

PROPOSED MIXED USE DEVELOPMENT

LOT 2 (#225) SOUTH TERRACE
SOUTH FREMANTLE

ISSUED FOR DEVELOPMENT APPLICATION

REV **D**

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FEATURE & CONTOUR SURVEY

VS010310
 JOB NUMBER



NOTE: THIS PLAN IS THE PROPERTY OF BOTH VISION SURVEYS CONSULTING AND ITS CLIENT. THIS PLAN SHOULD NOT BE REPRODUCED WITHOUT THE PERMISSION OF BOTH PARTIES.
 ALL DISCLAIMERS SHOWN ON THIS PLAN ARE TO BE READ IN CONJUNCTION WITH VISION SURVEYS CONSULTING TERMS AND CONDITIONS.

CLIENT: CREATE HOMES
 ADDRESS: 225 SOUTH TCE, SOUTH FREMANTLE
 LOCAL GOVERNMENT: CITY OF FREMANTLE
 519m² R30 P1018 1764-850
 LOT AREA: R CODE: PLAN: TITLE:

DRAFTED BY: CM
 CHECKED BY: DS
 DRAFTING DATE: 27.11.2024
 SURVEY DATE: 05.11.2024
 DWG REF: SouthTce 225 - FEATURE v1.0
 1 OF 1 SHEETS 1 SHEET 1 VERSION

SYMBOL LEGEND:

- TEMP. BENCHMARK
- TELSTRA PIT
- PM POWER METER
- (TOW) TOP OF WALL
- SEWER AC
- WATER METER
- P POWER DOME
- =P= POWER POLE
- DRAINAGE GULLY
- W WINDOW
- D DOOR
- AC AIRCON UNIT

UTILITY SERVICES: Service Available Service Not Available Availability to be confirmed

WATER SEWER GAS TELSTRA/NBN POWER - U/G O/H

SURVEY CO-ORDINATES: ARBITRARY
 SURVEY DATUM: AHD (APPROX.)

DISCLAIMER:
 LOT BOUNDARY DIMENSIONS SHOWN ON THIS SURVEY HAVE BEEN OBTAINED FROM PLANS ORDERED FROM LANDGATE. THESE PLANS ARE ASSUMED TO BE THE CORRECT AND CURRENT DEFINITION OF THE PARCEL OF LAND.

DISCLAIMER:
 CURRENT CERTIFICATE OF TITLE SHOULD BE CHECKED TO VERIFY ALL LOT DETAILS AND ANY EASEMENTS OR OTHER INTERESTS WHICH MAY AFFECT THE SUBJECT LOT.

DISCLAIMER:
 IN THE CASE OF STRATA LOT BOUNDARIES, PLEASE CHECK STRATA PLAN FOR DESCRIPTION OF STRATA LOT BOUNDARIES AND STRATUM DEFINITIONS.

DISCLAIMER:
 DUE TO RESTRICTIONS IN OBTAINING LEVELS AND FEATURES OF ADJOINING PROPERTIES, ALL INFORMATION PROVIDED BEYOND THE BOUNDARIES OF THE SUBJECT LOT ARE DEEMED TO BE APPROXIMATE ONLY.

DISCLAIMER:
 VISION SURVEYS CONSULTING ACCEPTS NO RESPONSIBILITY FOR ANY PHYSICAL CHANGES TO THE SUBJECT PARCEL OF LAND ON THIS SURVEY INCLUDING BUT NOT LIMITED TO ANY ADJOINING LOT LEVELS AND FEATURES THAT HAVE OCCURRED AFTER THE DATE SHOWN ON THIS SURVEY.

DISCLAIMER:
 THIS SURVEY ONLY SHOWS SITE FEATURES WHICH ARE VISIBLE AND ACCESSIBLE AT THE TIME OF SURVEY. THE POSITION OF ANY UNDERGROUND SERVICES SHOULD BE VERIFIED PRIOR TO FINALISATION OF ANY DESIGN WORK.

DISCLAIMER:
 THIS SURVEY DOES NOT VERIFY THE POSITION OF CADASTRAL BOUNDARIES. ALL FEATURES ARE BASED ON THE ORIENTATION OF EXISTING PEGS, FENCES, AND WALLS WHICH MAY NOT BE ON THE CORRECT ALIGNMENT. A CADASTRAL ALIGNMENT SURVEY SHOULD BE UNDERTAKEN TO VERIFY TRUE BOUNDARY POSITIONS BEFORE ADOPTING ANY SITE FEATURES FOR DESIGN PURPOSES.

DISCLAIMER:
 AHD HEIGHT IS APPROXIMATE AND HAS BEEN DERIVED FROM EITHER NETWORK GPS OR A NEARBY WATERCORP. ASSET. REFER TO THE TBM REFERENCE FOR THE AHD DERIVATION OF THIS SURVEY.

SITE COVERAGE

ZONED R30
 % ALLOWED 55%
 SITE AREA 517.94m²
 SITE COVER 299.86m²

SITE COV. =57.9% SITE COVER VARIATION

OUTDOOR LIVING REQUIREMENTS

	REQUIRED	ACHIEVED
OUTDOOR LIVING	24.0m ²	171.0m ²
UNCOVERED AREA	16.0m ²	171.0m ²

ALL PAVING BY BUILDER

CONCRETOR NOTE:

- RECESS SHOWER SLAB 30mm EXTRA
- PROVIDE REFLUX VALVE TO HOBLESS SHR.
- INSTALL ELECTRICAL & PLUMBING PRELAY TO KITCHEN ISLAND BENCH PRIOR TO CONCRETE POUR.
- ALL EXTERNAL BRICK PIER FOOTINGS TO BE AT -3c U.N.O.
- DROP FOOTINGS AS INDICATED
- PROVIDE SLAB THICKENINGS AS INDICATED ON ENGINEER'S STRUCTURAL DRAWINGS
- OFFSET FOOTING FLUSH WITH BRICKWORK DIRECTLY BELOW METERBOX.
- COLUMN AND BEAM LOCATIONS TO BE CONFIRMED WITH ENGINEER DRAWINGS PRIOR TO COMMENCING WORK

EXTERNAL SURFACES DRAINAGE NOTE:

- IMPERVIOUS EXTERNAL SURFACES INCLUDING BALCONIES SHALL BE NO LESS THAN 50mm BELOW INTERNAL SLAB LEVEL UNLESS A CHANNEL GRATE DRAIN IS PROVIDED BETWEEN THE EXTERNAL WALL PERIMETER AND THE EXTERNAL SURFACE AREA.
- ALL IMPERVIOUS EXTERNAL SURFACES ON GROUND SHALL SLOPE AWAY FROM THE BUILDING AT A MINIMUM 1:40 SLOPE.
- IMPERVIOUS BALCONY SURFACES SHALL HAVE A MINIMUM 1:100 FALL TOWARDS FLOOR WASTES.

STORMWATER NOTE:

- STORMWATER DRAINAGE IN ACCORDANCE WITH NCC PART 3.5, 3.1.3 AND AS 3500.3, AS 3500.5 AND TO ANY FURTHER COUNCIL AND ENGINEER'S REQUIREMENTS.
- ALL STORMWATER DRAINAGE INCLUDING CHANNEL GRATES, SHALL BE CONNECTED TO SOAKWELL SYSTEM IN ACCORDANCE WITH AS 3500.3
- SOAKWELL LOCATIONS SHOWN AS A GUIDE ONLY. CONTRACTOR TO CONFIRM LOCATIONS ON SITE.

TERMITE MANAGEMENT NOTE:

- APPLY CHEMICAL TERMITE SOIL BARRIER TREATMENT AND A PHYSICAL TERMI-MESH BARRIER TO ALL SLAB PENETRATIONS, CONTROL JOINTS AND BOUNDARY WALLS IN ACCORDANCE WITH AS3660.1 AND MANUFACTURERS SPECIFICATIONS. IN ADDITION, ALL ROOF TIMBERS USED TO BE H2 PRESERVATIVE TREATED IN ACCORDANCE WITH AS1604.

SWIMMING POOL SAFETY NOTES:

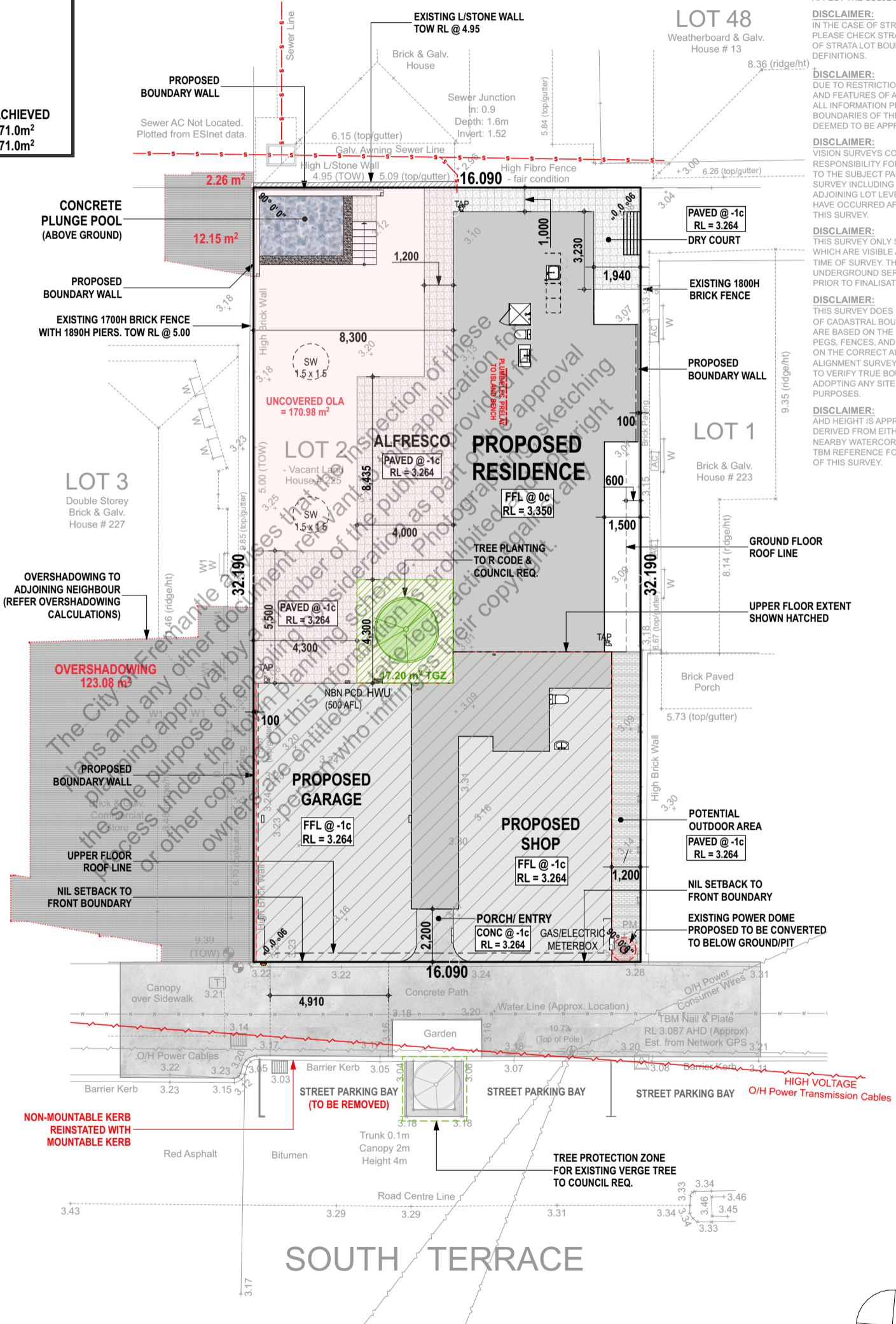
- ALL POOL SAFETY BARRIERS SUCH AS FENCING, WINDOWS AND SELF CLOSING GATES SURROUNDING THE SWIMMING POOL TO BE IN ACCORDANCE WITH AS 1926.1 - 2012 (PART 1) & 1926.2 - 2007 (PART 2)

OVERSHADOWING CALCULATIONS:

(MIDDAY 21st JUNE)
 SOUTHERN NEIGHBOURING LOT No. = 3
 SOUTHERN NEIGHBOURING LOT AREA = 518
 SHADOW CAST AREA = 135.23
 SHADOW CAST PERCENTAGE = 26.12%

SOAKWELL CALCULATIONS:

Soak Well Type	No.	Capacity
SW 1500x1500	2	5.3 m3
Total Capacity		5.3 m3
Roof Area GF		127.3 m2
Paved Area		94.5 m2
Roof Area UF		172.7 m2
Total Area		394.5 m2
Capacity Required (Area x 0.0125)		4.9 m3
Extra Capacity Provided		0.4 m3



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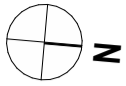
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 BUILDERS NO: 101340
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REV	REVISION	BY	DATE	TITLE	JOB No.
A	CONCEPT	DL	29/11/2024	SITE PLAN	J24-106
B	CONCEPT REVISIONS	DL	01/02/2025		
C	CONCEPT REVISIONS	DL	31/03/2025		
D	DEVELOPMENT APPLICATION	JG	17/04/2025		

ADDRESS: LOT 2 (#225) SOUTH TERRACE SOUTH FREMANTLE
 SHIRE: FREMANTLE

SIZE: ISO A3
 SCALE: 1:200
 SHEET: A.01
 REV: D

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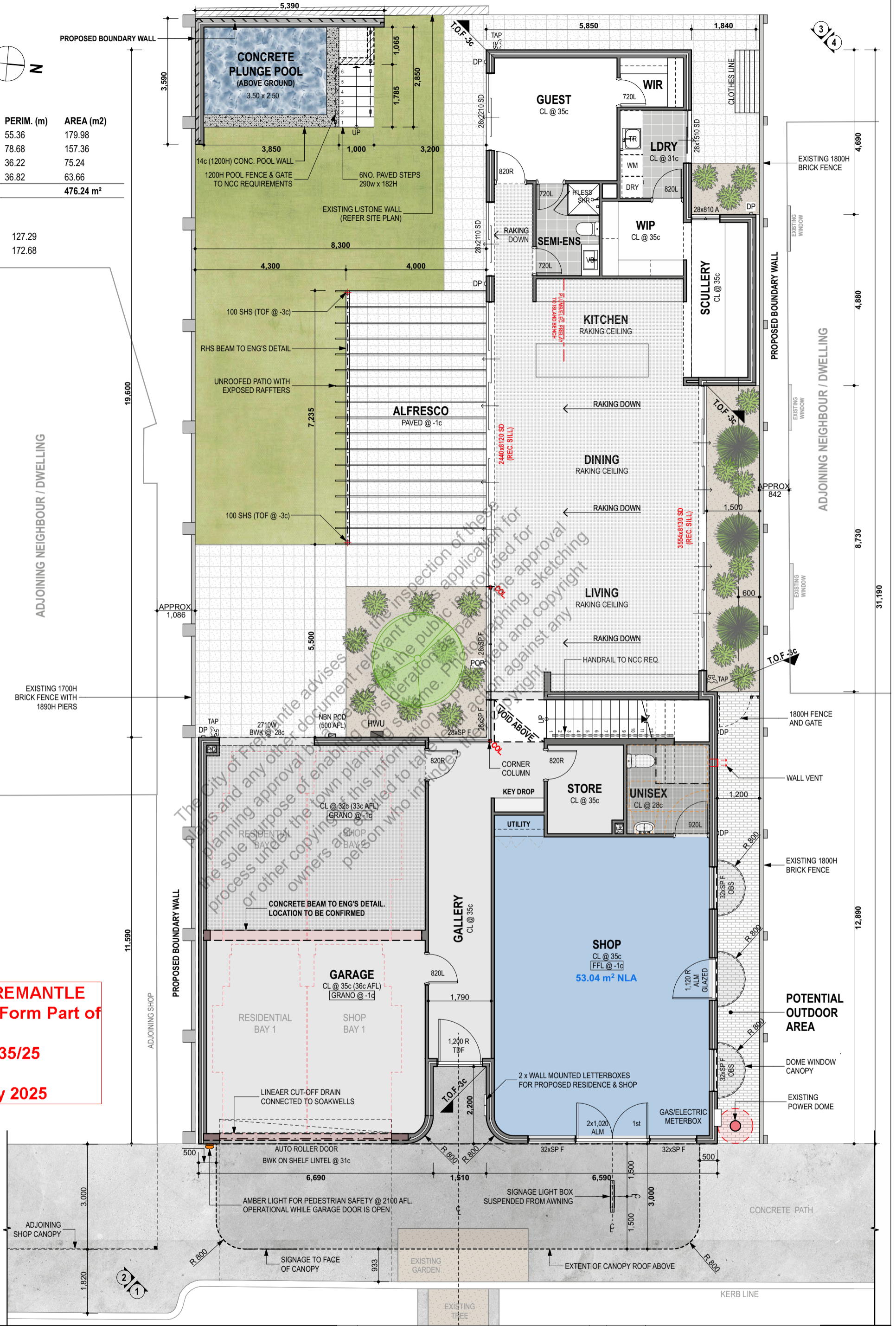


AREAS:

	PERIM. (m)	AREA (m2)
UF House Area	55.36	179.98
GF House Area	78.68	157.36
Garage Area	36.22	75.24
Store / Shop Area	36.82	63.66
		476.24 m²

ROOF AREAS:

GF Roof Area	127.29
UF Roof Area	172.68



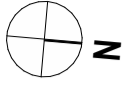
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REV	REVISION	BY	DATE	TITLE	JOB No.
A	CONCEPT	DL	29/11/2024	GROUND FLOOR PLAN	J24-106
B	CONCEPT REVISIONS	DL	01/02/2025		
C	CONCEPT REVISIONS	DL	31/03/2025		
D	DEVELOPMENT APPLICATION	JG	17/04/2025		
ADDRESS					SIZE
LOT 2 (#225) SOUTH TERRACE					ISO A3
SOUTH FREMANTLE					SCALE
SHIRE					1:100
FREMANTLE					SHEET
					REV.
					A.02
					D



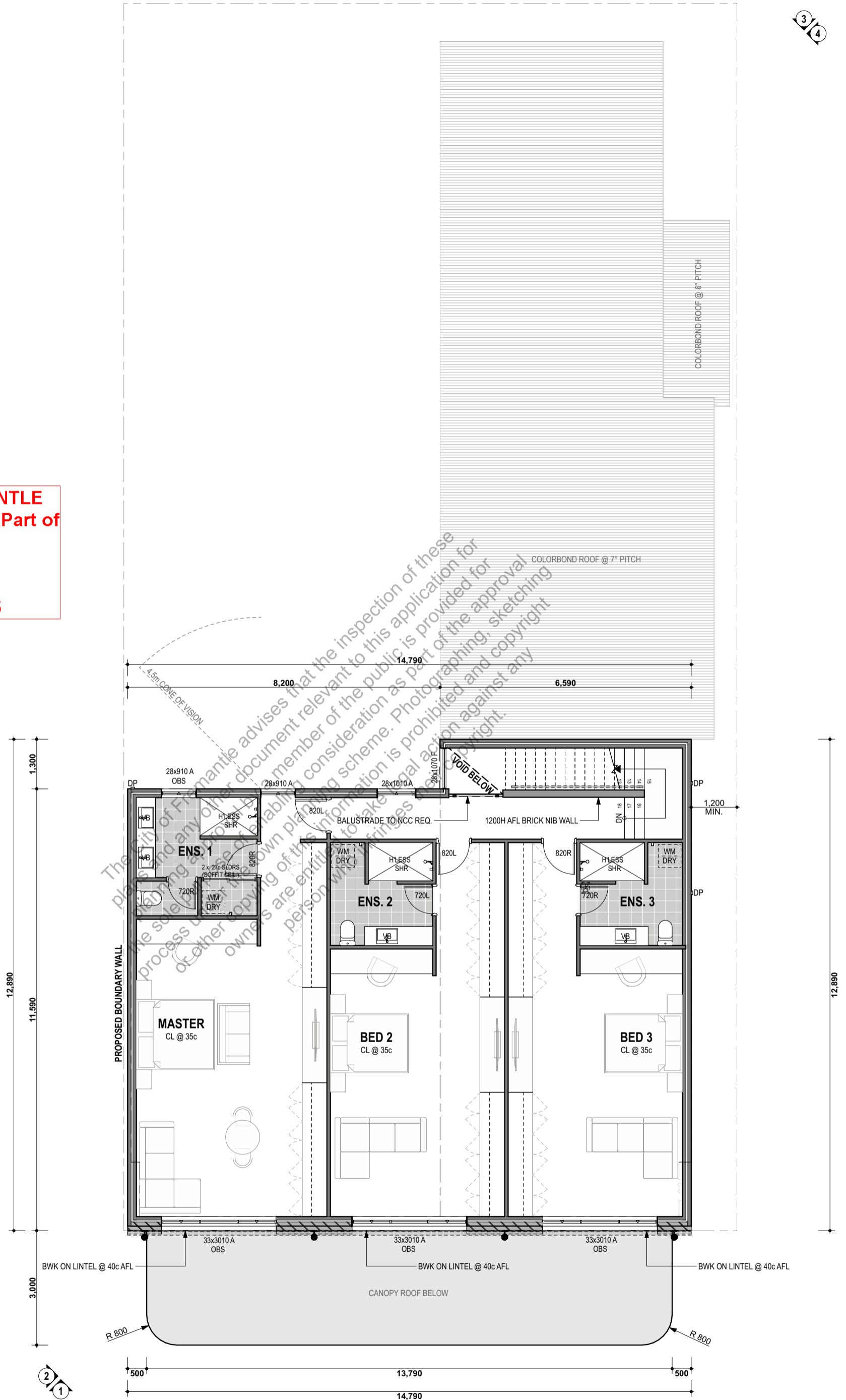
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REV	REVISION	BY	DATE	TITLE	JOB No.
A	CONCEPT	DL	29/11/2024	UPPER FLOOR PLAN	J24-106
B	CONCEPT REVISIONS	DL	01/02/2025		SIZE ISO A3
C	CONCEPT REVISIONS	DL	31/03/2025		SCALE 1:100
D	DEVELOPMENT APPLICATION	JG	17/04/2025		SHEET REV. A.03 D
				ADDRESS	
				LOT 2 (#225) SOUTH TERRACE	
				SOUTH FREMANTLE	
				SHIRE	
				FREMANTLE	

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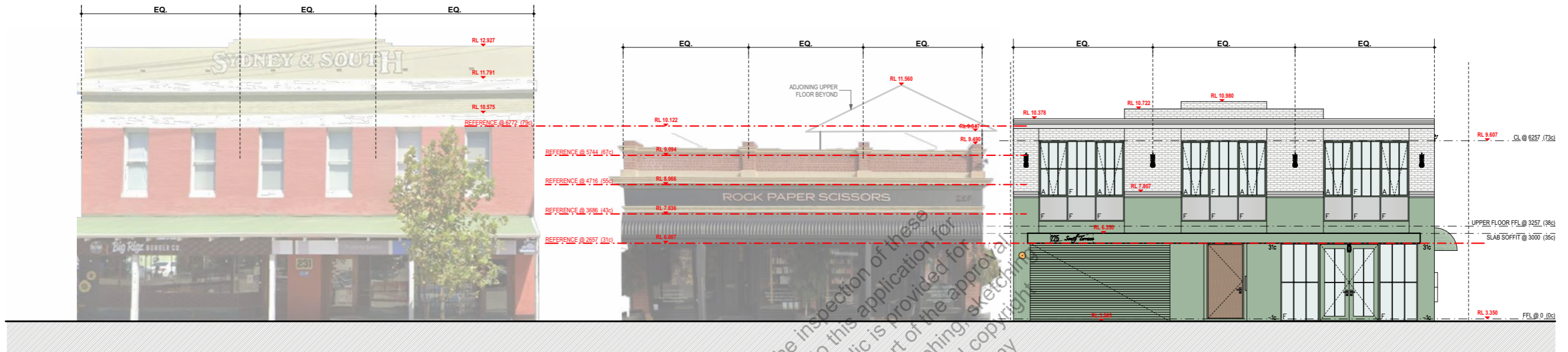
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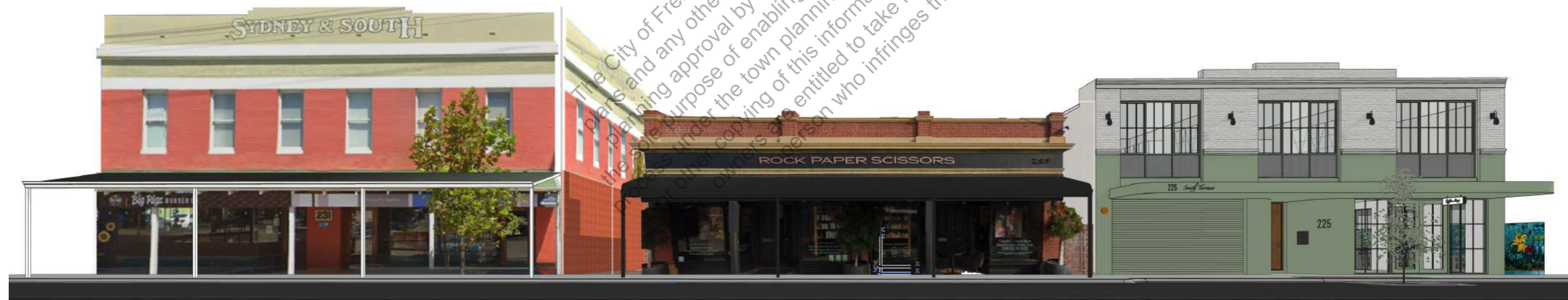
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REV	REVISION	BY	DATE	TITLE	JOB No.
A	CONCEPT	DL	29/11/2024	INSPIRATION	J24-106
B	CONCEPT REVISIONS	DL	01/02/2025		
C	CONCEPT REVISIONS	DL	31/03/2025		
D	DEVELOPMENT APPLICATION	JG	17/04/2025		
				ADDRESS	SIZE
				LOT 2 (#225) SOUTH TERRACE	ISO A3
				SOUTH FREMANTLE	SCALE
				SHIRE	1:100
				FREMANTLE	SHEET
					REV.
					A.04
					D

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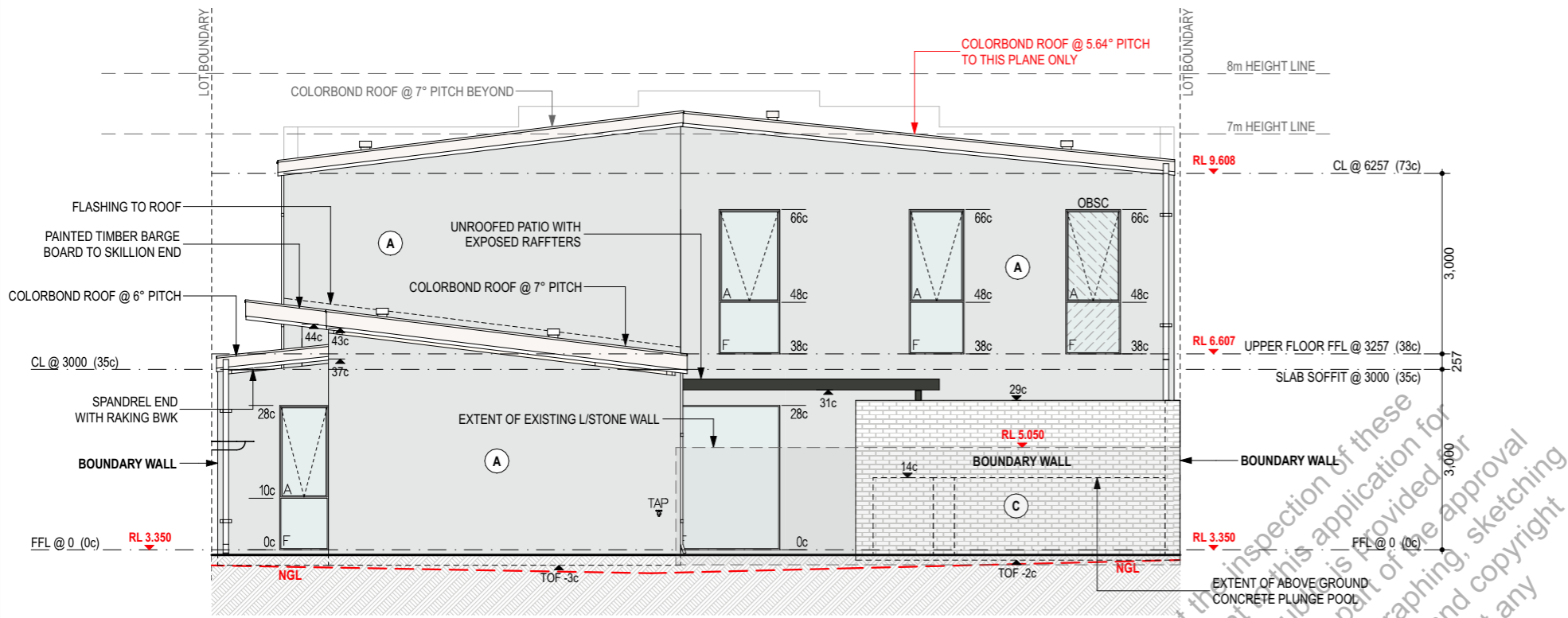
STREETSCAPE ELEVATION
 1:150



STREETSCAPE PERSPECTIVE

REV	REVISION	BY	DATE	TITLE	JOB No.
A	CONCEPT	DL	29/11/2024	STREETSCAPE ELEVATION	J24-106
B	CONCEPT REVISIONS	DL	01/02/2025		
C	CONCEPT REVISIONS	DL	31/03/2025		
D	DEVELOPMENT APPLICATION	JG	17/04/2025		
				ADDRESS	SIZE
				LOT 2 (#225) SOUTH TERRACE	ISO A3
				SOUTH FREMANTLE	SCALE
				SHIRE	1:100
				FREMANTLE	SHEET
					REV.
					A.05
					D

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ELEVATION 3
1:100
A.02

BRICKLAYER NOTES:

- CONFIRM ENGINEER'S TIE DOWN PROVISIONS PRIOR TO COMMENCEMENT.
- CONFIRM ENGINEER'S WALL BRACING PROVISIONS PRIOR TO ANY WALL CONSTRUCTION.
- PROVIDE ALCOR CAVITY FLASHING TO ALL GROUND FLOOR WINDOW AND DOOR HEADERS.
- PROVIDE ALCOR CAVITY FLASHING TO ALL UPPER FLOOR WINDOW AND DOOR SILLS.

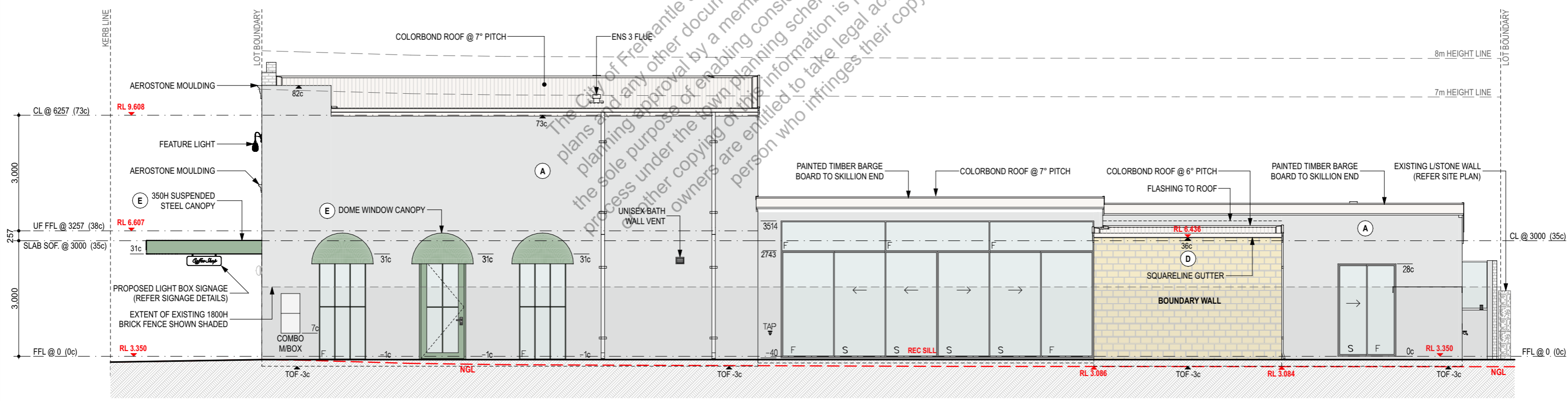
RESTRICTED WINDOWS:

- ALL UPPER FLOOR OPENABLE BEDROOM WINDOWS TO BE FITTED WITH A CHILD RESISTANT RESTRICTING MECHANISM IN ACCORDANCE WITH CLAUSE 3.9.2.6 & 3.9.2.7 OF THE NCC.

MATERIAL SCHEDULE

REFER AEND A FOR SELECTED COLOURS & FINISHES

- (A) PAINT FINISH
COLOUR: WHITE
- (B) TEXTURE COAT RENDERED BRICKWORK
COLOUR: GREEN 'SAGE'
- (C) PAINTED 1c FACE BRICKWORK
COLOUR: WHITE
- (D) 2c FACE BRICKWORK
COLOUR: CREAM
- (E) PAINT FINISH
COLOUR: GREEN 'SAGE'



ELEVATION 4
1:100
A.02

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C	CONCEPT REVISIONS	DL	31/03/2025		
D	DEVELOPMENT APPLICATION	JG	17/04/2025		
ADDRESS LOT 2 (#225) SOUTH TERRACE SOUTH FREMANTLE					SIZE ISO A3
SHIRE FREMANTLE					SCALE 1:100
					SHEET A.07
					REV. D

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B	CONCEPT REVISIONS	DL	01/02/2025		
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D	DEVELOPMENT APPLICATION	JG	17/04/2025		
				ADDRESS	SIZE ISO A3
				LOT 2 (#225) SOUTH TERRACE	SCALE 1:100
				SOUTH FREMANTLE	SHEET REV.
				SHIRE	A.08 D
				FREMANTLE	