



Front Perspective



Aerial Perspective

CITY OF FREMANTLE
 These Plans Form Part of
DA0155/25
30 May 2025

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 RESIDENTIAL DESIGN & DRAFTING
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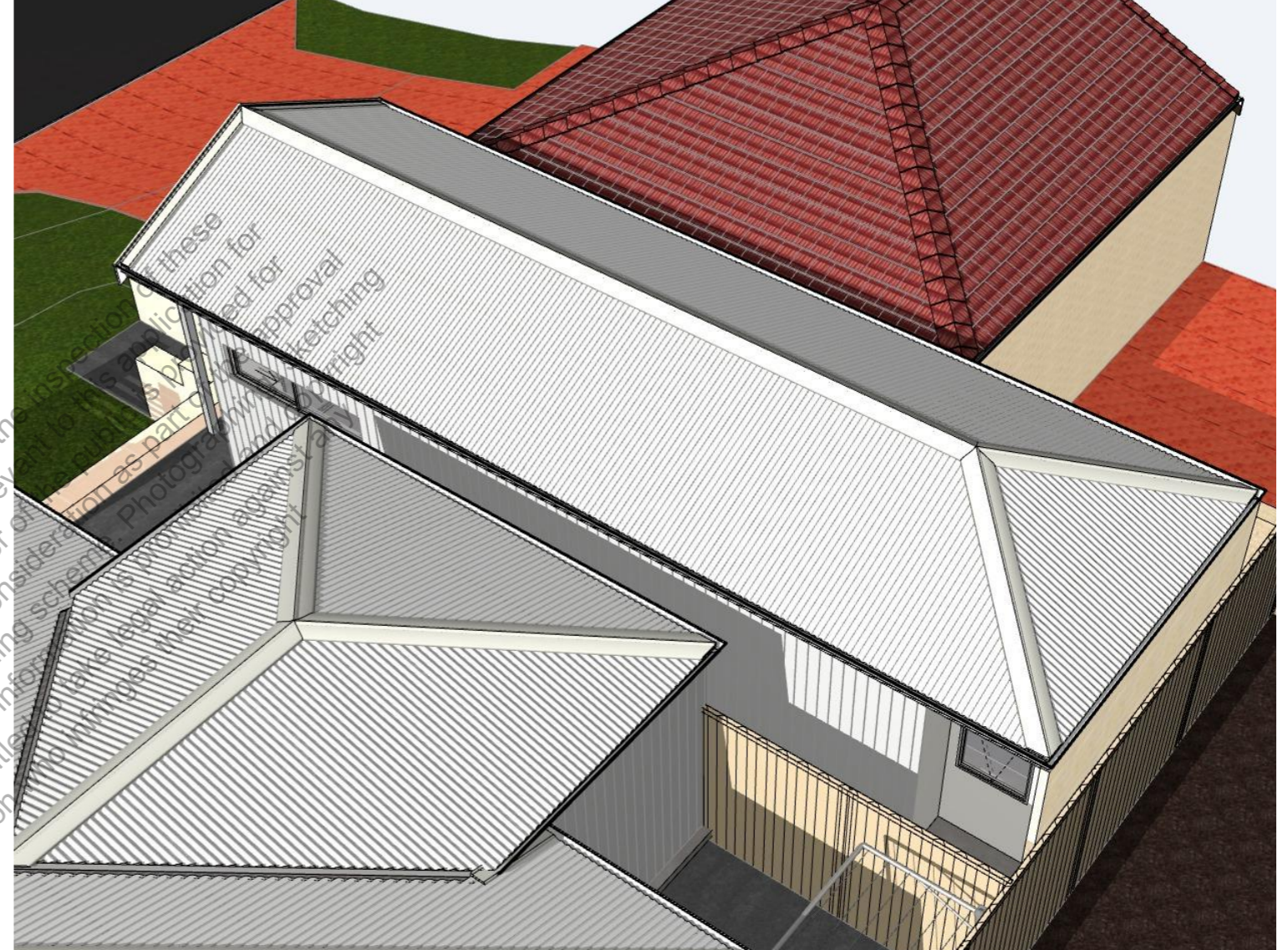
CONCEPT DRAWINGS

PROPOSED BAKER & LORD RESIDENCE

ADDRESS:
 LOT 1, #4 FISHER STREET, WHITE GUM VALLEY

LOCAL GOVERNMENT:
 CITY OF FREMANTLE

3D PERSPECTIVES				
JOB #: PRD_62	SHEET: 01 of 10	DRAWN: LC	DATE: FEB '25	SCALE:
<small>All provided documentation is to be thoroughly checked by all relevant builders and contractors, with Paragon Residential Design to be advised of any discrepancies identified and provided the opportunity to resolve prior to the commencement of any works on site.</small>				
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Studio Perspective 1

Studio Perspective 2

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3D PERSPECTIVES

JOB #: PRD_62	SHEET: 02 of 10	DRAWN: LC	DATE: FEB '25	SCALE:
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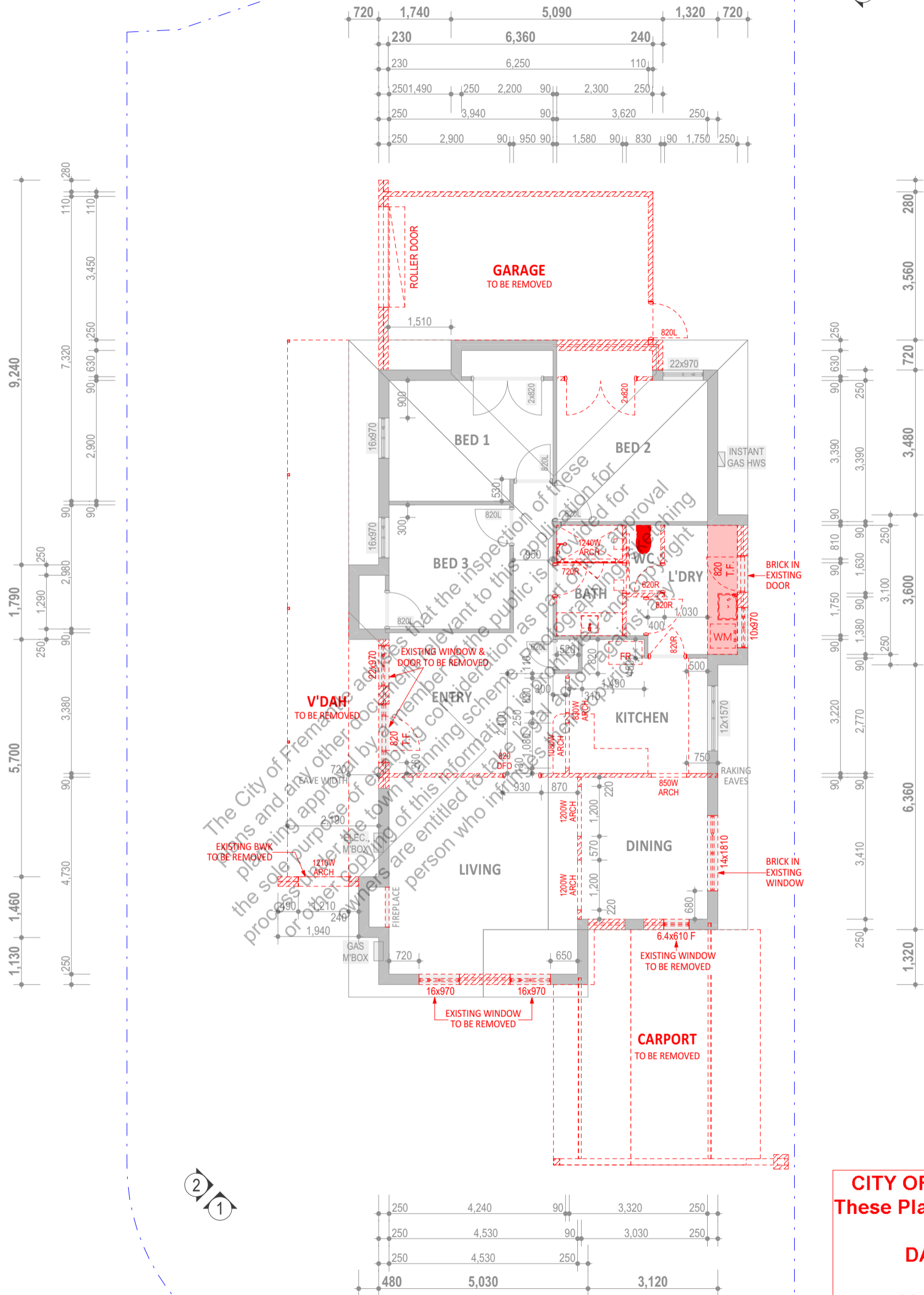
Internal Perspective 1

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		ADDRESS: LOT 1, #4 FISHER STREET, WHITE GUM VALLEY LOCAL GOVERNMENT: CITY OF FREMANTLE	JOB #: PRD_62 SHEET: 03 of 10 DRAWN: LC DATE: FEB '25 SCALE:		<small>All provided documentation is to be thoroughly checked by all relevant builders and contractors, with Paragon Residential Design to be advised of any discrepancies identified and provided the opportunity to resolve prior to the commencement of any works on site.</small> <small>These plans have been prepared for the exclusive use of the client(s) of Paragon Residential Design for the purpose expressly notified to the designer. The plans shall remain the sole property of Paragon Residential Design and must not be given, lent, resold or otherwise disposed or copied without the permission in writing from Paragon Residential Design.</small>		REV: D © copyright

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4



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2
1

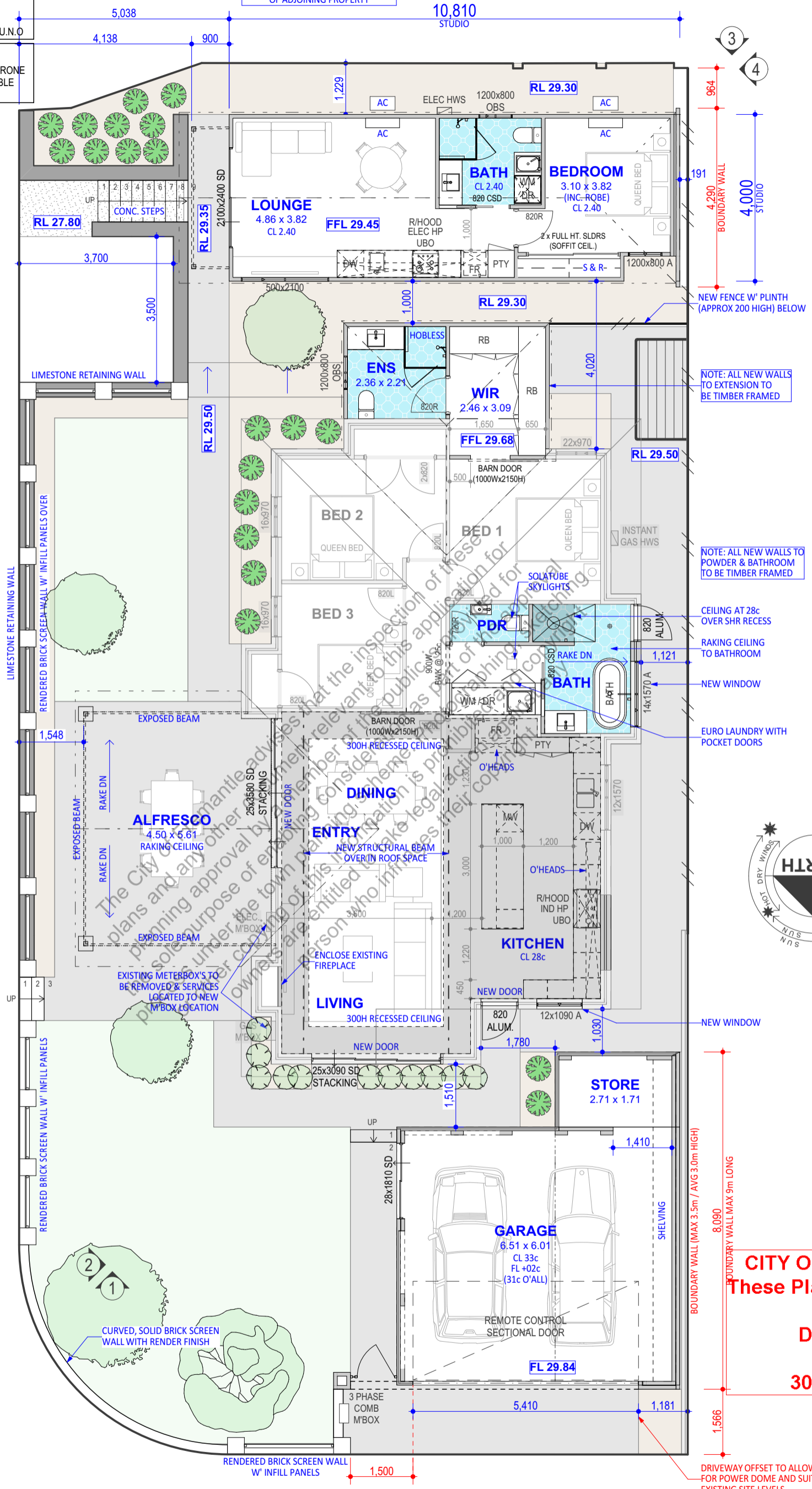
DESIGN NOTES:

- 28c HIGH CEILINGS THROUGHOUT U.N.O
- EXISTING TILED ROOF TO BE REMOVED AND METAL ROOF COVER PROVIDED THROUGHOUT U.N.O
- DOUBLE BRICK CONSTRUCTION
- 2040H INTERNAL DOORS & FRAMES THROUGHOUT U.N.O

BUSHFIRE NOTES:

- THIS PROPERTY IS LOCATED WITHIN A BUSHFIRE PRONE AREA. REPORT REQUIRED TO DETERMINE APPLICABLE BUSHFIRE ATTACK LEVEL.

ENGINEERS INSPECTION
REQUIRED TO ENSURE SURCHARGING
DOES NOT OCCUR TO BOUNDARY WALL
OF ADJOINING PROPERTY



Floor	Floor Areas	Area	Area
GF	HOUSE (EXISTING)	124.31	
	STUDIO	43.24	
	GARAGE	42.03	
	ALFRESCO	25.13	
	HOUSE (NEW)	11.34	
	STORE	5.38	
			251.43 m²
GF	Perimeters		
	Area	Perimeter	
	HOUSE (NEW)	14.46	
	HOUSE (EXISTING)	51.10	

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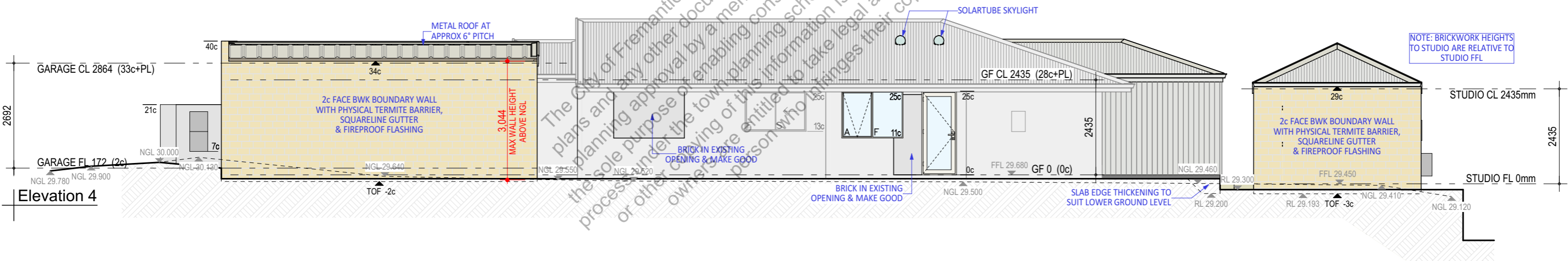
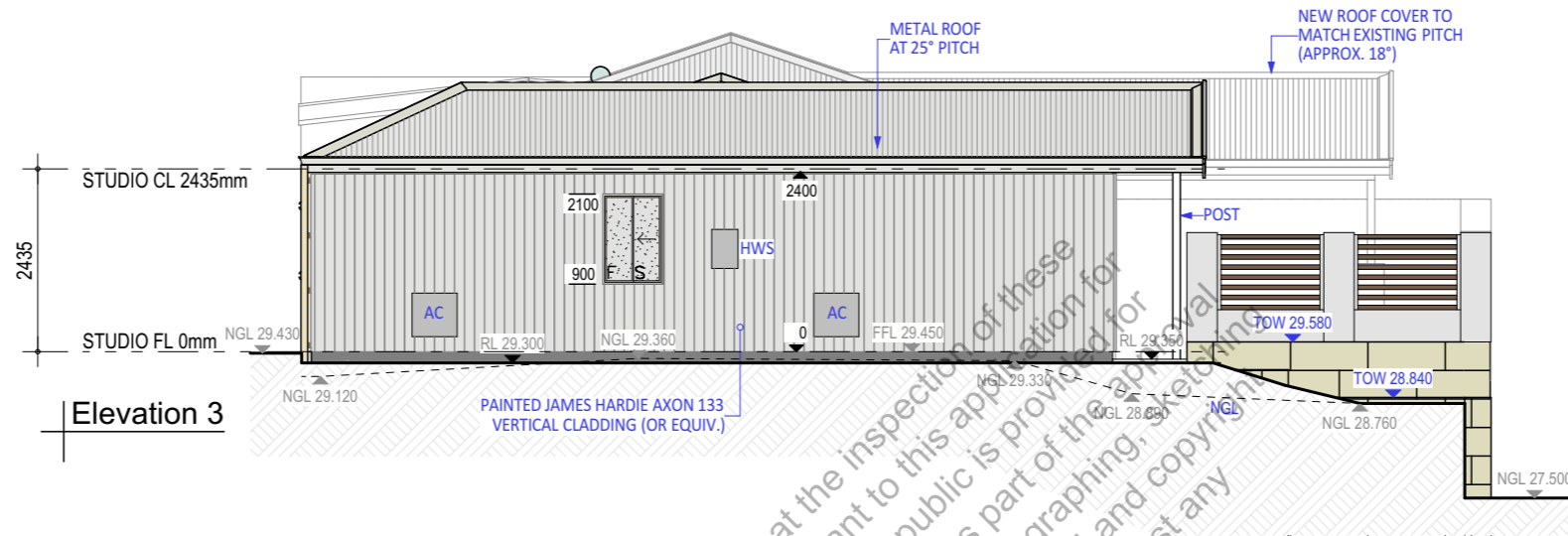
LOCAL GOVERNMENT:
CITY OF FREMANTLE

PROPOSED FLOOR PLAN

JOB #: PRD_62 SHEET: 05 of 10 DRAWN: LC DATE: FEB '25 SCALE: 1:100

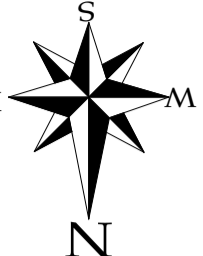
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⊕	POWER DOME
⊕	POWER POLE
⊕	PHONE PITS
⊕	WATER CONN.
TP=10.00	TOP PILLAR/POST
TW=10.00	TOP WALL
TR=10.00	TOP RETAINING
TF=10.00	TOP FENCE

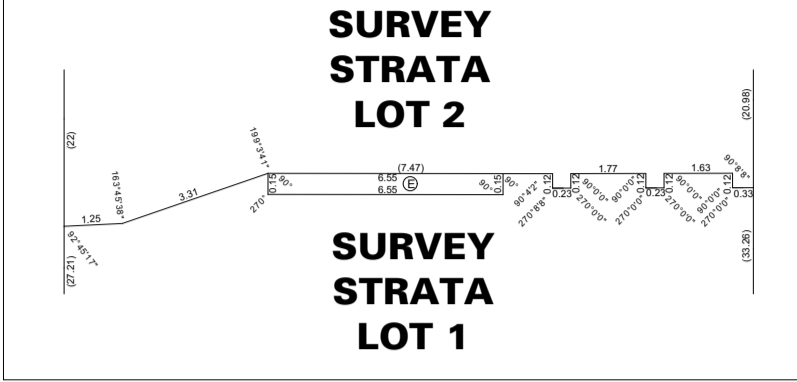


NOTE:
UNABLE TO CALCULATE SEWER JUNCTION DEPTH DUE TO LACK OF INFORMATION ON WATER CORPORATION E-PLAN. VERIFY JUNCTION INVERT, DEPTH & DETAILS WITH WATER CORPORATION.
SEWER JUNCTION
UP: 0.4
INV: 24.1
NOTE: UP

SEWER MH APPROX. 185.3m >>> (28.90)

NOTE:
APPROX. SEWER CLEARANCE LINE (THIS LINE IS NOT AN EASEMENT) SETBACKS MUST BE CONFIRMED BY WATER CORP. BEFORE ANY DESIGN WORK IS UNDERTAKEN. THIS LINE IS NOT DEFINITIVE.

ENLARGEMENT - NOT TO SCALE



SURVEY STRATA LOT 2
APPROX. FIL AT DOOR SILL 28.04

OPEN SPACE CALCS.
(MIN OPEN SPACE REQ'D = 50%)
EXISTING HOUSE AREA (123.72m²) + PROPOSED EXTENSION (11.71m²), GARAGE (47.41m²) & STUDIO (43.24m²) / LOT AREA (528m²)
- SITE COVER = 42.82% (57.18% OPEN SPACE)

ENGINEERS INSPECTION REQUIRED TO ENSURE SURCHARGING DOES NOT OCCUR TO BOUNDARY WALL OF ADJOINING PROPERTY

STORMWATER CALCS - EXTENSION & STUDIO

No.	Soak Well Type
1.0 m3	1 SW 1200x900
1.0 m3	Total Capacity
55.0 m2	Roof Area GF
55.0 m2	Total Area
0.7 m3	Capacity Required (Area x 0.0125)
0.3 m3	Extra Capacity Provided

NOTE: ALL DOWNPIPES CONNECTED TO SOAKWELLS WITH PVC STORMWATER PIPE

REMOVAL OF EXISTING FENCE MAY BE REQUIRED TO FACILITATE PROPOSED BOUNDARY WALL

NEW 1.8m HIGH METAL FENCE W/ 200 HIGH PLINTH UNDER

PROPOSED EXTENSION
FFL 29.68 TO MATCH EXISTING

NOTE:
EASEMENT (INTRUSION) REFER TO SEC 33 (STA 1985), REG 34 (STGR 2019) SEE DOCUMENT INTRUSION OF EAVES & GUTTERS

SSL1 MISCLOSE
0.032 m

SSL2 MISCLOSE
0.032 m

WARNING:
Check developer/strata company regarding possible future/existing internal service run ins, positions & details. Check for possible private sewer lines & position & details of connection to strata lot. Beware possible building restrictions on strata lot by management statement or by-laws. If strata boundaries not defined on plan only parent lot may be re-pegged and line pegs placed.

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LICENSED SURVEYORS

87-89 Guthrie Street
Osborne Park, WA 6017

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Osborne Park
Business Centre WA 6917

P: (08) 9446 7361
E: perth@cottage.com.au
W: www.cottage.com.au

JOB # 552847	GPS Lat: -32.057398 Long: 115.76904	ROADS Bitumen	ELEC. O/Head
ADDRESS #4 Fisher Street	LOT Survey Strata Lot 1 (SP 20557)	KERBS Non-Mount / Nil	COMMS. Yes
SUBURB White Gum Valley	AREA 528m ²	FOOTPATH Concrete	WATER Yes
LGA CITY OF FREMANTLE	VOL. 1887 FOL. 787	SOIL Sand	GAS Check Alinta
DRAWN J. Genovese	DATE 17 Aug 23	DRAINAGE Good	SEWER Yes
	SSA No	VEGETATION Refer to Survey	COASTAL No

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CONCEPT DRAWINGS

PROPOSED BAKER & LORD RESIDENCE

ADDRESS: LOT 1, #4 FISHER STREET, WHITE GUM VALLEY

LOCAL GOVERNMENT: CITY OF FREMANTLE

SITE PLAN

JOB #: PRD_62 **SHEET:** 08 of 10 **DRAWN:** LC **DATE:** FEB '25 **SCALE:** 1:200

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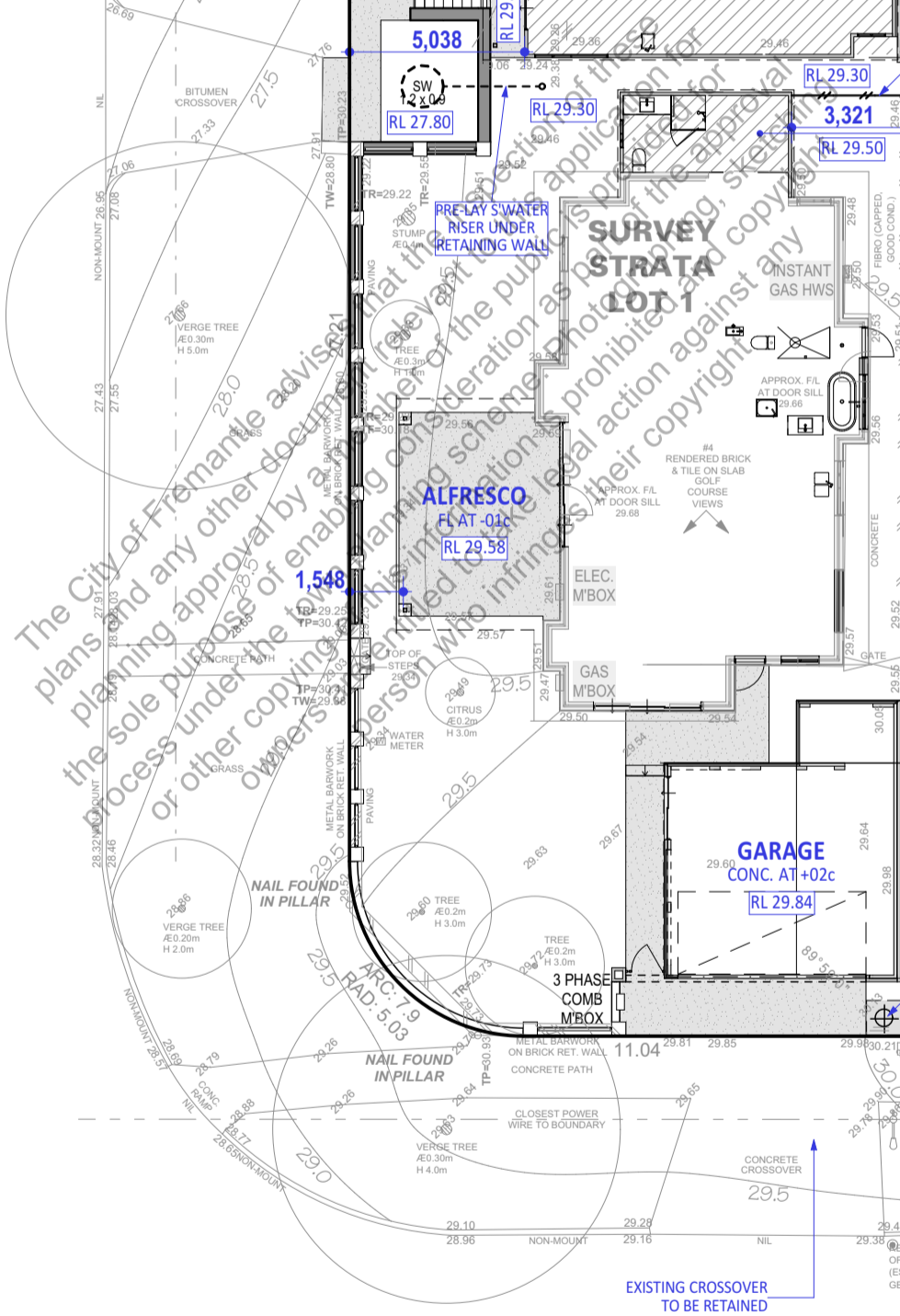
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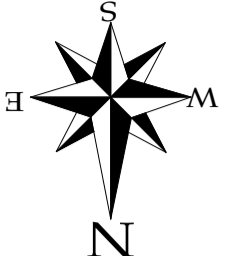
DA0155/25

Scale 1:200

30 May 2025



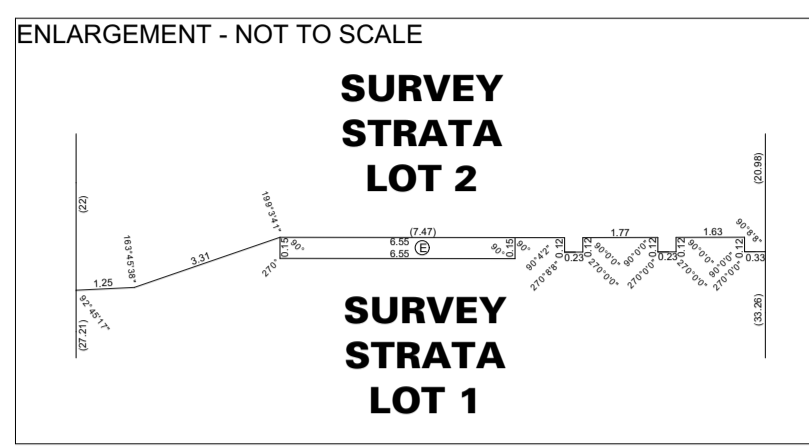
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LGA CITY OF FREMANTLE	DATE 17 Aug 23	SOIL Sand	GAS Check Alinta
DRAWN J. Genovese	SSA No	DRAINAGE Good	SEWER Yes
		VEGETATION Refer to Survey	COASTAL No

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ADDRESS: LOT 1, #4 FISHER STREET, WHITE GUM VALLEY

LOCAL GOVERNMENT: CITY OF FREMANTLE

SITE DEMO PLAN

JOB #: PRD_62	SHEET: 09 of 10	DRAWN: LC	DATE: FEB '25	SCALE: 1:200
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SURVEY STRATA LOT 1

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Ⓜ	PHONE PITS
Ⓜ	WATER CONN.
Ⓜ	TOP PILLAR/POST
Ⓜ	TOP WALL
Ⓜ	TOP RETAINING
Ⓜ	TOP FENCE



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SITE COVER PAGE		REV: D
JOB #: PRD_62	SHEET: 10 of 10	DATE: FEB '25
DRAWN: LC	SCALE:	© copyright

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CONTOUR & FEATURE SURVEY

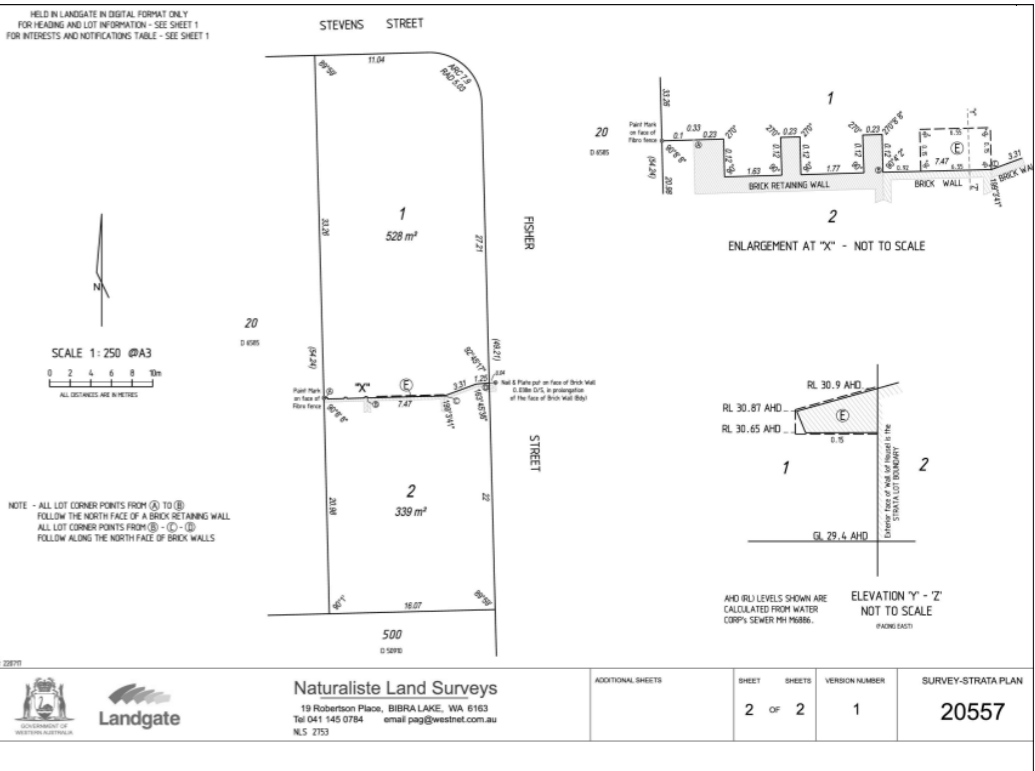
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LGA CITY OF FREMANTLE

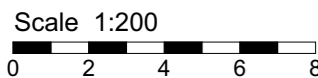
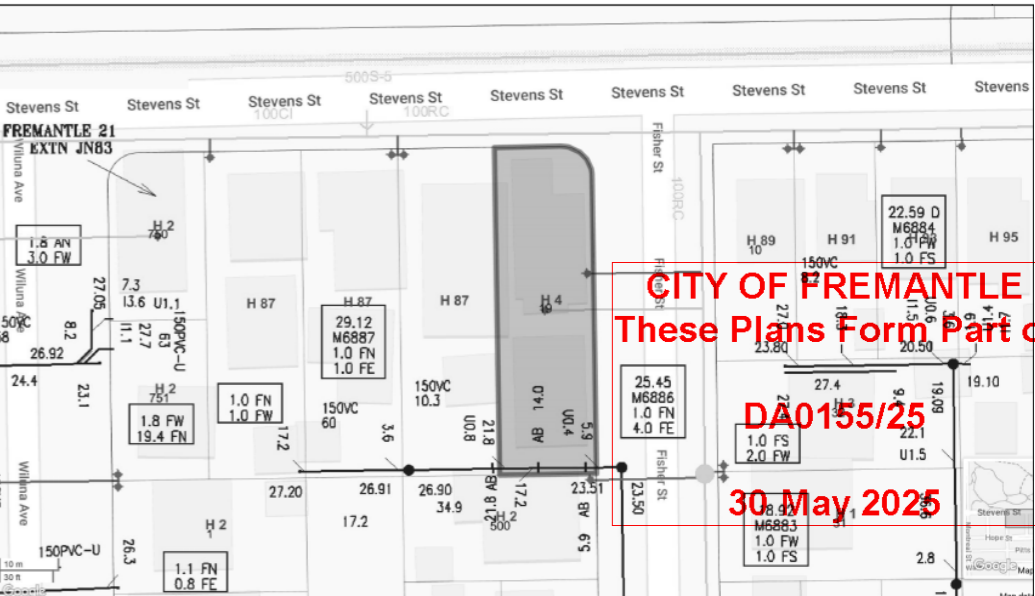
GPS Lat: -32.057398 Long: 115.769047

SSA No **AREA** 528m² **VOL.** 1887 **FOL.** 787



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ELEC. O/Head	SEWER Yes	ROADS Bitumen	COASTAL No
GAS Check Alinta	COMMS Yes	PATH Concrete	(Approx. Only - Confirm With Shire)
WATER Yes	DRAINAGE Good	KERBS Non-Mount / Nil	SOIL Sand
			VEG. Refer to Survey



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