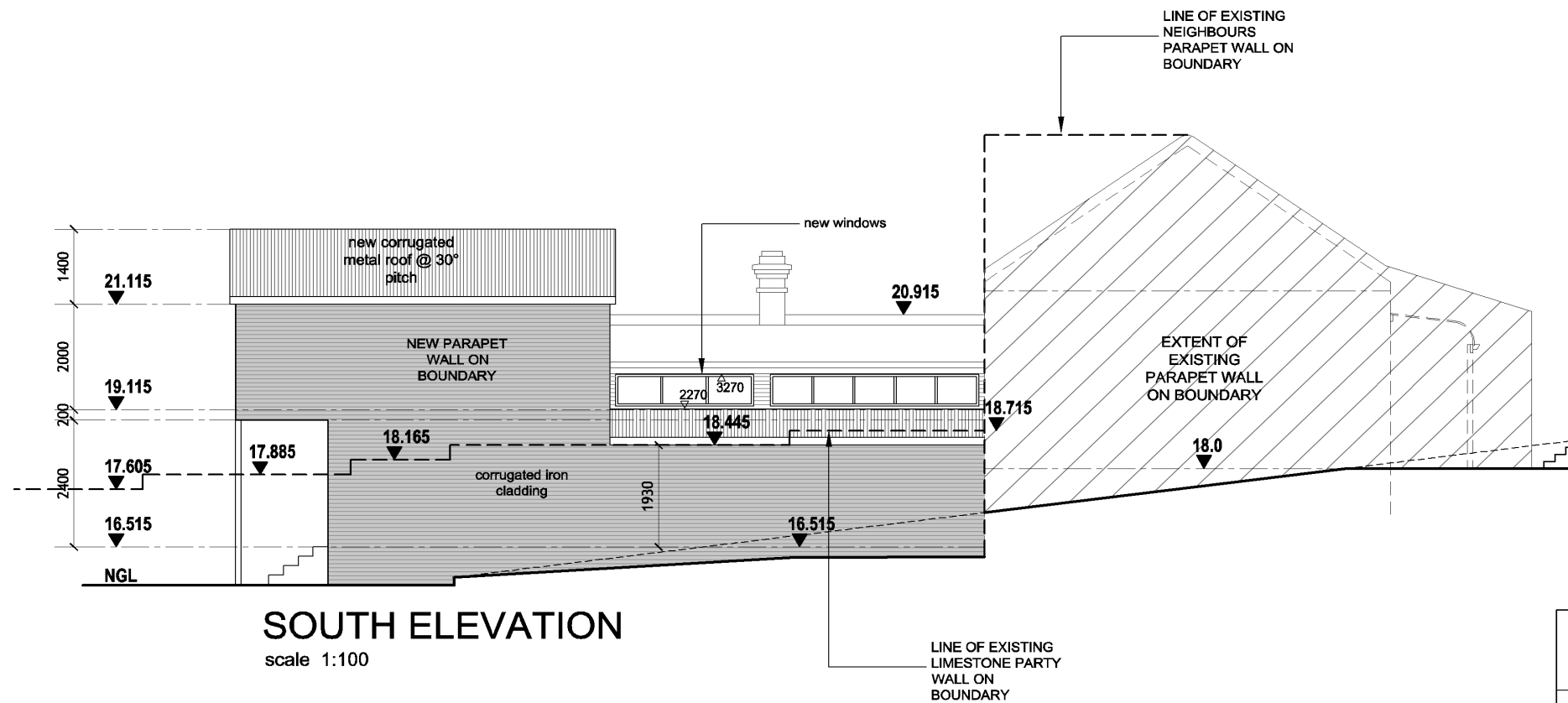
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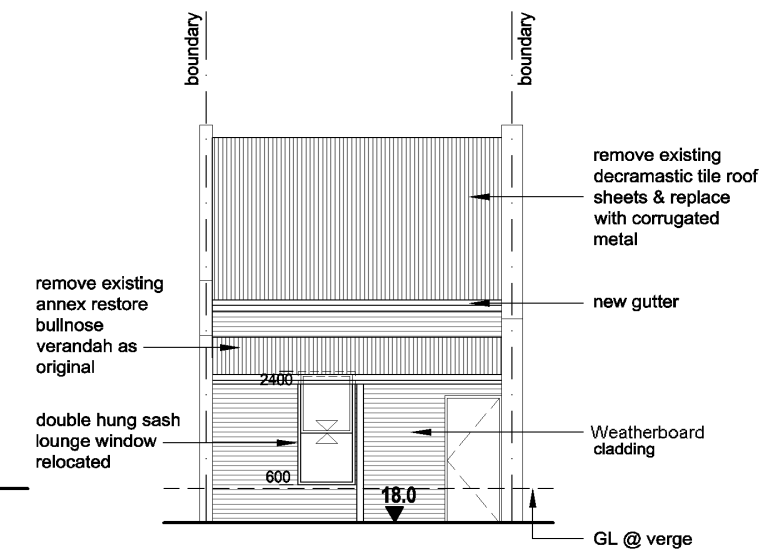
NORTH ELEVATION
scale 1:100



REAR (WEST) ELEVATION
scale 1:50



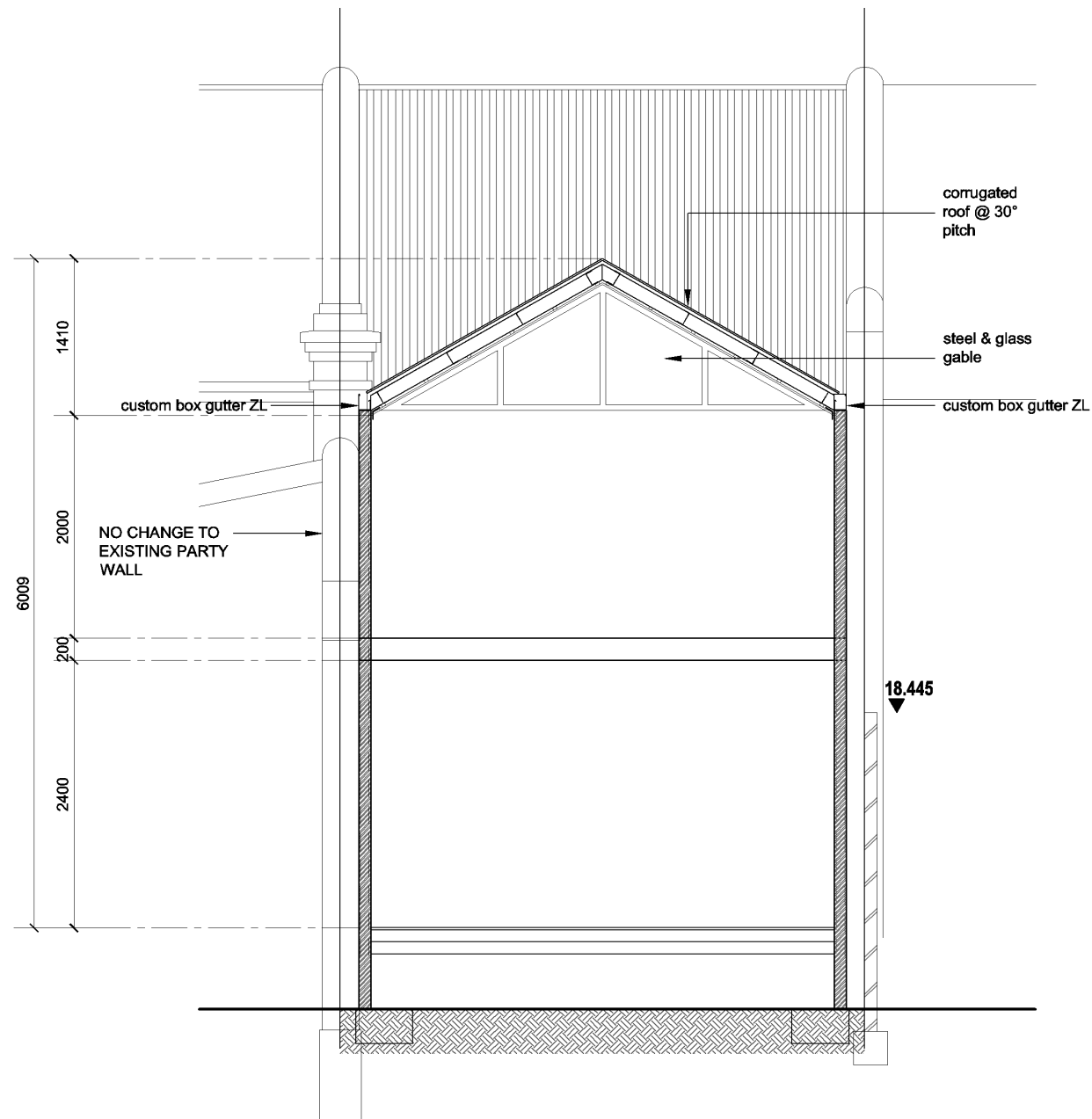
SOUTH ELEVATION
scale 1:100



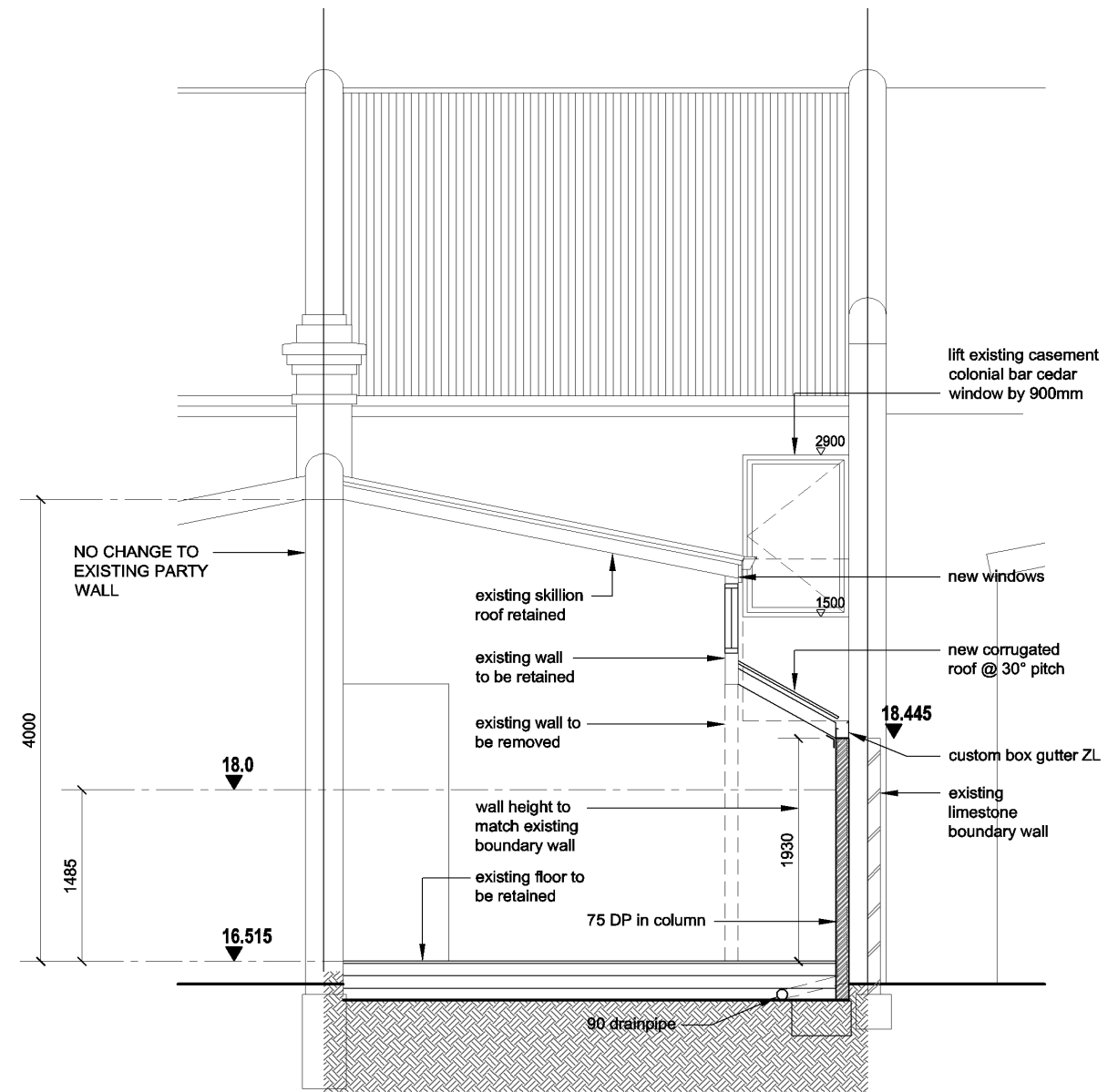
STREET ELEVATION
scale 1:100

REV	AMENDMENT	DATE	08.10.2019
project 41 BELLEVUE TCE, FREMANTLE WA			
DREAM 2 REALITY CONSTRUCTIONS © M: 0402 831 641 E: andy@dream2reality.com.au			
NEW ALTERATIONS & EXTENSION			
ELEVATIONS			
JB.	19011	DATE.	08/2019
scale	1:100	sheet size	A3
sheet	A05		

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SECTION B
scale 1:50



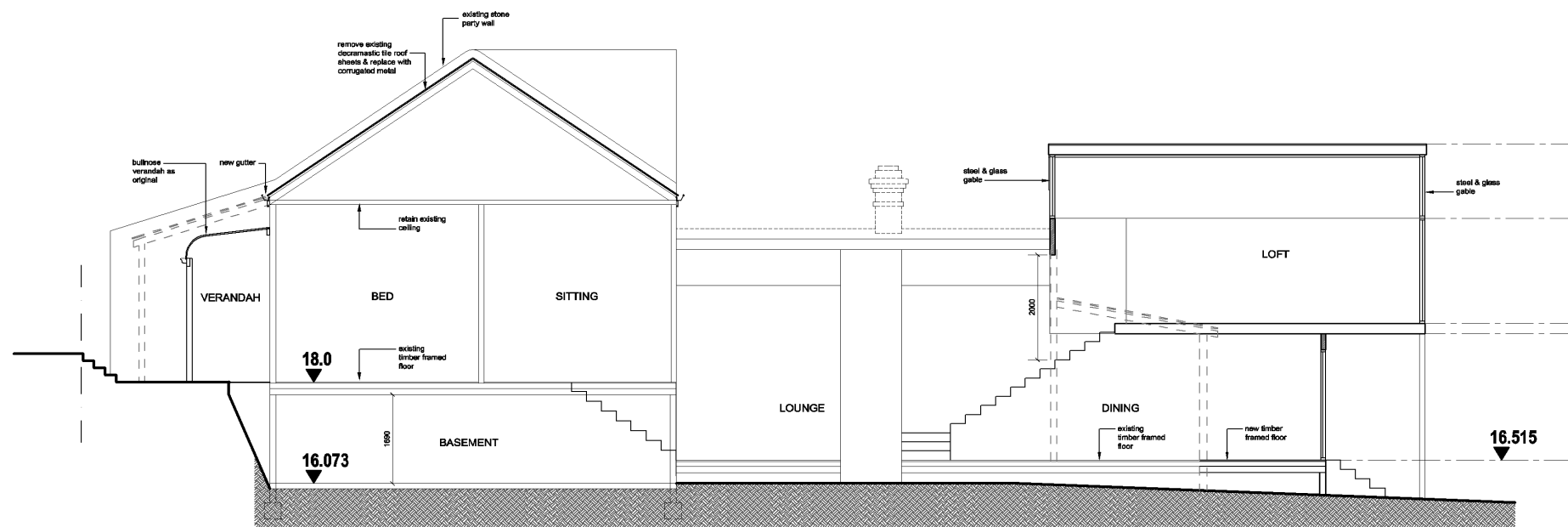
SECTION C
scale 1:50

REV	AMENDMENT	DATE
		08.10.2019
project 41 BELLEVUE TCE, FREMANTLE WA		
NEW ALTERATIONS & EXTENSION		
SECTIONS		
JB.	19011	DATE. 08/2019
scale	1:50	sheet size A3
sheet	A06	
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SECTION A
scale 1:100

REV - AMENDMENT		DATE 08.10.2019	
project 41 BELLEVUE TCE, FREMANTLE WA		NEW ALTERATIONS & EXTENSION	
		SECTION	
JB.	19011	DATE.	08/2019
scale	1:100	sheet size	A3
sheet	A07		
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PC1911 - 3 TYDEMAN ROAD, NO 26 (LOT 24), NORTH FREMANTLE - CHANGE OF USE TO INDUSTRY SERVICES (BAKERY) AND ADDITIONS AND ALTERATIONS TO EXISTING BUILDING (TG DA0263/19)

Minutes attachment 1 – Amended Development Plans

NEW BAKERY

26 TYDEMAN ROAD | NORTH FREMANTLE | WA

DEVELOPMENT APPLICATION ISSUE (REVISED)

DEVELOPMENT APPLICATION
(NOT FOR CONSTRUCTION)

CITY OF FREMANTLE
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DA0263/19

15 October 2019

DRAWING REGISTER

- A0.00 COVER SHEET, REGISTER AND SITE LOCATION PLAN
- A0.01 EXISTING PHOTOGRAPHIC RECORD
- A0.02 EXISTING FEATURE SURVEY (PREPARED BY DB SURVEYS)
- A1.00 PROPOSED ROOF PLAN
- A1.01 PROPOSED FLOOR PLAN
- A2.00 PROPOSED ELEVATIONS - PAGE 01
- A2.01 PROPOSED ELEVATIONS - PAGE 02

Revision	Comments	Date
8	DEVELOPMENT APPLICATION (REVISED)	2019 10 11
7	DEVELOPMENT APPLICATION (REVISED)	2019 09 11
6	DEVELOPMENT APPLICATION (REVISED)	2019 07 24
5	DEVELOPMENT APPLICATION	2019 06 26
4	DEVELOPMENT APPLICATION (DRAFT)	2019 06 05
3	DEVELOPED DESIGN (DRAFT)	2019 05 13
2	CONCEPT DESIGN (DRAFT)	2019 04 12
1	CONCEPT DESIGN (DRAFT)	2019 03 27

Status: DEVELOPMENT APPLICATION

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Architect Reg: 2318 ABN: 12 605 400 154

Project Description

NEW BAKERY

Project Address

**26 TYDEMAN ROAD
NORTH FREMANTLE WA**

Project No: **317**

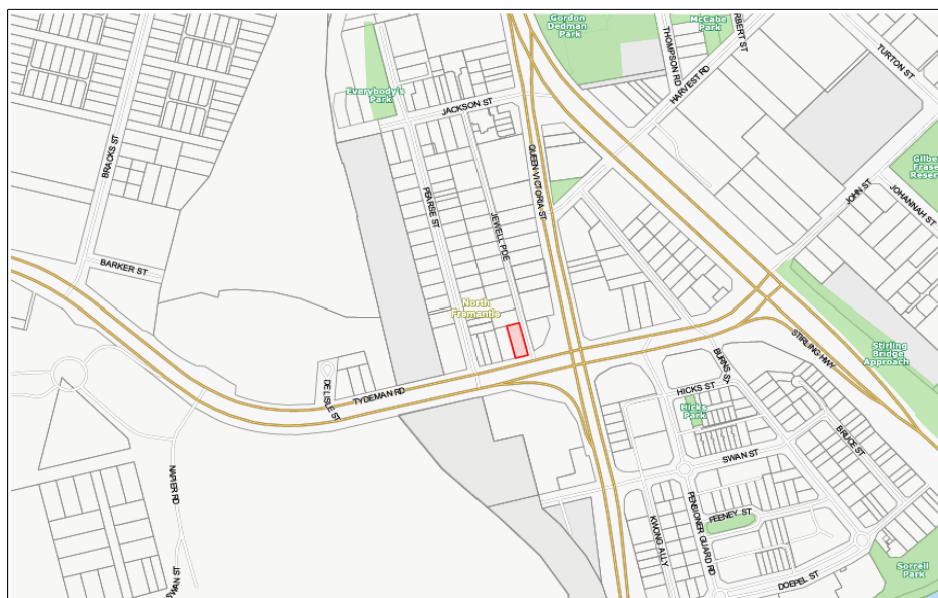
Drawn By: **MP**

A3 Scale: **NTS**

Drawing Title

**COVER PAGE, DWG REGISTER
AND SITE LOCATION**

Drawing: **A0.00** Revision: **8**



■ SUBJECT SITE - 26 TYDEMAN RD | Nth FREMANTLE | WA
SOURCE: CITY OF FREMANTLE WEBSITE



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15 October 2019



8	DEVELOPMENT APPLICATION (REVISED)	2019.10.11
7	DEVELOPMENT APPLICATION (REVISED)	2019.09.11
6	DEVELOPMENT APPLICATION (REVISED)	2019.07.24
5	DEVELOPMENT APPLICATION	2019.06.26
4	DEVELOPMENT APPLICATION (DRAFT)	2019.06.05
3	DEVELOPED DESIGN (DRAFT)	2019.05.13
2	CONCEPT DESIGN (DRAFT)	2019.04.12
1	CONCEPT DESIGN (DRAFT)	2019.03.27
Revision	Comments	Date

Status:
DEVELOPMENT APPLICATION

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Project Description:
NEW BAKERY

Project Address:
**26 TYDEMAN ROAD
NORTH FREMANTLE WA**

Project No: **317**

Drawn By: **MP**

A3 Scale: **NTS**



Drawing Title:
**EXISTING PHOTOGRAPHIC
RECORD**

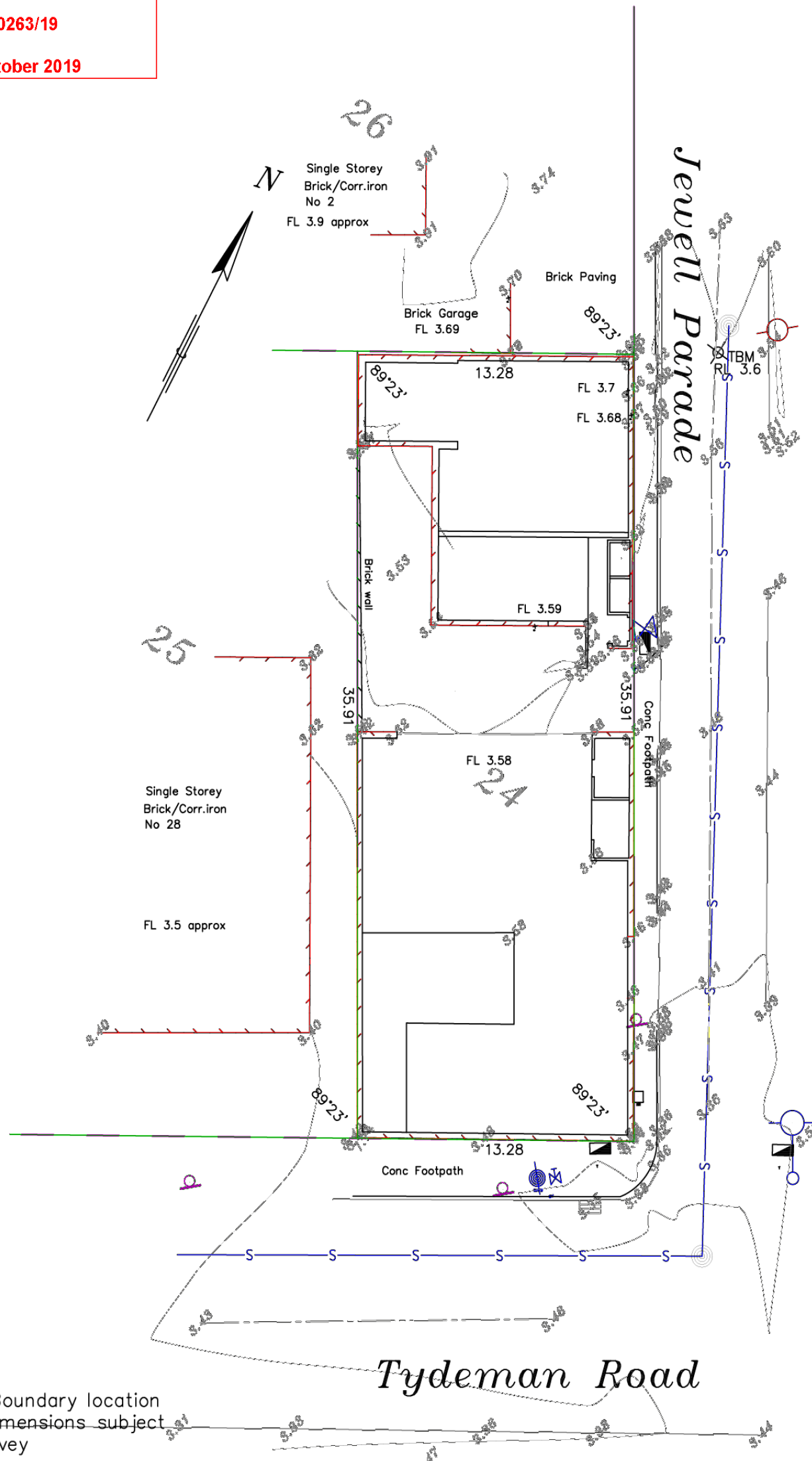
Drawing: **A0.01** Revision: **8**

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15 October 2019

Scale 1:200 @ A3

Key Features

- Telecom 
- Water meter 
- Power Pole 
- Power Dome 
- Sewer M/H 
- Hydrant 
- Elec.Light 
- Sign 



Note: Boundary location and dimensions subject to survey
All underground services need to be verified

Feature Survey
Lot 24 on Plan 768
26 Tydeman Road Nth Fremantle

Car Park



db Surveys
55 Chryseotom Street Trigg Perth 6029
Ph/Fax 61 8 94481033
LICENSED LAND and ENGINEERING SURVEYORS

8	DEVELOPMENT APPLICATION (REVISED)	2019.10.11
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Project Description
NEW BAKERY

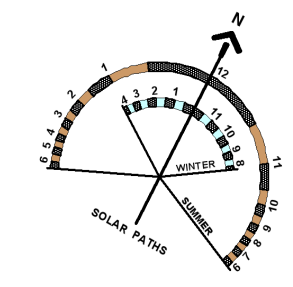
Project Address
**26 TYDEMAN ROAD
NORTH FREMANTLE WA**

Project No **317**
Drawn By **MP**
A3 Scale **NTS**

Drawing Title
**EXISTING FEATURE SURVEY
PREPARED BY DB SURVEYS**

Drawing **A0.02** Revision **8**

DEVELOPMENT APPLICATION
(NOT FOR CONSTRUCTION)

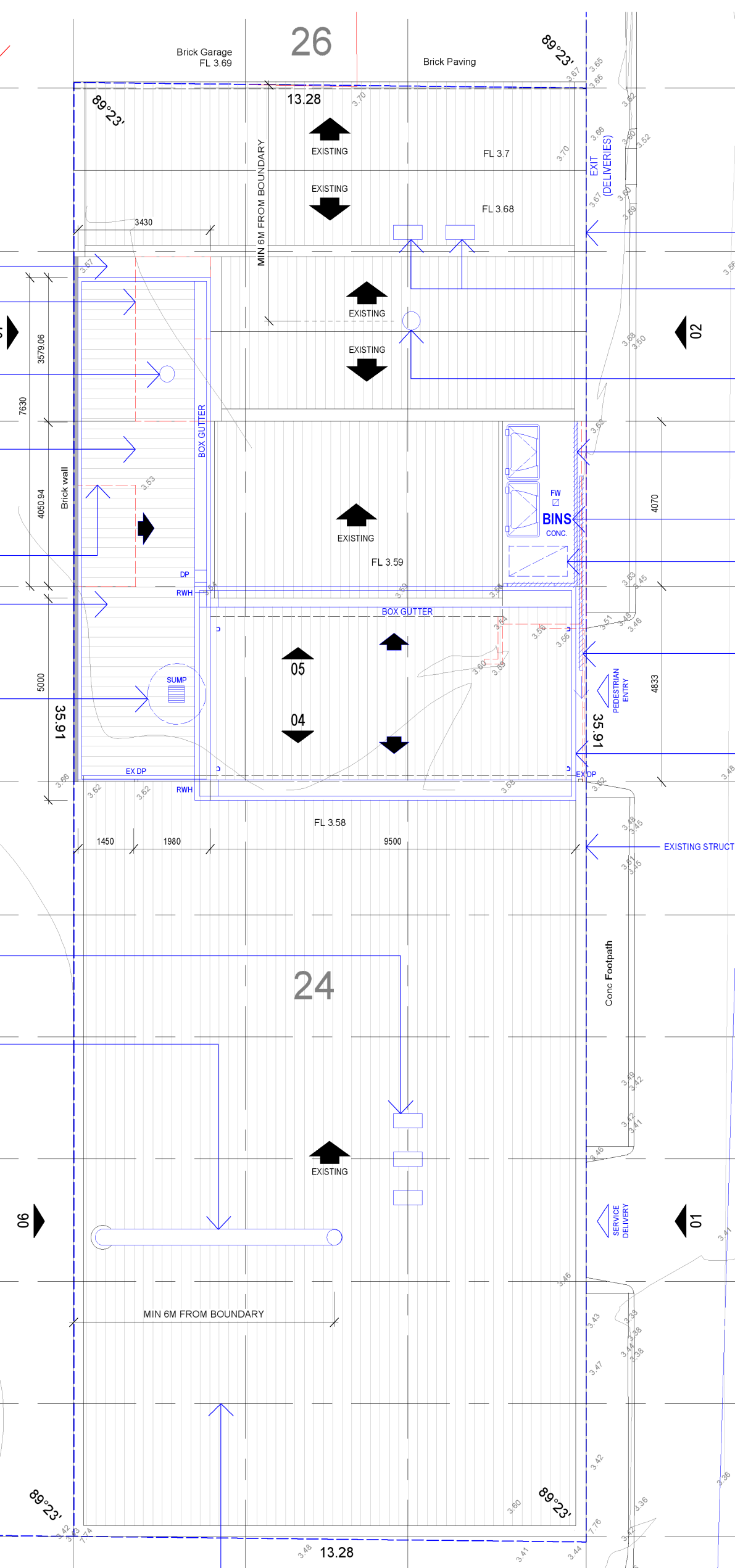


EXISTING SHEDS TO BE DEMOLISHED (SHOWN DASHED)
TOILET EXHAUST FLUE LOCATION. ALLOWANCE FOR IN-LINE FAN TO MINIMISE NOISE GENERATION. TYPE AND SIZE TO BE CONFIRMED WITH MECHANICAL CONSULTANT
NEW TOILET BLOCK - REFER TO PROPOSED FLOOR PLAN.

EXISTING SHEDS TO BE DEMOLISHED (SHOWN DASHED)
ROOF COVER TO CONTINUE ALONG BOUNDARY
NEW SOAKWELLS TO RETAIN ALL STORMWATER ON SITE

PROPOSED LOCATION FOR MECHANICAL PLANT (COOL ROOM AND AC OUTDOOR CONDENSERS). TYPE AND SIZE TO BE CONFIRMED WITH MECHANICAL CONSULTANT
KITCHEN EXHAUST FLUE LOCATION. ALLOWANCE FOR IN-LINE FAN TO MINIMISE NOISE GENERATION. EXTRACT LOCATION TO BE MINIMUM 6.0M FROM BOUNDARIES. TYPE AND SIZE TO BE CONFIRMED WITH MECHANICAL CONSULTANT

ROOF WORKS GENERAL NOTES:
ROOF AREAS TO BE ASSESSED FOR THERMAL PERFORMANCE. INSULATION TO ROOF AREAS TO BE UPGRADED TO COMPLY WITH NCC/BCA SECTION J
TOILET EXHAUST FLUE LOCATION. ALLOWANCE FOR IN-LINE FAN TO MINIMISE NOISE GENERATION. TYPE AND SIZE TO BE CONFIRMED WITH MECHANICAL CONSULTANT
KITCHEN EXHAUST FLUE LOCATION. ALLOWANCE FOR IN-LINE FAN TO MINIMISE NOISE GENERATION. EXTRACT LOCATION TO BE MINIMUM 6.0M FROM BOUNDARIES. TYPE AND SIZE TO BE CONFIRMED WITH MECHANICAL CONSULTANT
PROPOSED LOCATION FOR MECHANICAL PLANT (COOL ROOM AND AC OUTDOOR CONDENSERS). TYPE AND SIZE TO BE CONFIRMED WITH MECHANICAL CONSULTANT
SUPPLY AND INSTALL ROOF ACCESS, PLATFORMS & FALL ARREST EQUIPMENT IN ACCORDANCE WITH WA OSH REGULATIONS 1998 AND IN COMPLIANCE WITH BUILDING CODE OF AUSTRALIA
ALL STORMWATER DRAINAGE TO BE RETAINED ON SITE. PLUMBING AND SOAKWELLS TO BE INSTALLED TO COMPLY WITH AS3500 AND THE CITY OF FREMANTLE'S REQUIREMENTS TO CONTAIN A 1 IN 100 YEAR STORM / 24 HOURS DURATION



EXISTING STRUCTURE
PROPOSED LOCATION FOR MECHANICAL PLANT (COOL ROOM AND AC OUTDOOR CONDENSERS). TYPE AND SIZE TO BE CONFIRMED WITH MECHANICAL CONSULTANT

KITCHEN EXHAUST FLUE LOCATION. ALLOWANCE FOR IN-LINE FAN TO MINIMISE NOISE GENERATION. EXTRACT LOCATION TO BE MINIMUM 6.0M FROM BOUNDARIES. TYPE AND SIZE TO BE CONFIRMED WITH MECHANICAL CONSULTANT

TIMBER SCREEN - VERTICAL SLATS

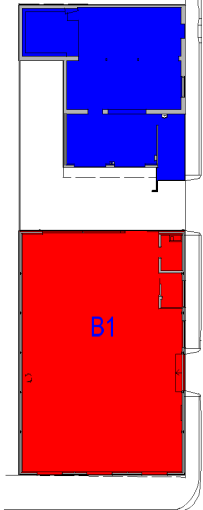
BIN STORE WITH CONCRETE FLOOR AND BIN WASH ZONE

GREASE TRAP (SHOWN DASHED)

NEW ENTRY SLIDING GATE

NEW CANOPY. STEEL / TIMBER FRAME WITH POLYCARBONATE ROOF SHEETING

KEY PLAN SCALE 1:500



- BUILDING 01 (B1) - AREA: 247.60 SQM
- BUILDING 02 (B2) - AREA: 137.00 SQM

Revision	Comments	Date
8	DEVELOPMENT APPLICATION (REVISED)	2019.10.11
7	DEVELOPMENT APPLICATION (REVISED)	2019.09.11
6	DEVELOPMENT APPLICATION (REVISED)	2019.07.24
5	DEVELOPMENT APPLICATION	2019.06.26
4	DEVELOPMENT APPLICATION (DRAFT)	2019.06.05
3	DEVELOPED DESIGN (DRAFT)	2019.05.13
2	CONCEPT DESIGN (DRAFT)	2019.04.12
1	CONCEPT DESIGN (DRAFT)	2019.03.27

DEVELOPMENT APPLICATION

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Architect Reg: 2318 ABN: 12 605 400 154

Project Description
NEW BAKERY

Project Address
**26 TYDEMAN ROAD
NORTH FREMANTLE WA**

Project No: 317
Drawn By: MP
A3 Scale: NTS

Drawing Title
PROPOSED ROOF PLAN

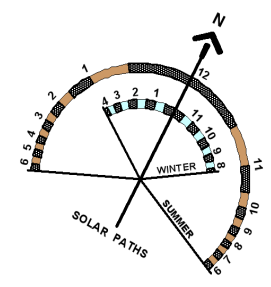
Drawing: **A1.00** Revision: **8**

01 PROPOSED ROOF PLAN
NEW BAKERY - SCALE 1:100

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PROPOSED SCOPE OF WORKS
SCOPE OF DEMOLITION WORKS

DEVELOPMENT APPLICATION
(NOT FOR CONSTRUCTION)



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EXISTING SHEDS TO BE DEMOLISHED (SHOWN DASHED)

EXISTING SHEDS TO BE DEMOLISHED (SHOWN DASHED)

EXTENT OF EXISTING CONCRETE FLOOR SLAB TO BE DEMOLISHED (SHOWN HATCHED)

EXISTING INTERNAL PARTITIONS TO BE DEMOLISHED (SHOWN DASHED)

Single Storey Brick/Corr. iron No 28 FL 3.5 approx

DEMO WORKS GENERAL NOTES:

EXISTING SERVICES:
- ALLOW FOR SITE UNDERGROUND SURVEY TO CONFIRM LOCATION OF EXISTING SERVICES PRIOR TO WORKS. DISCONNECT ALL SERVICES PRIOR TO DEMOLITION WORKS.
- CONFIRM EXISTING POWER FEED & LOCATION OF ALL EXISTING ELECTRICAL BOARDS ON SITE FOR COMPLETE SITE UPGRADE
- NEW GAS SUPPLY REQUIRED. LOCATION OF ALL METERS TO BE CONFIRMED ON SITE.
- CONFIRM LOCATION & SIZE OF ALL UNDERGROUND STORMWATER SOAKWELLS FOR REVIEW

PROVIDE ADEQUATE PROPPING WHERE NECESSARY DURING DEMOLITION WORK. A THOROUGH INVESTIGATION OF THE EXISTING BUILDING STRUCTURE CONDITIONS SHALL BE CARRIED OUT PRIOR TO ANY DEMOLITION.

ALL WALLS WHERE NOTED FOR DEMOLITION SHALL BE DEMOLISHED ENTIRELY UNLESS NOTED OTHERWISE. REMOVE ALL PREVIOUS SIGNAGE FROM BUILDING FACADES. MAKE GOOD WALL SURFACES FOR NEW PAINTWORK TO BUILDING 2

ALL DISUSED AND/OR REDUNDANT ELECTRICAL, MECHANICAL AND HYDRAULIC FIXTURES / FITTINGS SHALL BE REMOVED. MAKE GOOD WALL & ROOF SURFACES.

WHERE DEMOLITION WORK RESULTS IN DAMAGE TO ADJACENT WALL, FLOOR OR CEILING SURFACES, EVEN IF NOT NOTED, THESE SURFACES MUST BE MADE GOOD.

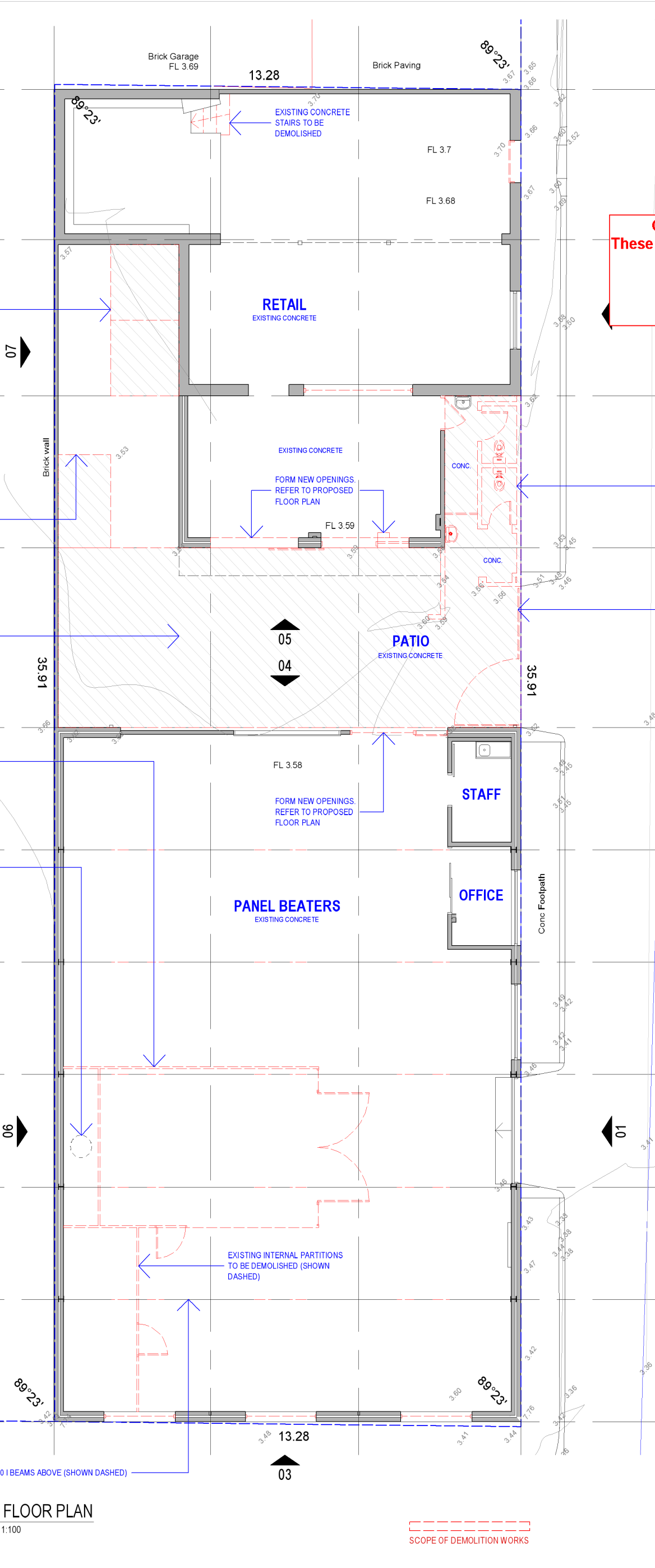
SAFETY FENCING AND/OR HOARDINGS SHALL BE ERECTED AS NECESSARY TO RESTRICT UNAUTHORISED ENTRY.

PROVIDE CORE HOLES AND PENETRATIONS IN SLABS AND WALLS NECESSARY FOR NEW SERVICES RETICULATION EVEN IF NOT SHOWN ON THIS DRAWING.

REFER TO PROPOSED FLOOR PLAN

REFER TO PROPOSED FLOOR PLAN

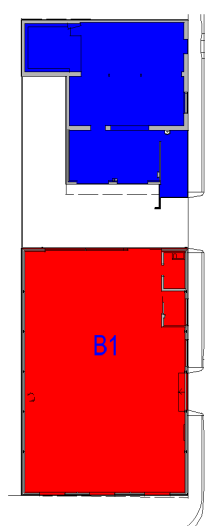
OVERHEAD 250 I BEAMS ABOVE (SHOWN DASHED)



EXISTING TOILETS TO BE DEMOLISHED

EXISTING ENTRY GATES TO BE DEMOLISHED

KEY PLAN SCALE 1:500



■	BUILDING 01 (B1) - AREA: 247.60 SQM
■	BUILDING 02 (B2) - AREA: 137.00 SQM
8	DEVELOPMENT APPLICATION (REVISED) 2019.10.11
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6	DEVELOPMENT APPLICATION (REVISED) 2019.07.24
5	DEVELOPMENT APPLICATION 2019.05.26
4	DEVELOPMENT APPLICATION (DRAFT) 2019.05.05
3	DEVELOPED DESIGN (DRAFT) 2019.05.13
2	CONCEPT DESIGN (DRAFT) 2019.04.12
1	CONCEPT DESIGN (DRAFT) 2019.03.27
Revision	Comments Date

Status:
DEVELOPMENT APPLICATION

FINESPUN
ARCHITECTURE, PLANNING & PROJECT MANAGEMENT

PO Box 431 MAYLANDS WA 6951
P: 08 9473 0764
E: hello@finespun.com.au
www.finespun.com.au
Architect Reg: 2318 ABN: 12 605 400 154

Project Description:
NEW BAKERY

Project Address:
**26 TYDEMAN ROAD
NORTH FREMANTLE WA**

Project No: **317**

Drawn By: **MP**

A3 Scale: **NTS**

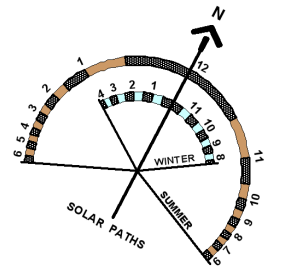
Drawing Title:
EXISTING / DEMO FLOOR PLAN

Drawing: **A1.01** Revision: **8**

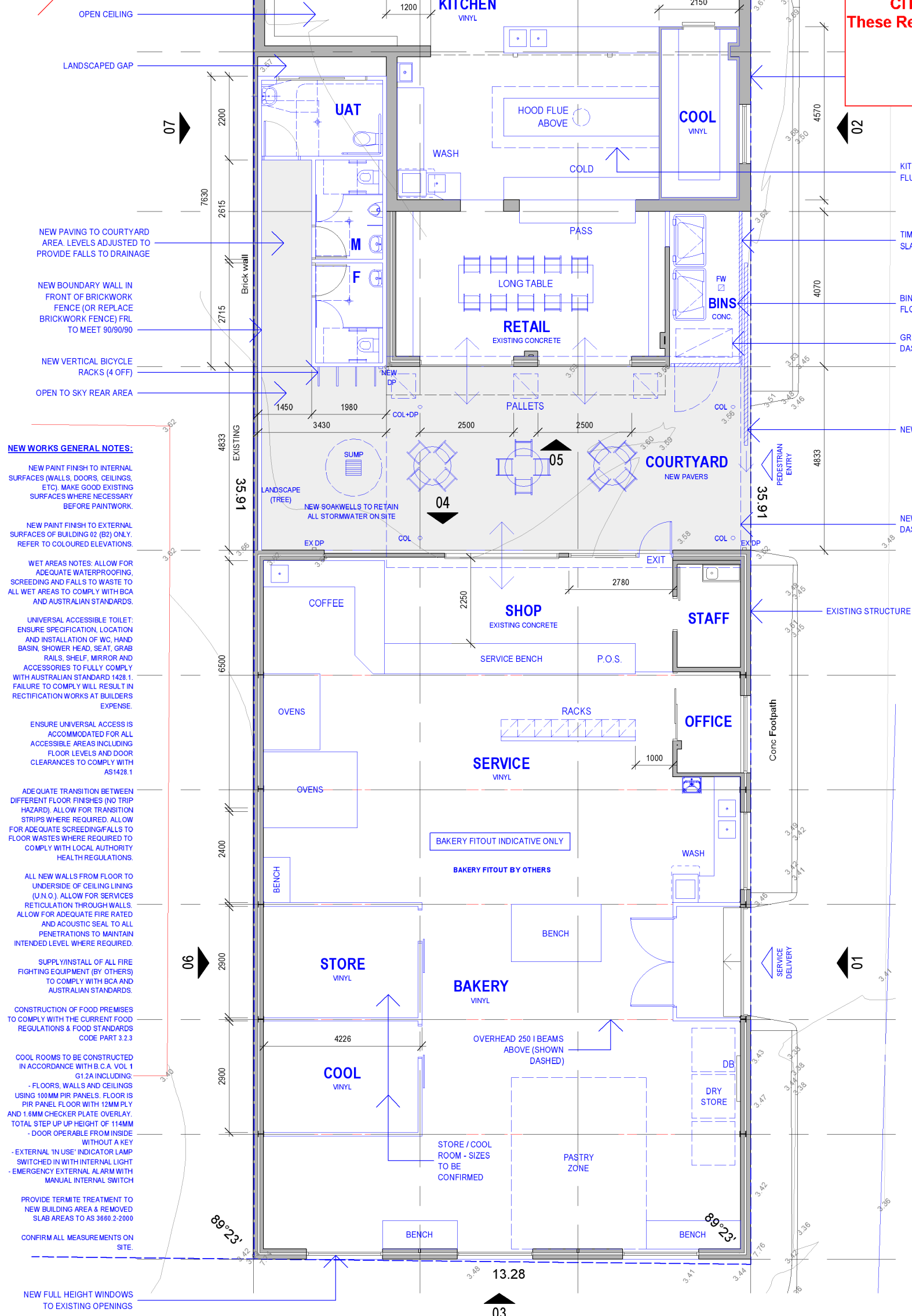
01 DEMOLITION FLOOR PLAN
NEW BAKERY - SCALE 1:100

--- SCOPE OF DEMOLITION WORKS

**DEVELOPMENT APPLICATION
(NOT FOR CONSTRUCTION)**



CITY OF FREMANTLE
These Revised Plans Form Part of
DA0263/19
15 October 2019



NEW WORKS GENERAL NOTES:

- NEW PAINT FINISH TO INTERNAL SURFACES (WALLS, DOORS, CEILINGS, ETC) MAKE GOOD EXISTING SURFACES WHERE NECESSARY BEFORE PAINTWORK.
- NEW PAINT FINISH TO EXTERNAL SURFACES OF BUILDING 02 (B2) ONLY. REFER TO COLOURED ELEVATIONS.
- WET AREAS NOTES: ALLOW FOR ADEQUATE WATERPROOFING, SCREEDING AND FALLS TO WASTE TO ALL WET AREAS TO COMPLY WITH BCA AND AUSTRALIAN STANDARDS.
- UNIVERSAL ACCESSIBLE TOILET: ENSURE SPECIFICATION, LOCATION AND INSTALLATION OF WC, HAND BASIN, SHOWER HEAD, SEAT, GRAB RAILS, SHELF, MIRROR AND ACCESSORIES TO FULLY COMPLY WITH AUSTRALIAN STANDARD 1429.1. FAILURE TO COMPLY WILL RESULT IN RECTIFICATION WORKS AT BUILDERS EXPENSE.
- ENSURE UNIVERSAL ACCESS IS ACCOMMODATED FOR ALL ACCESSIBLE AREAS INCLUDING FLOOR LEVELS AND DOOR CLEARANCES TO COMPLY WITH AS1428.1
- ADEQUATE TRANSITION BETWEEN DIFFERENT FLOOR FINISHES (NO TRIP HAZARD). ALLOW FOR TRANSITION STRIPS WHERE REQUIRED. ALLOW FOR ADEQUATE SCREEDING/FALLS TO FLOOR WASTES WHERE REQUIRED TO COMPLY WITH LOCAL AUTHORITY HEALTH REGULATIONS.
- ALL NEW WALLS FROM FLOOR TO UNDERSIDE OF CEILING LINING (U.N.O.). ALLOW FOR SERVICES RETICULATION THROUGH WALLS. ALLOW FOR ADEQUATE FIRE RATED AND ACOUSTIC SEAL TO ALL PENETRATIONS TO MAINTAIN INTENDED LEVEL WHERE REQUIRED.
- SUPPLY/INSTALL OF ALL FIRE FIGHTING EQUIPMENT (BY OTHERS) TO COMPLY WITH BCA AND AUSTRALIAN STANDARDS.
- CONSTRUCTION OF FOOD PREMISES TO COMPLY WITH THE CURRENT FOOD REGULATIONS & FOOD STANDARDS CODE PART 3.2.3
- COOL ROOMS TO BE CONSTRUCTED IN ACCORDANCE WITH B.C.A. VOL 1 G1.2A INCLUDING:
 - FLOORS, WALLS AND CEILINGS USING 100MM PIR PANELS. FLOOR IS PIR PANEL FLOOR WITH 12MM PLY AND 1.6MM CHECKER PLATE OVERLAY. TOTAL STEP UP HEIGHT OF 114MM
 - DOOR OPERABLE FROM INSIDE WITHOUT A KEY
 - EXTERNAL 'IN USE' INDICATOR LAMP SWITCHED IN WITH INTERNAL LIGHT
 - EMERGENCY EXTERNAL ALARM WITH MANUAL INTERNAL SWITCH
- PROVIDE TERMITE TREATMENT TO NEW BUILDING AREA & REMOVED SLAB AREAS TO AS 3680.2-2009
- CONFIRM ALL MEASUREMENTS ON SITE

NEW DOOR TO EXISTING OPENING

KITCHEN HOOD AND EXHAUST FLUE - SHOWN DASHED

TIMBER SCREEN - VERTICAL SLATS

BIN STORE WITH CONCRETE FLOOR AND BIN WASH ZONE

GREASE TRAP (SHOWN DASHED)

NEW ENTRY SLIDING GATE

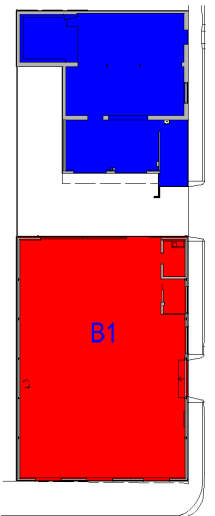
NEW CANOPY OVER (SHOWN DASHED)

EXISTING STRUCTURE

CONC Footpath

SERVICE DELIVERY

KEY PLAN SCALE 1:500



■	BUILDING 01 (B1) - AREA: 247.80 SQM
■	BUILDING 02 (B2) - AREA: 137.00 SQM
8	DEVELOPMENT APPLICATION (REVISED) 2019.10.11
7	DEVELOPMENT APPLICATION (REVISED) 2019.09.11
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Revision	Comments Date

DEVELOPMENT APPLICATION

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Architect Reg: 2318 ABN: 12 605 400 154

Project Description:
NEW BAKERY

Project Address:
**26 TYDEMAN ROAD
NORTH FREMANTLE WA**

Project No: **317**
Drawn By: **MP**
A3 Scale: **NTS**

Drawing Title:
PROPOSED FLOOR PLAN

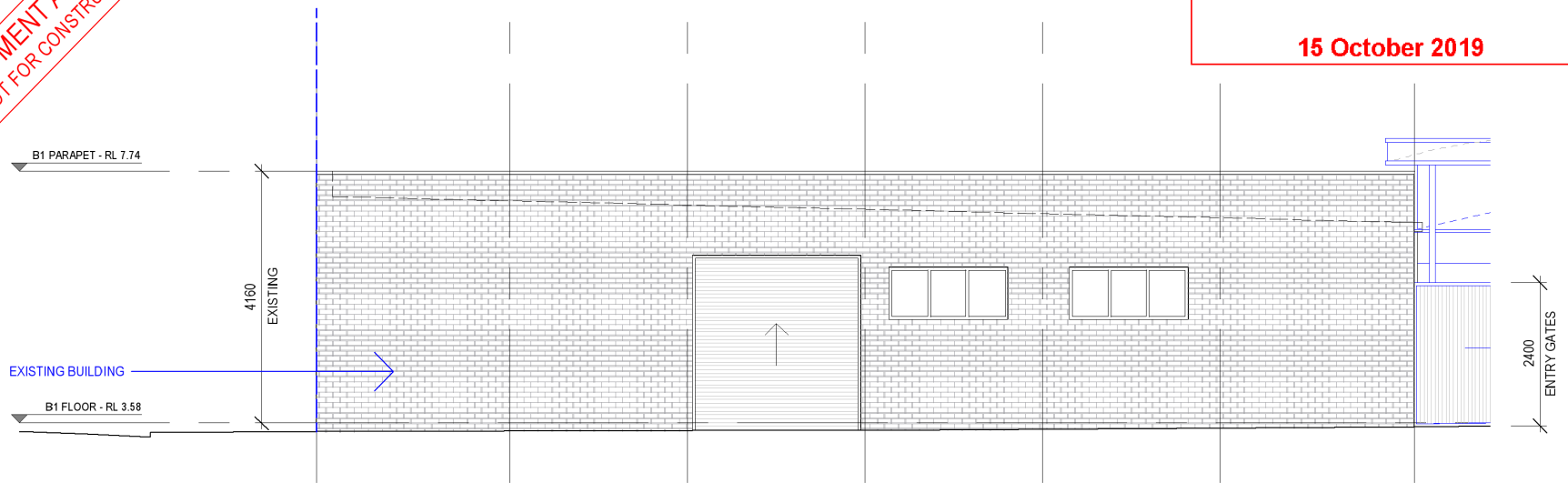
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01 PROPOSED FLOOR PLAN
NEW BAKERY - SCALE 1:100

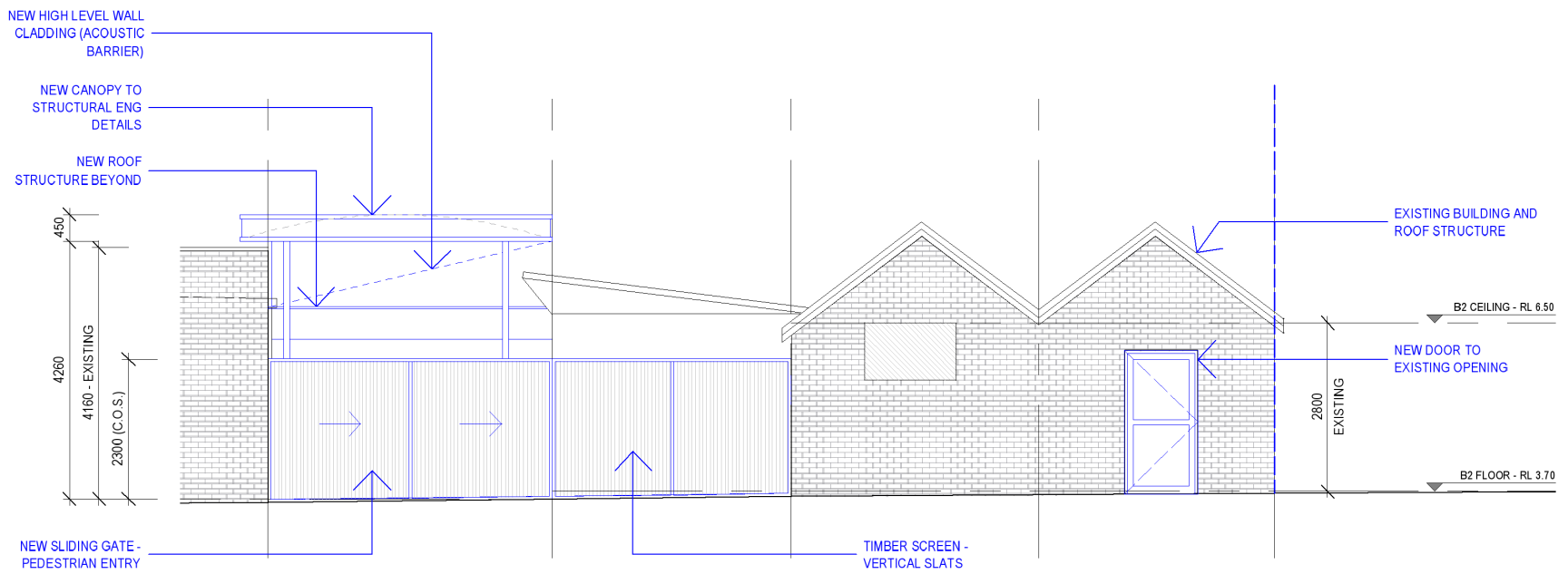
PROPOSED SCOPE OF WORKS

**DEVELOPMENT APPLICATION
(NOT FOR CONSTRUCTION)**

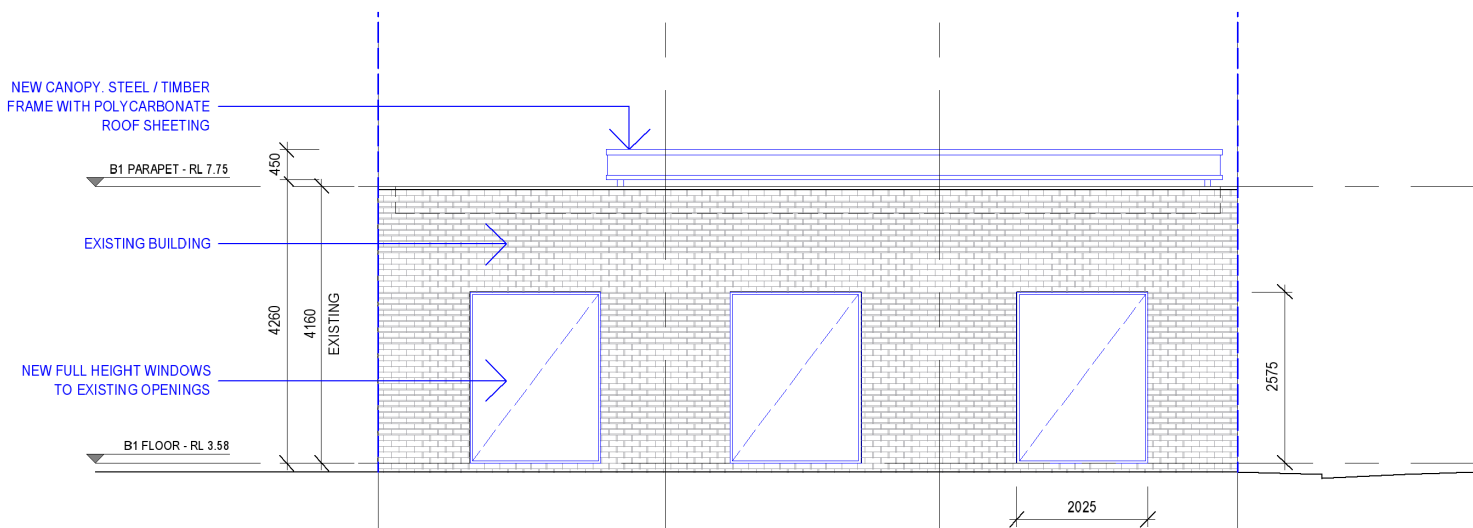
CITY OF FREMANTLE
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DA0263/19
15 October 2019



01 ELEVATION 01 - BUILDING 01 (B1)
NEW BAKERY - SCALE 1:100



02 ELEVATION 02 - BUILDING 02 (B2)
NEW BAKERY - SCALE 1:100



03 ELEVATION 03 - BUILDING 01 (B1)
NEW BAKERY - SCALE 1:100

Revision	Comments	Date
8	DEVELOPMENT APPLICATION (REVISED)	2019.10.11
7	DEVELOPMENT APPLICATION (REVISED)	2019.09.11
6	DEVELOPMENT APPLICATION (REVISED)	2019.07.24
5	DEVELOPMENT APPLICATION	2019.06.26
4	DEVELOPMENT APPLICATION (DRAFT)	2019.06.05
3	DEVELOPED DESIGN (DRAFT)	2019.05.13
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1	CONCEPT DESIGN (DRAFT)	2019.03.27

Status
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Architect Reg: 2318 ABN: 12 605 400 154

Project Description
NEW BAKERY

Project Address
**26 TYDEMAN ROAD
NORTH FREMANTLE WA**

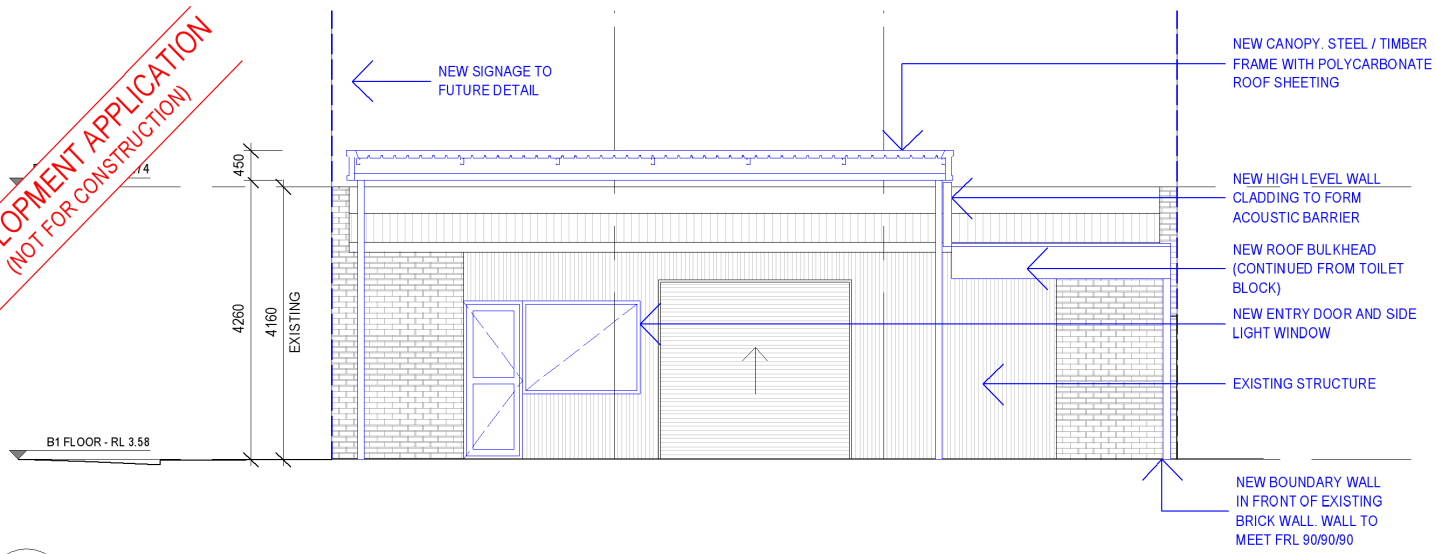
Project No: **317**
Drawn By: **MP**
A3 Scale: **NTS**

Drawing Title
**PROPOSED ELEVATIONS
PAGE 01**

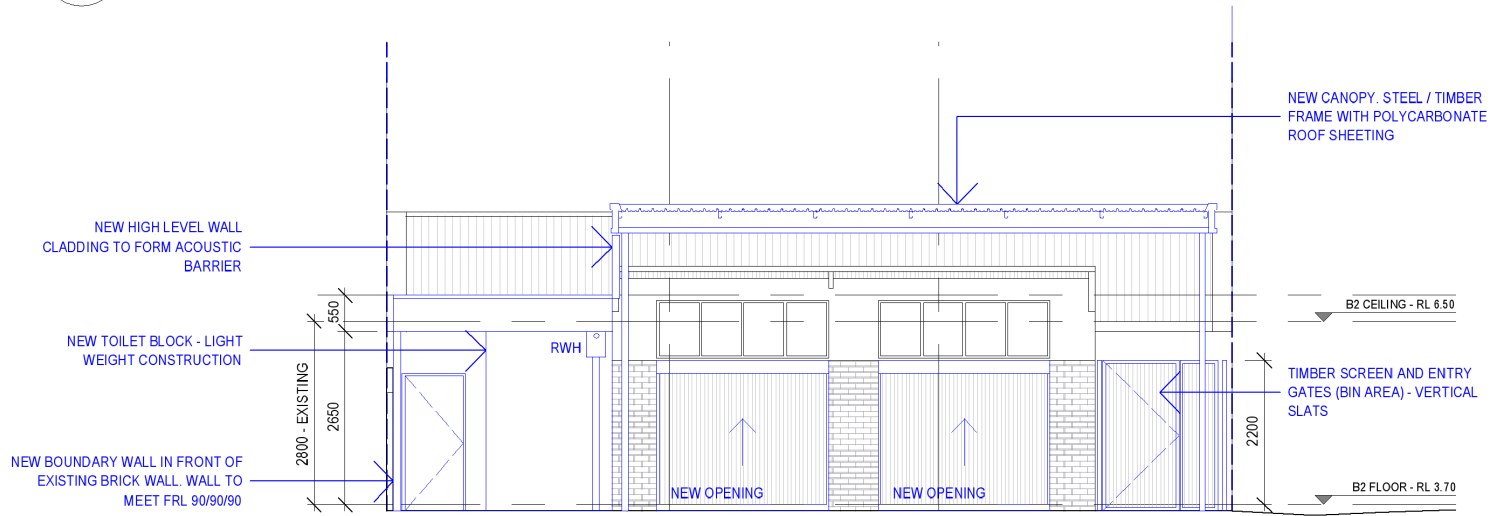
Drawing: **A2.00** Revision: **8**

PROPOSED SCOPE OF WORKS

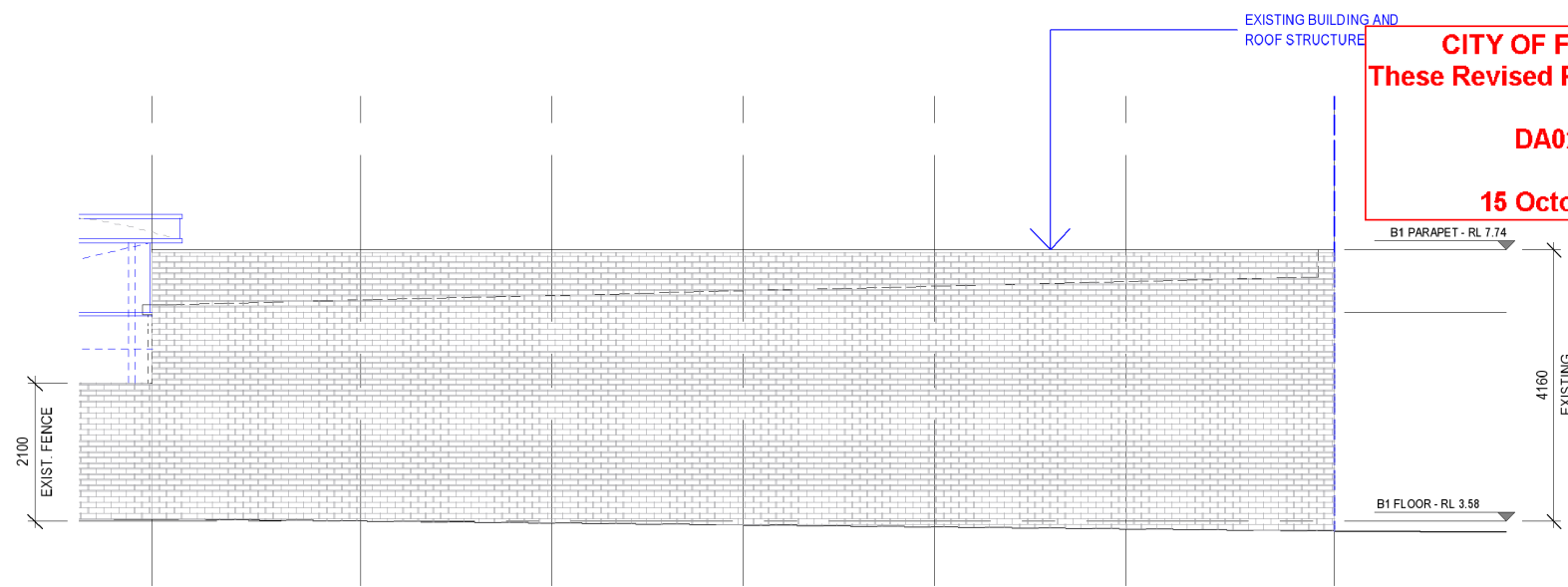
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(NOT FOR CONSTRUCTION)**



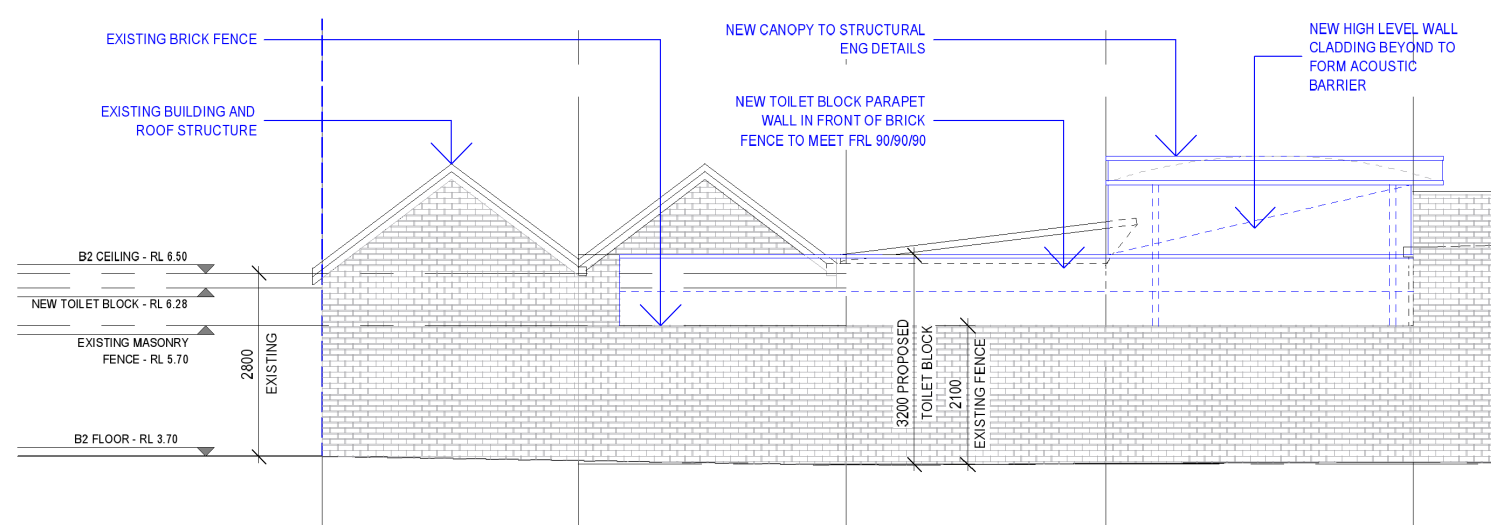
01 ELEVATION 04 - BUILDING 01 (B1)
NEW BAKERY - SCALE 1:100



02 ELEVATION 05 - BUILDING 02 (B2)
NEW BAKERY - SCALE 1:100



03 ELEVATION 06 - BUILDING 01 (B1)
NEW BAKERY - SCALE 1:100



04 ELEVATION 07 - BUILDING 02 (B2)
NEW BAKERY - SCALE 1:100

CITY OF FREMANTLE
These Revised Plans Form Part of
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15 October 2019

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Revision: Comments: Date:
Status:
DEVELOPMENT APPLICATION

FINESPUN
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Architect Reg: 2318 ABN: 12 605 400 164

Project Description:
NEW BAKERY
Project Address:
**26 TYDEMAN ROAD
NORTH FREMANTLE WA**

Project No: **317**
Drawn By: **MP**
A3 Scale: **NTS**

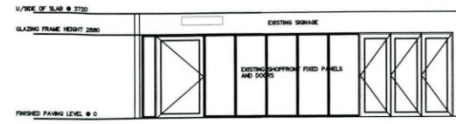
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**PROPOSED ELEVATIONS
PAGE 02**

Drawing: **A2.01** Revision: **8**

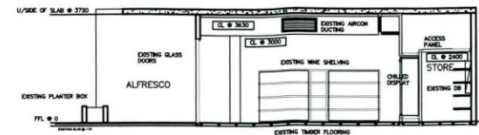
PROPOSED SCOPE OF WORKS

PC1911 - 5 FREEMAN LOOP, NO. 19 (LOT 1), NORTH FREMANTLE - CHANGE OF USE FROM LIQUOR STORE TO TAVERN - (NB DA0315/19)
Minutes attachment 1 - Development Plans

CITY OF FREMANTLE
These Plans Form Part of
DA0315/19
23 Aug 2019



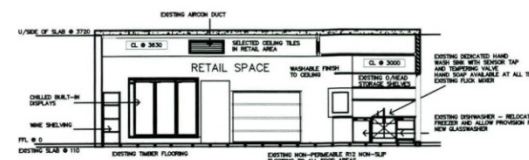
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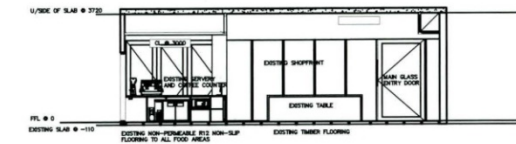
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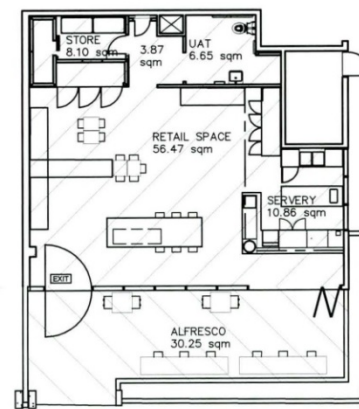
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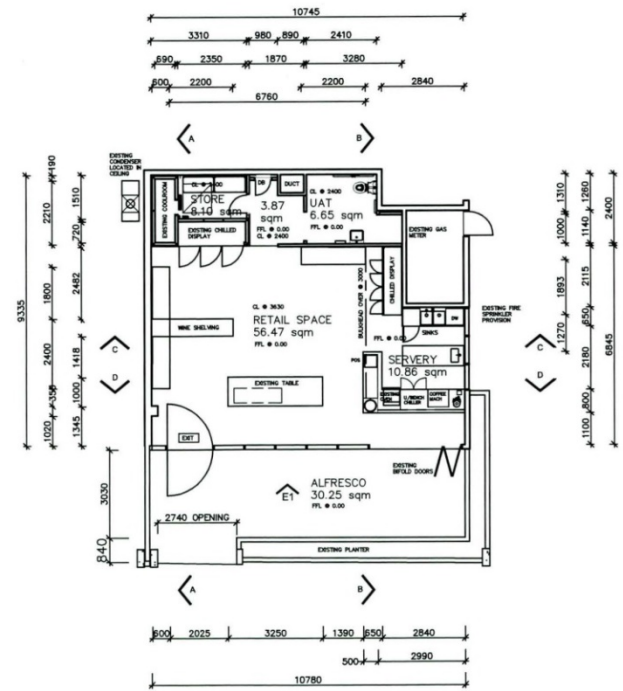
SECTION C-C



SECTION D-D



FLOOR PLAN - PROPOSED AND REDEFINED LICENCED AREA
1:50



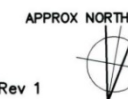
FLOOR PLAN - AS BUILT
1:50



PROPOSED CHANGE OF USE TO 'TAVERN'
TENANCY 1 19 FREEMAN LOOP
LEIGHTON BEACH NORTH FREMANTLE
FLOOR PLAN, ELEVATION & SECTIONS

INTERNAL AREAS	
STORAGE	6.20 sqm
CIRCULATION	3.87 sqm
UAT	6.65 sqm
RETAIL	56.47 sqm
SERVERY	10.86 sqm
OTHER	5.65 sqm
TOTAL INTERNAL	89.70 sqm
ALFRESCO	30.25 sqm
TOTAL AREA	119.95 sqm
MAXIMUM PATRONS	25

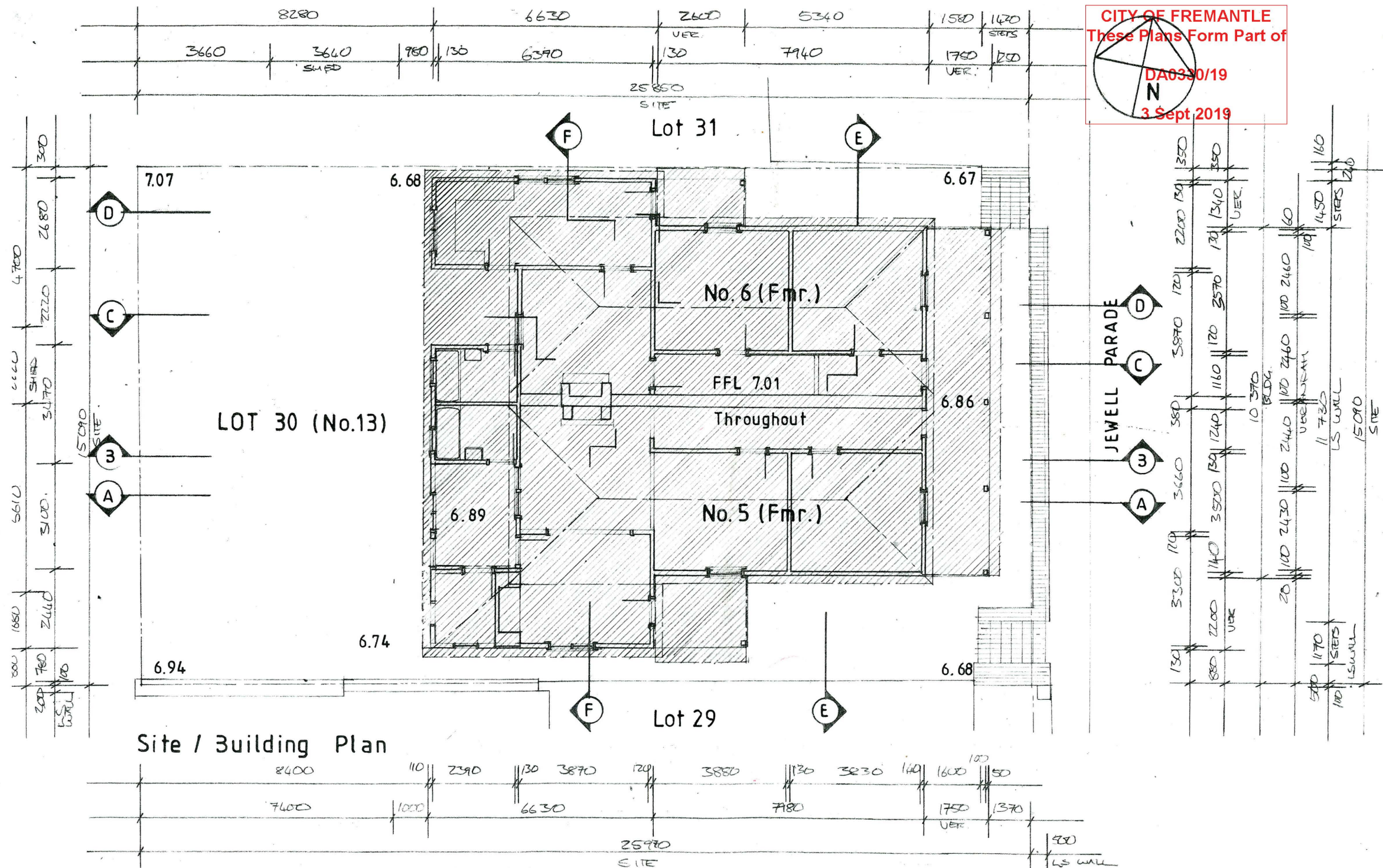
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SCALE: 1:50
AUGUST 2019
20190815-A-01 Rev 1





ISSUED FOR REVIEW
DESCRIPTION
DATE
BY

PC1911 - 10 JEWELL PARADE, NO. 13 (LOT 30), NORTH FREMANTLE - DEMOLITION OF GROUPED DWELLING (JL DA0330/19)

Minutes attachment 1 - Development Plans



 Portion to be Demolished
 Portion to be Retained

SCALE 1: 100	DRAWING TITLE PROPOSED DEMOLITION	DRAWING NO. D1.
DATE AUG 19		

Timber-Framed Duplex (1898)
Lot 30, Jewell Parade, Nth. Fremantle

John W. Kirkness B.A., B.Arch.

All drawings to be verified before commencing fabrication / works.
These drawings remain the copyright of John W. Kirkness B.A., B.Arch.

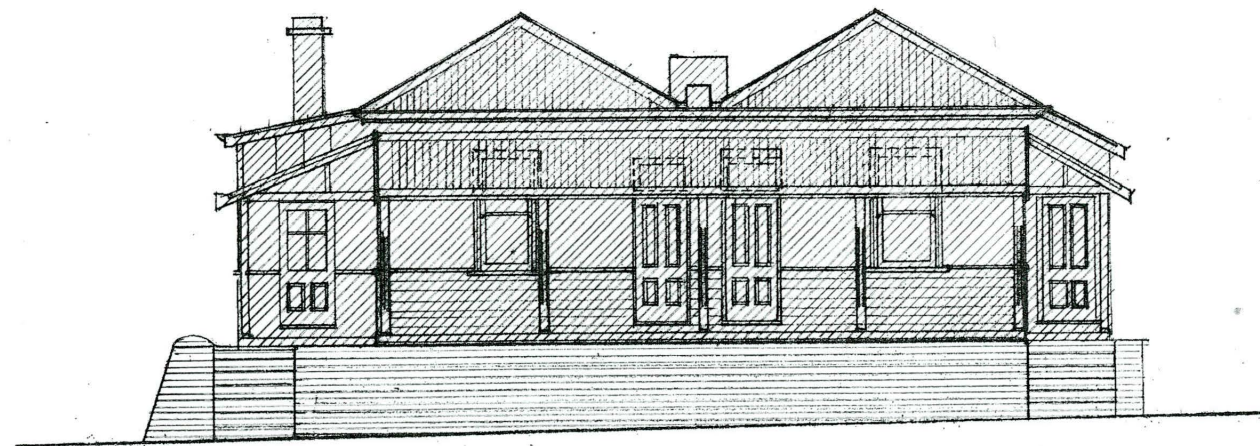
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All drawings shall be verified before commencing fabrication / works. These drawings remain the copyright of John W. Kirkness B.A., B.Arch.


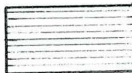
CITY OF FREMANTLE
These Plans Form Part of

DA0330/19

3 Sept 2019



East (Streetfront) Elevation

 Portion to be Demolished
 Portion to be Retained

SCALE 1:100	DRAWING TITLE Demolition Proposal	DRAWING NO D2.
DATE AUG 19		

Timber-Framed Duplex (1898)
Lot 30, Jewell Parade, Nth. Fremantle

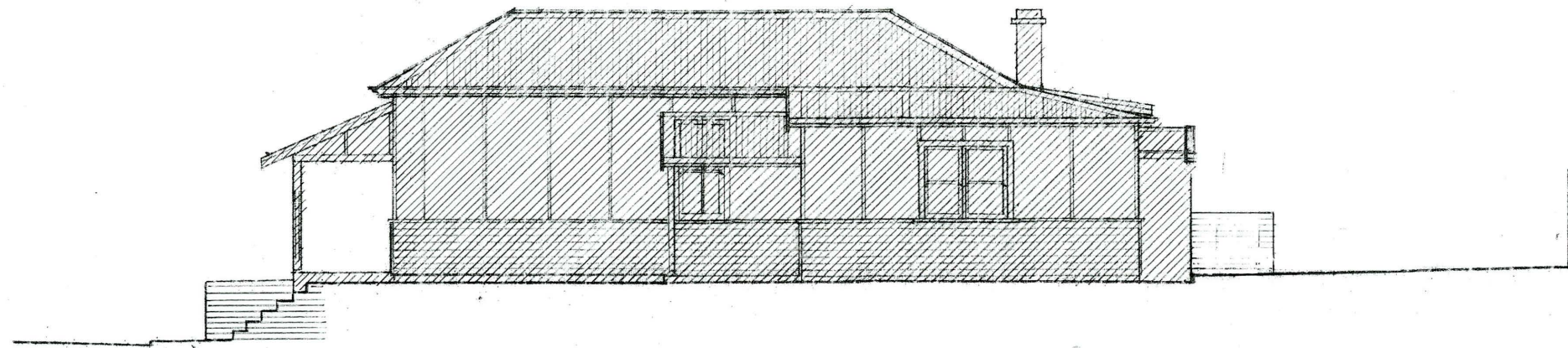
As Existing Drawings (2012)

Scale 1:100


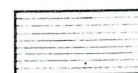
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John W. Kirkness B.A., B.Arch.

CITY OF FREMANTLE
These Plans Form Part of
DA0330/19
3 Sept 2019



North (Side) Elevation

-  Portion to be Demolished
-  Portion to be Retained

SCALE 1: 100	DRAWING TITLE Proposed Demolition	DRAWING NO D3.
DATE AUG 19		

John W. Kirkness B.A., B.Arch.

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Timber-Framed Duplex (1898)

Lot 30, Jewell Parade, Nth. Fremantle

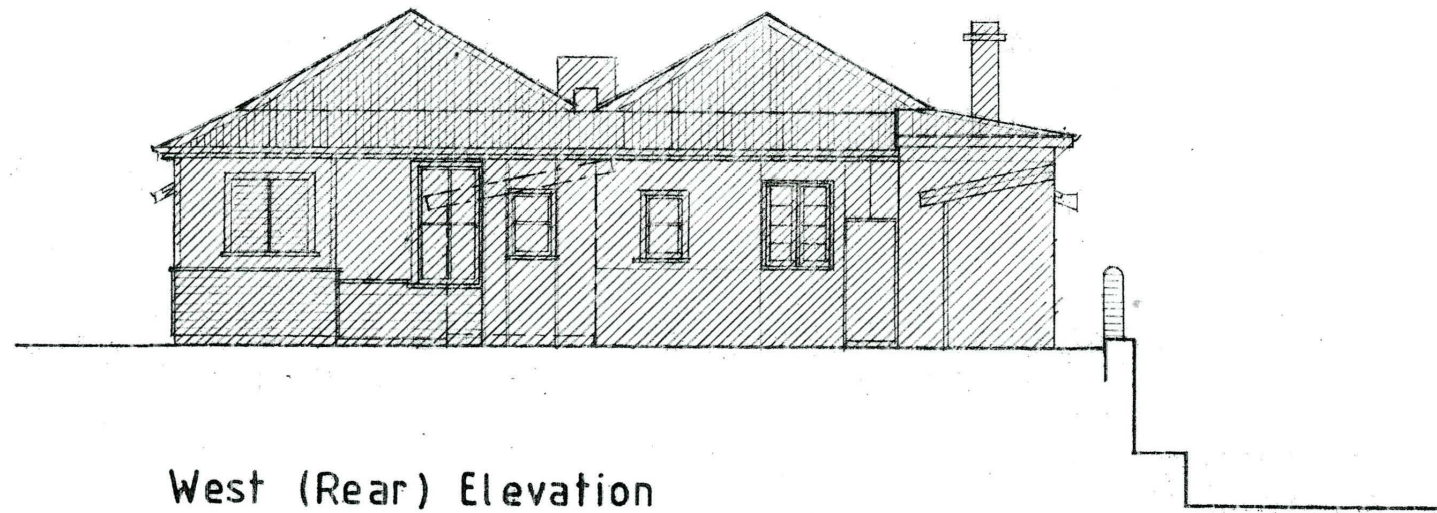
As Existing Drawings (2012)

Scale 1:100



CITY OF FREMANTLE
These Plans Form Part of

DA0330/19

3 Sept 2019



West (Rear) Elevation

 Portion to be Demolished
 Portion to be Retained

SCALE 1:100	DRAWING TITLE Proposed Demolition	DRAWING NO D4.
DATE AUG 19		

John W. Kirkness B.A., B.Arch.

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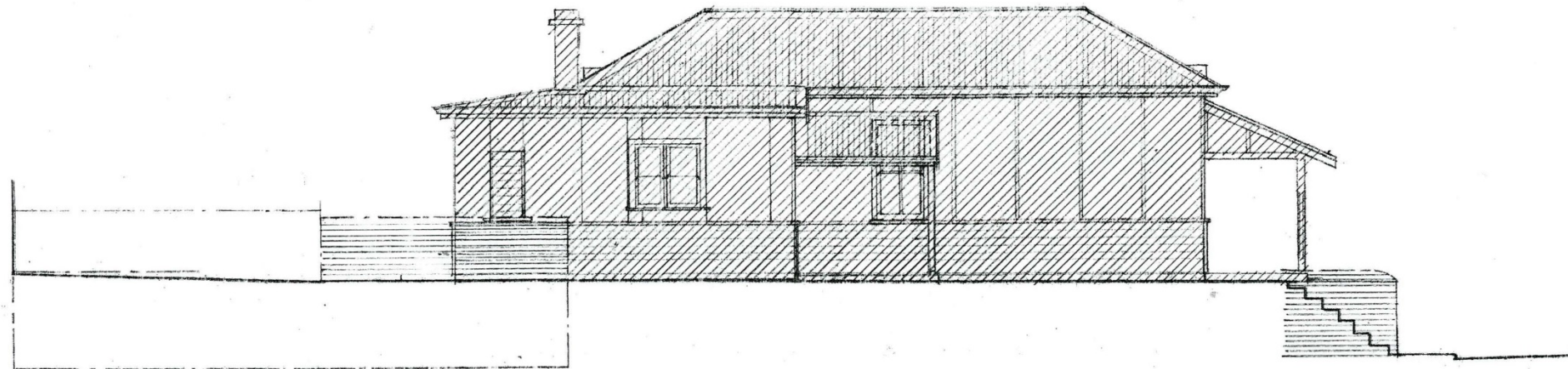
Timber-Framed Duplex (1898)
Lot 30, Jewell Parade, Nth. Fremantle

As Existing Drawings (2012)


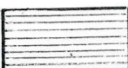
Scale 1:100

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CITY OF FREMANTLE
These Plans Form Part of
DA0330/19
3 Sept 2019



South (Side) Elevation

 Portion to be Demolished
 Portion to be Retained

SCALE 1:100	DRAWING TITLE Proposed Demolition	DRAWING NO D5.
DATE AUG 19		

John W. Kirkness B.A., B.Arch.

Timber-Framed Duplex (1898)
Lot 30, Jewell Parade, Nth. Fremantle

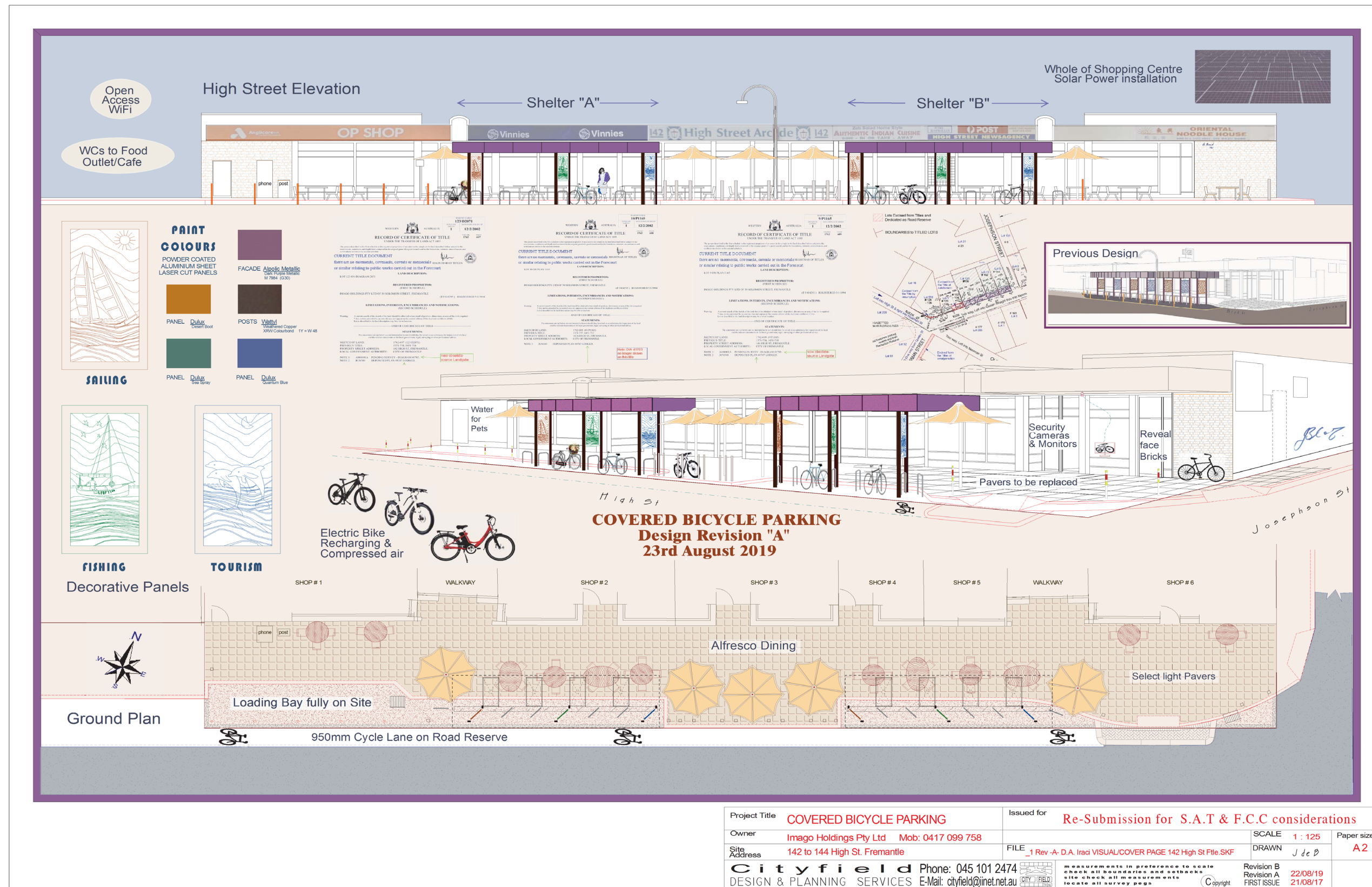
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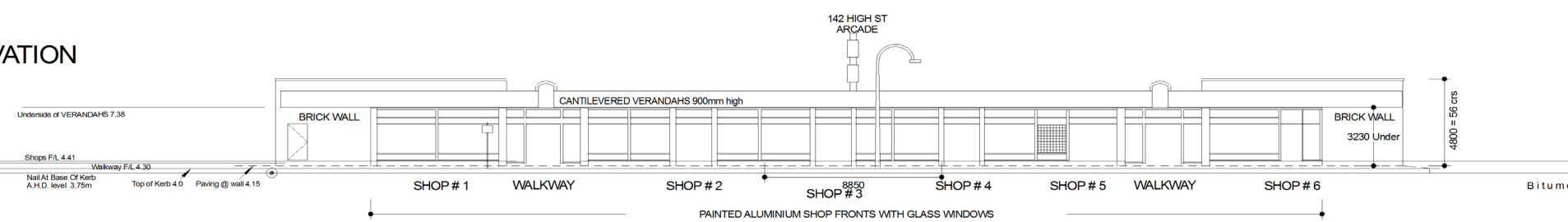
All drawings shall be verified before commencing fabrication / works.
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PC1911 - 11 HIGH STREET, NO.142 (LOTS 9, 10, AND 123), FREMANTLE - PROPOSED ADDITIONS AND ALTERATIONS TO EXISTING COMMERCIAL DEVELOPMENT (JK DA0417/17)

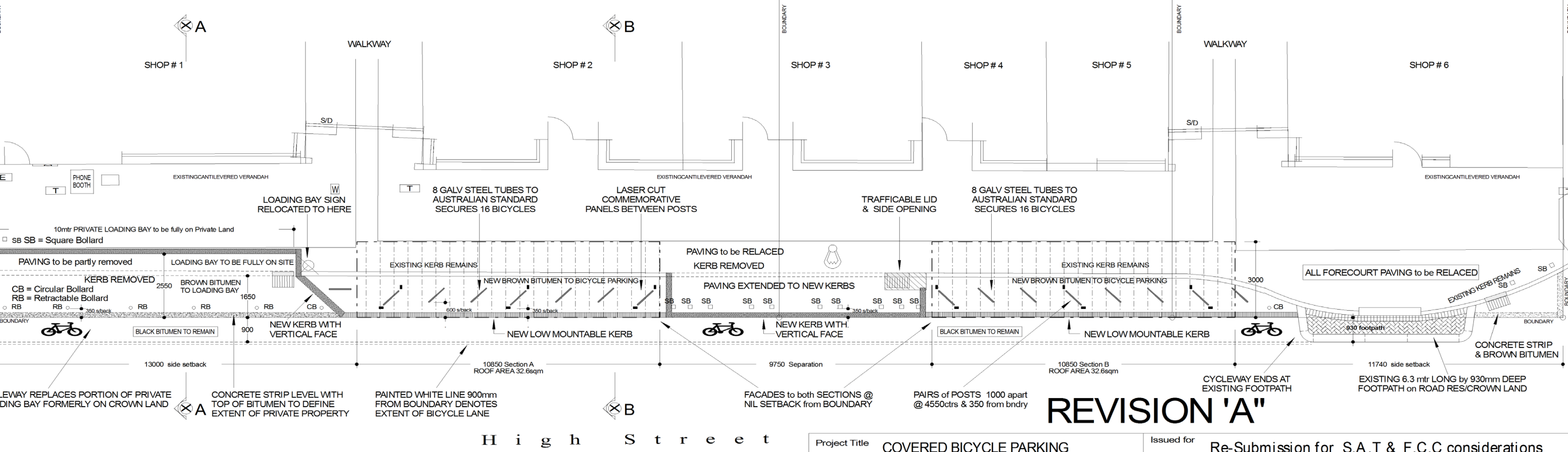
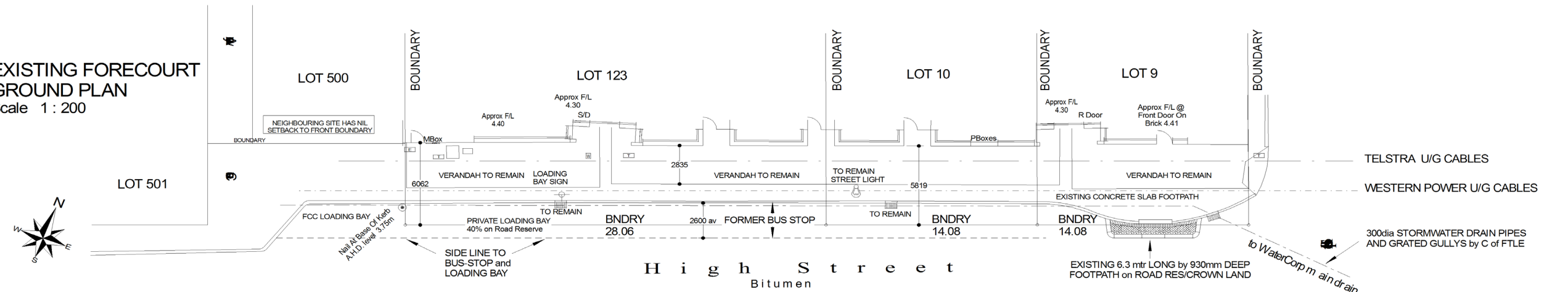
Minutes attachment 1 – Amended Plans



EXISTING FRONT ELEVATION
Scale 1 : 200

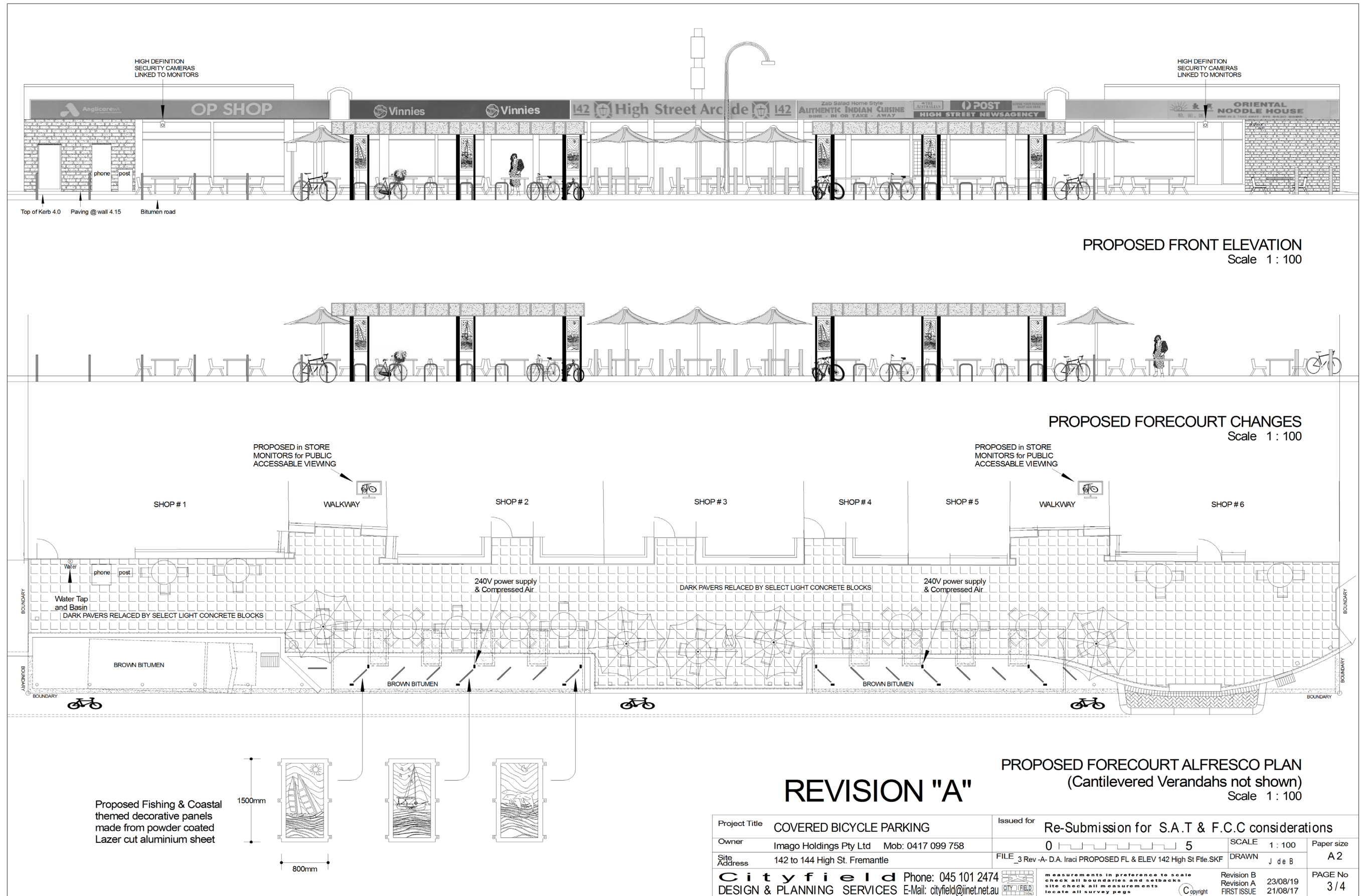


EXISTING FORECOURT GROUND PLAN
Scale 1 : 200



PROPOSED FORECOURT GROUND PLAN
Scale 1 : 100

Project Title	COVERED BICYCLE PARKING	Issued for	Re-Submission for S.A.T & F.C.C considerations	
Owner	Imago Holdings Pty Ltd Mob: 0417 099 758	Scale	1 : 200	Paper size
Site Address	142 to 144 High St. Fremantle	FILE	0 10	A2
Cityfield Phone: 045 101 2474 DESIGN & PLANNING SERVICES E-Mail: cityfield@inet.net.au		DRAWN	J de B	PAGE No
		Revision B	23/08/19	2/4
		Revision A2	21/08/17	



Project Title	COVERED BICYCLE PARKING	Issued for	Re-Submission for S.A.T & F.C.C considerations		
Owner	Imago Holdings Pty Ltd Mob: 0417 099 758	SCALE	1 : 100	Paper size	
Site Address	142 to 144 High St. Fremantle	FILE	_3 Rev -A- D.A. Iraci PROPOSED FL & ELEV 142 High St File.SKF	A2	
Cityfield Phone: 045 101 2474 DESIGN & PLANNING SERVICES E-Mail: cityfield@inet.net.au		measurments in preference to scale check all boundaries and setbacks site check all measurments locate all survey pegs	Revision B Revision A FIRST ISSUE	23/08/19 21/08/17	PAGE No 3/4

Standard bike lane design

The Guide to Road Design – Part 6A: Pedestrian and Cyclist Paths provide guidance for road designers and other practitioners on the design of paths for safe and efficient walking and cycling (2). The City will have standard bike lanes that have the following features:
The inclusion of on or off road lanes is appropriate for the given location in respect to traffic volume and speed. A continuous lane designated by white striping, segregated from any traffic lane.
The use of appropriate signs and pavement markings will improve the safety and general public acceptance of bicycles on public roadways. Regulatory and warning signs will alert bicyclists to potential conflicts and convey regulatory messages to both bicyclists and motorists at highway intersections. Where bike lanes have been provided, they should be signed as such so as not to allow vehicle parking.
If parking is permitted, the bike lane should be placed between the parking area and the travel lane and have a minimum width of 1.5m and is to be provided with the inclusion of an additional 0.5m buffer is desirable. The 0.5m should be located outside the door zone. The door zone (also known as the danger zone) is the area that is the width of the vehicle door when the door is open. The level of buffer between the parked vehicles and adjacent traffic lane will be comparable to the level of use. High turnover on-street parking would demand a more generous buffer. Bike users should be able to comfortably navigate an open vehicle door without fear of being sideswiped by the adjacent traffic. Bicycle lanes should be provided with adequate drainage to prevent potentially hazardous conditions. The drainage grates should be bicycle-safe. Paths should be cambered for drainage and in locations where sedimentation occurs a rill should be constructed to prevent sediment buildup. Green Paint which should be used in potential conflict areas such as intersections, roads with unusual traffic conditions, between left turn lanes, entries and exits to roundabouts, vehicle park and shopping centre entries/exits, where a cycle lane crosses a free flow or merge lane and any place where road conditions create additional risks to cyclists.

EXTRACTS FROM STATE PLANNING POLICY DOCUMENTS

1. INTRODUCTION

1.1 The aim of bicycle planning is to provide for the safe and convenient movement of cyclists in urban areas by providing for the following features:
The inclusion of on or off road lanes is appropriate for the given location in respect to traffic volume and speed. A continuous lane designated by white striping, segregated from any traffic lane.
The use of appropriate signs and pavement markings will improve the safety and general public acceptance of bicycles on public roadways. Regulatory and warning signs will alert bicyclists to potential conflicts and convey regulatory messages to both bicyclists and motorists at highway intersections. Where bike lanes have been provided, they should be signed as such so as not to allow vehicle parking.
If parking is permitted, the bike lane should be placed between the parking area and the travel lane and have a minimum width of 1.5m and is to be provided with the inclusion of an additional 0.5m buffer is desirable. The 0.5m should be located outside the door zone. The door zone (also known as the danger zone) is the area that is the width of the vehicle door when the door is open. The level of buffer between the parked vehicles and adjacent traffic lane will be comparable to the level of use. High turnover on-street parking would demand a more generous buffer. Bike users should be able to comfortably navigate an open vehicle door without fear of being sideswiped by the adjacent traffic. Bicycle lanes should be provided with adequate drainage to prevent potentially hazardous conditions. The drainage grates should be bicycle-safe. Paths should be cambered for drainage and in locations where sedimentation occurs a rill should be constructed to prevent sediment buildup. Green Paint which should be used in potential conflict areas such as intersections, roads with unusual traffic conditions, between left turn lanes, entries and exits to roundabouts, vehicle park and shopping centre entries/exits, where a cycle lane crosses a free flow or merge lane and any place where road conditions create additional risks to cyclists.

2. POLICY OBJECTIVES

2.1 To make cycling safer and more convenient through the provision of safe and well-maintained facilities for the use of bicycles.
2.2 To ensure that the use of bicycles is encouraged and provided for by planning and land use decisions.
2.3 To encourage more roads, roads and streets to be made bicycle-friendly through the provision of more (and better) cycling facilities.
2.4 To increase the general awareness of the benefits of cycling.
2.5 To ensure adequate consultation is given to the provision of cycling facilities in planning studies and in the implementation of the bicycle planning strategy.

3. POLICY MEASURES

3.1 Bicycles and the Road Network
3.1.1 In view of cycling being a predominantly urban mode of transport, road planning and design should give priority consideration to cyclists' needs and ensure that cycling is safely integrated with other road users. Consideration and implementation of the WESTCOAST bicycle planning strategy guidelines will assist in providing safe on-road conditions for cyclists.
3.1.2 A cycling network should be developed for the following:
- improve the existing road network and/or individual roads to meet the needs of cyclists more effectively (Consideration needs to be given to road pavement and traffic lane widths).

3.2 Cycling Facilities in New Subdivisions

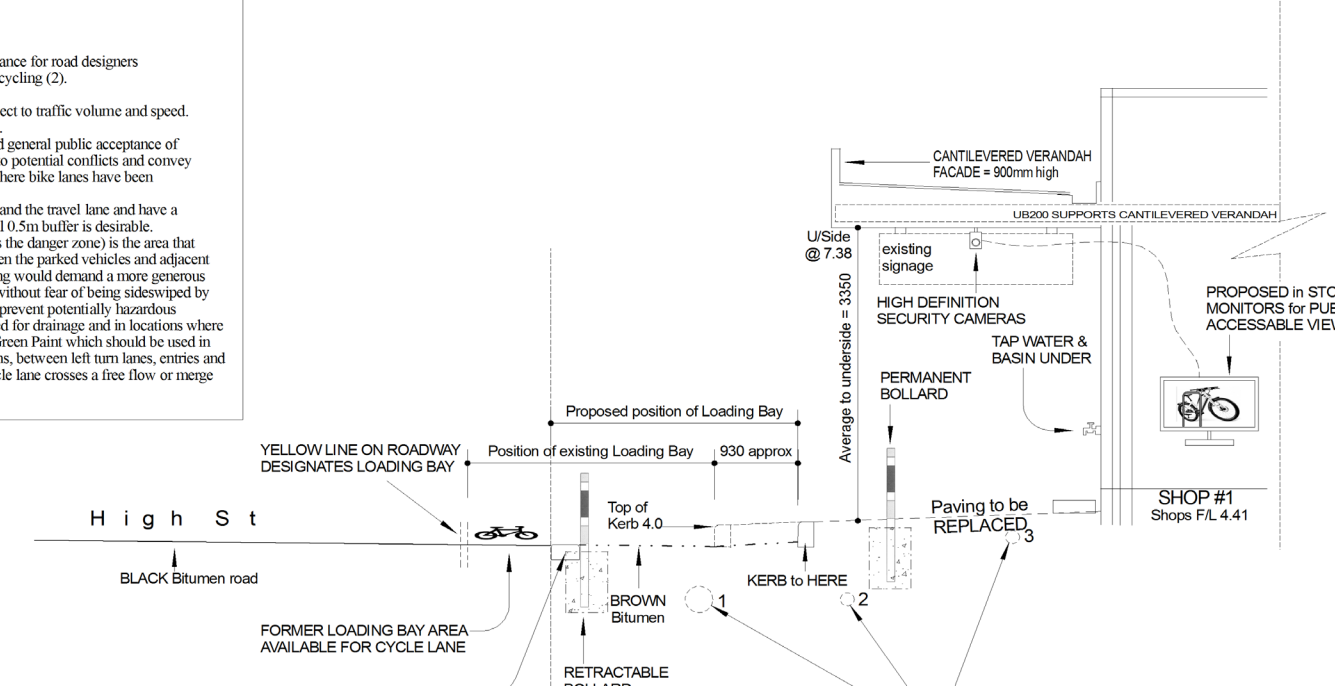
3.2.1 Approval should be given for the Residential Road Planning Policy (DC 2) to ensure that road design and construction is consistent with the needs of cyclists and pedestrians.
3.2.2 In the planning of a new subdivision, the following minimum standards relating to cycling should be considered:
- the provision of safe cycling routes to and from the subdivision (i.e. accessibility to the subdivision);
- the provision of safe cycling routes to and from the subdivision (i.e. accessibility to the subdivision);
- the provision of safe cycling routes to and from the subdivision (i.e. accessibility to the subdivision);

3.3 Bicycles in Local Area Traffic Management Schemes

Local government undertaking local area traffic management schemes should give consideration to cycling and ensure any device installed enhances cycling safety and does not have a detrimental impact on cycling opportunities.

3.4 Bicycle Parking and End-of-Trip Facilities

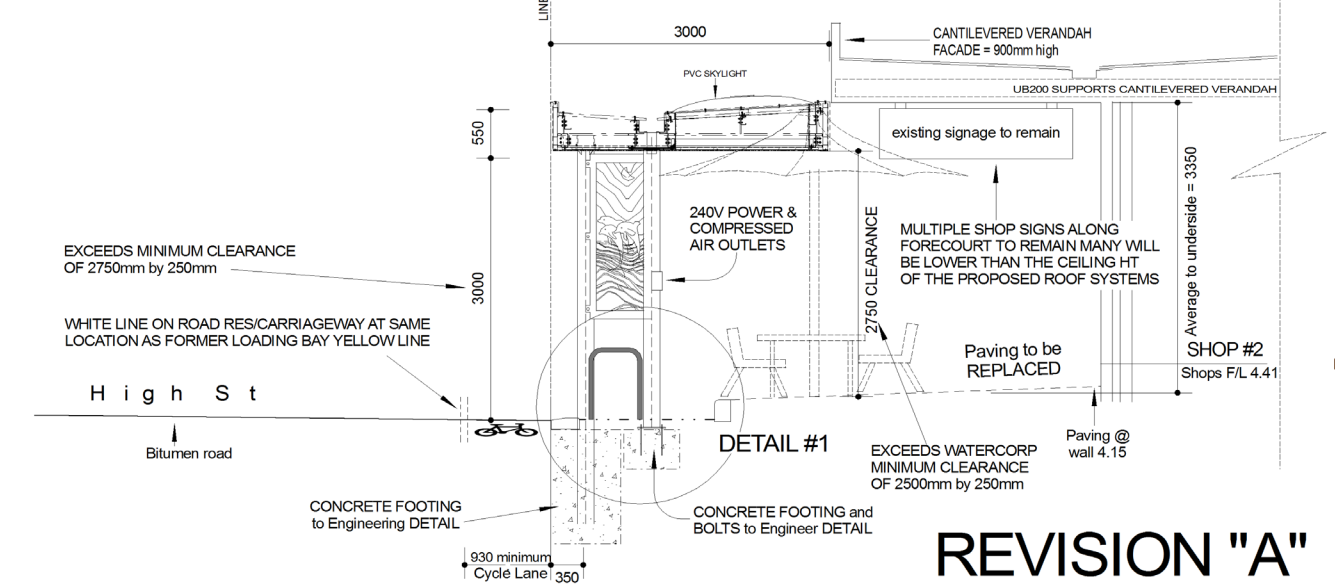
The provision of appropriate bicycle facilities through the implementation of development conditions dealing with such matters as the



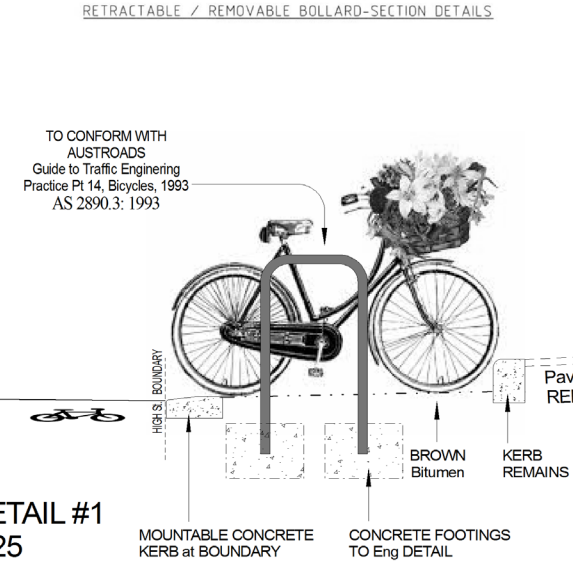
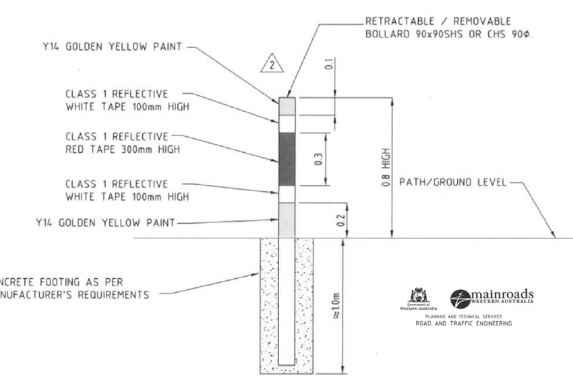
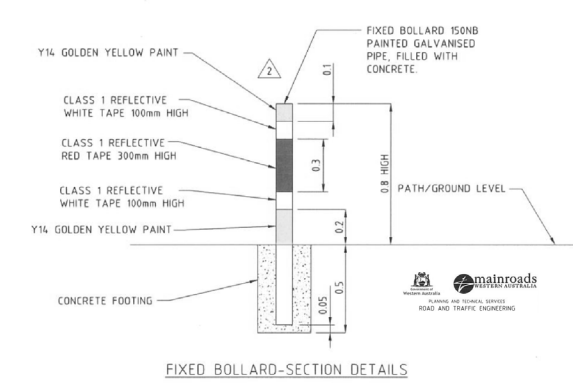
CROSS-SECTION - "A"
1 : 50

NOTE:
1. 300mm storm water drainage pipes are located adjacent to the south side of the kerb, under the bitumen, depth unknown
2. Western Power distribution cables are located north of the kerb; depth unknown
3. Telstra cables are located under the paving; depth unknown

Dial-Before-You-Dig information shows that no other services are in the area proposed to be developed



SIDE ELEVATION & CROSS-SECTION - "B"
1 : 50

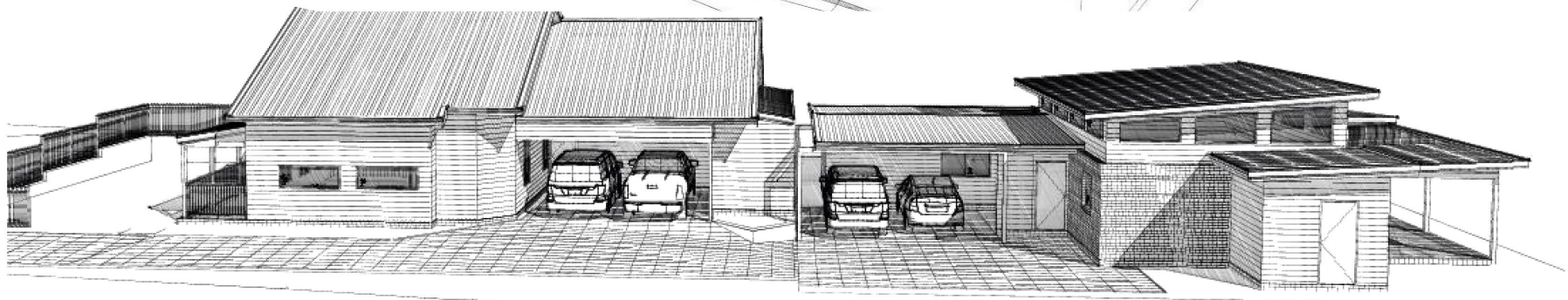
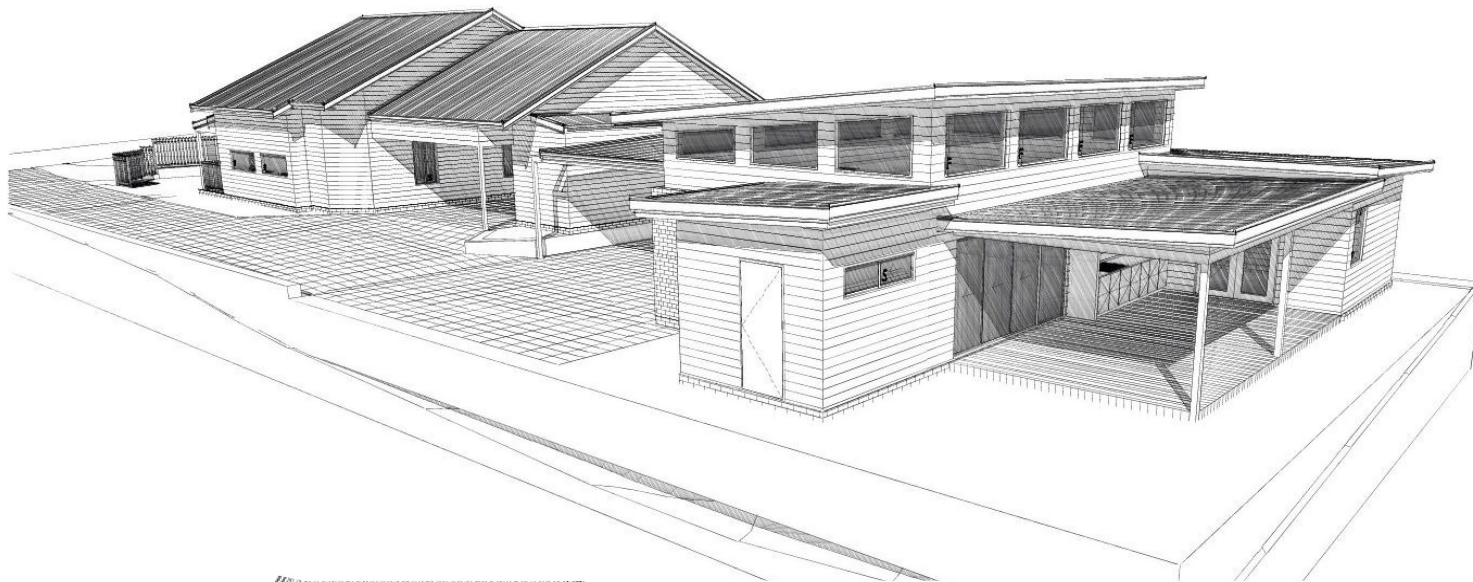
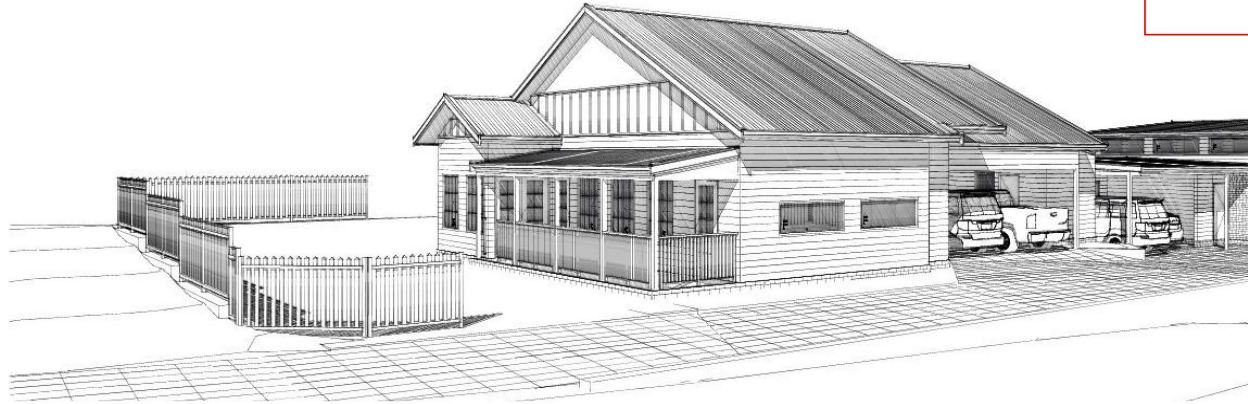


Project Title	COVERED BICYCLE PARKING	Issued for	Re-Submission for S.A.T & F.C.C considerations		
Owner	Imago Holdings Pty Ltd Mob: 0417 099 758	SCALE	1 : 50	Paper size	A2
Site Address	142 to 144 High St. Fremantle	FILE	4 Rev -A- D.A. Iraci CROSS SECTIONS 142 High St File.SKF	DRAWN	J de B
Cityfield Phone: 045 101 2474 DESIGN & PLANNING SERVICES E-Mail: cityfield@inet.net.au		Revision B	23/08/19	PAGE No	4 / 4
		Revision A	21/08/17		

PC1911 - 2 DEFERRED ITEM - COLLUCK STREET, NO.13 (LOT 1380), HILTON - TWO, SINGLE STOREY GROUPED DWELLINGS - (TG DA0262/19)

Minutes attachment 1 - Amended Development Plans

CITY OF FREMANTLE
These Revised Plans Form Part of
DA0269/19
14 October 2019



REVISION 13/10/2019 FLOOR LEVELS AND UNIT 1 ELEVS.
REVISION 27/08/2019 PICKET FENCING AND REDUCE DEPTH OF VERANDAH TO ACHIEVE 7M FRONT SETBACK

Neighbour Consent/Signature

I/We, have viewed the plans of the proposed residences and DO NOT OBJECT to the proposed A) siteworks to have more than 500mm cut and fill from natural ground Level B) more than 1 meter of retaining walls to both left and right side boundaries, rear boundary and including the front boundary.

Signed: _____ Date: _____ Address: _____
Signed: _____ Date: _____ Address: _____
Signed: _____ Date: _____ Address: _____

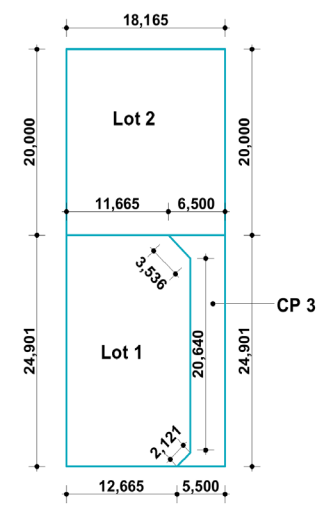


CLIENT:
Mr. Fred Boni

SITE ADDRESS:
13 Collick Street, Hilton

JOB NUMBER:
A058-19

CITY OF FREMANTLE
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14 October 2019



2 SITE LOT CARVE-UP
A-2 1:500

General Notes

- 31c Ceilings Thru Out Unless Noted Otherwise
- 90mm studwalls with selected cladding thru Out Unless Noted Otherwise
- James Hardies Weatherboard panels
- 3c recycled bricks

Site Calculations

Zoning R20/25
50% Site Cover Allowed

UNIT 1 AREAS

. Ground Floor	142.77
. Verandah	17.20
. Carport	31.63
TOTAL	191.60
PERIMETER	67.478m

SITE COVER COMPUTATION
LOT AREA-- 348.47m²+51.925m²
= 400.395m²
SITE COVER --174.40m² (43.55%)

UNIT 2 AREAS

. Ground Floor	145.67
. Carport	39.01
. Alfresco	32.93
TOTAL	217.61
PERIMETER	66.320m

SITE COVER COMPUTATION
LOT AREA-- 363.30m²+51.925m²
= 415.225m²
SITE COVER --149.86m² (36.09%)

1 GROUND FLOOR PLAN
A-2 1:100

REVISION 13/10/2019 FLOOR LEVELS AND UNIT 1 ELEVS.
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mhdesign1@hotmail.com

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Hilton

EDITION:
Concept Plans 01/07/19 MH

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JOB NUMBER:
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DRAWINGS
SHEET 2 OF 5

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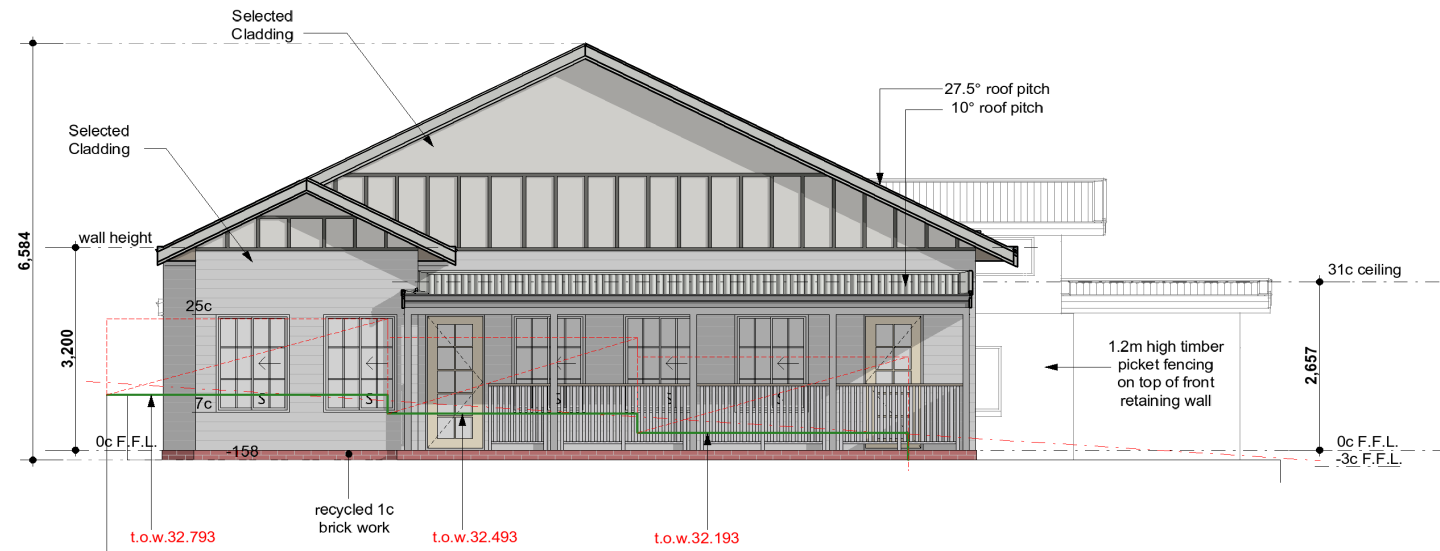
DA0269/19

14 October 2019

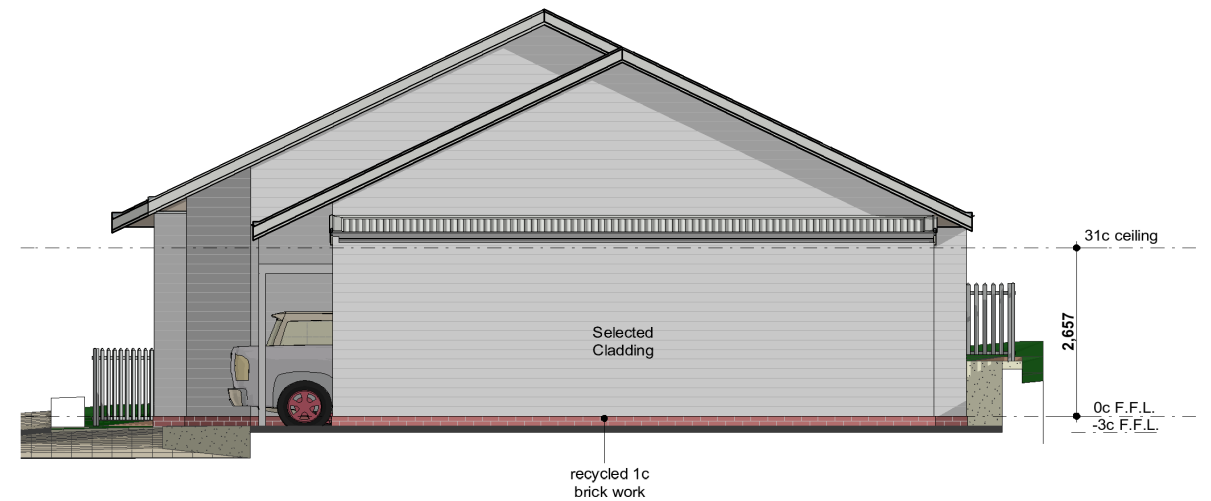
General Notes

31c Ceilings Thru Out
Unless Noted Otherwise

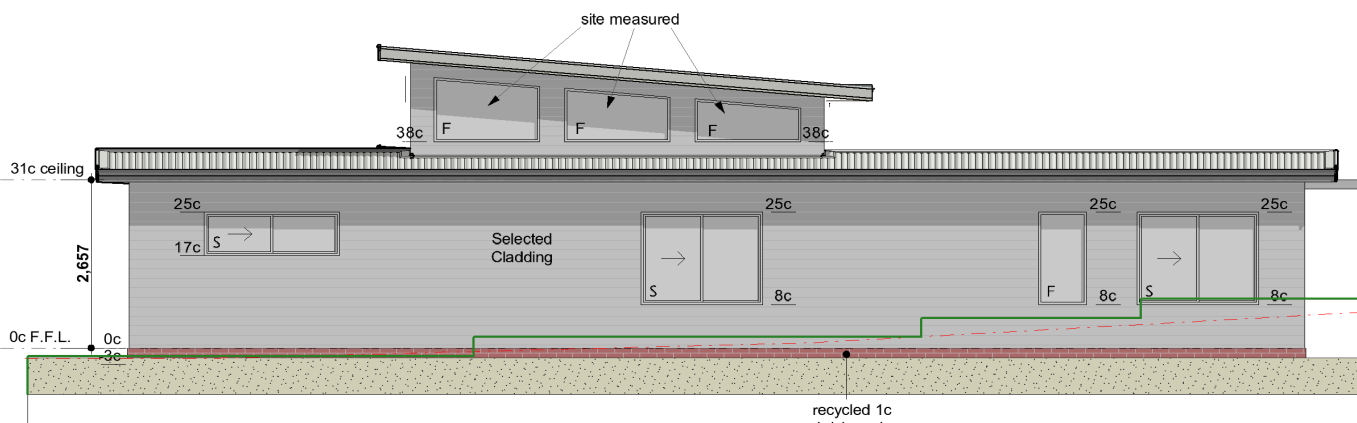
27.5° Roof Pitch
James Hardies Weatherboard panels
3c recycled bricks



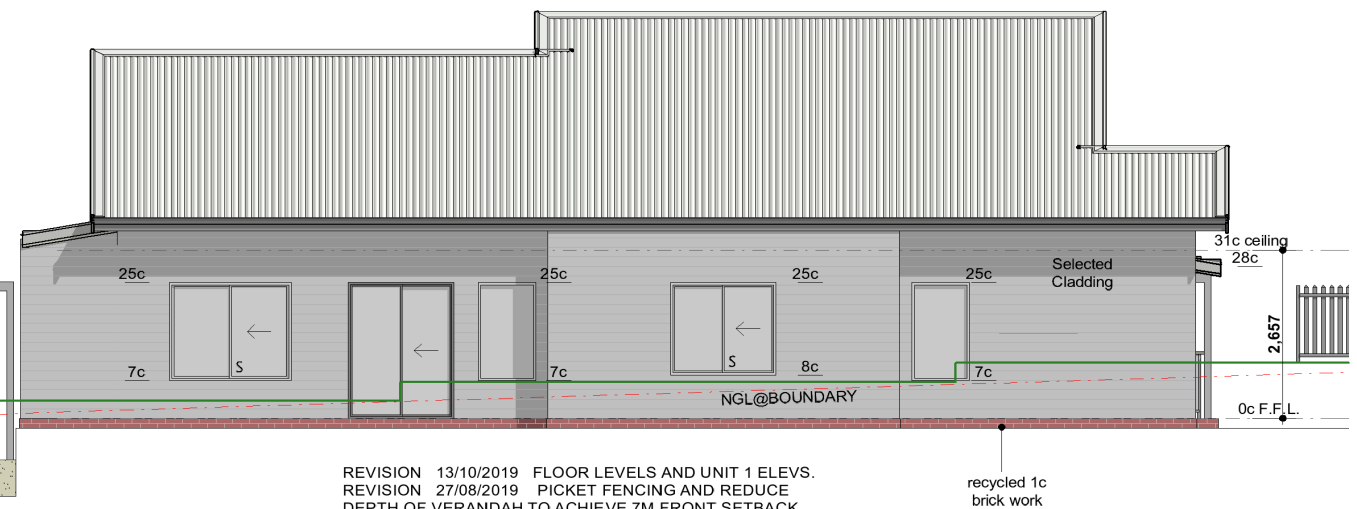
1 E1 FRONT ELEVATION
A-3 1:100



3 E5 UNIT 1 REAR ELEVATION
A-3 1:100



2 E2 LEFT SIDE ELEVATION
A-3 1:100



REVISION 13/10/2019 FLOOR LEVELS AND UNIT 1 ELEVS.
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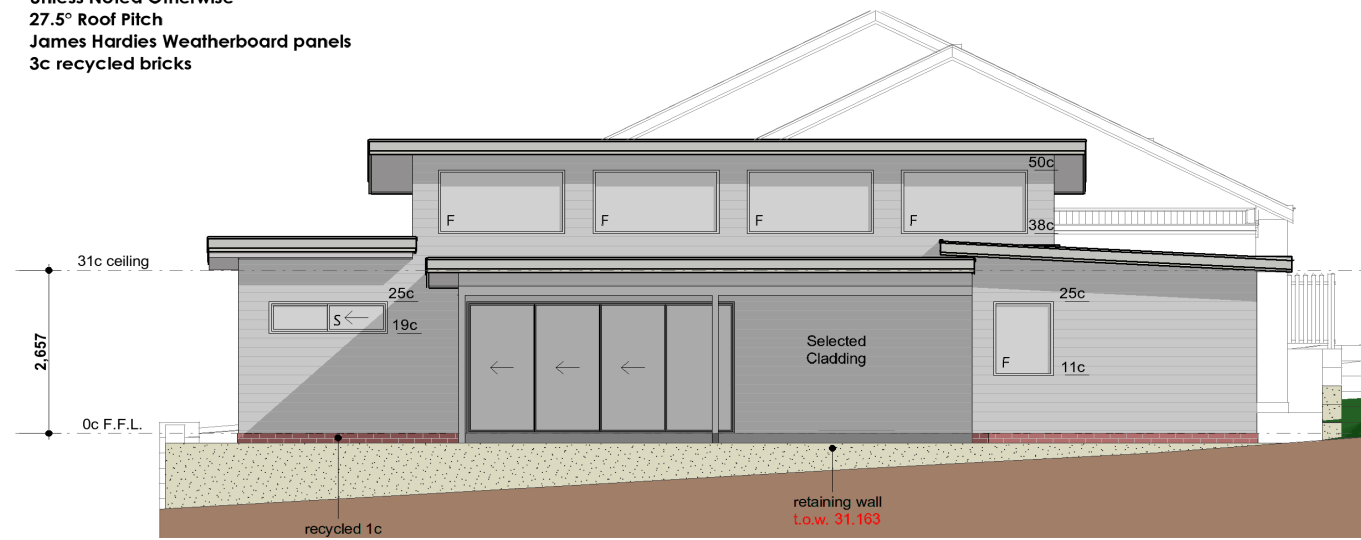
DRAWINGS

SHEET 3 OF 5

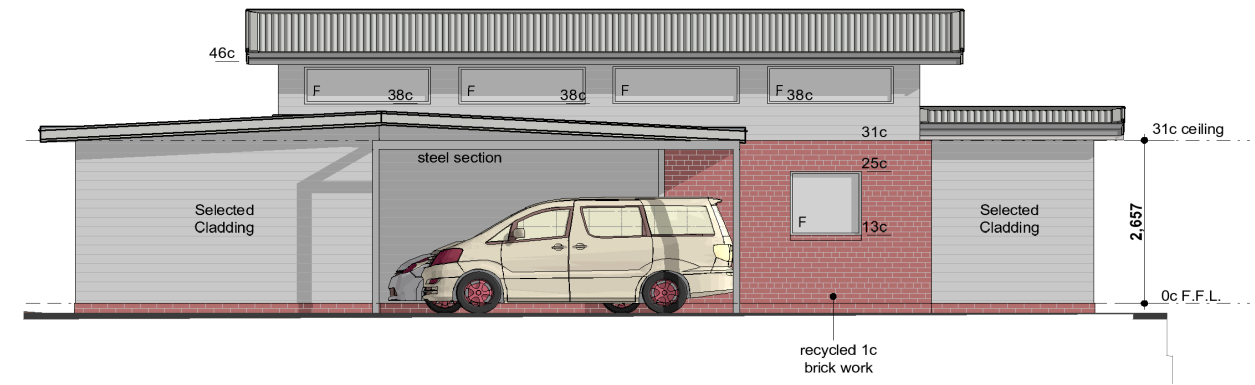
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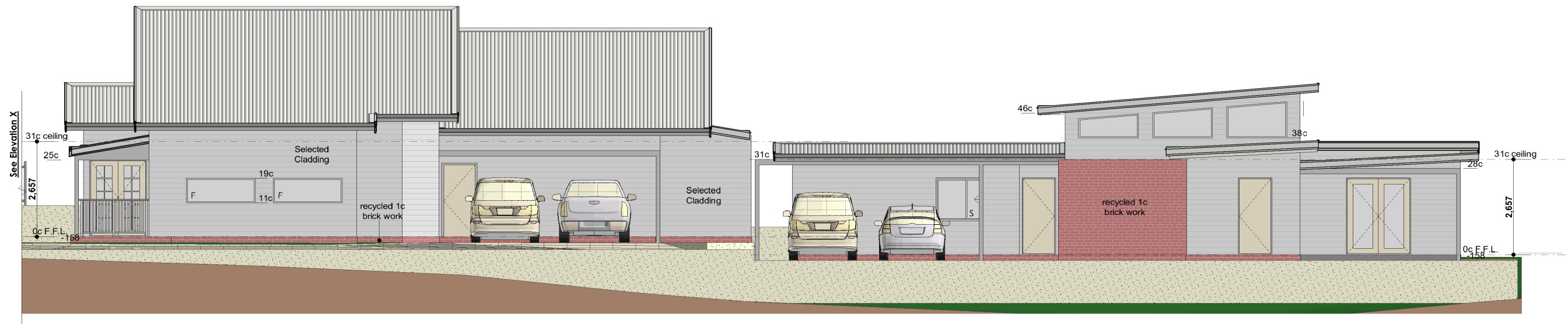
- 31c Ceilings Thru Out Unless Noted Otherwise
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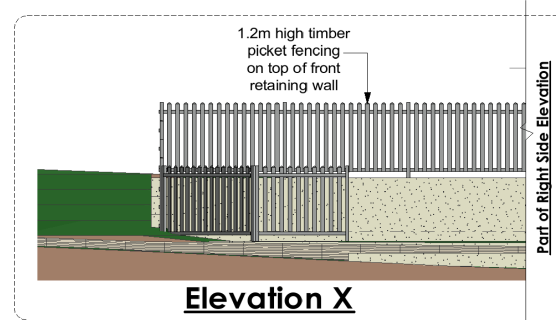
1 E3 UNIT 2 REAR ELEVATION
A-4 1:100



3 E6 UNIT 2 FRONT ELEVATION
A-4 1:100



2 RIGHT SIDE ELEVATION
A-4 1:100



Elevation X

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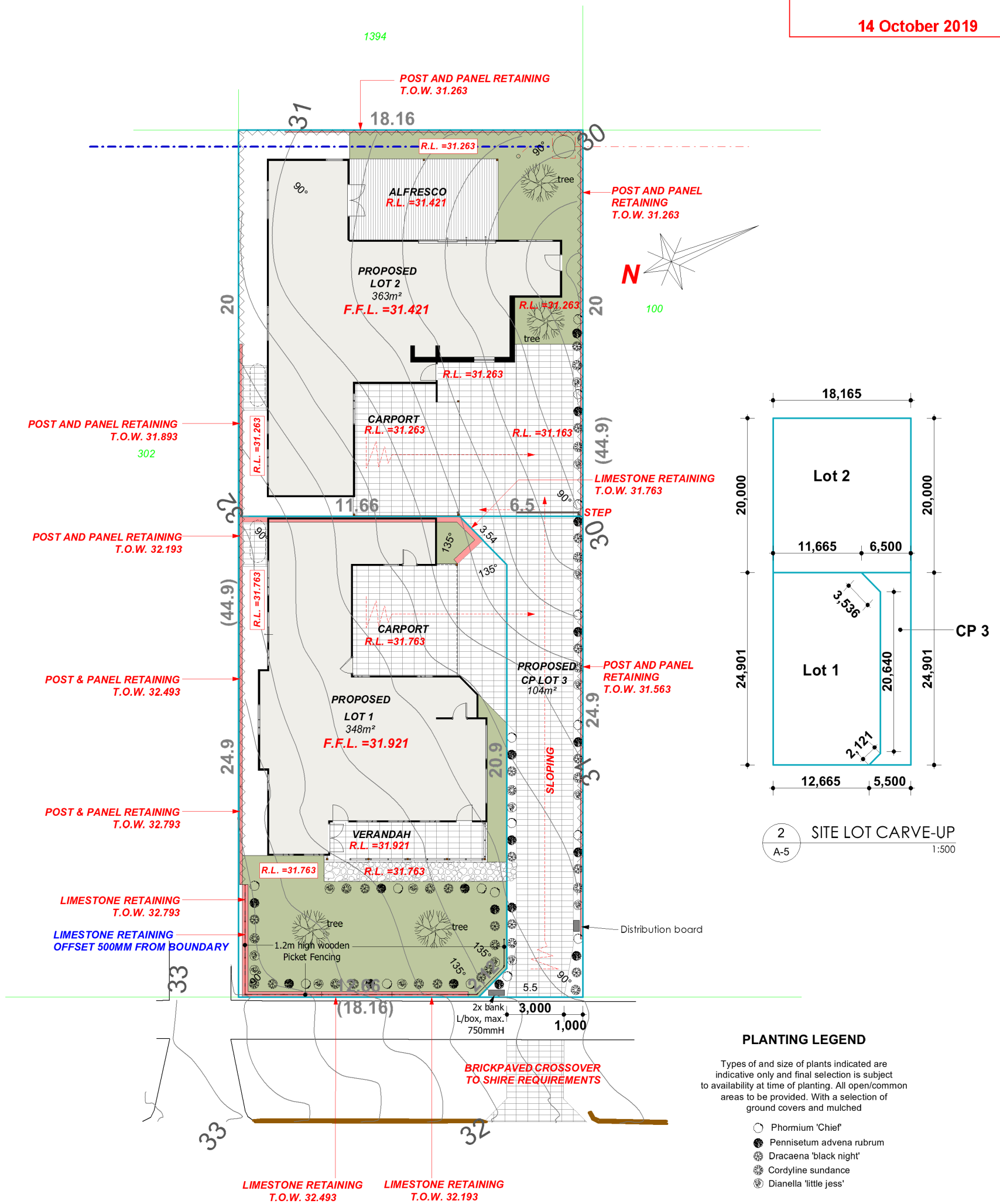
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REVISION 13/10/2019 FLOOR LEVELS AND UNIT 1 ELEVS.
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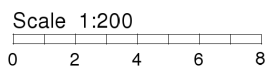
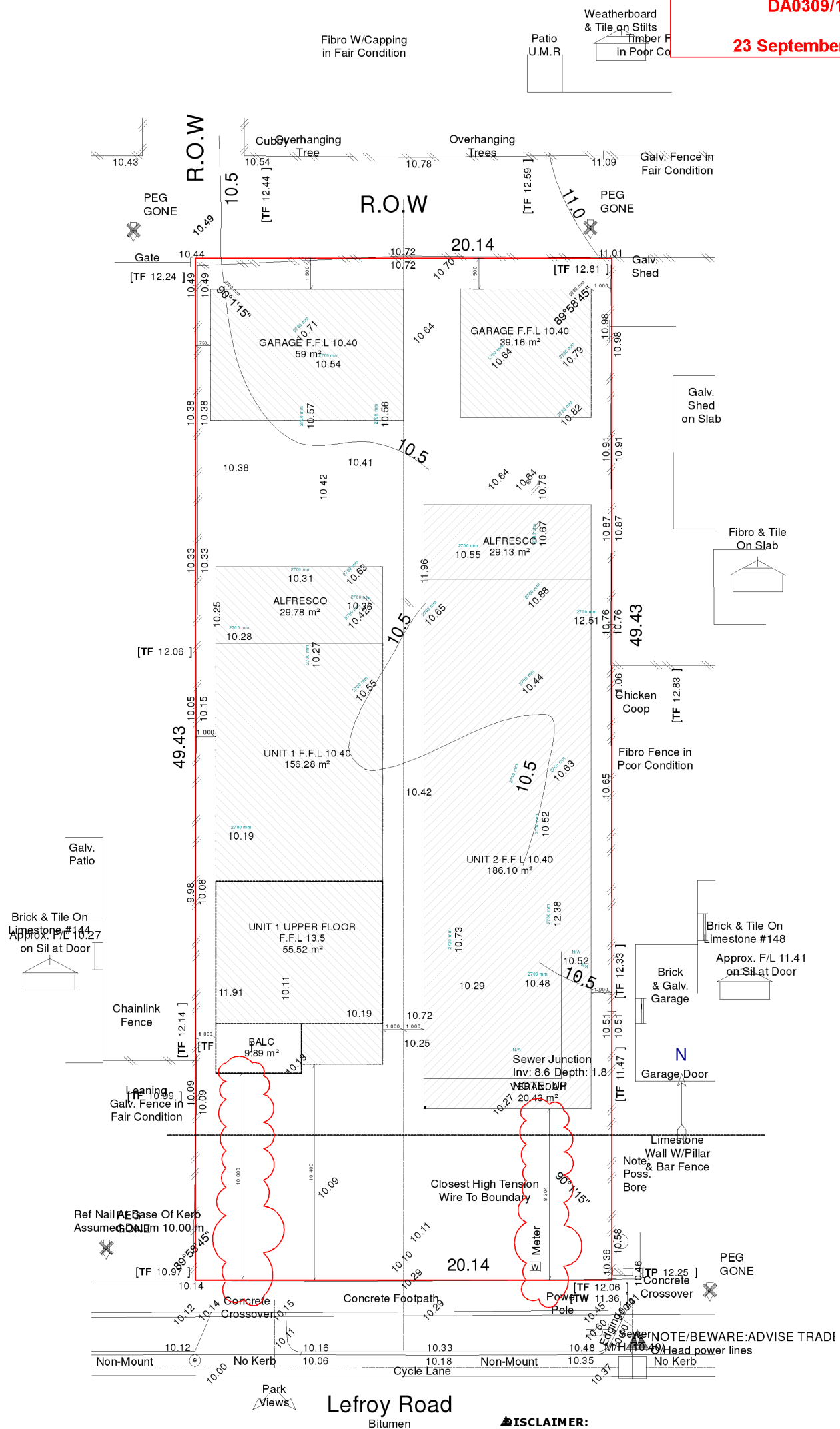
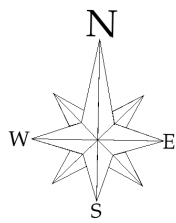
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JOB NUMBER:
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DRAWINGS
 SHEET 5 OF 5

PC1911 - 4 LEFROY ROAD, NO.146 (LOT 20), BEACONSFIELD - TWO STOREY AND SINGLE STOREY GROUPED DWELLINGS, AND HOME BUSINESS (BEAUTY THERAPY) (NB DA0309/19)

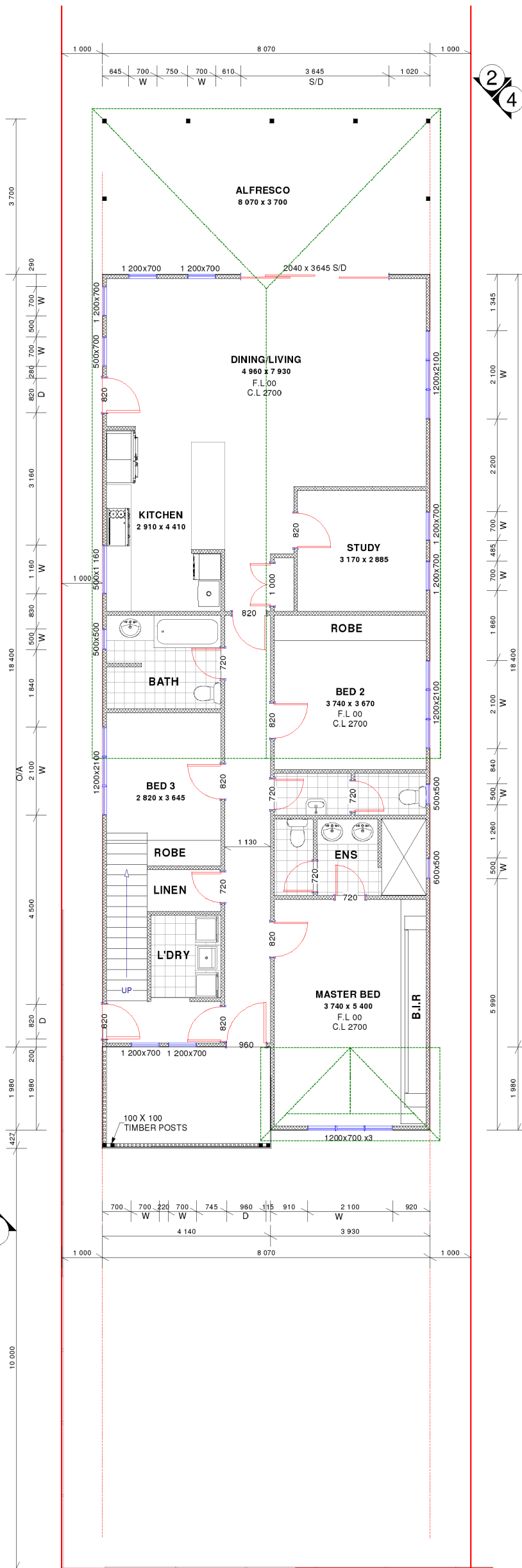
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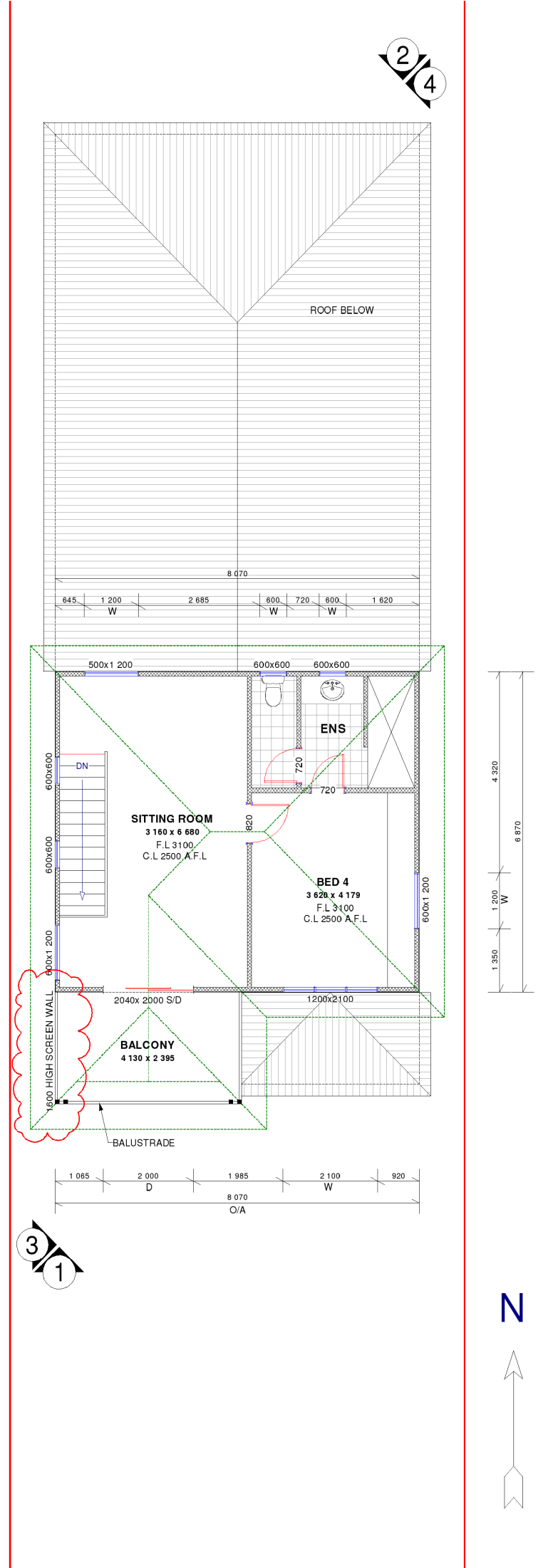


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PLANNING DRAWINGS		23/09/2019	NAME	ADDRESS:	146 Lefroy Road, Beaconsfield
REV 2			RS	JOB No:	1905
				PAGE No:	1 of 8

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GROUND FLOOR
SCALE 1:100

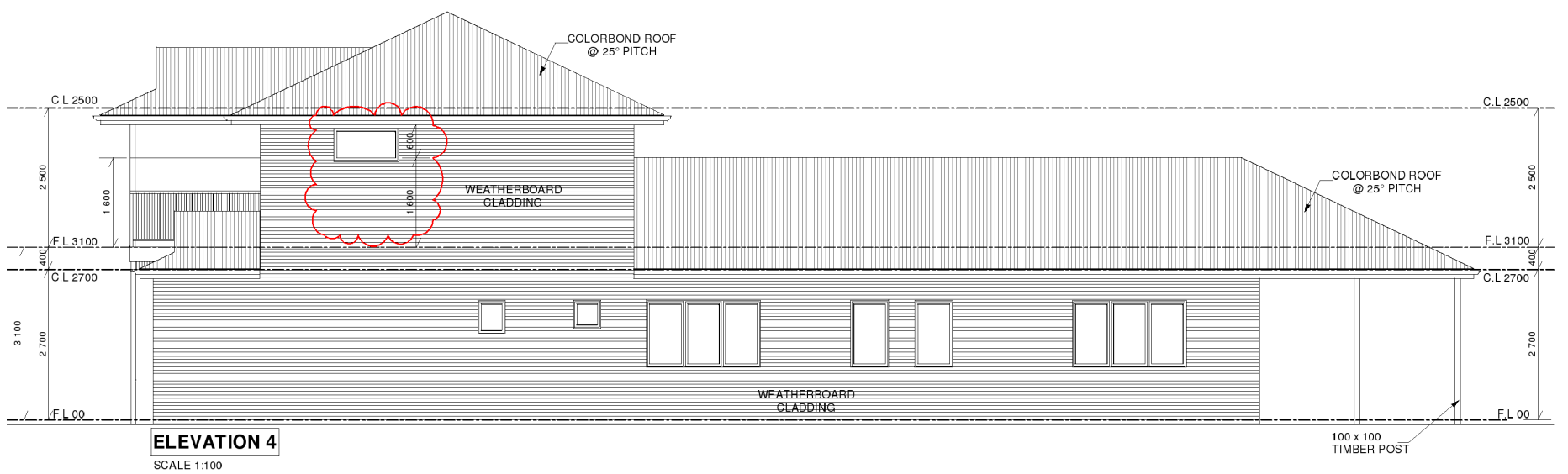
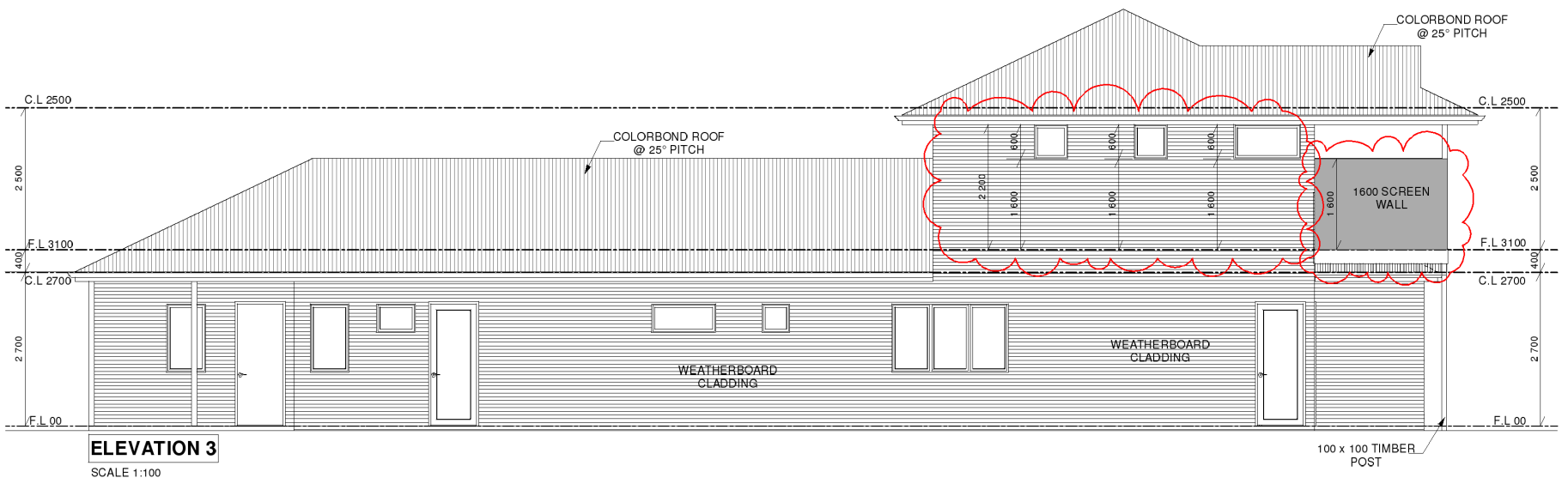
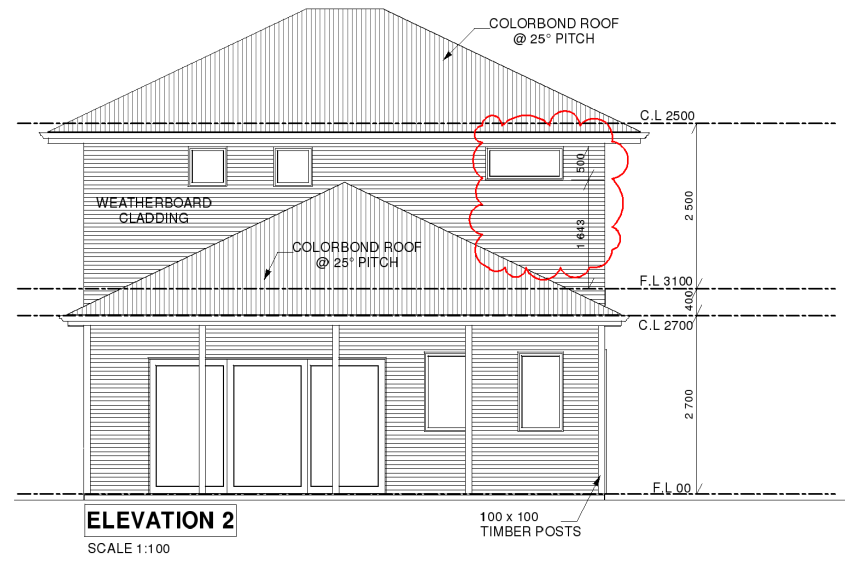
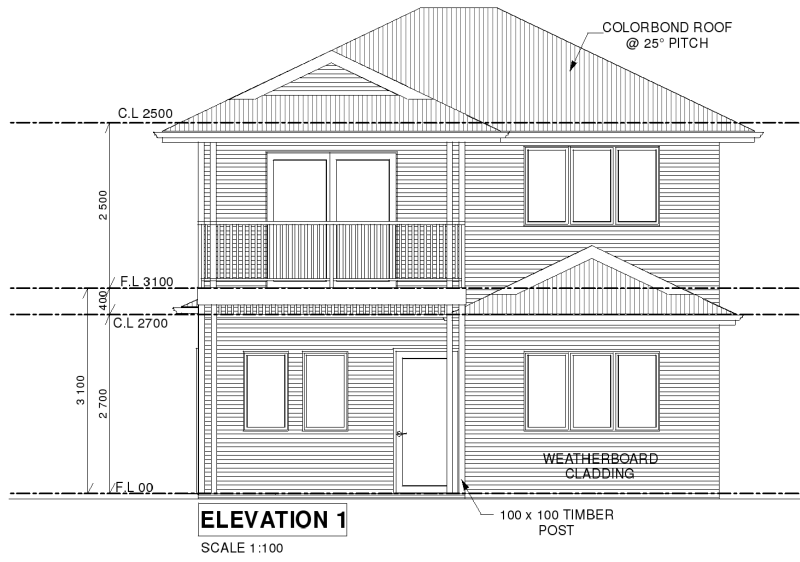


UPPER FLOOR
SCALE 1:100



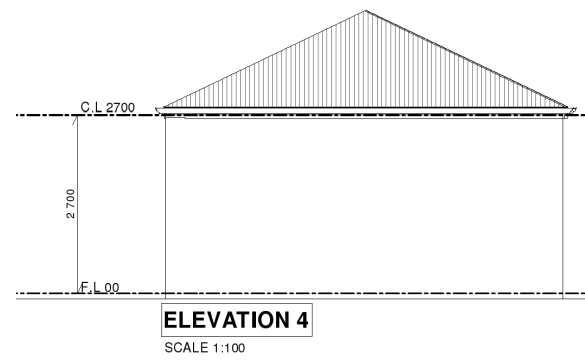
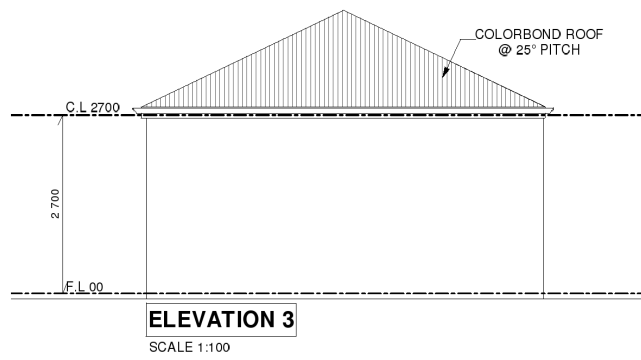
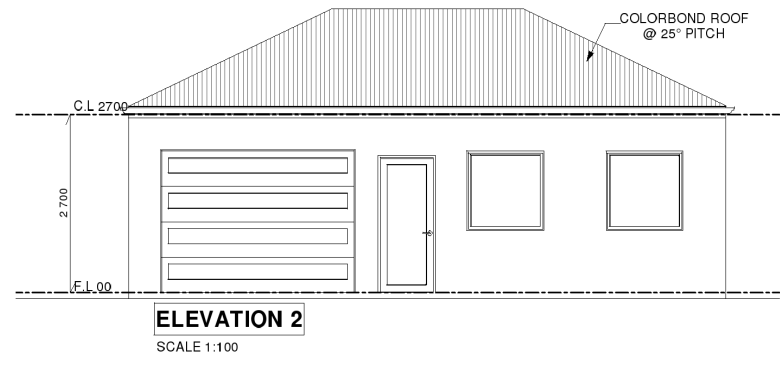
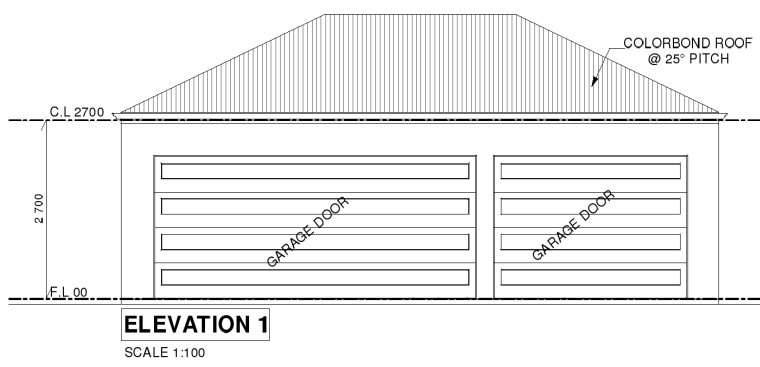
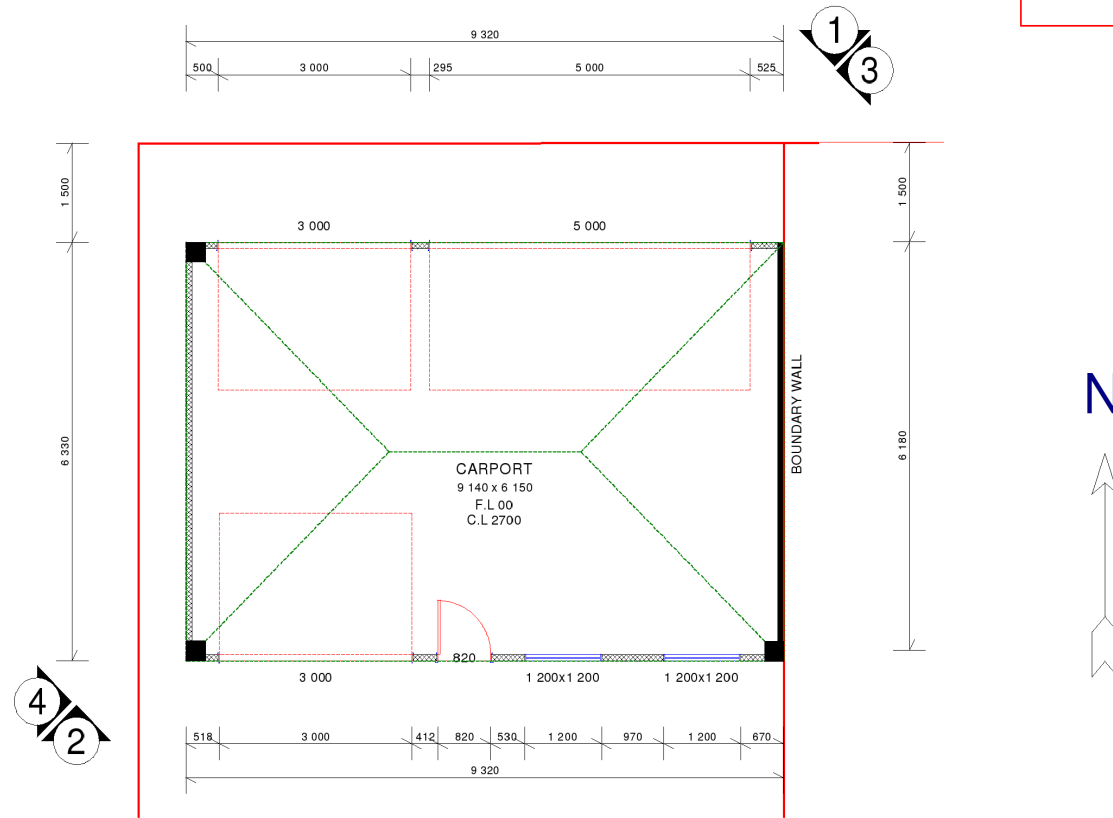
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PLANNING DRAWINGS		23/09/2019	NAME	ADDRESS:	146 Lefroy Road, Beaconsfield	PAGE No:	2 of 8
REV 2			RS				

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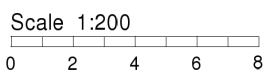
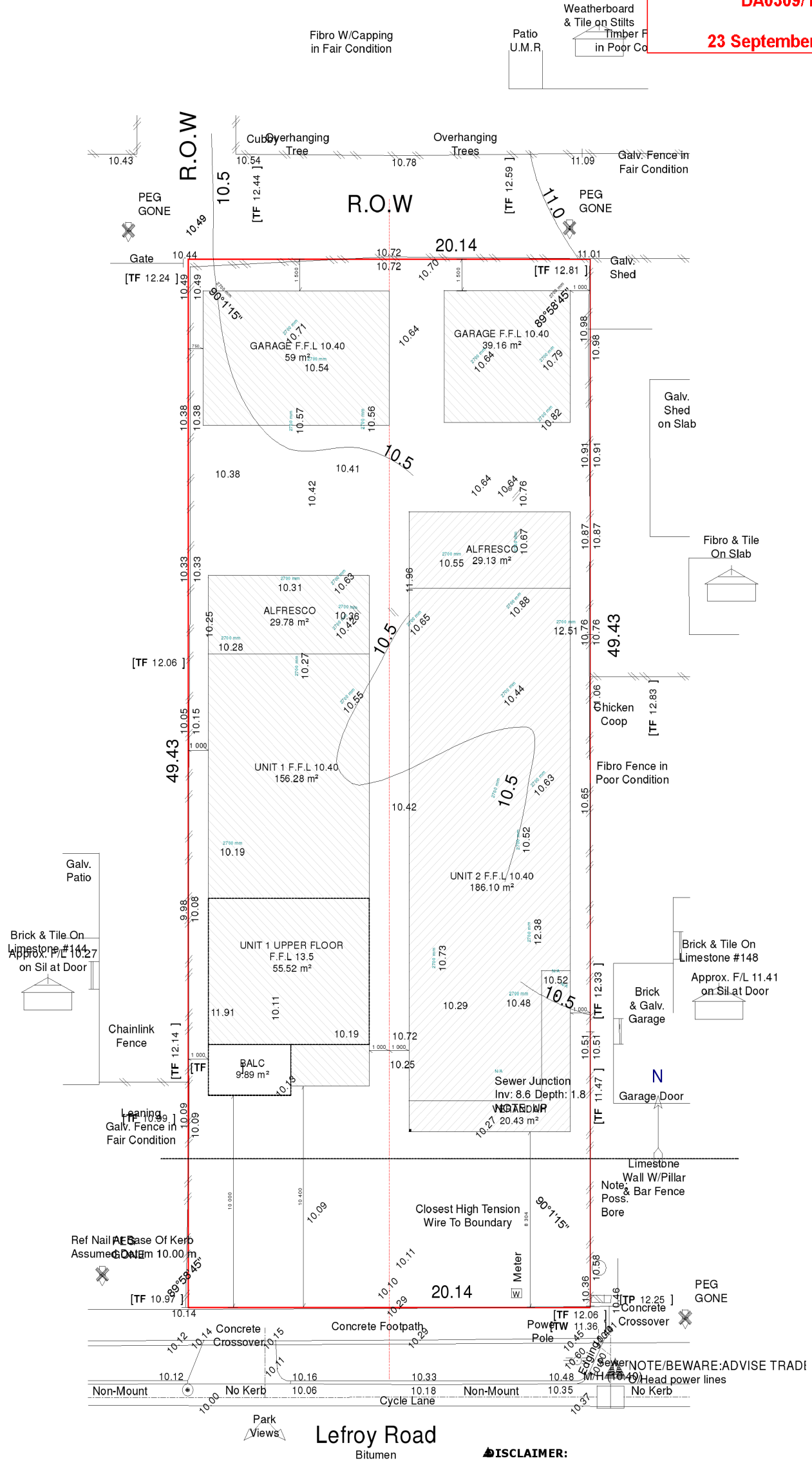
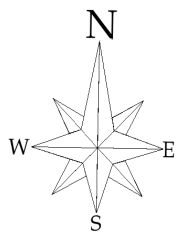
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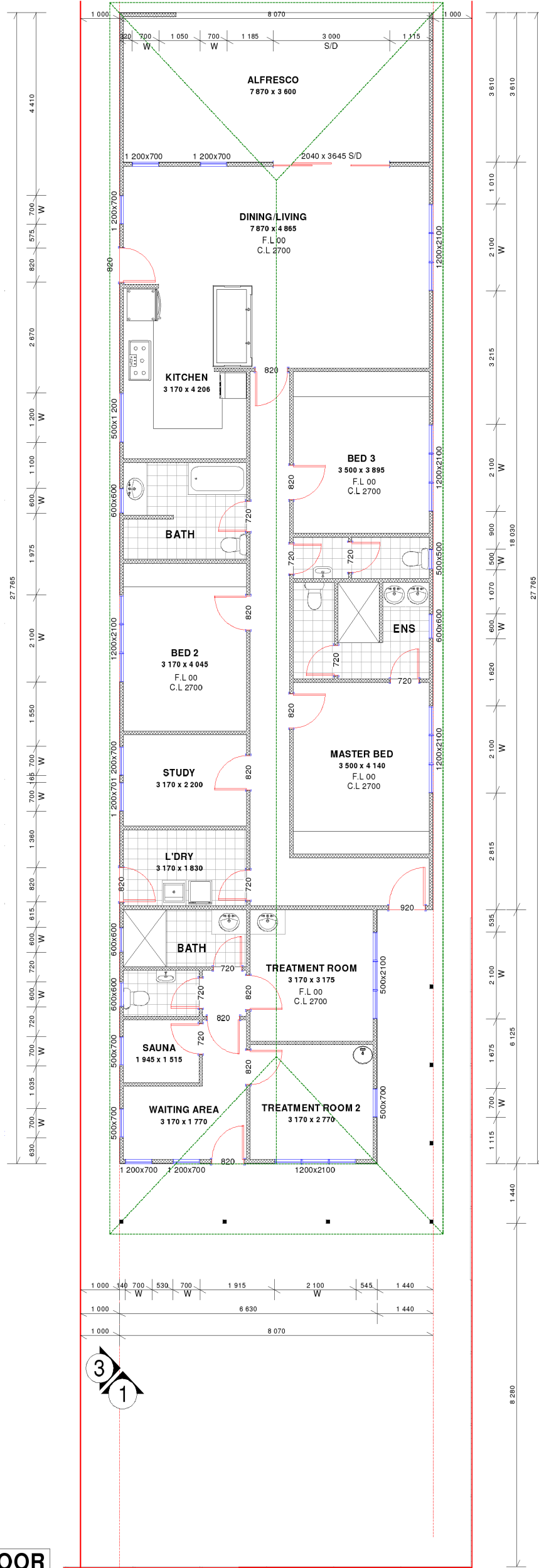
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	REV 2						

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REV 2				ADDRESS: 146 Lefroy Road, Beaconsfield	PAGE No:
					5 of 8

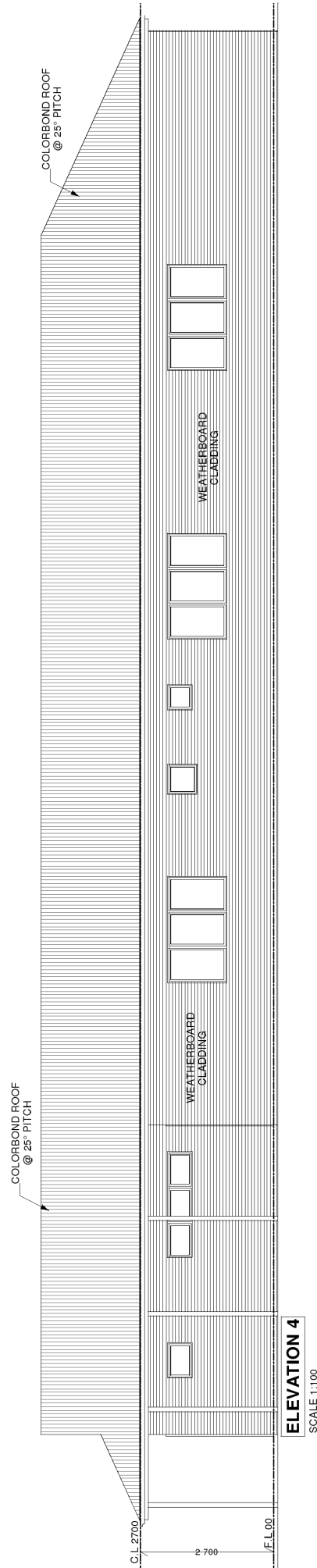
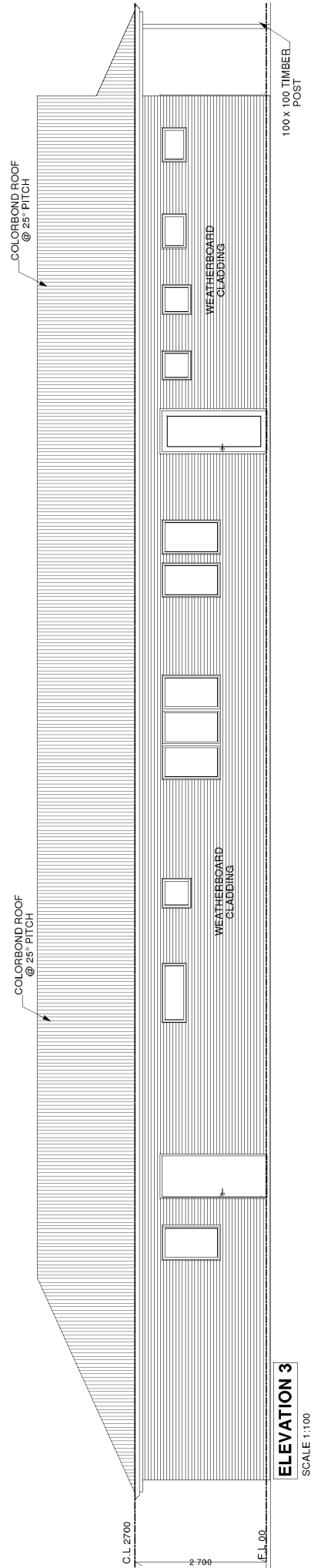
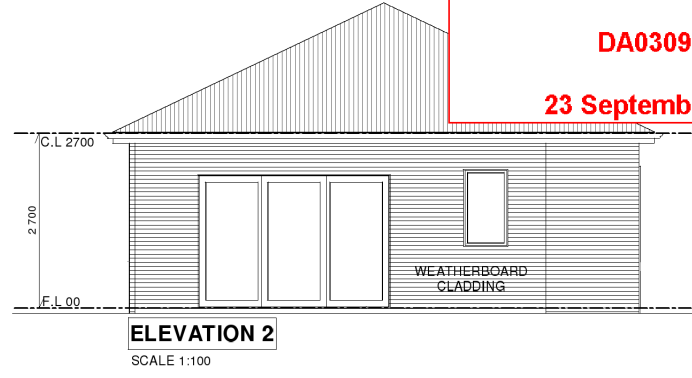
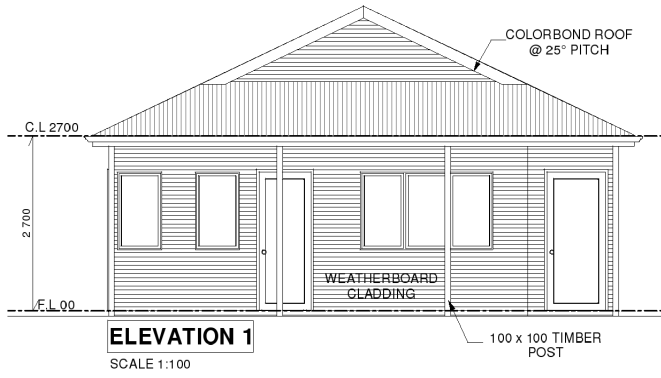
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GROUND FLOOR
SCALE 1:100

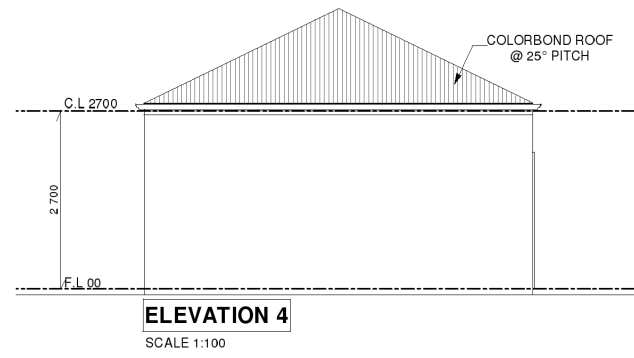
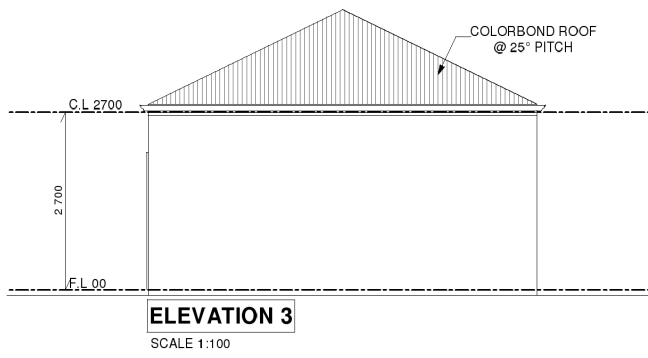
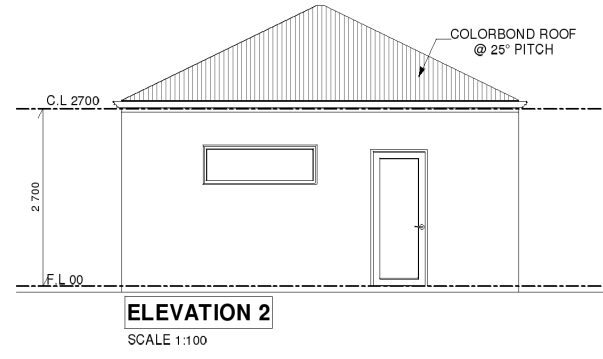
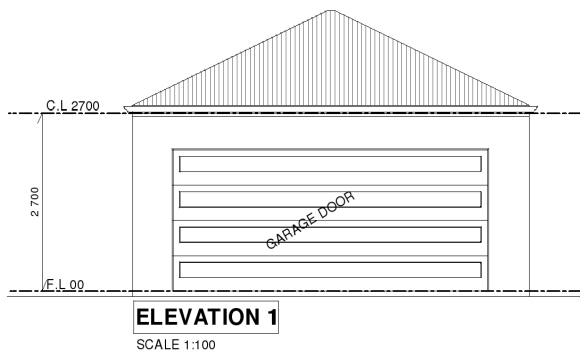
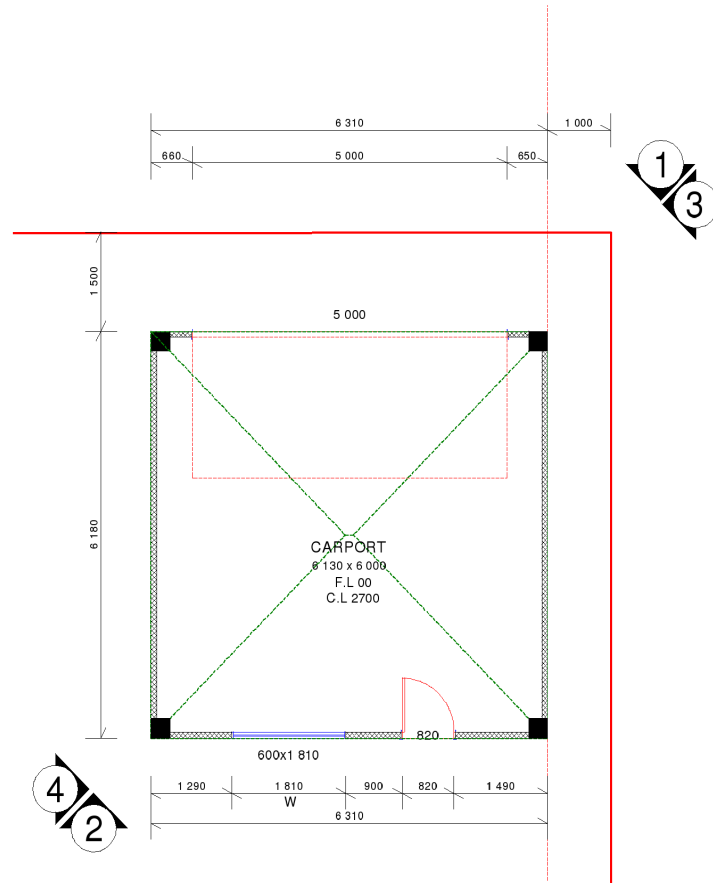
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PLANNING DRAWINGS	23/09/2019	RS	Val Newman	PAGE NO.	6 of 8
REV 2			ADDRESS: 146 Lefroy Road, Beaconsfield		

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23 September 2019



BUILDER MUST CHECK ALL DIMENSIONS ON THE SITE BEFORE COMMENCING ANY WORK				UNIT 2	
SCALE:	@ 2	DATE	23/09/2019	CLIENT: Val Newman	JOB No: 1905
	PLANNING DRAWINGS		NAME	ADDRESS: 146 Lefroy Road, Beaconsfield	PAGE No: 7 of 8
	REV 2		RS		

CITY OF FREMANTLE
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DA0309/19
23 September 2019



BUILDER MUST CHECK ALL DIMENSIONS ON THE SITE BEFORE COMMENCING ANY WORK				UNIT 2 GARAGE			
SCALE: @ A3		DATE	NAME	CLIENT: Val Newman	JOB No:	1905	
PLANNING DRAWINGS		23/09/2019	RS	ADDRESS: 146 Lefroy Road, Beaconsfield	PAGE No:	8 of 8	
REV 2							

PC1911 - 6 CHADWICK STREET, NO5A/B (LOT 1613), HILTON - DEMOLITION OF TWO GROUPED DWELLINGS - (TG PW0012/19)

Minutes attachment 1 - Development Plans



Government of Western Australia
Department of Communities

S CHADWICK ST

CITY OF FREMANTLE
These Plans Form Part of



PW0012/19

9 Sept 2019



5A & B CHADWICK ST

CITY OF FREMANTLE
These Plans Form Part of

PW0012/19

9 Sept 2019



PC1911 - 7 COLLUCK STREET, NO. 28A/B (LOT 32), HILTON – DEMOLITION OF TWO GROUPED DWELLINGS - (TG PW0013/19)

Minutes attachment 1 - Development Plans



Government of Western Australia
Department of Communities



28 COLLICK ST HILTON



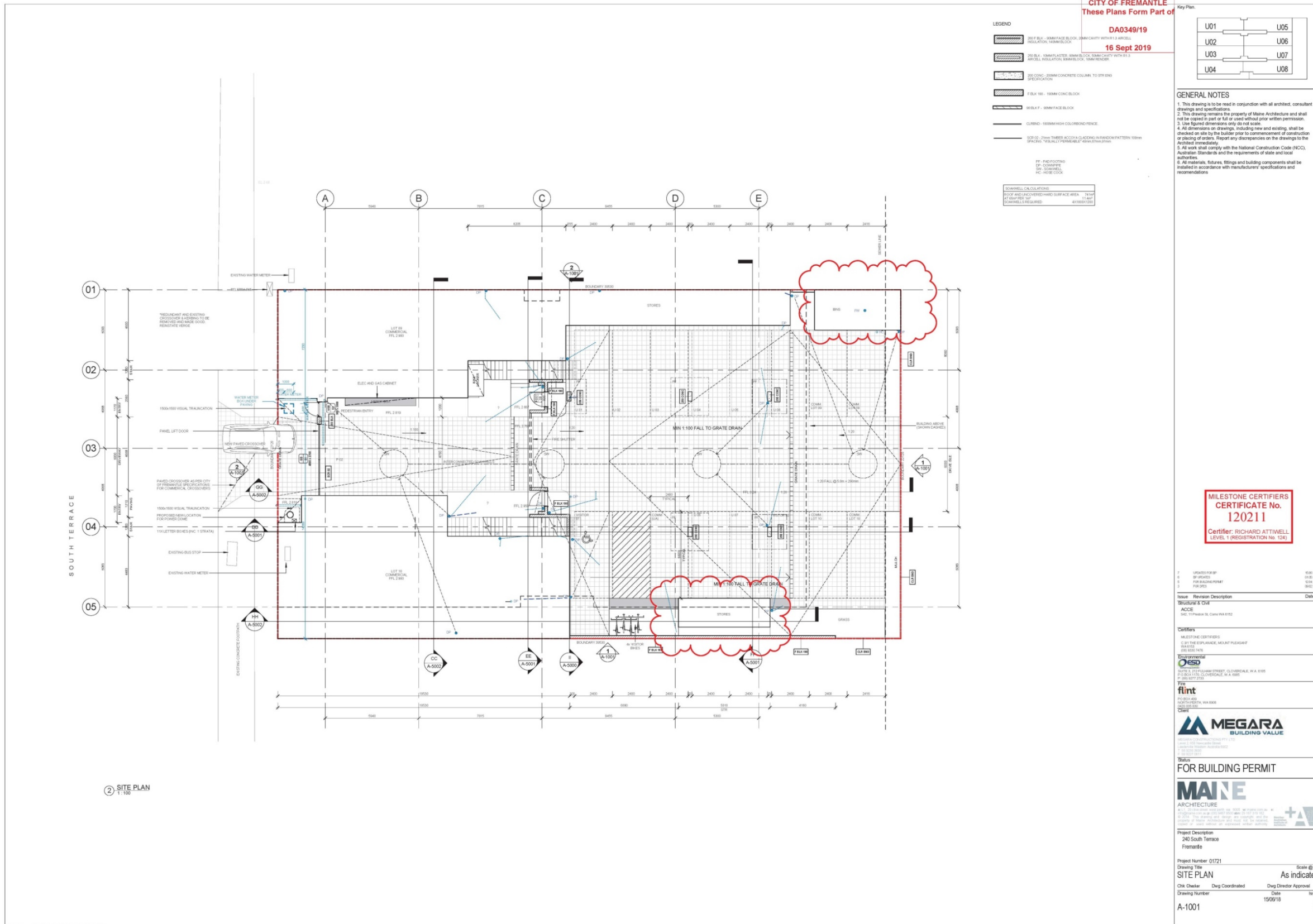
28A & B COLLICK ST HILTON

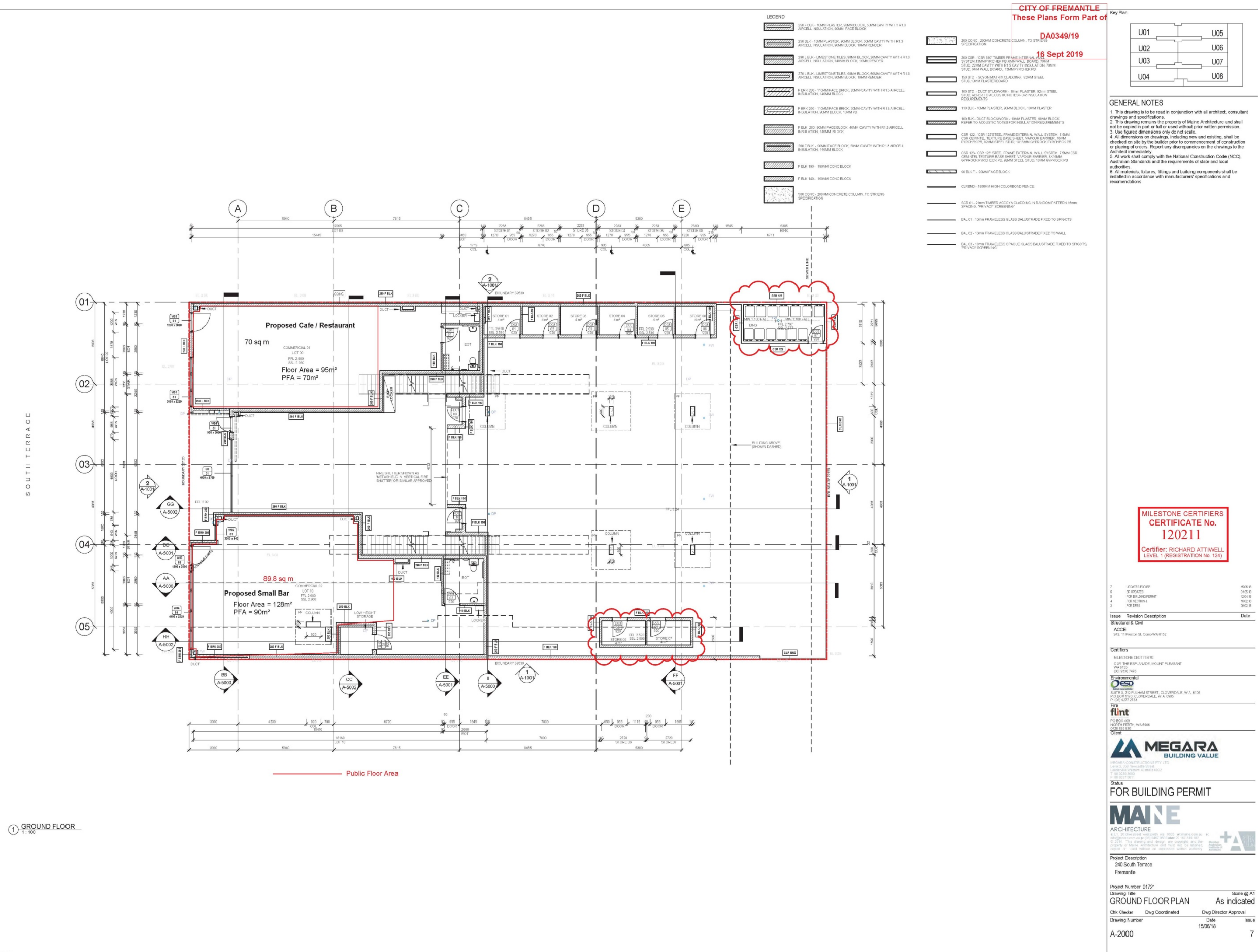


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These Plans Form Part of
PW0013/19
9 Sept 2019

PC1911 - 8 SOUTH TERRACE, NO.240 & 242 (LOTS 30 & 31), SOUTH FREMANTLE - PARTIAL CHANGE OF USE TO RESTAURANT AND SMALL BAR TO EXISTING BUILDING (TG DA0349/19)

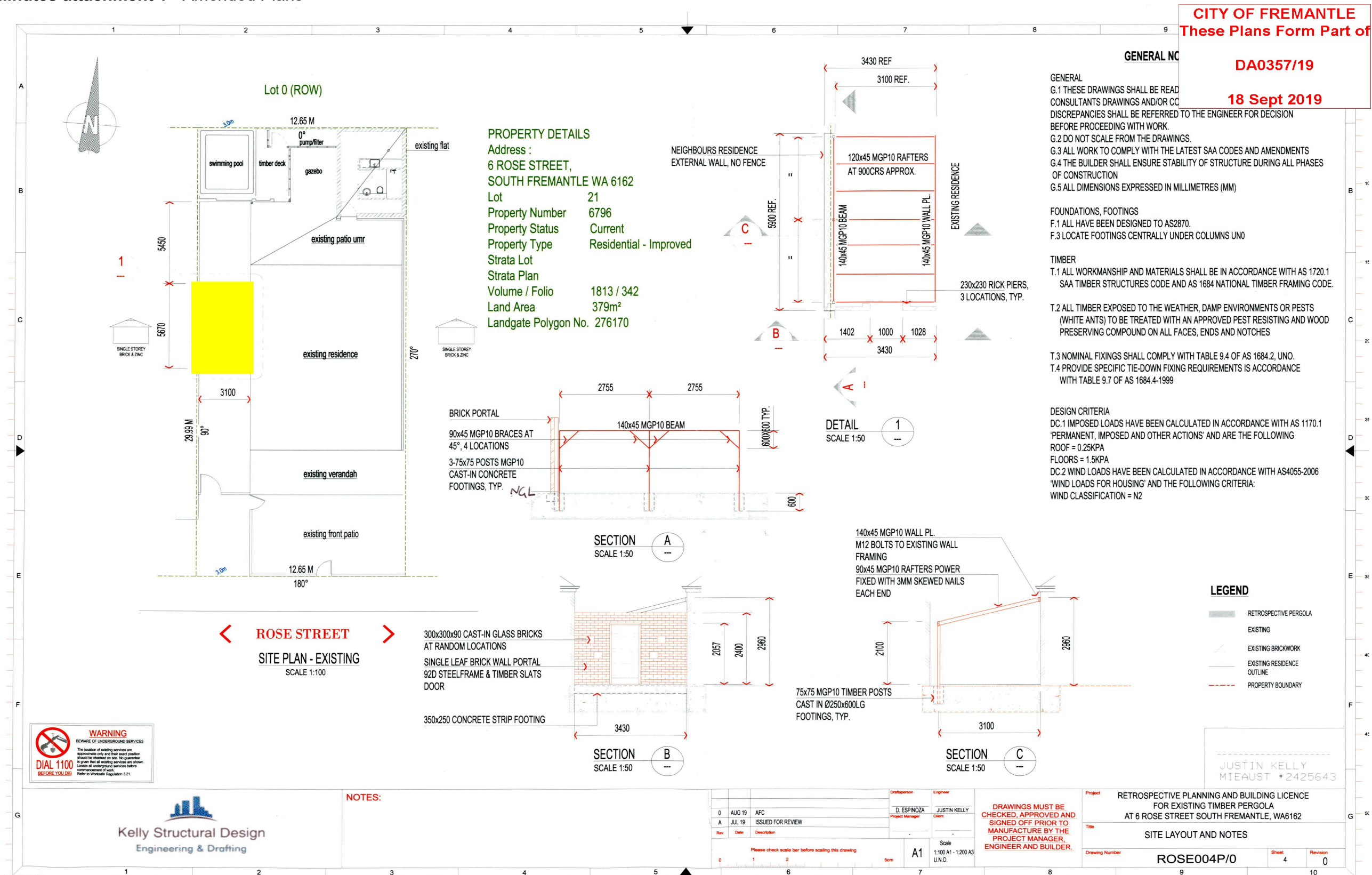
Minutes attachment 1 – Development Plans





PC1911 - 9 ROSE STREET, NO.6 (LOT 21), SOUTH FREMANTLE - UNAUTHORISED PERGOLA ADDITION AND ADDITIONS TO EXISTING SINGLE HOUSE (JL DA0357/19)

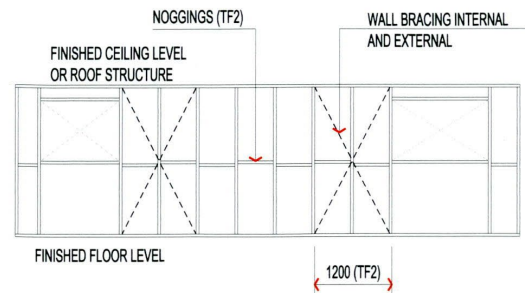
Minutes attachment 1 - Amended Plans



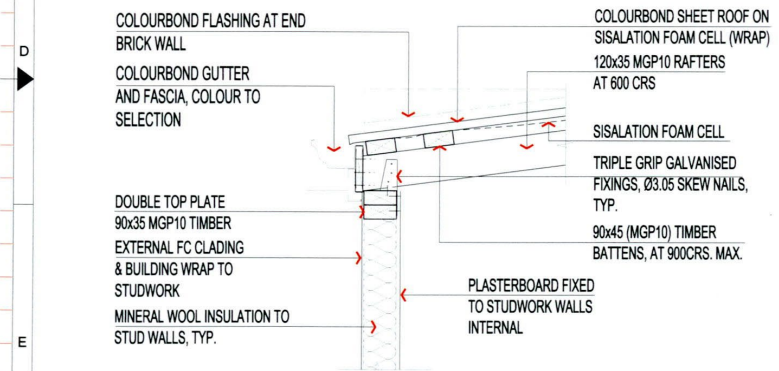
CITY OF FREMANTLE
These Plans Form Part of
DA0357/19
18 Sept 2019



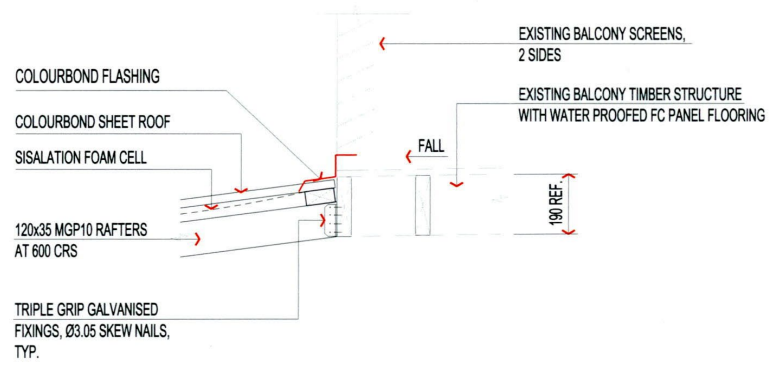
PLAN - ROOFED EXTENSION
SCALE 1:50



TYP. STUD WALL ELEMENTS
SCALE 1:50



DETAIL 5
SCALE 1:10



DETAIL 6
SCALE 1:10

GENERAL NOTES

1. ALL DIMENSIONS ARE IN MILLIMETRES, LE
2. DRAWINGS ARE NOT TO BE SCALED, READ
3. FOR A3 PRINTING SCALES DOUBLE DUE TO
4. LEVELS (RLS) ARE TAKEN TO TOP OF STR IE: TOP OF SLAB

TIMBER FRAMING NOTES

- TF1 ROOF**
 ROOF FRAMING ROOF FRAMING TO MING TO A 5% BL
 ROOF CROSS BRACINGS 30 X 0.8 MM G1 METAL STRAP (4-2.8 NAILS EACH END) AT WALL PLATE FIX TO INTERMEDIATE RAFTERS WITH 2 X 2.8 NAILS
- TF2 LOWER WALLS (2700 H)**
 WALL STUDS 90 X 45 MGP10 STUDS AT 600 CTRS
 BOTTOM PLATE 90 X 45 MGP10
 TOP PLATE 2- 90 X 35 MGP10
 NOGGINGS AT 1350 MAX CRS
- TF3 MULTIPLE STUDS AT SIDES F OPENING DOUBLE STUDS FOR 1200 TO 2100 OPENINGS, TRIPLE STUDS UP TO 3000 & 4 STUDS UP TO 4000**
- TF4 LINTELS - (UNLESS NOTED OTHERWISE)**
 UPPER
 OPENINGS UP TO 1200 1600 2100 2500
 TIMBER 120 X 45 140 X 45 190 X 45 240 X 45
 LOWER
 OPENINGS UP TO 1200 1200
 TIMBER 140 X 45 REFER PLAN
 ALL LINTELS SHALL BE MGP10
- TF5 TIE DOWN**
 PROVIDE M12 HD RODS EACH END OF BRACING WALLS
 UPPER FLOOR
 PROVIDE 1-M10 IBTG101201 POWERS BLUE TIP SCREW BOLT AT EACH END OF WALL FRAMES BRACE ENDS AND ADJACENT EVERY 2ND STUD PROVIDE 2-M10 IBTG101201 POWERS BLUE TIP SCREW BOLTS AT EITHER SIDE OF OPENINGS. 1800 DENOTES MIN LENGTH OF STRAP WALL BRACING PROVIDE STRAP WALL BRACING IN ACCORDANCE WITH TABLE 818 OF AS6842 BRACING TO BE AS PER (G) kNm
- TF6 ADDITIONAL STUDS & NOGGINGS TO BE INSTALLED AS REQUIRED TO SUIT THE NCBL INSTALLATION REQUIREMENTS REFER MANUFACTURERS INSTRUCTIONS FOR DETAILS**

DESIGN CRITERIA

1. DEAD, LIVE AND WIND LOADS TO AS1170.1 & AS1170.2
2. TC2, REGION A
3. BASIC WIND VELOCITY 2.1 m/s
4. STEEL SHEET ROOF

LEGEND

- TO BE DEMOLISHED
- NEW EXTENSION
- EXISTING BRICKWORK
- CONCRETE
- SITE BOUNDARY
- NEW STEEL BEAMS
- NEW STUDWORK
- DENOTES STRIP BRACING LENGTH



NOTES:

0	AUG 19	AFC	D. ESPINOZA	Project Manager
A	JULY 19	ISSUED FOR REVIEW	JUSTIN KELLY	Client
Rev	Date	Description		

Scale 1:50 A1 - 1:100 A3 U.N.O.
DRAWINGS MUST BE CHECKED, APPROVED AND SIGNED OFF PRIOR TO MANUFACTURE BY THE PROJECT MANAGER, ENGINEER AND BUILDER.

Project EXTENSIONS, MODIFICATIONS & NEW PERMANENT STRUCTURAL COVER TO EXISTING POOL AT 6 ROSE STREET SOUTH FRMANTLE, WA 6162
 Title WALLS & ROOF, PLAN - SECTIONS AND DETAILS
 Drawing Number ROSE003P/0 Sheet 1 Revision 0








JUSTIN KELLY
MIEAUST # 2425643

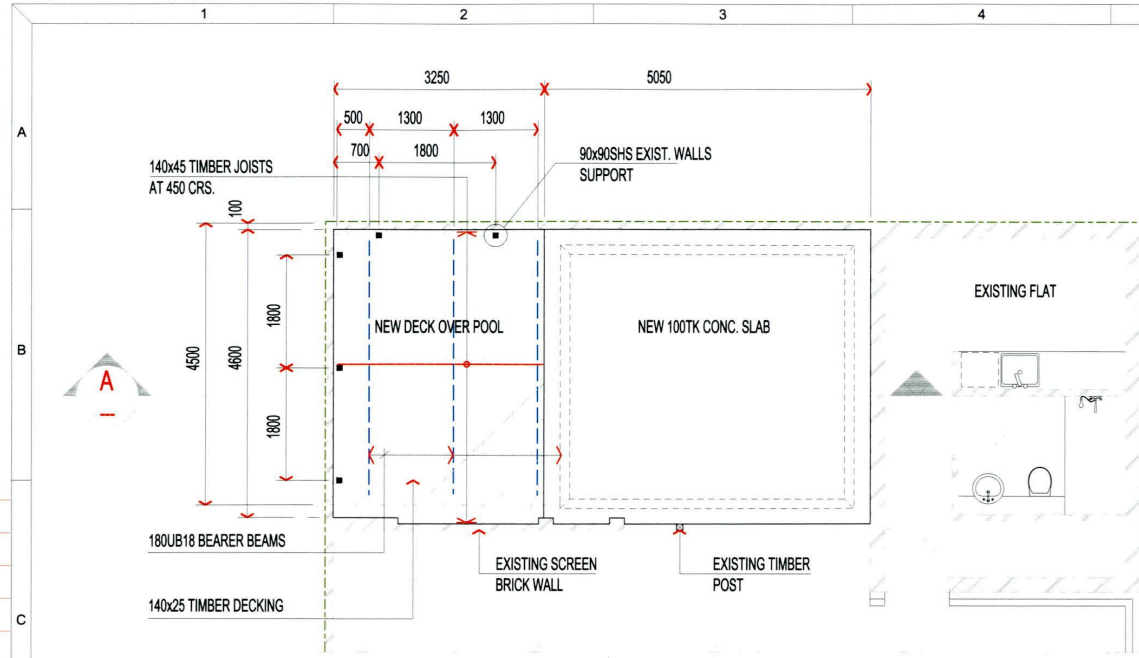
CITY OF FREMANTLE
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18 Sept 2019

GENERAL

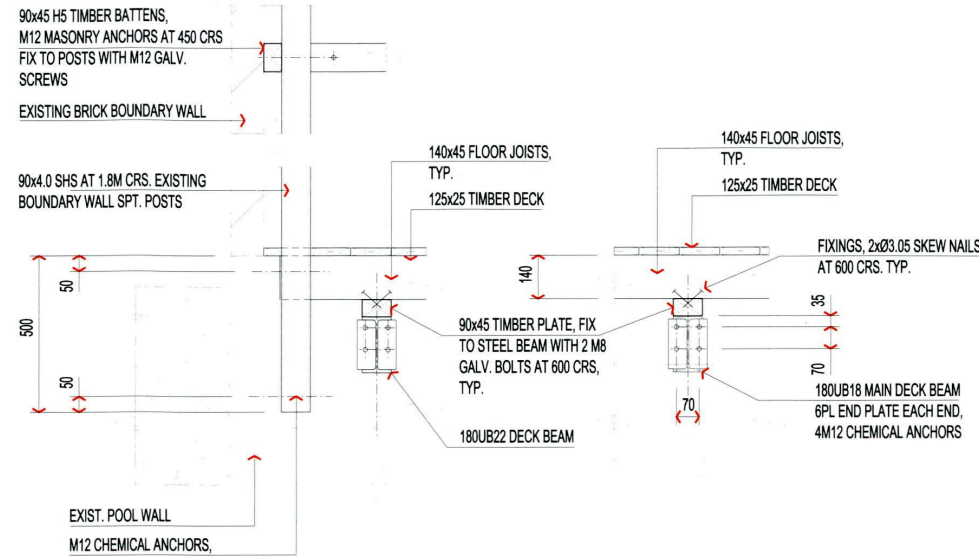
1. ALL DIMENSIONS TO BE AS SHOWN
2. ALL STEELWORK TO BE GALVANNEAL
3. MATERIAL, UNO TO BE GRADE 250 HOT ROLLED PLATES TO AS 3678
4. HOT ROLLED TFB TO AS 3679.1
5. WELDING TO COMPLY WITH AS1554 PARTS 1 AND 2
6. EXTERNAL STEELWORK TREATMENT TO CONFORM WITH AS/NZS 2312
7. ALL STEELWORK IN CONTACT WITH GROUND IS TO HAVE 2 COATS OF HIGH BUILD EXTERNAL EPOXY, 0.15 TO 0.2mm THICKNESS
8. ALL TIMBER WORK TO BE IN ACCORDANCE WITH THE NATIONAL TIMBER FRAMING CODE AS1684
9. FOOTINGS AND SLABS TO COMPLY WITH AS2870
10. ALL CONCRETE TO COMPLY WITH AS 3600 & PRE-MIXED FROM AN APPROVED SUPPLIER.
11. FOOTINGS GRADE N20, MAX AGG SIZE 20mm, SLUMP 80mm
12. SLABS GRADE N20, MAX AGG SIZE 20mm, SLUMP 80mm
13. ALL TIMBER GRADE MGP10 H3 UNO
14. SITE CLASSIFICATION
- SOIL CLASS 'A' IN ACCORDANCE WITH AS2870 BASED ON LOCAL KNOWLEDGE OF THE SITE'S GEOLOGY
15. DESIGN CRITERIA
1) WIND REGION A, TC3
2) ALL LOADINGS INCLUDING BALUSTRADES TO AS 1170.1

LEGEND

-  TO BE DEMOLISHED
-  NEW BRICKWORK
-  EXISTING BRICKWORK
-  CONCRETE
-  SITE BOUNDARY
-  NEW STEEL BEAMS
-  NEW STUDWORK

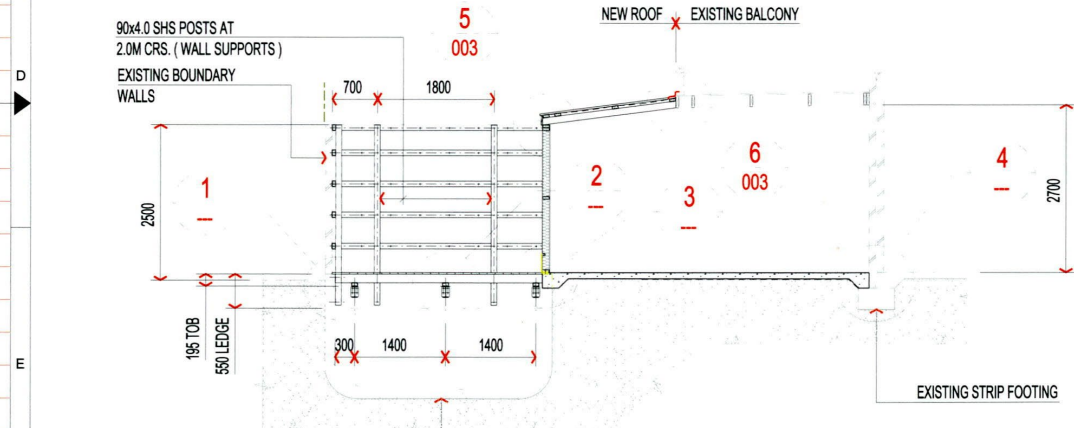


DETAIL 1
SCALE 1:50

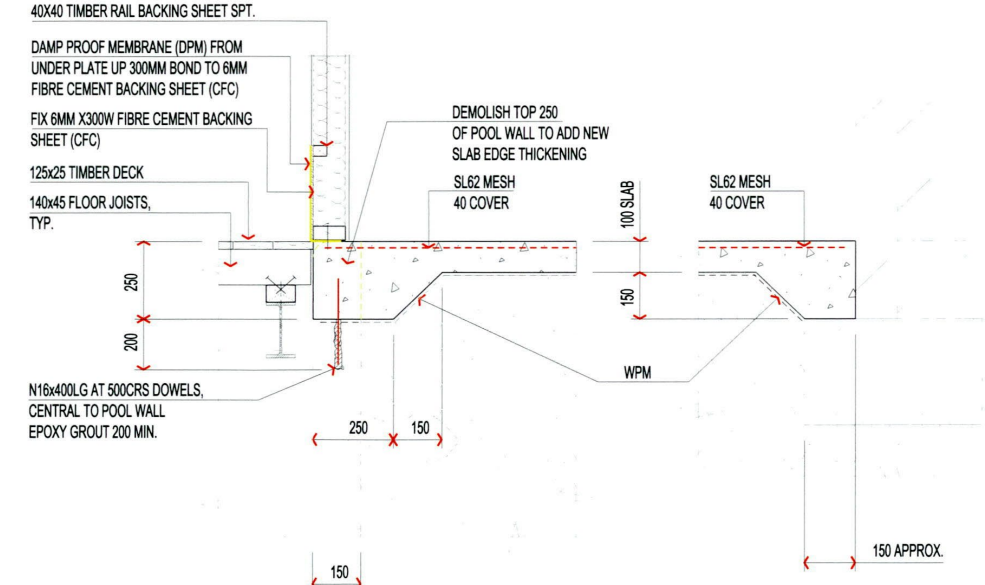


DETAIL 1
SCALE 1:10

DETAIL 2
SCALE 1:10



SECTION A
SCALE 1:50



DETAIL 3
SCALE 1:10

DETAIL 4
SCALE 1:10



NOTES:

Rev	Date	Description	Drawn/Checked	Engineer
0	AUG 19	AFC	D. ESPINOZA	JUSTIN KELLY
B	JULY 19	REVISED TO CLIENT REVIEW	D. ESPINOZA	JUSTIN KELLY
A	JULY 19	ISSUED FOR REVIEW	D. ESPINOZA	JUSTIN KELLY

DRAWINGS MUST BE CHECKED, APPROVED AND SIGNED OFF PRIOR TO MANUFACTURE BY THE PROJECT MANAGER, ENGINEER AND BUILDER.

Project	EXTENSIONS, MODIFICATIONS & NEW PERMANENT STRUCTURAL COVER TO EXISTING POOL AT 6 ROSE STREET SOUTH FRMANTLE, WA 6162		
Title	PLAN SECTIONS AND DETAILS		
Drawing Number	ROSE002P/0	Sheet	2
Revision	0	Scale	1:50 A1 - 1:100 AS UNO.

JUSTIN KELLY
MIEAUST # 2425643

CITY OF FREMANTLE
These Plans Form Part of

DA0357/19

18 Sept 2019

GENERAL NOTES

GENERAL
G.1 THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL OTHER CONSULTANTS DRAWINGS AND CONTRACT SPECIFICATIONS, ALL DISCREPANCIES SHALL BE REFERRED TO THE ENGINEER FOR DECISION BEFORE PROCEEDING WITH WORK.
G.2 DO NOT SCALE FROM THE DRAWINGS.
G.3 REFER TO ARCHITECTURAL DRAWINGS FOR SETTING OUT DETAILS
G.4 ALL WORK TO COMPLY WITH THE LATEST SAA CODES AND AMENDMENTS
G.5 THE BUILDER SHALL ENSURE STABILITY OF STRUCTURE DURING ALL PHASES OF CONSTRUCTION
G.6 ALL DIMENSIONS EXPRESSED IN MILLIMETRES (MM)

TIMBER FRAMING
TF1. ROOF
ROOF FRAMING ROOF FRAMING TO
ROOF CROSS BRACING 30 X 0.8MM G.I. METAL STRIP (4 - 2.8 NAILS EACH END) AT WALL PLATE, FIX TO INTERMEDIATE RAFTERS WITH 2 X 2.8 NAILS
TF2. LOWER WALLS (2700 H)
WALL STUDS 90 X 45 MGP10 STUDS AT 600 CTRS
BOTTOM PLATE 90 X 45 MGP10
TOP PLATE 90 X 35 MGP10
NOGGINGS AT 1350 CTRS

TF4. MULTIPLE STUDS AT SIDES OF OPENING DOUBLE STUDS FOR 1200 TO 2700 OPENINGS, TRIPLE STUDS UP TO 3000 AND 4 STUDS UP TO 4000

TF5. LINTELS - (UNO)
UPPER
OPENINGS UP TO 1200 1600 2100 2500
TIMBER 120 X 45 140 X 45 190 X 45 240 X 45
LOWER
OPENINGS UP TO 1200 +1200
TIMBER 120 X 45 REFER TO PLAN
ALL LINTELS SHALL BE MPG10

TF6. TIE DOWN
GROUND FLOOR - PROVIDE 1-M10 (BTG10120) "POWERS" BLUE-TIP SCREW BOLT AT EACH END OF WALL FRAMES. BRACE ENDS AND ADJACENT EVERY 2ND STUD. PROVIDE 2 - M10 "POWERS" BLUE-TIP SCREW BOLTS AT EITHER SIDE OF OPENINGS

TF7. 1800 DENOTES MINIMUM LENGTH OF STRAP WALL BRACING. PROVIDE STRAP WALL BRACING IN ACCORDANCE WITH TABLE 8.18 OF AS1684.0 BRACING AS PER - 3KN/M.

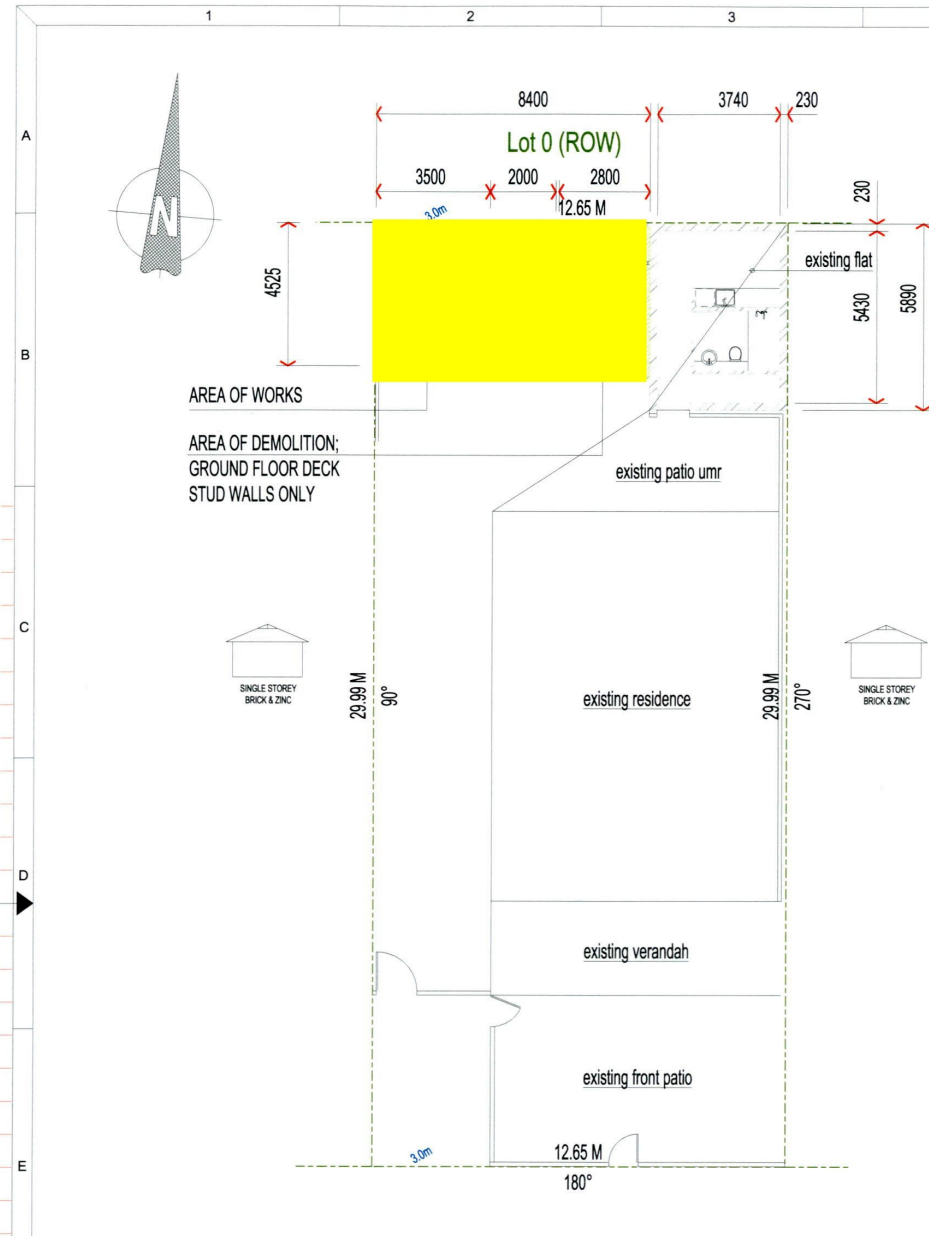
DESIGN CRITERIA
DC.1 IMPOSED LOADS HAVE BEEN CALCULATED IN ACCORDANCE WITH AS 1170.1 'PERMANENT, IMPOSED AND OTHER ACTIONS' AND ARE THE FOLLOWING
ROOF = 0.25KPA
FLOORS = 1.5KPA
DC.2 WIND LOADS HAVE BEEN CALCULATED IN ACCORDANCE WITH AS4055-2006 'WIND LOADS FOR HOUSING' AND THE FOLLOWING CRITERIA:
WIND CLASSIFICATION = N2

FOUNDATIONS, FOOTINGS AND SLABS ON GROUND
F.1 ALL HAVE BEEN DESIGNED TO AS2870.
F.2 PROOF COMPACT THE NATURAL GROUND TO ACHIEVE 8 BLOWS PER 300MM TO DEPTH OF 750MM WHEN TESTED WITH A STANDARD PERTH SAND PENETROMETER
F.3 LOCATE FOOTINGS CENTRALLY UNDER WALLS AND COLUMNS UNO
F.4 PROVIDE AND APPROVED MOISTURE PROOF MEMBRANE TO THE UNDERSIDE OF ALL SLABS ON GROUND
F.5 STEP FOOTINGS UNDER AND PLUMBING PIPES OF CONDUITS MAINTAINING THE SPECIFIED DEPTH AT ALL TIMES
F.6 PLACE CLEAN COMPACTED SAND FILL AS SPECIFIED TO ACHIEVE THE REQUIRED FINISHED GROUND AND FLOOR LEVELS

TIMBER
T.1 ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH AS 1720.1 SAA TIMBER STRUCTURES CODE AND AS 1684 NATIONAL TIMBER FRAMING CODE.
T.2 WASHERS SHALL BE PROVIDED UNDER ALL NUTS AND BOLT HEADS BEARING AGAINST TIMBER IN ACCORDANCE WITH THE FOLLOWING:
BOLT SIZE WASHER
UP TO M12 50X50X3.0MM
M16 57X57X4.0MM
M20 65X65X5.0MM
OVER M20 75X75X6.0MM
T.3 ALL TIMBER EXPOSED TO THE WEATHER, DAMP ENVIRONMENTS OR PESTS (WHITE ANTS) TO BE TREATED WITH AN APPROVED PEST RESISTING AND WOOD PRESERVING COMPOUND ON ALL FACES, ENDS AND NOTCHES
T.4 ROOF FRAMING TO COMPLY WITH AS1684.2 RESIDENTIAL TIMBER FRAMED CONSTRUCTION FOR N2 WIND CLASSIFICATION (W33)
TF.5 NOMINAL FIXINGS SHALL COMPLY WITH TABLE 9.4 OF AS 1684.2, UNI
TF.6 PROVIDE SPECIFIC TIE-DOWN FIXING REQUIREMENTS IN ACCORDANCE WITH TABLE 9.7 OF AS 1684.4-1999

PROPERTY DETAILS

Address :
6 ROSE STREET,
SOUTH FREMANTLE WA 6162
Lot 21
Property Number 6796
Property Status Current
Property Type Residential - Improved
Strata Lot
Strata Plan
Volume / Folio 1813 / 342
Land Area 379m²
Landgate Polygon No. 276170



ROSE STREET
SITE PLAN - EXISTING
SCALE 1:100

LEGEND

- TO BE DEMOLISHED
- EXTENT OF NEW WORKS
- EXISTING BRICKWORK
- EXISTING RESIDENCE OUTLINE
- PROPERTY BOUNDARY

JUSTIN KELLY
MIEAUST #2425643



Kelly Structural Design
Engineering & Drafting

NOTES:

Rev	Date	Description	Draftsperson	Engineer
0	AUG 19	AFC	D. ESPINOZA	JUSTIN KELLY
A	MAY 19	ISSUED FOR REVIEW		

Please check scale bar before scaling this drawing

Scale: 1:100 A1 - 1:200 A3 U.N.O.

DRAWINGS MUST BE CHECKED, APPROVED AND SIGNED OFF PRIOR TO MANUFACTURE BY THE PROJECT MANAGER, ENGINEER AND BUILDER.

Project: EXTENSIONS, MODIFICATIONS & NEW PERMANENT STRUCTURAL COVER TO EXISTING POOL AT 6 ROSE STREET SOUTH FREMANTLE, WA 6162

Title: SITE LAYOUT AND NOTES

Drawing Number: ROSE001P/0 Sheet: 1 Revision: 0

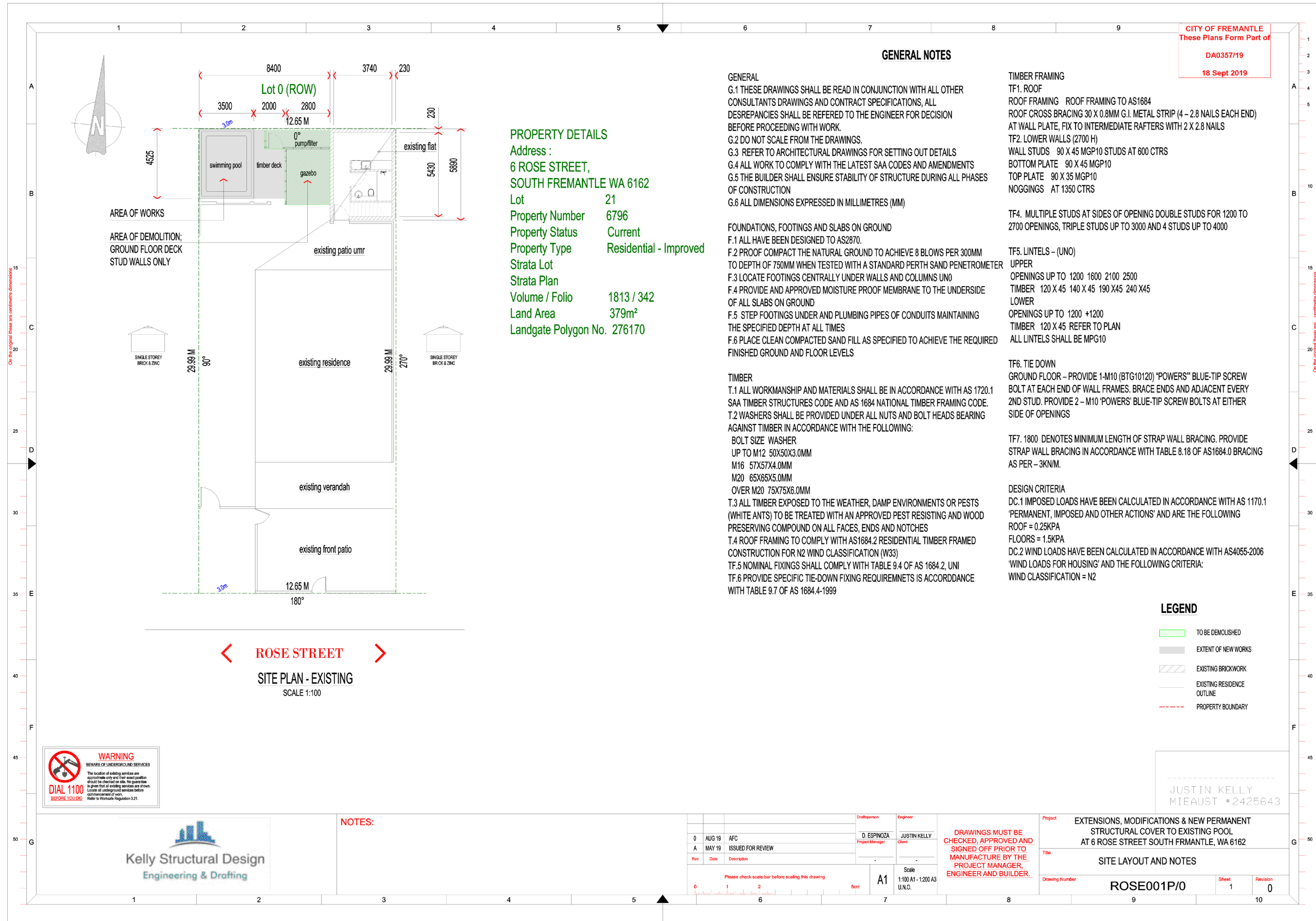
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18 Sept 2019

GENERAL NOTES

- GENERAL**
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G.5 THE BUILDER SHALL ENSURE STABILITY OF STRUCTURE DURING ALL PHASES OF CONSTRUCTION
G.6 ALL DIMENSIONS EXPRESSED IN MILLIMETRES (MM)
- FOUNDATIONS, FOOTINGS AND SLABS ON GROUND**
F.1 ALL HAVE BEEN DESIGNED TO AS2870.
F.2 PROOF COMPACT THE NATURAL GROUND TO ACHIEVE 8 BLOWS PER 300MM TO DEPTH OF 750MM WHEN TESTED WITH A STANDARD PERTH SAND PENETROMETER
F.3 LOCATE FOOTINGS CENTRALLY UNDER WALLS AND COLUMNS UNO
F.4 PROVIDE AN APPROVED MOISTURE PROOF MEMBRANE TO THE UNDERSIDE OF ALL SLABS ON GROUND
F.5 STEP FOOTINGS UNDER AND PLUMBING PIPES OF CONDUITS MAINTAINING THE SPECIFIED DEPTH AT ALL TIMES
F.6 PLACE CLEAN COMPACTED SAND FILL AS SPECIFIED TO ACHIEVE THE REQUIRED FINISHED GROUND AND FLOOR LEVELS
- TIMBER**
T.1 ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH AS 1720.1 SAA TIMBER STRUCTURES CODE AND AS 1684 NATIONAL TIMBER FRAMING CODE.
T.2 WASHERS SHALL BE PROVIDED UNDER ALL NUTS AND BOLT HEADS BEARING AGAINST TIMBER IN ACCORDANCE WITH THE FOLLOWING:
BOLT SIZE WASHER
UP TO M12 50X50X3.0MM
M16 57X57X4.0MM
M20 65X65X5.0MM
OVER M20 75X75X6.0MM
T.3 ALL TIMBER EXPOSED TO THE WEATHER, DAMP ENVIRONMENTS OR PESTS (WHITE ANTS) TO BE TREATED WITH AN APPROVED PEST RESISTING AND WOOD PRESERVING COMPOUND ON ALL FACES, ENDS AND NOTCHES
T.4 ROOF FRAMING TO COMPLY WITH AS1684.2 RESIDENTIAL TIMBER FRAMED CONSTRUCTION FOR N2 WIND CLASSIFICATION (W33)
TF.5 NOMINAL FIXINGS SHALL COMPLY WITH TABLE 9.4 OF AS 1684.2, UNI
TF.6 PROVIDE SPECIFIC TIE-DOWN FIXING REQUIREMENTS IS ACCORDANCE WITH TABLE 9.7 OF AS 1684.4-1999
- TIMBER FRAMING**
TF1. ROOF
ROOF FRAMING ROOF FRAMING TO AS1684
ROOF CROSS BRACING 30 X 0.8MM G.I. METAL STRIP (4 - 2.8 NAILS EACH END) AT WALL PLATE, FIX TO INTERMEDIATE RAFTERS WITH 2 X 2.8 NAILS
TF2. LOWER WALLS (2700 H)
WALL STUDS 90 X 45 MGP10 STUDS AT 600 CTRS
BOTTOM PLATE 90 X 45 MGP10
TOP PLATE 90 X 35 MGP10
NOGGINGS AT 1350 CTRS
- TF4. MULTIPLE STUDS AT SIDES OF OPENING DOUBLE STUDS FOR 1200 TO 2700 OPENINGS, TRIPLE STUDS UP TO 3000 AND 4 STUDS UP TO 4000
- TF5. LINTELS - (UNO)
UPPER
OPENINGS UP TO 1200 1600 2100 2500
TIMBER 120 X 45 140 X 45 190 X 45 240 X 45
LOWER
OPENINGS UP TO 1200 +1200
TIMBER 120 X 45 REFER TO PLAN
ALL LINTELS SHALL BE MPG10
- TF6. TIE DOWN
GROUND FLOOR - PROVIDE 1-M10 (BTG10120) "POWERS" BLUE-TIP SCREW BOLT AT EACH END OF WALL FRAMES. BRACE ENDS AND ADJACENT EVERY 2ND STUD. PROVIDE 2 - M10 "POWERS" BLUE-TIP SCREW BOLTS AT EITHER SIDE OF OPENINGS
- TF7. 1800 DENOTES MINIMUM LENGTH OF STRAP WALL BRACING. PROVIDE STRAP WALL BRACING IN ACCORDANCE WITH TABLE 8.18 OF AS1684.0 BRACING AS PER - 3KN/M.
- DESIGN CRITERIA**
DC.1 IMPOSED LOADS HAVE BEEN CALCULATED IN ACCORDANCE WITH AS 1170.1 'PERMANENT, IMPOSED AND OTHER ACTIONS' AND ARE THE FOLLOWING
ROOF = 0.25KPA
FLOORS = 1.5KPA
DC.2 WIND LOADS HAVE BEEN CALCULATED IN ACCORDANCE WITH AS4055-2006 'WIND LOADS FOR HOUSING' AND THE FOLLOWING CRITERIA:
WIND CLASSIFICATION = N2

PROPERTY DETAILS

Address :
6 ROSE STREET,
SOUTH FREMANTLE WA 6162
Lot 21
Property Number 6796
Property Status Current
Property Type Residential - Improved
Strata Lot
Strata Plan
Volume / Folio 1813 / 342
Land Area 379m²
Landgate Polygon No. 276170



ROSE STREET
SITE PLAN - EXISTING
SCALE 1:100

- LEGEND**
- TO BE DEMOLISHED
 - EXTENT OF NEW WORKS
 - EXISTING BRICKWORK
 - EXISTING RESIDENCE OUTLINE
 - PROPERTY BOUNDARY

WARNING
BEWARE OF UNDERGROUND SERVICES
The location of existing services are approximate only and not exact position. Should be checked on site. No guarantee is given that all existing services are shown. Locate all underground services before commencement of work. Refer to Worksafe Regulation 3.21
DIAL 1100 BEFORE YOU DIG

Kelly Structural Design
Engineering & Drafting

NOTES:

Rev	Date	Description	Draftsperson	Engineer
0	AUG 19	AFC	D. ESPINOZA	JUSTIN KELLY
A	MAY 19	ISSUED FOR REVIEW		

DRAWINGS MUST BE CHECKED, APPROVED AND SIGNED OFF PRIOR TO MANUFACTURE BY THE PROJECT MANAGER, ENGINEER AND BUILDER.

Project	EXTENSIONS, MODIFICATIONS & NEW PERMANENT STRUCTURAL COVER TO EXISTING POOL AT 6 ROSE STREET SOUTH FREMANTLE, WA 6162		
Title	SITE LAYOUT AND NOTES		
Drawing Number	ROSE001P/0	Sheet	1
Revision		Revision	0

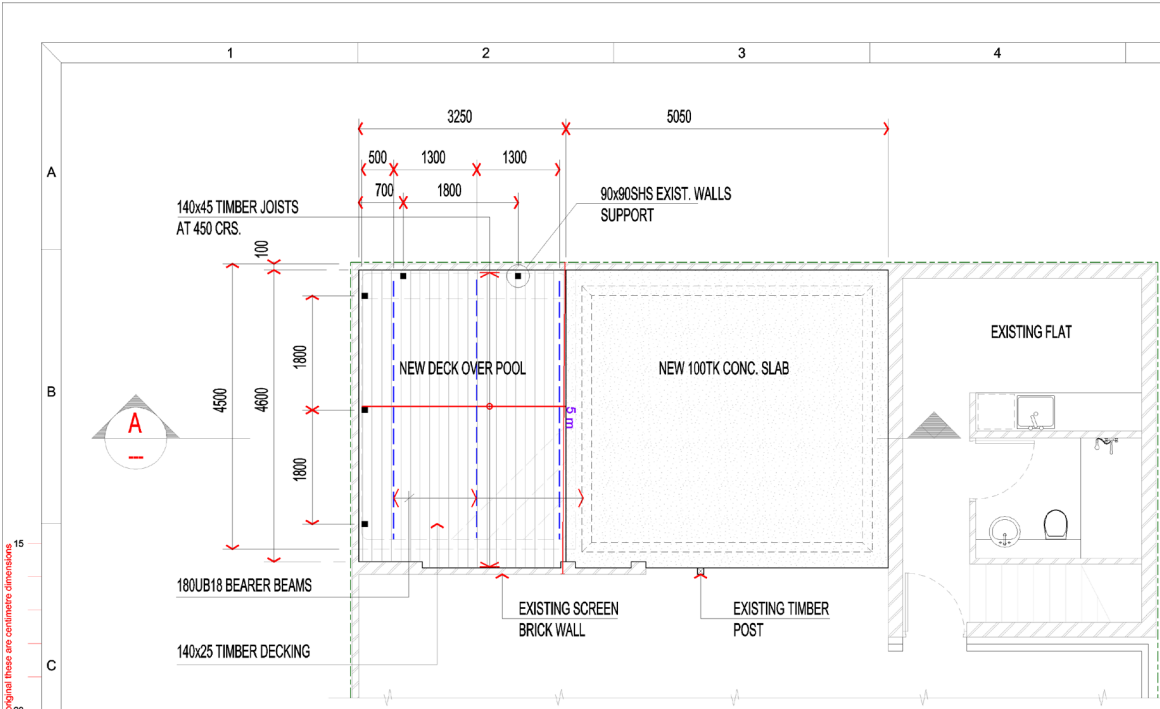
CITY OF FREMANTLE
These Plans Form Part of
GENERAL CIVIL/STRUCTUR DA0357/19
18 Sept 2019

- GENERAL CIVIL/STRUCTUR**
DA0357/19
18 Sept 2019
- ALL DIMENSIONS ARE IN MILLIMETRES
 - ALL STEELWORK TO COMPLY WITH AS 4100
 - MATERIAL, UNO TO BE GRADE 250 HOT ROLLED PLATES TO AS 3678
 - HOT ROLLED TFB TO AS 3679.1
 - WELDING TO COMPLY WITH AS1554 PARTS 1 AND 2
 - EXTERNAL STEELWORK TREATMENT TO CONFORM WITH ASINZS 2312
 - ALL STEELWORK IN CONTACT WITH GROUND IS TO HAVE 2 COATS OF HIGH BUILD EXTERNAL EPOXY, 0.15 TO 0.2mm THICKNESS
 - ALL TIMBER WORK TO BE IN ACCORDANCE WITH THE NATIONAL TIMBER FRAMING CODE AS1684
 - FOOTINGS AND SLABS TO COMPLY WITH AS2870
 - ALL CONCRETE TO COMPLY WITH AS 3600 & PRE-MIXED FROM AN APPROVED SUPPLIER.
 - FOOTINGS GRADE N20, MAX AGG SIZE 20mm, SLUMP 80mm
 - SLABS GRADE N20, MAX AGG SIZE 20mm, SLUMP 80mm
 - ALL TIMBER GRADE MGP10 H3 UNO
 - SITE CLASSIFICATION
- SOIL CLASS 'A' IN ACCORDANCE WITH AS2870 BASED ON LOCAL KNOWLEDGE OF THE SITE'S GEOLOGY
 - DESIGN CRITERIA
1) WIND REGION A, TC3
2) ALL LOADINGS INCLUDING BALUSTRADES TO AS 1170.1

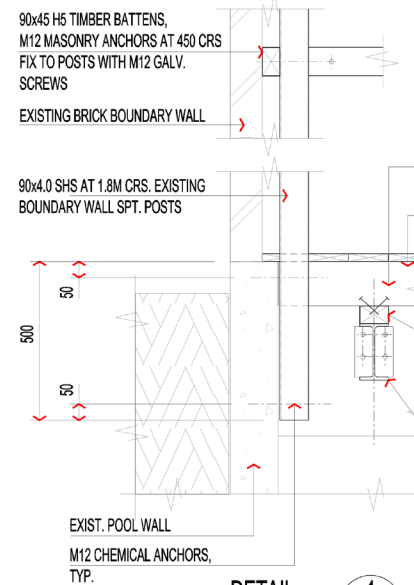
LEGEND

- TO BE DEMOLISHED
- NEW BRICKWORK
- EXISTING BRICKWORK
- CONCRETE
- SITE BOUNDARY
- NEW STEEL BEAMS
- NEW STUDWORK

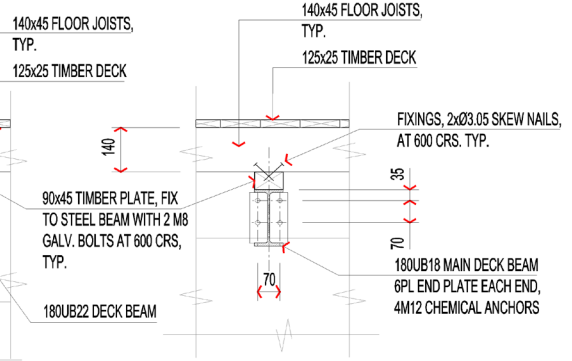
JUSTIN KELLY
MIEAUST #2425643



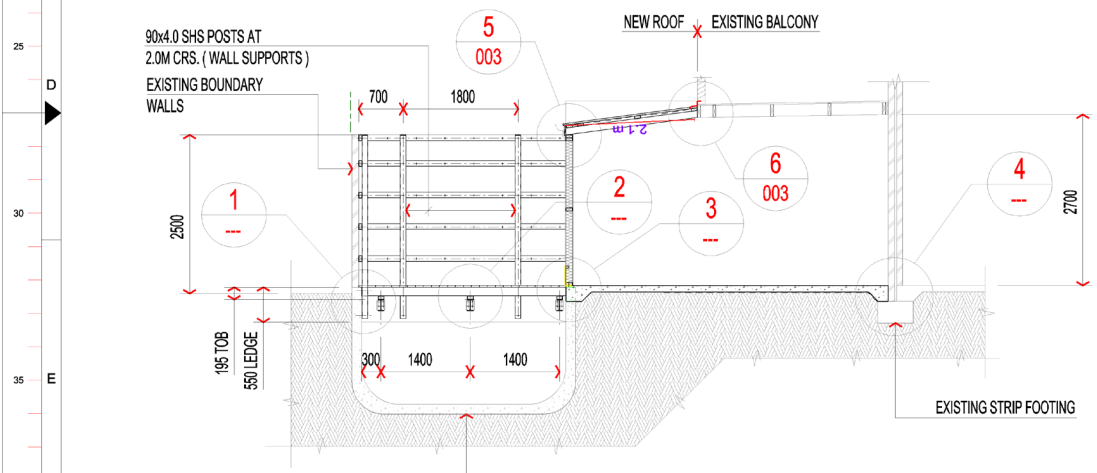
DETAIL 1
SCALE 1:50



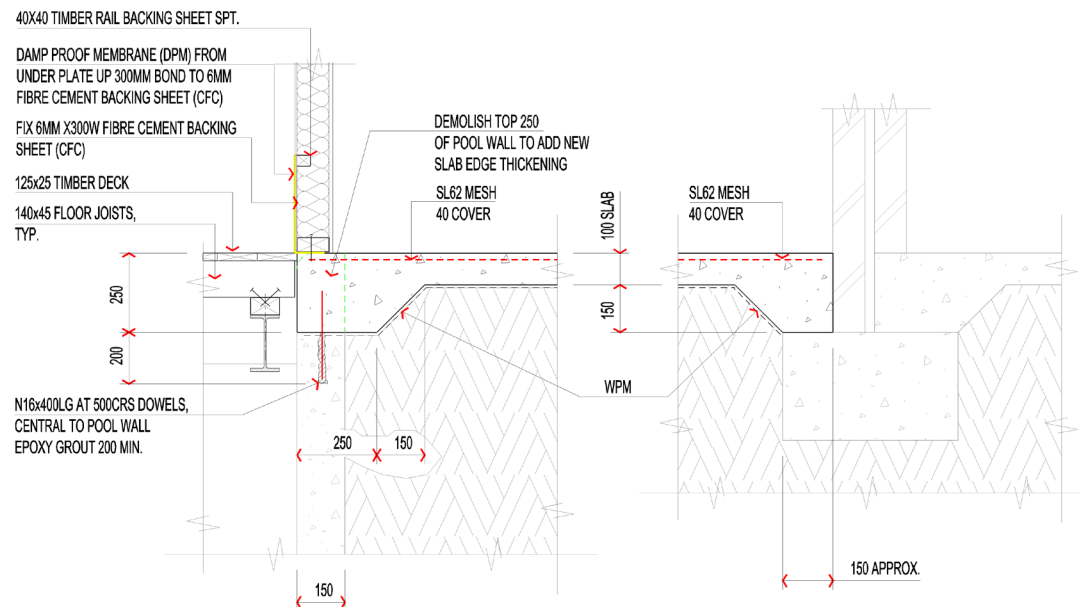
DETAIL 1
SCALE 1:10



DETAIL 2
SCALE 1:10



SECTION A
SCALE 1:50



DETAIL 3
SCALE 1:10

DETAIL 4
SCALE 1:10

WARNING
BEWARE OF UNDERGROUND SERVICES
The location of existing services are approximate only and their exact position should be checked on site. No guarantee is given that all existing services are shown. Locate all underground services before commencement of work. Refer to Worksafe Regulation 3.21.
DIAL 1100
BEFORE YOU DIG



NOTES:

Rev	Date	Description	Drawn/Issued	Engineer/Client
0	AUG 19	AFC	D. ESPINOZA	JUSTIN KELLY
B	JULY 19	REVISED TO CLIENT REVIEW		
A	JULY 19	ISSUED FOR REVIEW		

DRAWINGS MUST BE CHECKED, APPROVED AND SIGNED OFF PRIOR TO MANUFACTURE BY THE PROJECT MANAGER, ENGINEER AND BUILDER.

Project	EXTENSIONS, MODIFICATIONS & NEW PERMANENT STRUCTURAL COVER TO EXISTING POOL AT 6 ROSE STREET SOUTH FRMANTLE, WA 6162		
Title	PLAN SECTIONS AND DETAILS		
Drawing Number	ROSE002P/0	Sheet	2
Revision		Revision	0

CITY OF FREMANTLE
These Plans Form Part of
DA0357/19
18 Sept 2019

GENERAL NOTES

1. ALL DIMENSIONS ARE IN MILLIMETRES, LEVELS AND BOUNDINGS ARE TO BE CHECKED ON SITE.
2. DRAWINGS ARE NOT TO BE SCALED, READ DIMENSIONS SHOWN ON DRAWING.
3. FOR A3 PRINTING SCALES DOUBLE DUE TO PRINTING REDUCTION.
4. LEVELS (RL'S) ARE TAKEN TO TOP OF STRUCTURE IE: TOP OF SLAB.

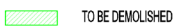

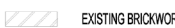
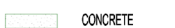




TIMBER FRAMING NOTES

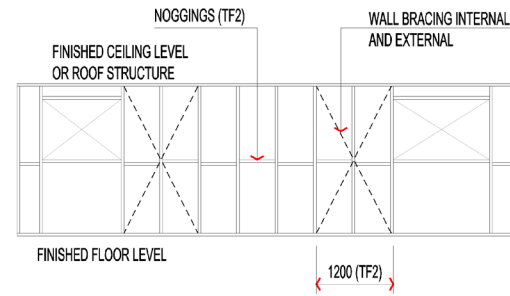
- TF1 ROOF**
- | | |
|---------------------|--|
| ROOF FRAMING | ROOF FRAMING TO MING TO A 5% BL |
| ROOF CROSS BRACINGS | 30 X 0.8 MM G1 METAL STRAP (4-2.8 NAILS EACH END) AT WALL PLATE FIX TO INTERMEDIATE RAFTERS WITH 2 X 2.8 NAILS |
- TF2 LOWER WALLS (2700 H)**
- | | |
|--------------|---------------------------------|
| WALL STUDS | 90 X 45 MGP10 STUDS AT 600 CTRS |
| BOTTOM PLATE | 90 X 45 MGP10 |
| TOP PLATE | 2-90 X 35 MGP10 |
| NOGGINGS | AT 1350 MAX CRS |
- TF3 MULTIPLE STUDS AT SIDES F OPENING DOUBLE STUDS FOR 1200 TO 2100 OPENINGS, TRIPLE STUDS UP TO 3000 & 4 STUDS UP TO 4000**
- TF4 LINTELS - (UNLESS NOTED OTHERWISE)**
- | | | | | |
|----------------|----------|------------|----------|----------|
| UPPER | | | | |
| OPENINGS UP TO | 1200 | 1600 | 2100 | 2500 |
| TIMBER | 120 X 45 | 140 X 45 | 190 X 45 | 240 X 45 |
| LOWER | | | | |
| OPENINGS UP TO | 1200 | 1200 | | |
| TIMBER | 140 X 45 | REFER PLAN | | |
- ALL LINTELS SHALL BE MGP10
- TF5 TIE DOWN**
- PROVIDE M12 HD RODS EACH END OF BRACING WALLS
- UPPER FLOOR**
- PROVIDE 1-M10 IBTG101201 POWERS BLUE TIP SCREW BOLT AT EACH END OF WALL FRAMES BRACE ENDS AND ADJACENT EVERY 2ND STUD PROVIDE 2-M10 IBTG101201 POWERS BLUE TIP SCREW BOLTS AT EITHER SIDE OF OPENINGS. 1800 DENOTES MIN LENGTH OF STRAP WALL BRACING PROVIDE STRAP WALL BRACING IN ACCORDANCE WITH TABLE 818 OF AS68842 BRACING TO BE AS PER (G) kNm
- TF6 ADDITIONAL STUDS & NOGGINGS TO BE INSTALLED AS REQUIRED TO SUIT THE NCBL INSTALLATION REQUIREMENTS REFER MANUFACTURERS INSTRUCTIONS FOR DETAILS**

DESIGN CRITERIA

1. DEAD, LIVE AND WIND LOADS TO AS1170.1 & AS1170.2
2. TC2, REGION A
3. BASIC WIND VELOCITY 2.1 m/s
4. STEEL SHEET ROOF

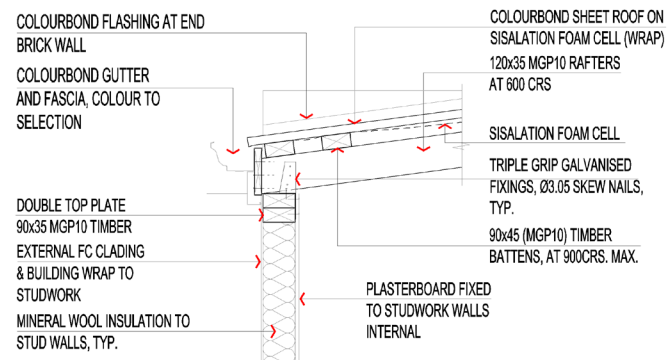
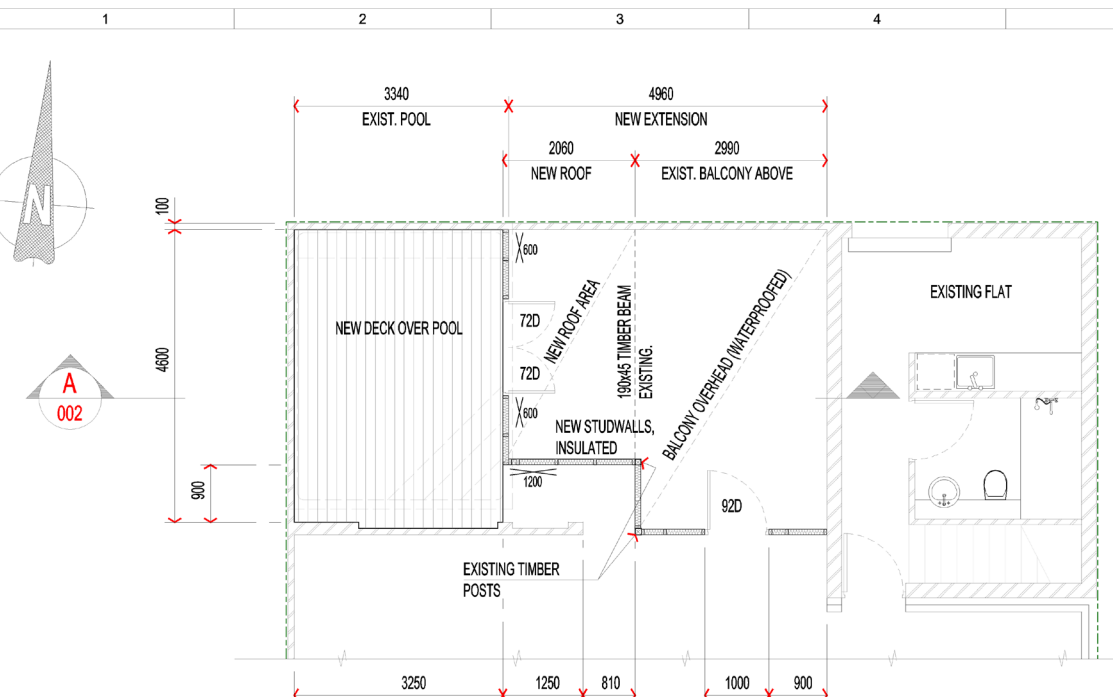
LEGEND

-  TO BE DEMOLISHED
-  NEW EXTENSION
-  EXISTING BRICKWORK
-  CONCRETE
-  SITE BOUNDARY
-  NEW STEEL BEAMS
-  NEW STUDWORK
-  DENOTES STRIP BRACING LENGTH

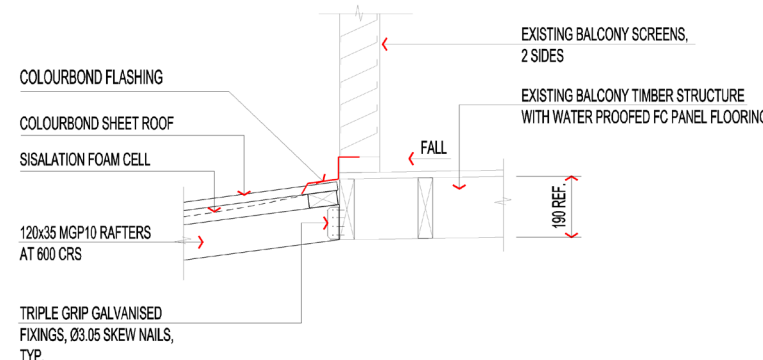


TYP. STUD WALL ELEMENTS
SCALE 1:50

PLAN - ROOFED EXTENSION
SCALE 1:50



DETAIL 5
SCALE 1:10



DETAIL 6
SCALE 1:10



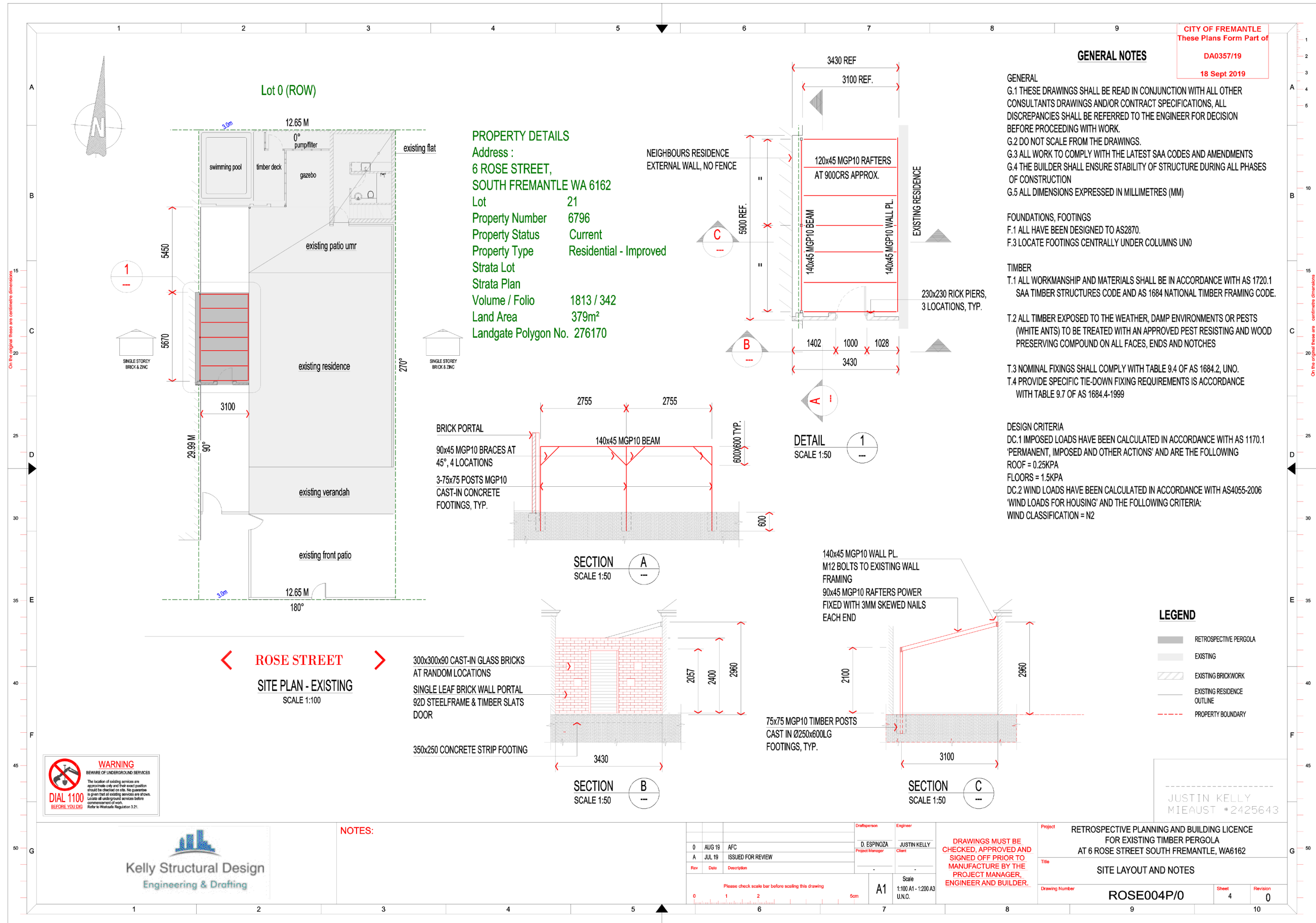
NOTES:

Rev	Date	Description
0	AUG 19	AFC
A	JULY 19	ISSUED FOR REVIEW

Scale
1:50 A1 - 1:100 A3
U.N.Q.

DRAWINGS MUST BE CHECKED, APPROVED AND SIGNED OFF PRIOR TO MANUFACTURE BY THE PROJECT MANAGER, ENGINEER AND BUILDER.

Project	EXTENSIONS, MODIFICATIONS & NEW PERMANENT STRUCTURAL COVER TO EXISTING POOL AT 6 ROSE STREET SOUTH FRMANTLE, WA 6162		
Title	WALLS & ROOF, PLAN - SECTIONS AND DETAILS		
Drawing Number	ROSE003P/0	Sheet	1
Revision		Revision	0



PC1911 - 12 INFORMATION REPORT - NOVEMBER 2019

Minutes attachment 1 - Schedule of applications determined under delegated authority

1. . CARNAC STREET, NO. 33 (LOT 8), FREMANTLE INTERNAL ALTERATIONS TO EXISTING SINGLE HOUSE - (TG - DA0335/19)
2. SOUTH TERRACE, NO. 194 (LOT 2), FREMANTLE - STORE AND BATHROOM EXTERNAL ADDITION TO EXISTING SINGLE HOUSE - (CJ DA0321/19)
3. JOSLIN STREET, NO.32 (LOT 1669), HILTON – TWO LOT SURVEY STRATA SUBDIVISION - (NB WAPC780-19)
4. CLIFF STREET, NO. 18 (LOT 51), FREMANTLE - TWO LOT (AND COMMON PROPERTY) SURVEY STRATA SUBDIVISION - (CJ WAPC841-19)
5. COLLICK STREET, 61 (LOT 201), HILTON - ADDITIONS TO EXISTING SINGLE HOUSE - (JCL DA0297-19)
6. JACKSON STREET, NO.5 (LOT 300), NORTH FREMANTLE - VARIATION TO PREVIOUS PLANNING APPROVAL DA0260/18 (TWO STOREY SINGLE HOUSE) - (JL VA0028/19)
7. SOUTH TERRACE, NO. 2 (LOT 801), FREMANTLE - ADDITIONS AND ALTERATIONS TO EXISTING BUILDING - (CJ DA0211/19)
8. CARPARK 13, HENDERSON STREET, NO. 10 (LOT 375), FREMANTLE - SIGNAGE ADDITION TO AN EXISTING PUBLIC CAR PARK - (NB DA0289/19)
9. BROMLEY ROAD, NO. 17A (LOT 44), HILTON - SINGLE BEDROOM GROUPED DWELLING - (NB DA0339/19)
10. CHARLES STREET, NO. 26 (LOT 200), SOUTH FREMANTLE - VARIATION TO PREVIOUS DEVELOPMENT APPROVAL DA0432/18 (TWO STOREY ADDITIONS AND ALTERATIONS TO EXISTING SINGLE HOUSE) - (CJ VA0032/19)
11. HIGH STREET MALL, NO. 135 (LOT 383), FREMANTLE - INTERNAL FIT OUT GT6 - (CJ DA045/19)
12. SOLOMON STREET, NO. 154 (LOT 12), BEACONSFIELD ADDITIONS (TWO STOREY) TO EXISTING SINGLE HOUSE - (TG - DA0325/19)
13. HIGH STREET MALL, NO. 135 (LOT 383), FREMANTLE - INTERNAL FIT OUT GT9 - (CJ DA0347/19)

14. HIGH STREET MALL, NO. 135 (LOT 383), FREMANTLE - INTERNAL FIT OUT AND SIGNAGE (GT25) - (CJ DA0337/19)
15. BAKER STREET, NO. 12 (LOT 15), FREMANTLE REROOF TO EXISTING SINGLE HOUSE - (TG - DA0363/19)
16. BURNS STREET, NO. 11/42 (LOT 11), NORTH FREMANTLE – SECTION 40 (WHOLESALE) – (CJ LL0010/19)
17. EAST STREET, 31 (LOT 4), FREMANTLE - UNAUTHORISED ALTERATION TO EXISTING MULTIPLE DWELLING - (JCL DA0314-19)
18. HOWARD STREET, 33 (LOT 2), FREMANTLE FA ADE ALTERATIONS TO EXISTING SINGLE HOUSE - (JCL DA0356-19)
19. SWANBOURNE STREET, NO. 7 (LOT 34), FREMANTLE ADDITIONS (CARPORT) TO EXISTING SINGLE HOUSE - (TG - DA0334/19)
20. HENRY STREET, NO. 7 (LOT 59), FREMANTLE- ADDITION OF SHADE SAILS TO EXISTING BUILDING - (CJ DA0328/19)
21. HIGH STREET, NO. 120 (LOT 800), FREMANTLE - INTERNAL ALTERATIONS TO TENANCIES 11A AND 12 IN AN EXISTING COMMERCIAL BUILDING - (NB DA0366/19)
22. LITTLE HIGH STREET, TOWNHOUSES 3 AND 4, AND 6 AND 7 (LOT 3, 4, 6, AND 7), FREMANTLE RECONSTRUCTION OF FA ADE OF EXISTING BUILDINGS - (TG - DA0377/19)
23. STOCKDALE ROAD, NO. 30-46 (LOT 88), O'CONNOR - WAREHOUSE AND SHOWROOM DEVELOPMENT - (CJ DA0487/18)
24. NICHOLAS CRESCENT, 35 (LOT 1), HILTON - EXTENSION TO EXISTING DECK - (JCL DA0333/19)
25. TYDEMAN ROAD, NO. 34 (LOT 3), NORTH FREMANTLE ADDITIONS (FRONT FENCE AND GATE) TO EXISTING SINGLE HOUSE - (TG - DA0313/19)
26. TYDEMAN ROAD, NO. 34 (LOT 3), NORTH FREMANTLE ADDITIONS (FRONT FENCE AND GATE) TO EXISTING SINGLE HOUSE - (TG - DA0313/19)
27. HOLDSWORTH STREET, NO. 1 (LOT 536), FREMANTLE INTERNAL ADDITIONS, PATIO AND A SHADE SAIL STRUCTURE TO EXISTING TAVERN - (TG - DA0343/19)
28. CLARKE STREET, NO. 9 (LOT 29), HILTON - ADDITIONS AND ALTERATIONS TO AN EXISTING SINGLE HOUSE - (NB DA0329/19)

29. BANNISTER STREET, NO. 1-5 (STRATA LOTS 1-36), FREMANTLE MURAL ON EXTERNAL WALL OF EXISTING BUILDING- (TG - DA0361/19)
30. HIGH STREET MALL, NO. 135 (LOT 803), FREMANTLE - ADDITIONS AND ALTERATIONS AND SOLAR PANEL ADDITION TO EXISTING BUILDINGS - (CJ DA0368/19)
31. GIBSON STREET, 9 (LOT 60), BEACONSFIELD - ADDITIONS AND ALTERATIONS TO EXISTING SINGLE HOUSE - (JCL DA0040/19)
32. MORAN STREET, NO. 9/2-14 (LOT 974), BEACONSFIELD- PATIO AND INTERNAL FENCE ADDITION TO EXISTING GROUPED DWELLING - (CJ DA0382/19)
33. SOUTH TERRACE, 296 (LOT 46), SOUTH FREMANTLE - DA - VARIATION TO DA0002-19 ALTERATIONS TO EXISTING DWELLING AND ANCILLARY DWELLING - (JCL VA0030-19)
34. CHARLES STREET, NO. 22 (STRATA LOT 3), SOUTH FREMANTLE ALTERATIONS TO EXISTING GROUPED DWELLING - (TG - DA0380/19)
35. FORREST STREET, NO. 3/174 (LOT 3), FREMANTLE - PATIO ADDITION TO EXISTING GROUPED DWELLING - (CJ DA0387/19)
36. SOUTH TERRACE, NO. 1 OF 177 (STRATA LOT 1), SOUTH FREMANTLE PARTIAL CHANGE OF USE TO SHOP - (TG - DA0350/19)
37. WOOD STREET, NO. 29 AND 31 (LOTS 25 AND 26), FREMANTLE – SUBDIVISION CLEARANCE – (TG WAPC 156616)
38. PHILLIMORE STREET, NO. 11 OF 14 (LOT 1536), FREMANTLE INTERNAL ALTERATIONS (TELECOMMUNICATIONS INFRASTRUCTURE) TO EXISTING BUILDING - (TG DA0373/19)
39. HIGH STREET, 250 (LOT 7), FREMANTLE - PATIO ADDITION TO EXISTING SINGLE HOUSE - (JCL DA0396/19)
40. MOUQUET VISTA, NO. 3 (LOT 11), WHITE GUM VALLEY- TWO STOREY SINGLE HOUSE - (JL DA383/19)
41. ELLEN STREET, NO. 90 (LOT 2053), FREMANTLE ADDITIONS (THREE MODULAR CLASSROOMS) TO EXISTING EDUCATIONAL ESTABLISHMENT - (TG - PW0015/19)
42. MARMION STREET, NO. 37 (LOT 1613) FREMANTLE - TWO LOT SUBDIVISION - WAPC604-19
43. CHESTER STREET, NO. 3 (LOT 20), SOUTH FREMANTLE - ALTERATIONS AND UPPER FLOOR ADDITIONS TO EXISTING SINGLE HOUSE - (NB DA0346/19)

