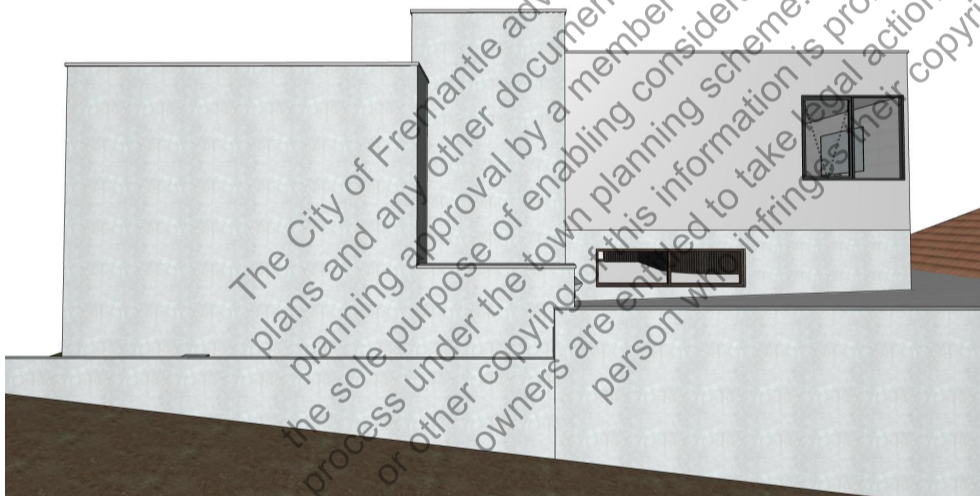


PLANS	
A.02	SITE PLAN
A.03	SITE DEMOLITION PLAN
A.04	DEMOLITION PLAN
A.05	FLOOR PLAN
A.06	UPPER FLOOR AND ROOF PLANS
ELEVATIONS	
A.07	ELEVATIONS
A.08	ELEVATIONS
A.09	OPENINGS SCHEDULE
SECTIONS	
A.10	SECTIONS

VA0012/25
9 Jun 2025



DISCLAIMER

3D IMAGES ARE PROVIDED FOR VISUAL AID ONLY AND MUST NOT BE USED FOR CONSTRUCTION. REFER TO TECHNICAL DRAWINGS AND SPECIFICATION ADDENDA.

The City of Fremantle advises that the inspection of these plans and any other document relevant to this application for planning approval by a member of the public is provided for the sole purpose of enabling consideration as part of the approval process under the town planning scheme. Photographing, sketching or other copying of this information is prohibited and copyright owners are entitled to take legal action against any person who infringes their copyright.

MALCOLM STREET ADDITION // 2505

PLANNING PERMIT

ADDRESS LOT 2 (#23) MALCOLM STREET
FREMANTLE, WA
DRAWING A.01 // COVER PAGE

REV	DESCRIPTION	DATE
B	DESIGN DEVELOPMENT	22.03.24
C	PLANNING PERMIT	17.04.24
D	STORE ROOM ADDED BEYOND LAUNDRY ADDITION	03.09.24
E	ISSUED FOR CERTIFICATION	19.12.24
F	UPPER FLOOR ADDITION	05.05.25

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abn: 33 752 656 731

LOCAL AUTHORITY: CITY OF FREMANTLE
 LOT ZONING: R25
 LOT AREA: 677m²

VA0010/25 S1 GEN D

SSL 28.330 PROPOSED STRUCTURAL SLAB LEVEL

FPL 28.330 PROPOSED FINISHED FLOOR LEVEL

10.00 EXISTING SPOT LEVEL

RS RETIC SLEEVE

HT HOSE TAP

CLIENT: Leila Rahimtulla and Mark Spillane
 ADDRESS: 23 MALCOLM ST, FREMANTLE
 LOCAL GOVERNMENT: CITY OF FREMANTLE
 675m² R25 D 3031 452/174
 LOT AREA: R CODE: PLAN: TITLE:

LOT ZONING R25
 LOT AREA 677.00m²
 BUILDING AREA 258.65m²
 OPEN SPACE 61.79%
 OPEN SPACE REQUIRED AS PER R-CODES IS 50%
 NEIGHBOUR'S LOT AREA 920.00m²
 SHADOW CAST ONTO LOT 36.66m²
 AREA OVERSHADOWED 3.98%
 OVERSHADOWING PERMITTED AS PER R-CODES IS 25%

SYMBOL LEGEND:

WATER METER
 SEWER CONN.
 TEMP. BENCHMARK
 AC AIRCON UNIT
 GM GAS METER
 HW HOT WATER UNIT
 UGD UNDERCROFT GARAGE DOOR

UTILITY SERVICES: Connection Located / Connection Not Located / Service to be confirmed

WATER [] SEWER [] GAS [] TELSTRANBN [] POWER - U/G [] O/H []

SEWER AC
 TELSTRA PIT
 POWER DOME
 GAS METER
 TREE (TO SCALE)
 WINDOW
 DOOR
 UNDERCROFT DOOR

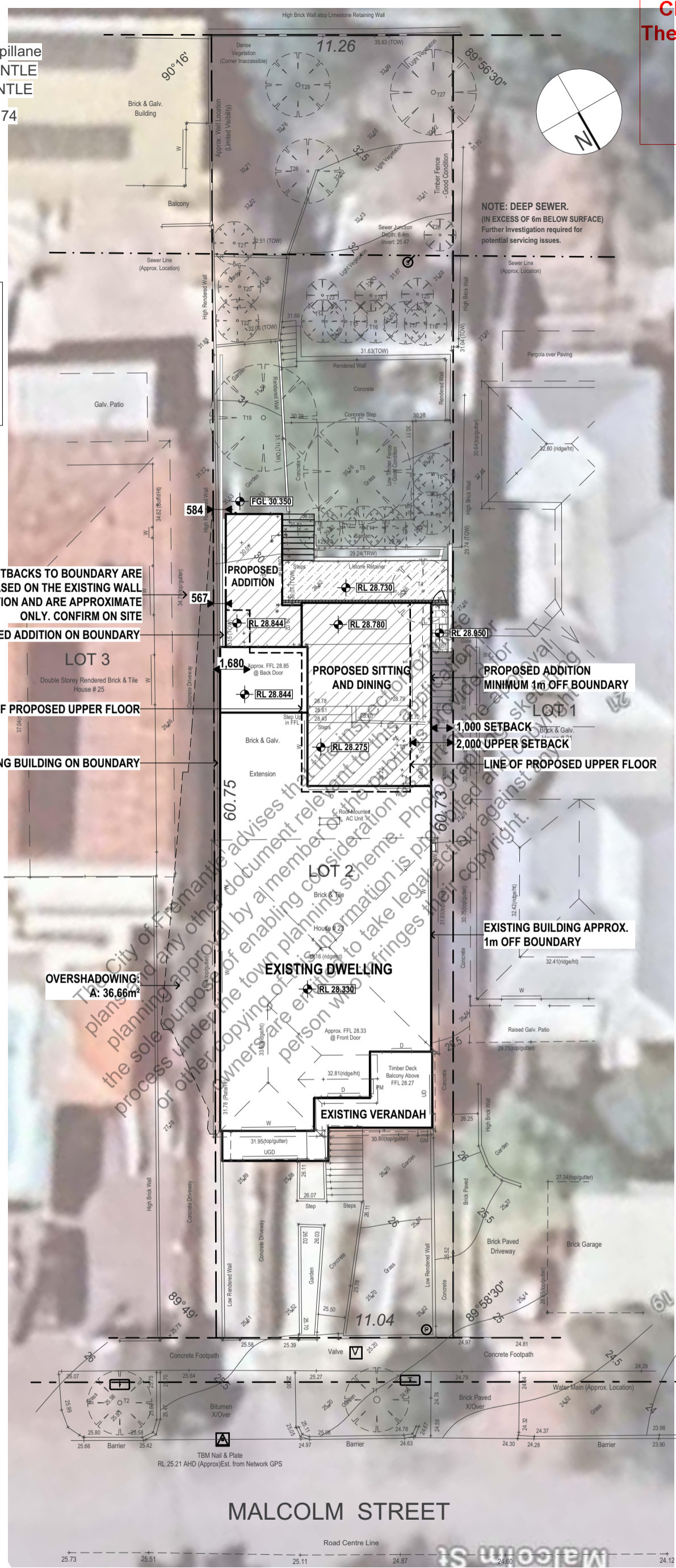
SETBACKS TO BOUNDARY ARE BASED ON THE EXISTING WALL LOCATION AND ARE APPROXIMATE ONLY. CONFIRM ON SITE

PROPOSED ADDITION ON BOUNDARY

LINE OF PROPOSED UPPER FLOOR

EXISTING BUILDING ON BOUNDARY

OVERSHADOWING: A: 36.66m²



NOTE: DEEP SEWER. (IN EXCESS OF 6m BELOW SURFACE) Further Investigation required for potential servicing issues.

Tree ID	Trunk	Canopy	Tree Height
T1	0.30	3.0	3.0
T2	0.20	3.0	3.0
T3	0.10	2.5	2.0
T4	0.10	3.0	2.0
T5	0.10	5.0	3.0
T6	0.10	2.0	2.0
T7	0.10	2.0	2.0
T8	0.10	2.0	2.0
T9	0.10	2.0	2.0
T10	0.10	2.0	2.0
T11	0.10	2.0	2.0
T12	0.10	2.0	2.0
T13	0.10	2.0	2.0
T14	0.10	2.0	2.0
T15	0.10	2.0	2.0
T16	0.10	2.0	2.0
T17	0.10	2.0	2.0
T18	0.10	2.0	2.0
T19	0.20	5.0	3.0
T20	0.10	2.0	2.0
T21	0.10	2.0	2.0
T22	0.10	2.0	2.0
T23	0.10	1.5	2.0
T24	0.10	1.5	3.0
T25	0.10	1.5	3.0
T26	0.10	1.5	3.0
T27	0.20	4.0	4.0
T28	0.10	3.0	2.5
T29	0.20	3.0	3.0

DISCLAIMER: LOT BOUNDARY DIMENSIONS SHOWN ON THIS SURVEY HAVE BEEN OBTAINED FROM PLANS ORDERED FROM LANDGATE. THESE PLANS ARE ASSUMED TO BE THE CORRECT AND CURRENT DEFINITION OF THE PARCEL OF LAND.

DISCLAIMER: CURRENT CERTIFICATE OF TITLE SHOULD BE CHECKED TO VERIFY ALL LOT DETAILS AND ANY EASEMENTS OR OTHER INTERESTS WHICH MAY AFFECT THE SUBJECT LOT.

DISCLAIMER: IN THE CASE OF STRATA LOT BOUNDARIES, PLEASE CHECK STRATA PLAN FOR DESCRIPTION OF STRATA LOT BOUNDARIES AND STRATUM DEFINITIONS.

DISCLAIMER: DUE TO RESTRICTIONS IN OBTAINING LEVELS AND FEATURES OF ADJOINING PROPERTIES, ALL INFORMATION PROVIDED BEYOND THE BOUNDARIES OF THE SUBJECT LOT ARE DEEMED TO BE APPROXIMATE ONLY.

DISCLAIMER: VISION SURVEYS CONSULTING ACCEPTS NO RESPONSIBILITY FOR ANY PHYSICAL CHANGES TO THE SUBJECT PARCEL OF LAND ON THIS SURVEY INCLUDING BUT NOT LIMITED TO ANY ADJOINING LOT LEVELS AND FEATURES THAT HAVE OCCURRED AFTER THE DATE SHOWN ON THIS SURVEY.

DISCLAIMER: THIS SURVEY ONLY SHOWS SITE FEATURES WHICH ARE VISIBLE AND ACCESSIBLE AT THE TIME OF SURVEY. THE POSITION OF ANY UNDERGROUND SERVICES SHOULD BE VERIFIED PRIOR TO FINALISATION OF ANY DESIGN WORK.

DISCLAIMER: THIS SURVEY DOES NOT VERIFY THE POSITION OF CADASTRAL BOUNDARIES. ALL FEATURES ARE BASED ON THE ORIENTATION OF EXISTING PEGS, FENCES, AND WALLS WHICH MAY NOT BE ON THE CORRECT ALIGNMENT. A CADASTRAL ALIGNMENT SURVEY SHOULD BE UNDERTAKEN TO VERIFY TRUE BOUNDARY POSITIONS BEFORE ADOPTING ANY SITE FEATURES FOR DESIGN PURPOSES.

DISCLAIMER: AHD HEIGHT IS APPROXIMATE AND HAS BEEN DERIVED FROM EITHER NETWORK GPS OR A NEARBY WATERCORP. ASSET. REFER TO THE TBM REFERENCE FOR THE AHD DERIVATION OF THIS SURVEY.

OVERALL AREAS

EXISTING DWELLING	169.95
EXISTING VERANDAH	20.87
PROPOSED ADDITION	18.08
PROPOSED SITTING AND DINING	49.75
PROPOSED UPPER FLOOR	61.35
PROPOSED UPPER FLOOR	61.35
TOTAL	381.35 m²

SITE PLAN
 SCALE: 1:200

MALCOLM STREET ADDITION // 2505

PLANNING PERMIT



ADDRESS: LOT 2 (#23) MALCOLM STREET
 FREMANTLE, WA
 DRAWING: A.02 // SITE PLAN

REV	DESCRIPTION	DATE
B	DESIGN DEVELOPMENT	22.03.24
C	PLANNING PERMIT	17.04.24
D	STORE ROOM ADDED BEYOND LAUNDRY ADDITION	03.09.24
E	ISSUED FOR CERTIFICATION	19.12.24
F	UPPER FLOOR ADDITION	05.05.25

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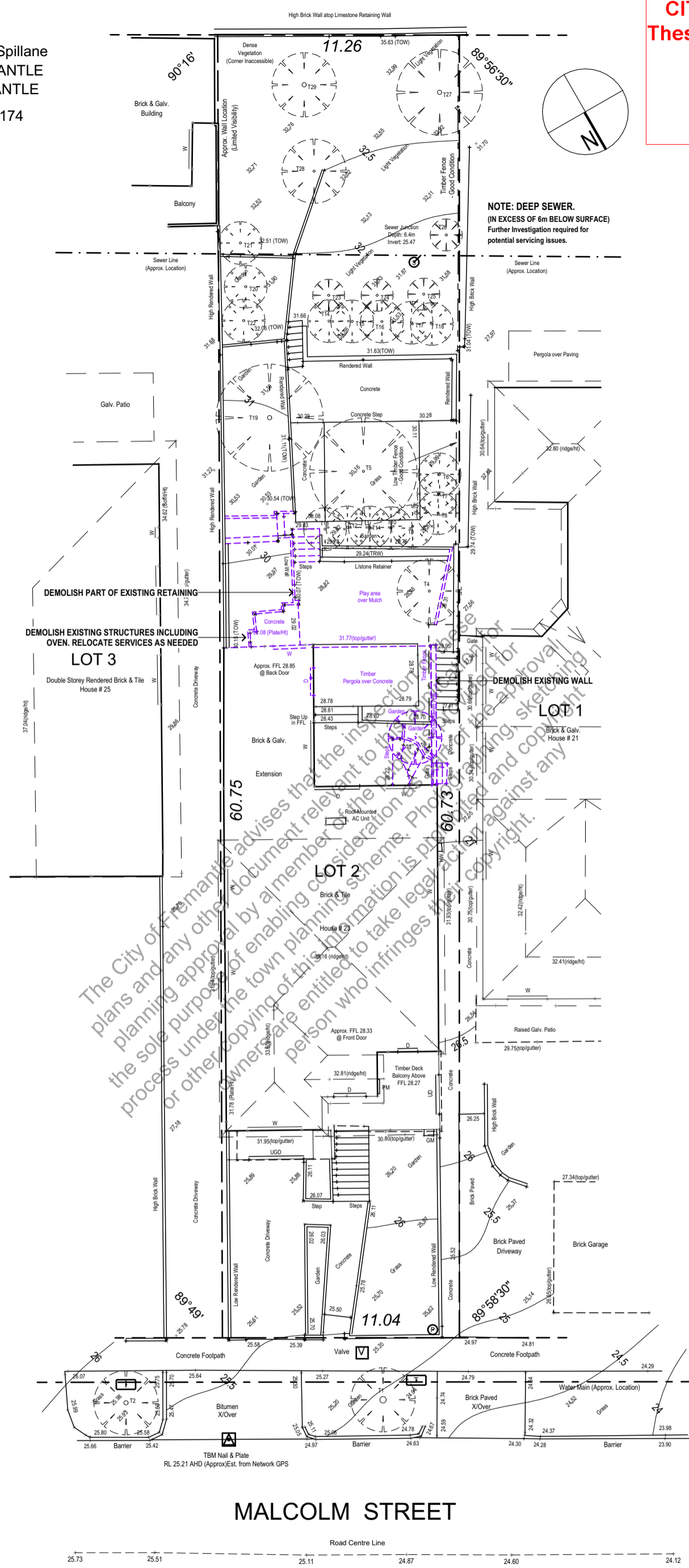
abn: 33 752 656 731

LOT INFORMATION
 LOCAL AUTHORITY: CITY OF FREMANTLE
 LOT ZONING: R25
 LOT AREA: 677m²

VA0010715 S1715 S1715 S1715 S1715 S1715
 S1715 S1715 S1715 S1715 S1715

- SSL 28.330 PROPOSED STRUCTURAL SLAB LEVEL
- FFL 28.330 PROPOSED FINISHED FLOOR LEVEL
- 10.00 EXISTING SPOT LEVEL
- RS RETIC SLEEVE
- HT HOSE TAP

CLIENT: Leila Rahimtulla and Mark Spillane
 ADDRESS: 23 MALCOLM ST, FREMANTLE
 LOCAL GOVERNMENT: CITY OF FREMANTLE
 675m² R25 D 3031 452/174
 LOT AREA: R CODE: PLAN: TITLE:



Tree ID	Trunk	Canopy	Tree Height
T1	0.30	3.0	3.0
T2	0.20	3.0	3.0
T3	0.10	2.5	2.0
T4	0.10	3.0	2.0
T5	0.10	5.0	3.0
T6	0.10	2.0	2.0
T7	0.10	2.0	2.0
T8	0.10	2.0	2.0
T9	0.10	2.0	2.0
T10	0.10	2.0	2.0
T11	0.10	2.0	2.0
T12	0.10	2.0	2.0
T13	0.10	2.0	2.0
T14	0.10	2.0	2.0
T15	0.10	2.0	2.0
T16	0.10	2.0	2.0
T17	0.10	2.0	2.0
T18	0.10	2.0	2.0
T19	0.20	5.0	3.0
T20	0.10	2.0	2.0
T21	0.10	2.0	2.0
T22	0.10	2.0	2.0
T23	0.10	1.5	2.0
T24	0.10	1.5	3.0
T25	0.10	1.5	3.0
T26	0.10	1.5	3.0
T27	0.20	4.0	4.0
T28	0.10	3.0	2.5
T29	0.20	3.0	3.0

DISCLAIMER:
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OVERALL AREAS

EXISTING DWELLING	169.95
EXISTING VERANDAH	20.87
PROPOSED ADDITION	18.08
PROPOSED SITTING AND DINING	49.75
PROPOSED UPPER FLOOR	61.35
PROPOSED UPPER FLOOR	61.35
TOTAL	381.35 m²

SYMBOL LEGEND:

- WATER METER
- SEWER CONN.
- SEWER AC
- TELSTRA PIT
- POWER DOME
- GAS METER
- TREE (TO SCALE)
- W WINDOW
- D DOOR
- UD UNDERCROFT DOOR

UTILITY SERVICES: Connection Located / Connection Not Located / Service to be confirmed

WATER / **SEWER** / **GAS** / **TELSTRANBN** / **POWER - U/G** / **JO/H**

SITE DEMOLITION PLAN
 SCALE: 1:200

MALCOLM STREET ADDITION // 2505

PLANNING PERMIT

ADDRESS: LOT 2 (#23) MALCOLM STREET
 FREMANTLE, WA
 DRAWING: A.03 // SITE DEMOLITION PLAN

REV	DESCRIPTION	DATE
D	STORE ROOM ADDED BEYOND LAUNDRY ADDITION	03.09.24
E	ISSUED FOR CERTIFICATION	19.12.24
F	UPPER FLOOR ADDITION	05.05.25



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SSL 28.330	PROPOSED STRUCTURAL SLAB LEVEL
FFL 28.330	PROPOSED FINISHED FLOOR LEVEL
VA0012/25	SMOKE ALARM IN ACCORDANCE W/ AS3786:2014 HARDWIRED AND INTERCONNECTED
9 Jun 2025	CEILING MOUNTED EXHAUST FAN
□	COLUMN TO STRUCTURAL ENGINEER'S DWGS
—	BEAM TO STRUCTURAL ENGINEER'S DWGS
---	EXISTING ELEMENTS TO BE DEMOLISHED
x	EXISTING ELEMENTS ARE DENOTED BY "x"

DISCLAIMER

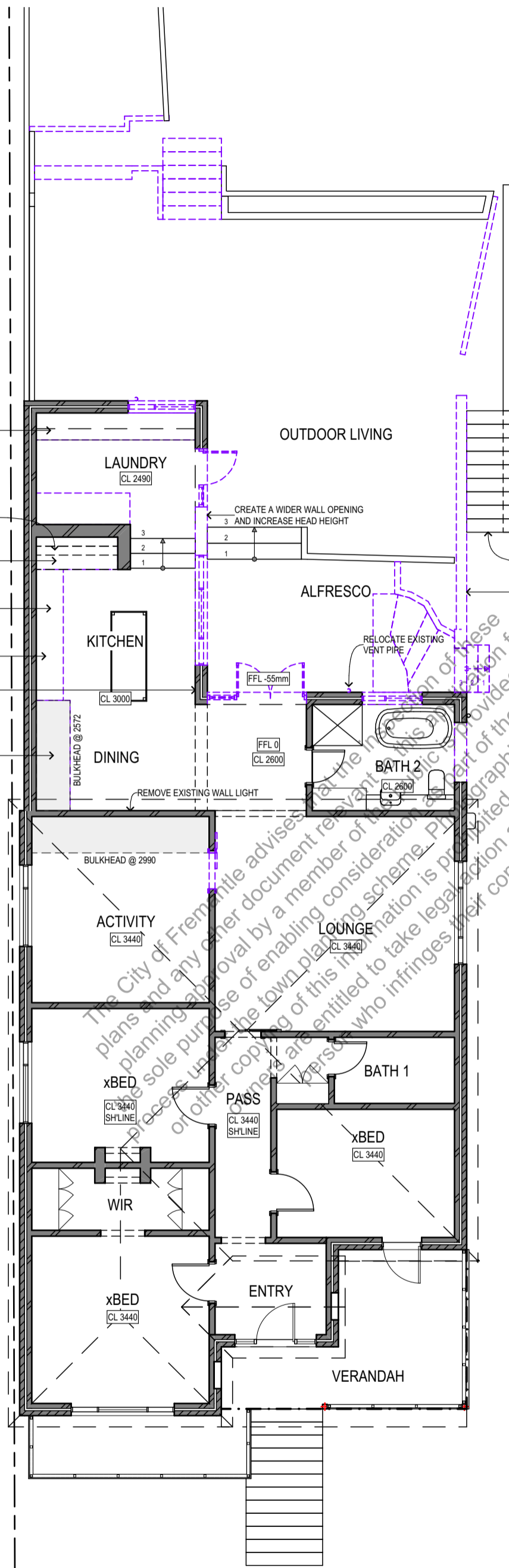
EXISTING STRUCTURES
THESE DRAWINGS ARE BASED ON SURVEYS AND EXISTING DRAWINGS. "LUCID DESIGN STUDIO" HAVE NOT UNDERTAKEN ANY CHECKS OF CRITICAL DIMENSIONS. BUILDER MUST NOT RELY ON THE DRAWINGS AND INSTEAD CONFIRM ALL DIMENSIONS ON SITE PRIOR TO COMMENCING BUILDING WORKS OR FABRICATION

COMPLIANCE NOTES

ALL CONSTRUCTION AND MATERIALS
TO COMPLY WITH THE RELEVANT PARTS OF NATIONAL BUILDING CODE VOLUME TWO (NCC V2) AND THE ASSOCIATED AUSTRALIAN STANDARDS (AS)

NOTES

SITTING ROOM FLOOR LEVEL
EXISTING FINISHED FLOOR LEVEL AT REAR OF THE HOUSE (IE. SITTING ROOM) IS APPROXIMATELY 450mm (APPROX. 5c) ABOVE THE MAIN FLOOR LEVEL. IT IS REFERRED TO AS "5c" THROUGHOUT DOCUMENTATION. BUILDER TO CHECK ALL LEVELS AND MEASURE ALL OPENINGS ON SITE PRIOR TO CONSTRUCTION



NOTE
KEEP CABINETS, BENCHTOPS AND UPSTANDS IN-SITU. REFER TO ROOM LAYOUT DRAWINGS FOR PROPOSED CHANGES

REMOVE AND DECOMMISSION EXISTING COOKTOP, OVEN AND RANGEHOOD. MAKE GOOD HUTCH AREA WHERE VISIBLE. REFER TO ROOM LAYOUT DRAWINGS FOR PROPOSED CHANGES

RETAIN EXISTING GPOs IN THE HUTCH AREA FOR NEW SPASHBACK

NOTE
RETAIN ALL EXISTING MARBLE BENCHTOPS AND UPSTANDS FOR RE-USE

RELOCATE EXISTING BILLI TAP. REUSE OR RELOCATE SERVICES AND UNDERBENCH UNIT AS REQUIRED.

RELOCATE AND/OR REPLACE EXISTING GPO WHERE WALL REMOVED

REMOVE EXISTING CABINETS AND RETAIN BULKHEAD OVER

NOTE
BUILDER TO ASSESS IF THE EXISTING STAIRCASE CAN BE RETAINED

REMOVE EXISTING WALL

The City of Fremantle advises that the information provided in these plans and any other document relevant to this application is provided for the sole purpose of enabling consideration of the application for planning approval by a member of the planning scheme. It is prohibited for any person who infringes their copyright.

OVERALL AREAS	
EXISTING DWELLING	169.95
EXISTING VERANDAH	20.87
PROPOSED ADDITION	18.08
PROPOSED SITTING AND DINING	49.75
PROPOSED UPPER FLOOR	61.35
PROPOSED UPPER FLOOR	61.35
TOTAL	381.35 m²

DEMOLITION PLAN
SCALE: 1:100

MALCOLM STREET ADDITION // 2505

PLANNING PERMIT

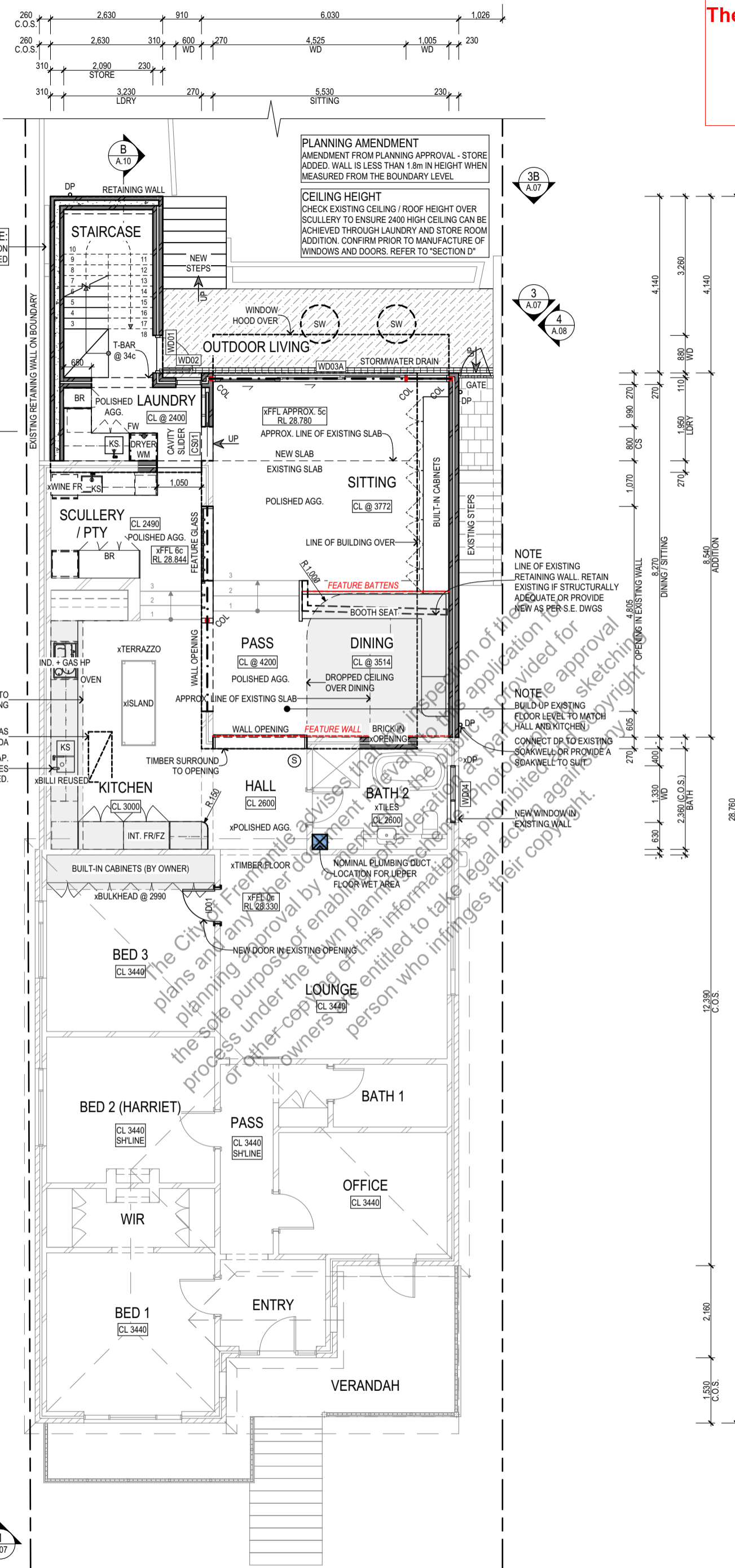


ADDRESS LOT 2 (#23) MALCOLM STREET
FREMANTLE, WA

DRAWING A.04 // DEMOLITION PLAN

REV	DESCRIPTION	DATE
D	STORE ROOM ADDED BEYOND LAUNDRY ADDITION	03.09.24
E	ISSUED FOR CERTIFICATION	19.12.24
F	UPPER FLOOR ADDITION	05.05.25

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- PROPOSED STRUCTURAL SLAB LEVEL
- PROPOSED FINISHED FLOOR LEVEL
- SMOKE ALARM IN ACCORDANCE w/ AS3786:2014 HARDWIRED AND INTERCONNECTED
- CEILING MOUNTED EXHAUST FAN
- COLUMN TO STRUCTURAL ENGINEER'S DWGS
- BEAM TO STRUCTURAL ENGINEER'S DWGS
- EXISTING ELEMENTS TO BE DEMOLISHED
- EXISTING ELEMENTS ARE DENOTED BY "x"

DISCLAIMER
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COMPLIANCE NOTES
 ALL CONSTRUCTION AND MATERIALS TO COMPLY WITH THE RELEVANT PARTS OF NATIONAL BUILDING CODE VOLUME TWO (NCC V2) AND THE ASSOCIATED AUSTRALIAN STANDARDS (AS)

NOTES
 SITTING ROOM FLOOR LEVEL
 EXISTING FINISHED FLOOR LEVEL AT REAR OF THE HOUSE (IE. SITTING ROOM) IS APPROXIMATELY 450mm (APPROX. 5c) ABOVE THE MAIN FLOOR LEVEL. IT IS REFERRED TO AS "5c" THROUGHOUT DOCUMENTATION. BUILDER TO CHECK ALL LEVELS AND MEASURE ALL OPENINGS ON SITE PRIOR TO CONSTRUCTION

NOTES
 LINE OF EXISTING RETAINING WALL. RETAIN EXISTING IF STRUCTURALLY ADEQUATE OR PROVIDE NEW AS PER S.E. DWGS
 BUILD UP EXISTING FLOOR LEVEL TO MATCH HALL AND KITCHEN
 CONNECT DP TO EXISTING SOAKWELL OR PROVIDE A SOAKWELL TO SUIT
 NEW WINDOW IN EXISTING WALL

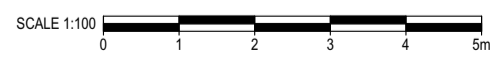
OVERALL AREAS

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PROPOSED SITTING AND DINING	49.75
PROPOSED UPPER FLOOR	61.35
PROPOSED UPPER FLOOR	61.35
TOTAL	381.35 m²

FLOOR PLAN
 SCALE: 1:100

MALCOLM STREET ADDITION // 2505

PLANNING PERMIT



ADDRESS LOT 2 (#23) MALCOLM STREET
 FREMANTLE, WA
 DRAWING A.05 // FLOOR PLAN

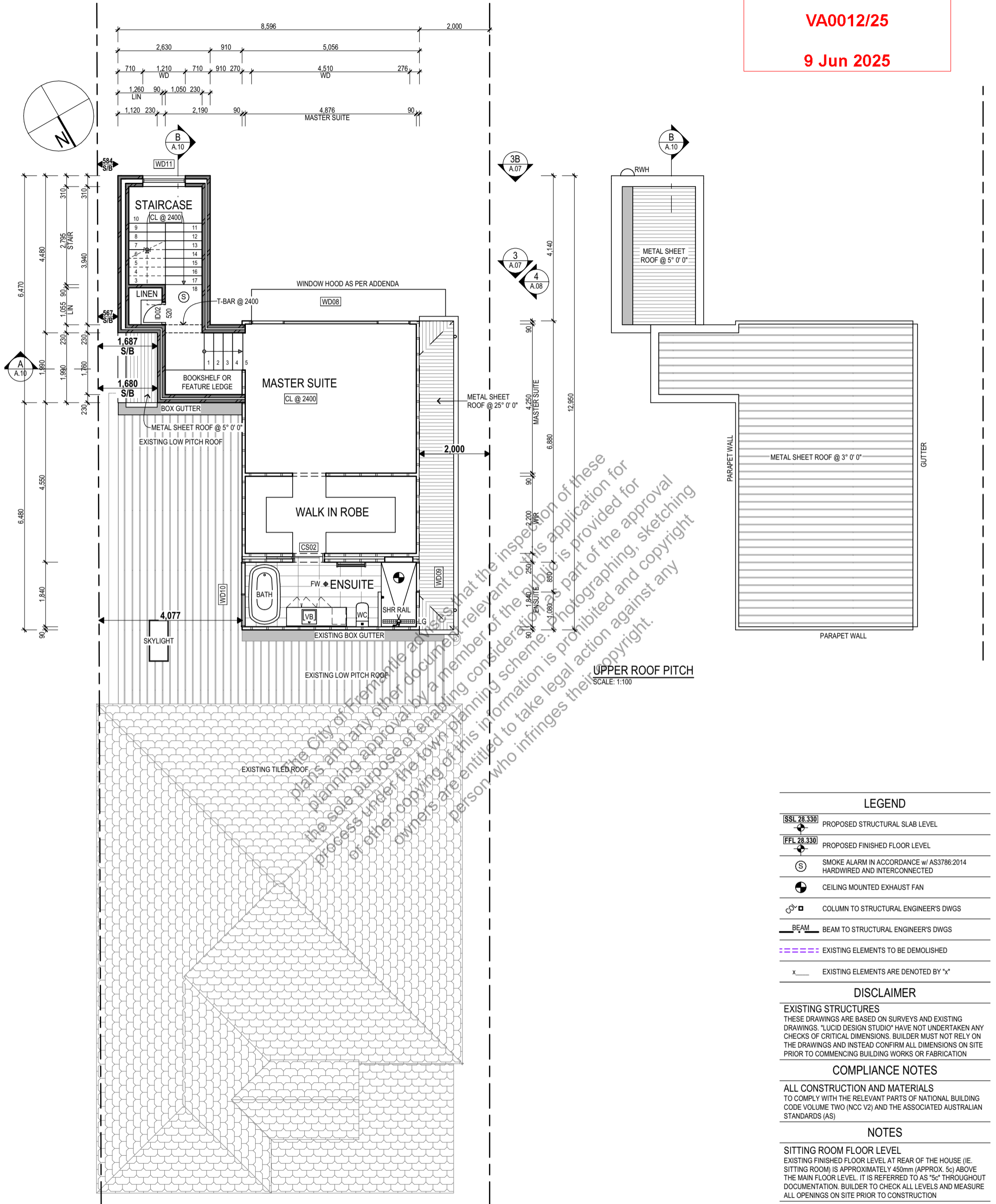
REV	DESCRIPTION	DATE
B	DESIGN DEVELOPMENT	22.03.24
C	PLANNING PERMIT	17.04.24
D	STORE ROOM ADDED BEYOND LAUNDRY ADDITION	03.09.24
E	ISSUED FOR CERTIFICATION	19.12.24
F	UPPER FLOOR ADDITION	05.05.25

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UPPER FLOOR PLAN
SCALE: 1:100

MALCOLM STREET ADDITION // 2505

PLANNING PERMIT



ADDRESS LOT 2 (#23) MALCOLM STREET
FREMANTLE, WA

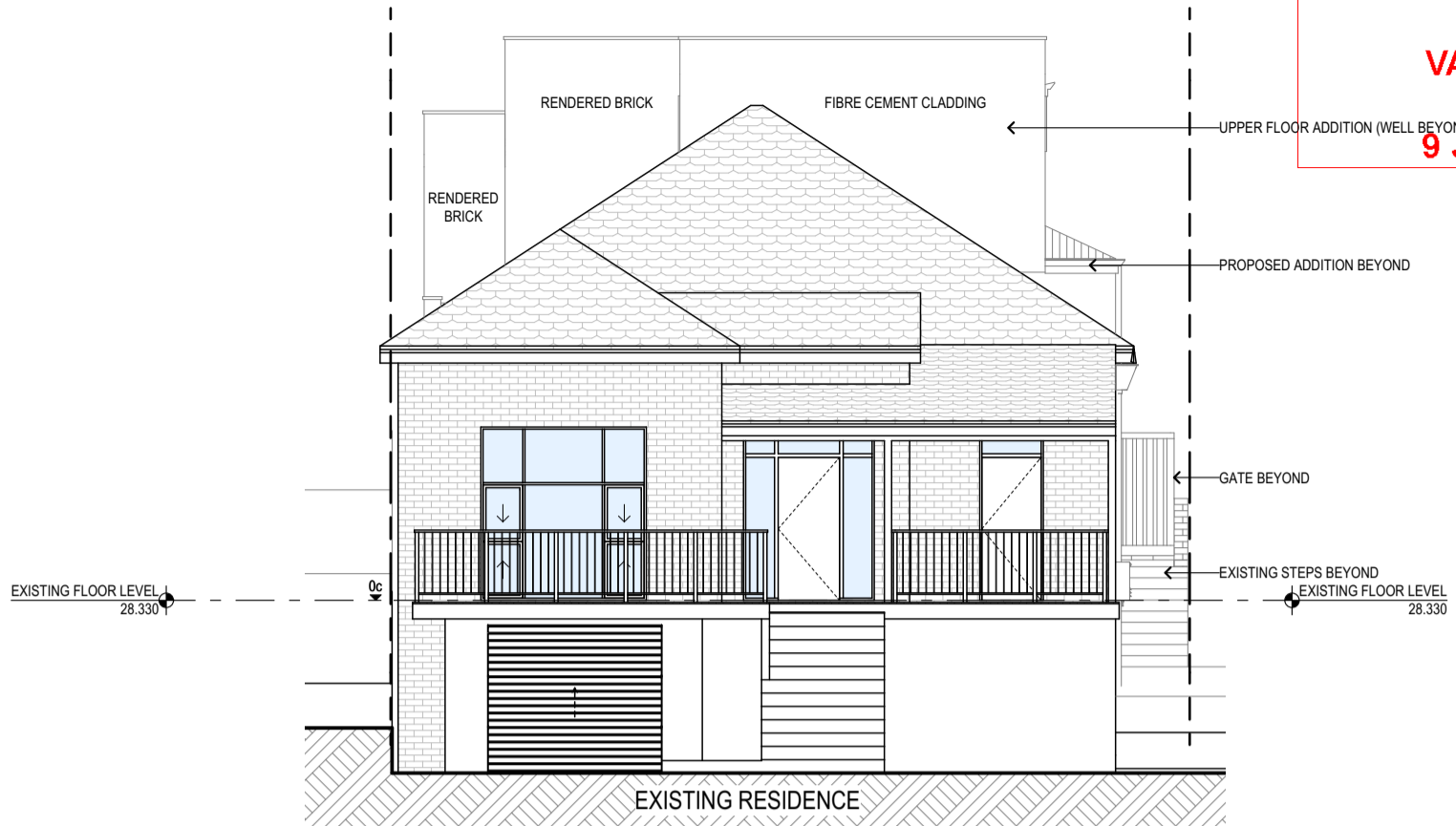
DRAWING A.06 // UPPER FLOOR AND ROOF PLANS

REV	DESCRIPTION	DATE
C	PLANNING PERMIT	17.04.24
D	STORE ROOM ADDED BEYOND LAUNDRY ADDITION	03.09.24
E	ISSUED FOR CERTIFICATION	19.12.24
F	UPPER FLOOR ADDITION	05.05.25

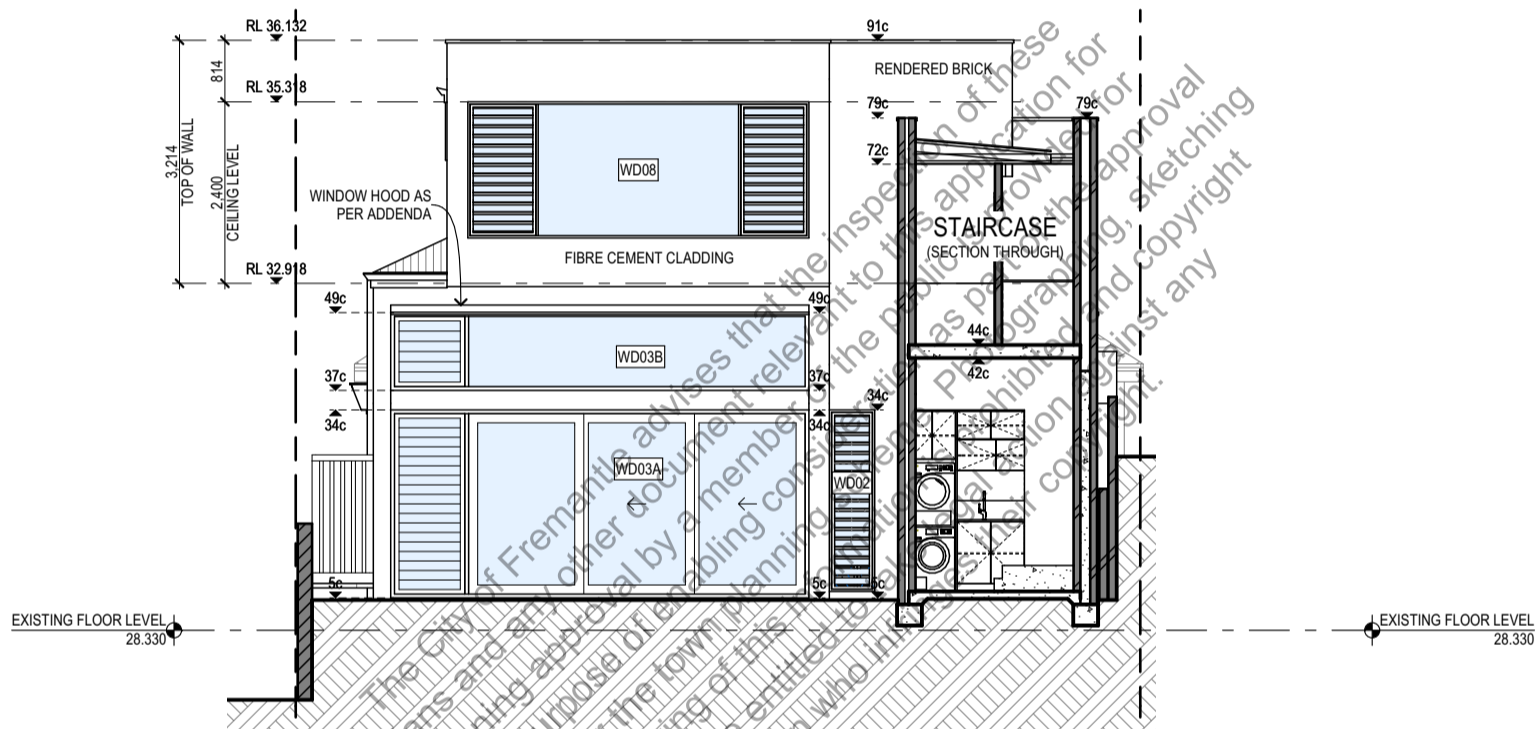
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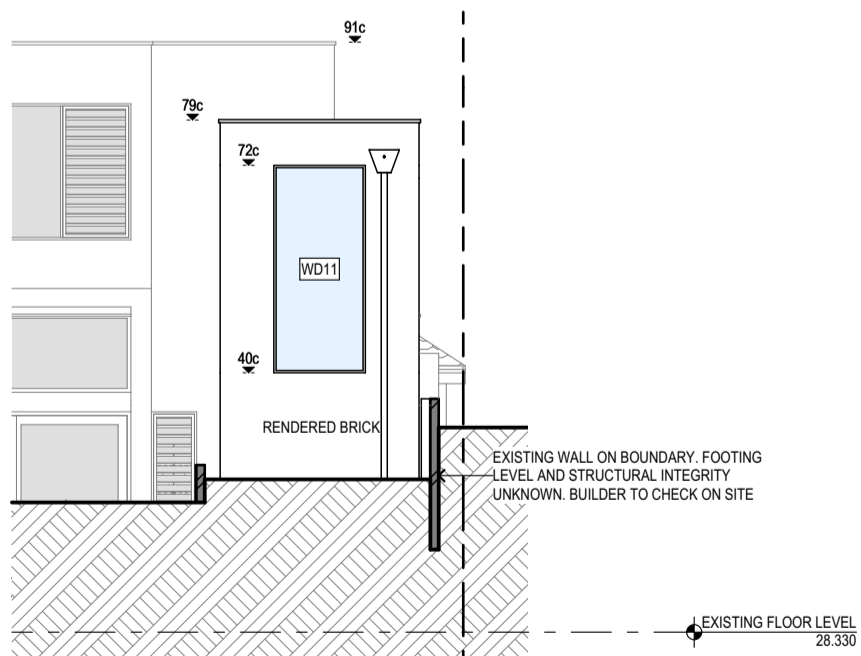
abn: 33 752 656 731



1 NORTH ELEVATION
#LayID SCALE: 1:100



3 SOUTH ELEVATION
A.05 SCALE: 1:100



3B SOUTH ELEVATION
A.05 SCALE: 1:100

MALCOLM STREET ADDITION // 2505

PLANNING PERMIT

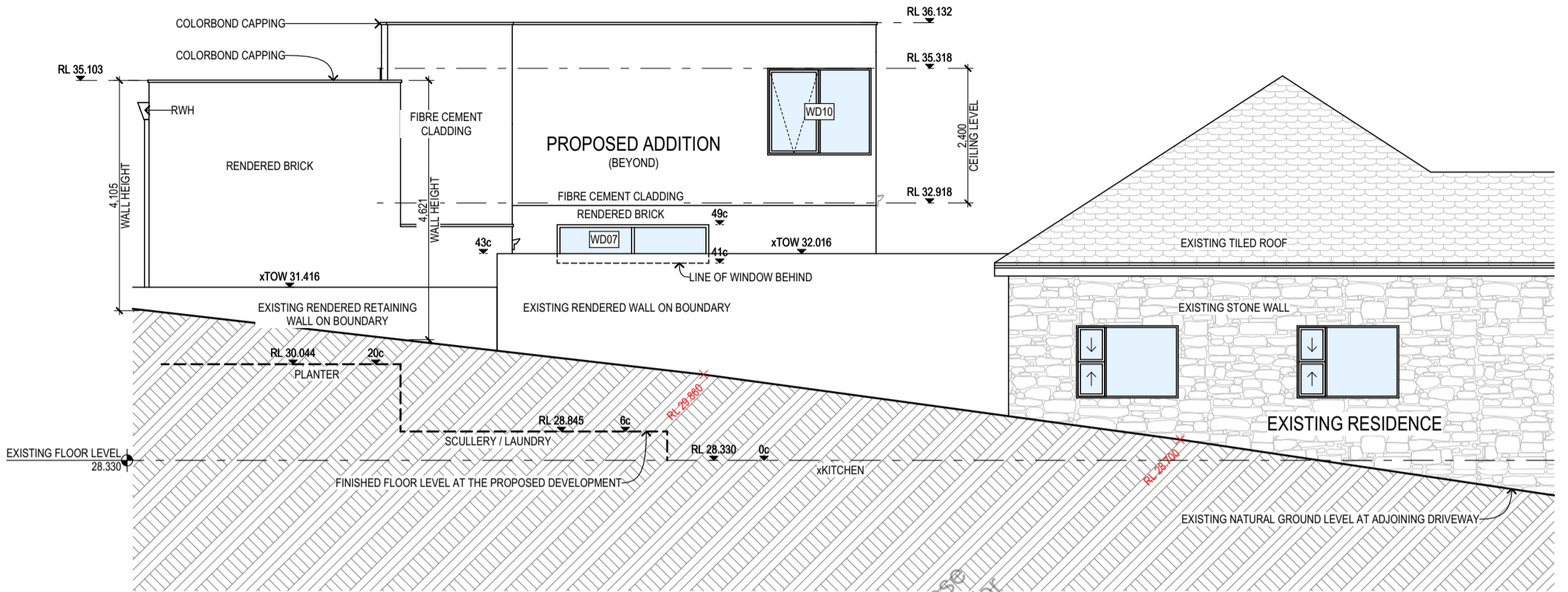
ADDRESS LOT 2 (#23) MALCOLM STREET
FREMANTLE, WA
DRAWING A.07 // ELEVATIONS

REV	DESCRIPTION	DATE
B	DESIGN DEVELOPMENT	22.03.24
C	PLANNING PERMIT	17.04.24
D	STORE ROOM ADDED BEYOND LAUNDRY ADDITION	03.09.24
E	ISSUED FOR CERTIFICATION	19.12.24
F	UPPER FLOOR ADDITION	05.05.25

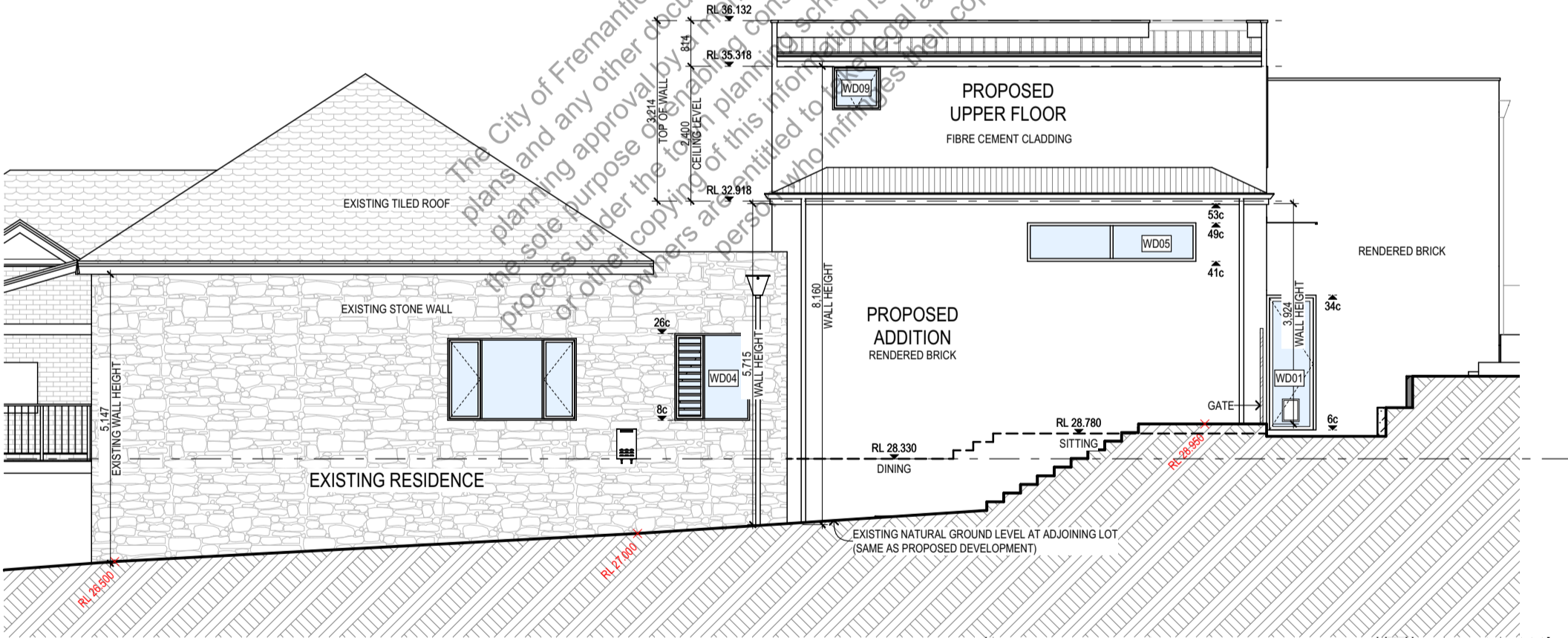
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2 EAST ELEVATION
A.05 SCALE: 1:100



4 WEST ELEVATION
A.05 SCALE: 1:100

MALCOLM STREET ADDITION // 2505

PLANNING PERMIT

ADDRESS LOT 2 (#23) MALCOLM STREET
FREMANTLE, WA
DRAWING A.08 // ELEVATIONS

REV	DESCRIPTION	DATE
B	DESIGN DEVELOPMENT	22.03.24
C	PLANNING PERMIT	17.04.24
D	STORE ROOM ADDED BEYOND LAUNDRY ADDITION	03.09.24
E	ISSUED FOR CERTIFICATION	19.12.24
F	UPPER FLOOR ADDITION	05.05.25

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abn: 33 752 656 731

EXTERNAL OPENINGS

	WD01	WD02	WD03A	WD03B
ELEVATION				
FRAME	ALUMINIUM	ALUMINIUM	TIMBER	TIMBER
GLAZING	CLEAR; DOUBLE GLAZED	CLEAR; DOUBLE GLAZED; 102mm LOUVRE BLADES (SINGLE GLAZING)	CLEAR; DOUBLE GLAZED; 102mm LOUVRE BLADES (SINGLE GLAZING)	CLEAR; DOUBLE GLAZED; 102mm LOUVRE BLADES (SINGLE GLAZING)
SCREEN	N/A	SECURITY MESH	SECURITY MESH	FIBREGLASS MESH
REMARK	INCLUDE PET DOOR		SCREEN TO LOUVRES ONLY. NO SCREEN TO STACKING DOORS.	
REMARK #2				

	WD04	WD05	WD06	WD07
ELEVATION				
FRAME	ALUMINIUM	TIMBER	TIMBER	TIMBER
GLAZING	CLEAR; DOUBLE GLAZED; 102mm LOUVRE BLADES (SINGLE GLAZING)	CLEAR; DOUBLE GLAZED	CLEAR; DOUBLE GLAZED	CLEAR; DOUBLE GLAZED
SCREEN	SECURITY MESH	N/A	N/A	N/A
REMARK				
REMARK #2				

	WD08	WD09	WD10	WD11
ELEVATION				
FRAME	ALUMINIUM	ALUMINIUM	ALUMINIUM	ALUMINIUM
GLAZING	CLEAR; DOUBLE GLAZED; 102mm LOUVRE BLADES (SINGLE GLAZING)	CLEAR; DOUBLE GLAZED	CLEAR; DOUBLE GLAZED	CLEAR; DOUBLE GLAZED
SCREEN	FIBREGLASS MESH	FIBREGLASS MESH	FIBREGLASS MESH	N/A
REMARK				
REMARK #2				

	CS01	CS02	ID01	ID02
ELEVATION				
FRAME	N/A	N/A	TIMBER TO MATCH EXISTING	REFER TO ADDENDA
GLAZING	REFER TO ADDENDA	REFER TO ADDENDA	N/A	N/A
PANEL	REFER TO ADDENDA	REFER TO ADDENDA	REFER TO ADDENDA	REFER TO ADDENDA
HARDWARE	REFER TO ADDENDA	REFER TO ADDENDA	PASSAGE SET	PASSAGE SET
REMARK	BRIO SINGLE RUN TRACK AS PER DETAIL	BRIO SINGLE RUN TRACK AS PER DETAIL	DOOR SIZE APPROXIMATE ONLY. TO SUIT EXISTING OPENING.	
REMARK #2				

INTERNAL OPENINGS

OPENINGS SCHEDULE NOTES

DOOR AND WINDOW SCHEDULE TO BE READ IN CONJUNCTION WITH ARCHITECTURAL PLANS. CHECK AND CONFIRM HINGE SIDES AND SWING / SLIDING DIRECTIONS PRIOR TO MANUFACTURE. ANY DISCREPANCIES MUST BE REPORTED TO THE BUILDER

FALL PREVENTION
WHERE REQUIRED UPPER FLOOR OR RAISED HEIGHT WINDOWS / OPENINGS ARE TO BE PROTECTED IN ACCORDANCE WITH PARTS 3.9.2.6 & 3.9.2.7 OF NCC 2019 VOL. 2

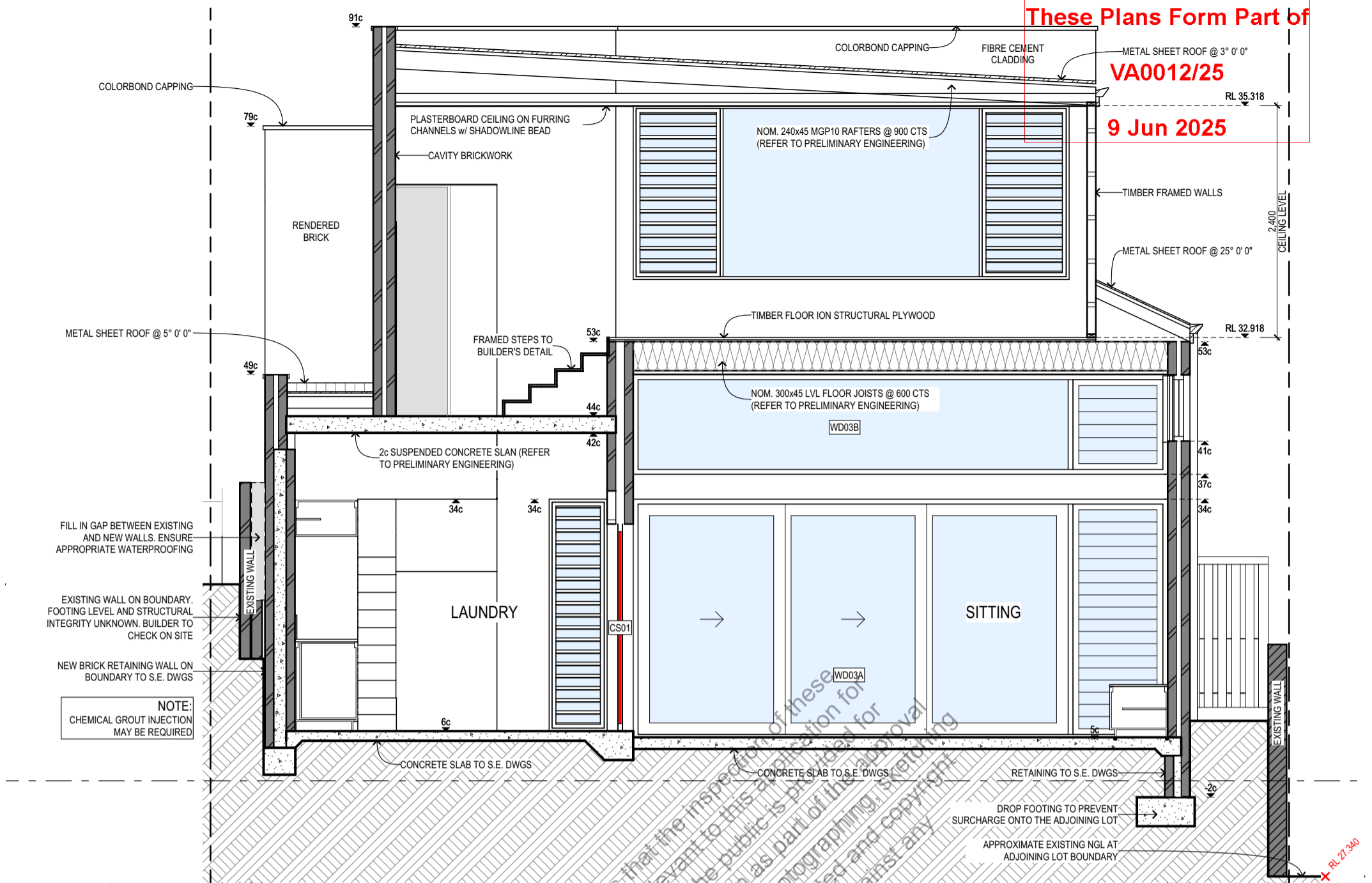
MALCOLM STREET ADDITION // 2505

PLANNING PERMIT

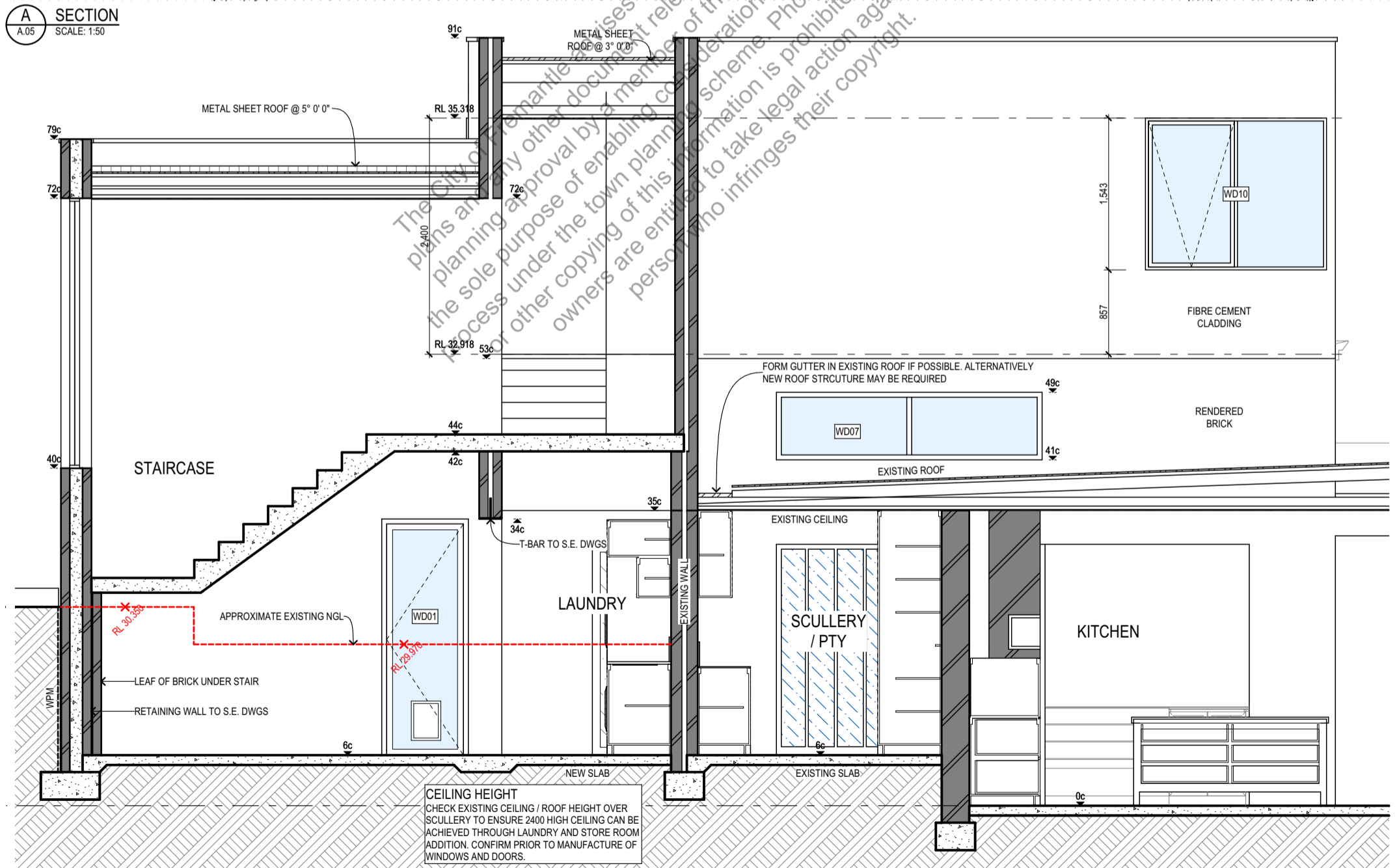
ADDRESS LOT 2 (#23) MALCOLM STREET
FREMANTLE, WA
DRAWING A.09 // OPENINGS SCHEDULE

REV	DESCRIPTION	DATE
D	STORE ROOM ADDED BEYOND LAUNDRY ADDITION	03.09.24
E	ISSUED FOR CERTIFICATION	19.12.24
F	UPPER FLOOR ADDITION	05.05.25

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A SECTION
A.05 SCALE: 1:50



B SECTION
A.05 SCALE: 1:50

MALCOLM STREET ADDITION // 2505

PLANNING PERMIT

ADDRESS LOT 2 (#23) MALCOLM STREET
FREMANTLE, WA
DRAWING A.10 // SECTIONS

REV	DESCRIPTION	DATE
E	ISSUED FOR CERTIFICATION	19.12.24
F	UPPER FLOOR ADDITION	05.05.25

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WESTERN



AUSTRALIA

TITLE NUMBER

VA0012/25

Volume Folio

452 174

9 Jun 2025

RECORD OF CERTIFICATE OF TITLE
UNDER THE TRANSFER OF LAND ACT 1893

The person described in the first schedule is the registered proprietor of an estate in fee simple in the land described below subject to the reservations, conditions and depth limit contained in the original grant (if a grant issued) and to the limitations, interests, encumbrances and notifications shown in the second schedule.

BGRoberts
REGISTRAR OF TITLES



LAND DESCRIPTION:

LOT 2 ON DIAGRAM 3031

REGISTERED PROPRIETOR:
(FIRST SCHEDULE)

MARK ANDREW SPILLANE
LEILA RAHIMTULLA
BOTH OF 314 STIRLING STREET PERTH WA 6000
AS JOINT TENANTS

(T O860253) REGISTERED 3/9/2021

LIMITATIONS, INTERESTS, ENCUMBRANCES AND NOTIFICATIONS:
(SECOND SCHEDULE)

1. O936111 CAVEAT BY LISRAM PTY LTD LODGED 10/11/2021.

Warning: A current search of the sketch of the land should be obtained where detail of position, dimensions or area of the lot is required.
Lot as described in the land description may be a lot or location.

-----END OF CERTIFICATE OF TITLE-----

STATEMENTS:

The statements set out below are not intended to be nor should they be relied on as substitutes for inspection of the land and the relevant documents or for local government, legal, surveying or other professional advice.

SKETCH OF LAND: 452-174 (2/D3031)
PREVIOUS TITLE: 262-180
PROPERTY STREET ADDRESS: 23 MALCOLM ST, FREMANTLE.
LOCAL GOVERNMENT AUTHORITY: CITY OF FREMANTLE