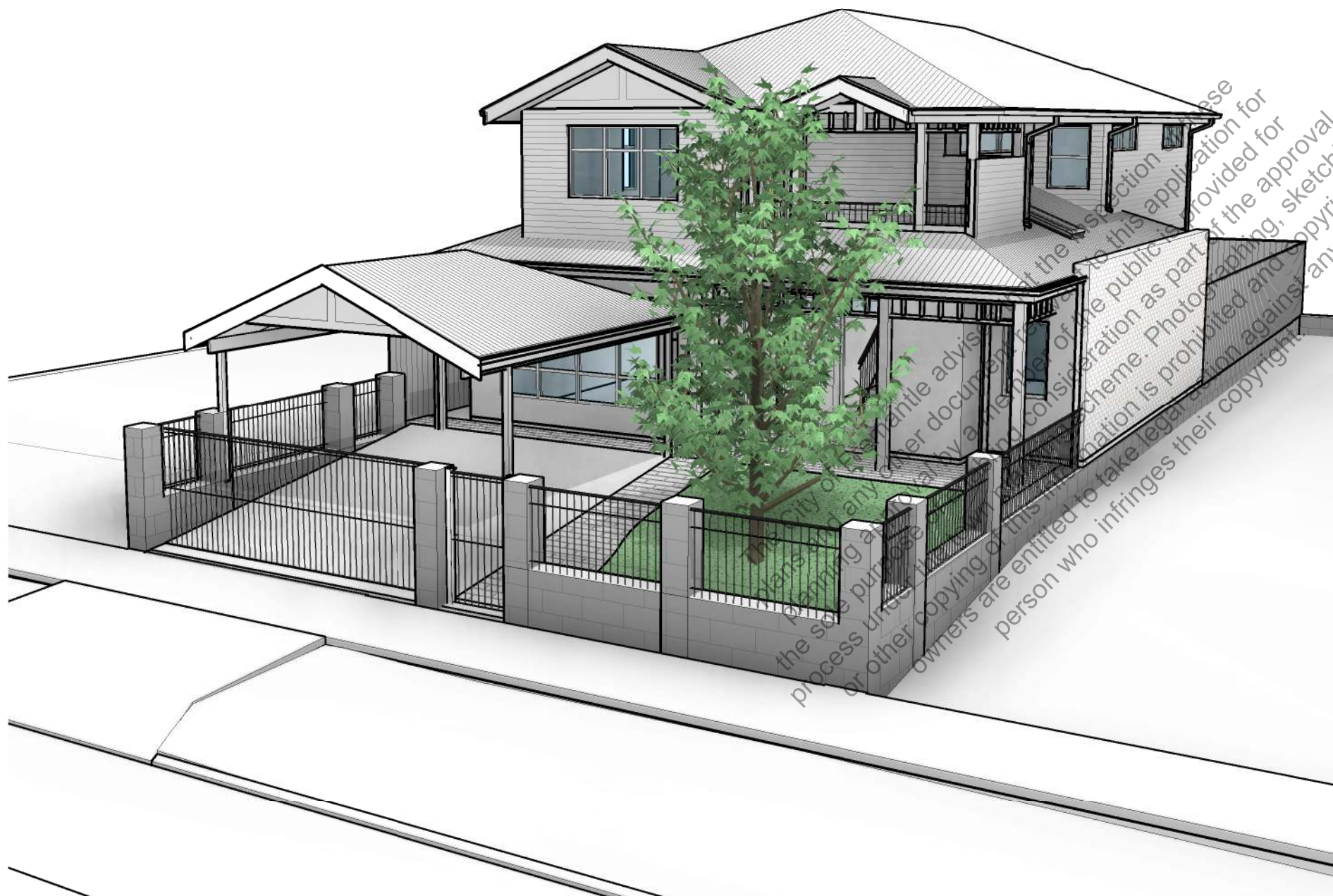


SITE AREA COVERAGE	
	m <sup>2</sup>
SITE AREA	<b>350.0</b>
GROUND FLOOR	142.33
FIRST FLOOR	99.25
TOTAL FLOOR AREA	241.58
SHED	10.00
CARPORT	22.50
<b>% OF SITE COVERAGE (Max 50%)</b>	<b>41 %</b>
<b>TOTAL ENCLOSED NEW BUILDING WORK AREA</b>	<b>186.5 m<sup>2</sup></b>
<b>Outdoor Living (Min 30m<sup>2</sup>)</b>	<b>84 m<sup>2</sup></b>



**REVISION SCHEDULE**

Number	Revision Description	Revision Date
B	DA SUBMISSION	19.06.25
C	DA AMENDMENT	05.07.25

DWG No.	DWG CONTENT	ISSUE	DATE	ISSUED FOR
A104	SITE & GROUND FLOOR PLAN	C	05.07.25	DA AMENDMENT
A105	FIRST FLOOR PLAN	C	05.07.25	DA AMENDMENT
A106	ROOF PLAN + OVERSHADOWING	C	05.07.25	DA AMENDMENT
A202	ELEVATIONS - E & N	C	05.07.25	DA AMENDMENT
A203	ELEVATIONS W & S	C	05.07.25	DA AMENDMENT
A301	SECTION AA	C	05.07.25	DA AMENDMENT

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**DA0192/25**  
  
**6 July 2025**

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Rev	Date	Description
C	05.07.25	DA AMENDMENT

Dwg Status: DESIGN Project Initiation Date: 08.05.25

Project Name: **BEACY JEAN** Project No: **2543**  
 Project Address: **LOT 109, COVICH AVENUE, BEACONSFIELD. PARENT LOT - 12 Jean Steet, Beaconsfield** Drawn by: **DM**  
 Check By: **—**

Drawing Title: **Cover**

Scale @ A3 1 : 100

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Drawing Number: **A101** REV: **C**

# WALL FINISH LEGEND

REFER TO SHEET A201 FOR FULL CONSTRUCTION AND FINISH DETAILS

## EWf-01:

- DOUBLE BRICK
- RENDER FINISH

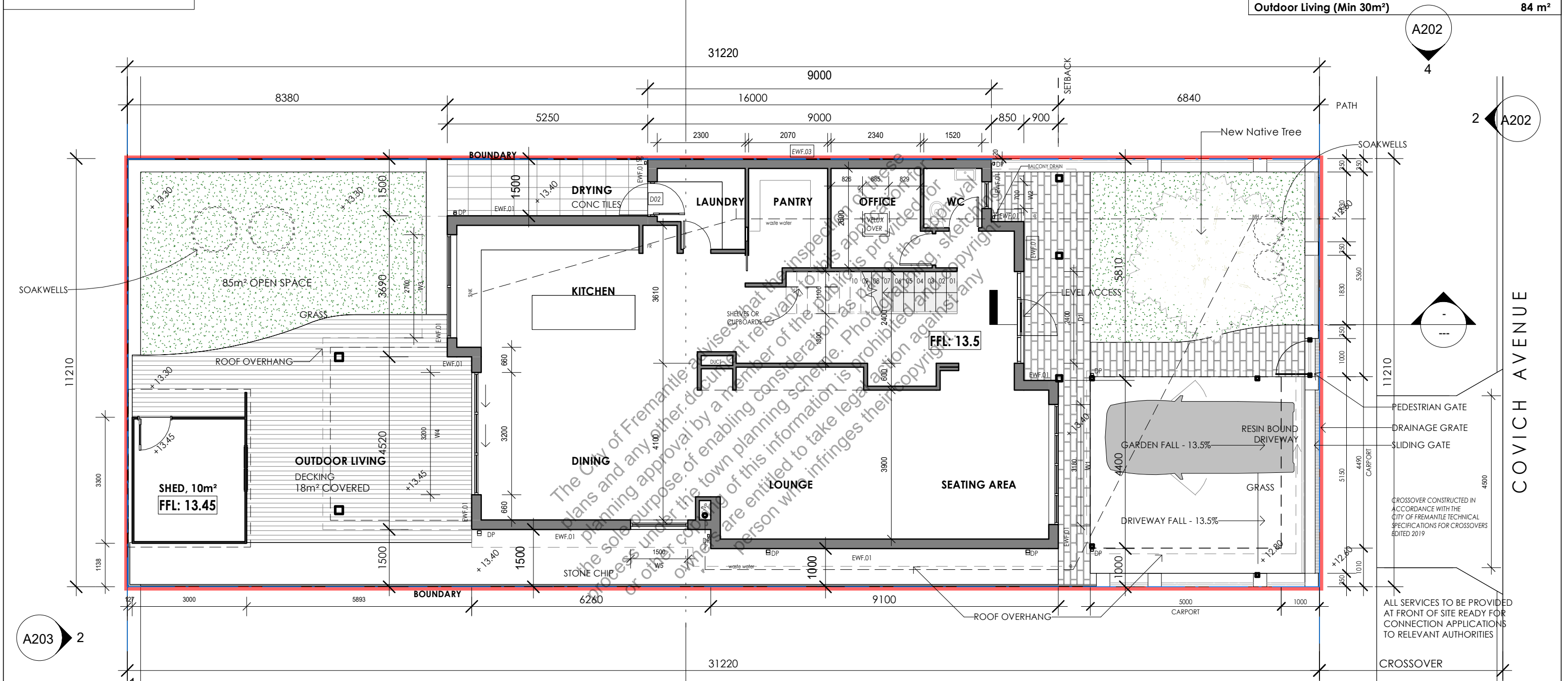
## EWf-02:

- 90mm TIMBER FRAMING
- WEATHERBOARD FINISH

## EWf-03:

- FACE BRICK FINISH ZERO LOT WALL
- 60/60/60 FRL

SITE AREA COVERAGE		m <sup>2</sup>
SITE AREA		350.0
GROUND FLOOR		142.33
FIRST FLOOR		99.25
TOTAL FLOOR AREA		241.58
SHED		10.00
CARPORT		22.50
<b>% OF SITE COVERAGE (Max 50%)</b>		<b>41 %</b>
<b>TOTAL ENCLOSED NEW BUILDING WORK AREA</b>		<b>186.5 m<sup>2</sup></b>
<b>Outdoor Living (Min 30m<sup>2</sup>)</b>		<b>84 m<sup>2</sup></b>



## SITE & GROUND FLOOR PLAN

Rev	Date	Description
C	05.07.25	DA AMENDMENT

Dwg Status: DESIGN

Project Name: **BEACY JEAN**  
 Project Address: **LOT 109, COVICH AVENUE, BEACONSFIELD. PARENT LOT - 12 Jean Steet, Beaconsfield**

Project No: **2543**  
 Drawing Title: **Scale @ A3 1 : 100**  
 Drawn by: **DM**  
 Check By: **—**

## SITE & GROUND FLOOR PLAN

Drawing Number: **A104**  
 REV: **C**

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# WALL FINISH LEGEND

REFER TO SHEET A201 FOR FULL CONSTRUCTION AND FINISH DETAILS

**EWf-01:**

- DOUBLE BRICK
- RENDER FINISH

**EWf-02:**

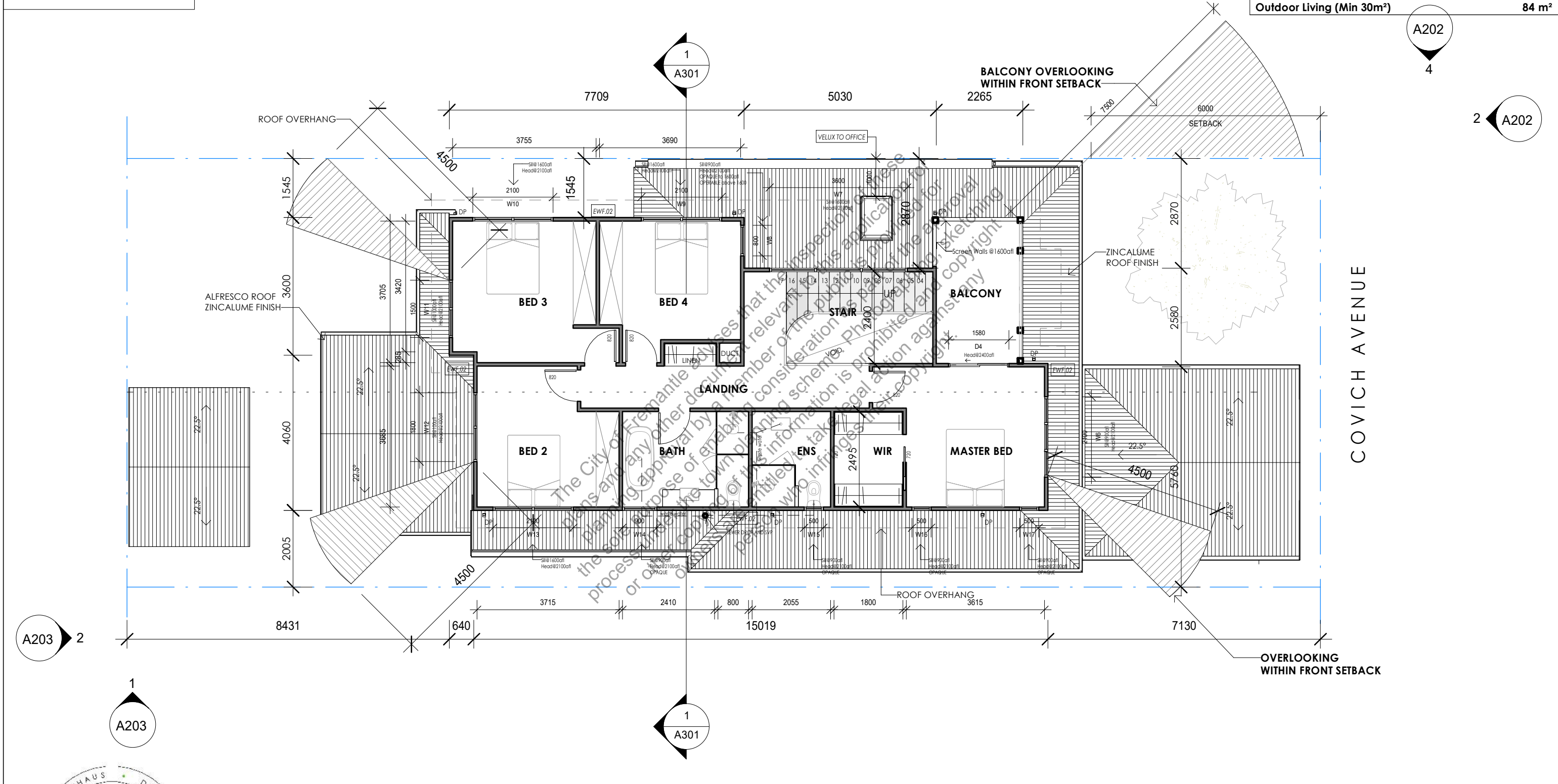
- 90mm TIMBER FRAMING
- WEATHERBOARD FINISH

**EWf-03:**

- FACE BRICK FINISH ZERO LOT WALL
- 60/60/60 FRL

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**DA0192/25**  
**6 July 2025**

SITE AREA COVERAGE	m <sup>2</sup>
SITE AREA	350.0
GROUND FLOOR	142.33
FIRST FLOOR	99.25
TOTAL FLOOR AREA	241.58
SHED	10.00
CARPORT	22.50
<b>% OF SITE COVERAGE (Max 50%)</b>	<b>41 %</b>
<b>TOTAL ENCLOSED NEW BUILDING WORK AREA</b>	<b>186.5 m<sup>2</sup></b>
<b>Outdoor Living (Min 30m<sup>2</sup>)</b>	<b>84 m<sup>2</sup></b>



## FIRST FLOOR

Rev	Date	Description
C	05.07.25	DA AMENDMENT

Dwg Status: DESIGN

Project Name: **BEACY JEAN** Project No: **2543** Drawing Title: **FIRST FLOOR PLAN**

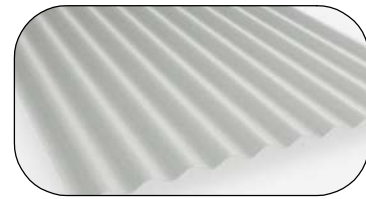
Project Address: **LOT 109, COVICH AVENUE, BEACONSFIELD.** Drawn by: **DM** Scale @ A3: **1 : 100**

**PARENT LOT - 12 Jean Steet, Beaconsfield** Check By: **—** Drawing Number: **A105** REV: **C**

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ERF - 01	ROOF
STRUCTURAL FRAME:	REFER TO ENGINEERS ROOF LAYOUT
BRACING / LINING:	6mm H2 OSB3
EXTERNAL MEMBRANE:	PRO CLIMA EXTASANA OR SIMILAR
CAVITY BATTEN:	70x35 MGP10 ON 10mm SHIMS
EXTERNAL CLADDING:	CUSTOM-ORB
EXT COLOUR:	TO BE SELECTED : SA <0.40
ROOF R-RATING	R 3.5



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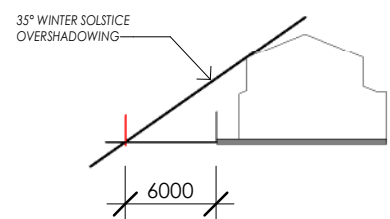
OVERSHADOWING OF ADJOINING SOUTHERN BLOCK	
ADJOINING SITE AREA	350.0 m <sup>2</sup>
OVERSHADOWING AREA	90.55 m <sup>2</sup>
<b>% OF OVERSHADOWING</b>	<b>26 %</b>
<b>Limit of Overshadowing per R-Codes 5.4.2 R20/25</b>	<b>25 %</b>

### ROOF DRAINAGE NOTES

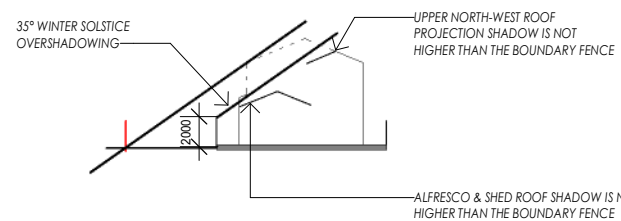
- GUTTERS:**
- COLOURS/FINISHES AS SCHEDULED ON ELEVATIONS DRAWING
  - GUTTERS TO ACHIEVE A MINIMUM 1:200 FALL/ BOX GUTTERS TO ACHIEVE A MINIMUM 1:100 FALL TOWARDS DOWNPIPES.
  - ALL NEW GUTTERS TO CONTAIN A BASIC LEAF GUARD MESH

- DOWNPIPES + RAINHEADS:**
- REFER TO FLOOR PLAN/ELEVATION DRAWINGS FOR LOCATIONS.
  - DOWNPIPE SIZE + FINISH AS SCHEDULED ON ELEVATION DRAWINGS A.201

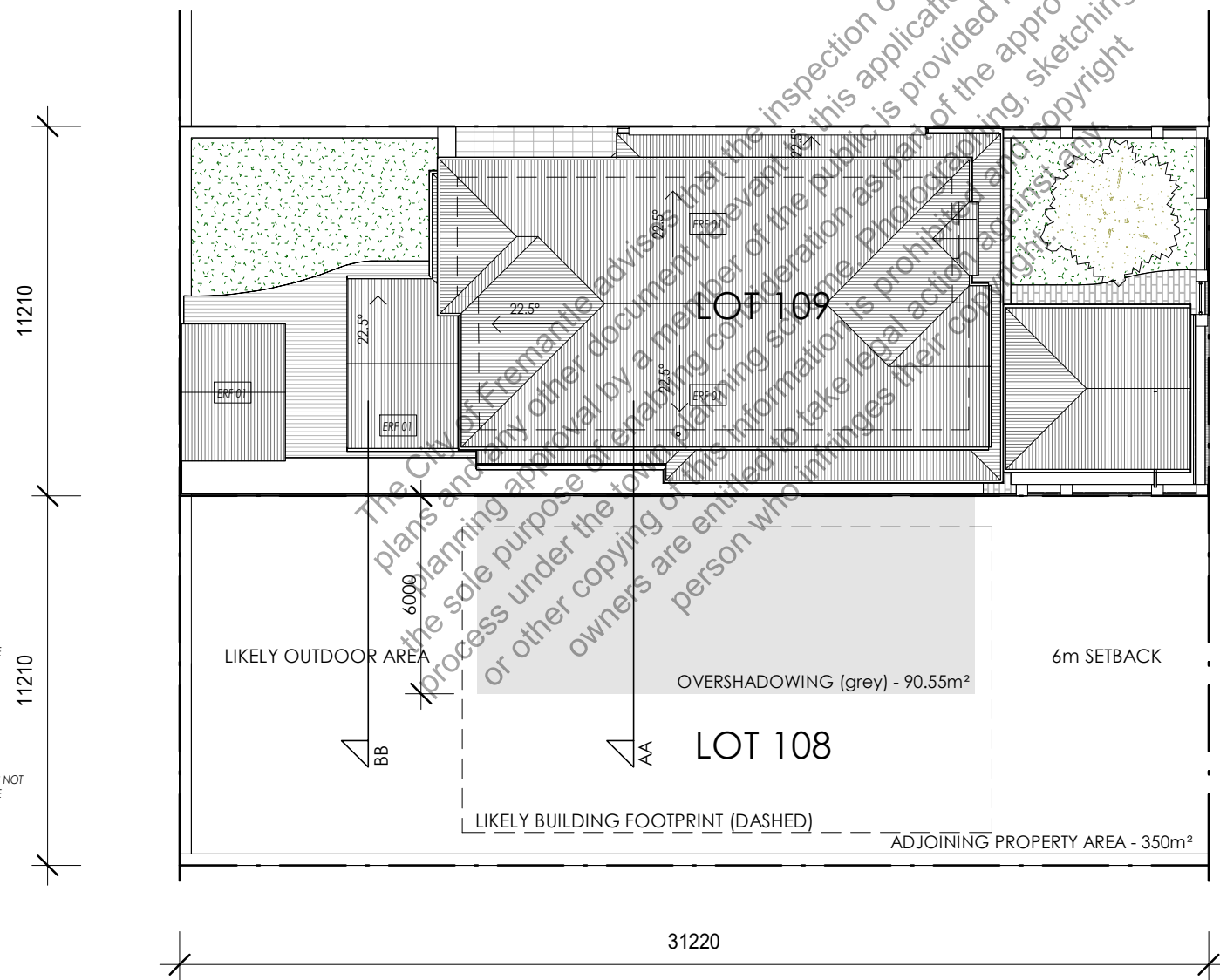
- HEAD VENTS:**
- CONFIRM LOCATION OF SANITARY PLUMBING HEAT VENTS THROUGH ROOF WITH OWNER PRIOR TO INSTALLATION.
  - VENTS TO TERMINATE AT MINIMUM RECOMMENDED HEIGHT



SECTION AA - OVERSHADOWING



SECTION BB - OVERSHADOWING



COVICH AVENUE

### OVERSHADOWING NOTES

**R-CODES 3.9 - SOLAR ACCESS FOR ADJOINING SITES:**  
 INTENT: SITING AND DESIGN OF DWELLINGS SHOULD RESPOND TO THE CLIMATIC CONDITIONS AND HAVE REGARD TO RESIDENT AMENITY BOTH WITHIN THE DEVELOPMENT SITE AND ADJOINING PROPERTIES

THE THREE MAIN AIMS FOR RESIDENTIAL DEVELOPMENT FOR CLIMATE SENSITIVE DESIGN ARE TO REDUCE ENERGY CONSUMPTION, OPTIMISE ON-SITE SOLAR ACCESS AND PROTECT SOLAR ACCESS FOR NEIGHBOURING DWELLINGS.

**LOT ORIENTATION AND HEIGHT:**  
 "DUE TO LOT ORIENTATION, IT IS NECESSARY IN SOME CASES TO EXCEED THE OVERSHADOWING LIMITS OF TABLE 3.9a OF THE R-CODES. IN SUCH CASES, CAREFUL CONSIDERATION SHOULD BE GIVEN TO THE TYPES OF SPACES BEING OVERSHADOWED WHEN JUDGING MERIT AND APPLYING DESIGN PRINCIPLES. SOLAR ACCESS SHOULD BE PRIORITISED FOR SPACES ON ADJOINING PROPERTIES THAT ARE LIKELY TO BE USED MOST FREQUENTLY DURING THE DAY, SUCH AS PRIMARY LIVING SPACES AND OUTDOOR ACTIVE HABITABLE SPACES" - R-CODES VOLUME 1 - EXPLANATORY GUIDELINES 2024

**DESIGN RESPONSE:**  
 IN DESIGNING THIS DWELLING, WE HAVE CONSIDERED THE LIKELY POSITION AND HEIGHT OF THE FUTURE DEVELOPMENT ON THE BLOCK IMMEDIATELY SOUTH OF THIS PROPOSAL.

THE FUTURE BUILD WILL MOST LIKELY BE POSITIONED ENTIRELY BEHIND THE STREET PRIMARY SETBACK GIVEN THE BLOCK WIDTHS. IT IS ALSO LIKELY THAT THE FUTURE BUILD WOULD PRIORITISE A REAR GARDEN OVER A COURTYARD GIVEN THE SOLAR ACCESS TO THE NORTH AND BEAUTIFUL WESTERN SUNSETS.

ACCESS TO THE EVENING SEA BREEZE WAS A PRIORITY FOR THIS DESIGN AND WE ENVISAGE A SIMILAR REQUIREMENT FOR ALL THE FUTURE DEVELOPMENTS ON THESE RECENTLY OFFERED SITES.

WE ALSO FEEL CONFIDENT THAT GIVEN THE LAND PRICE AND BLOCK SIZES, IN ORDER NOT TO UNDERCAPITALIZE THE PROPERTIES, IT IS MOST LIKELY THAT THE DWELLINGS WILL BE PREDOMINANTLY TWO STOREY.

HAVING CAREFULLY CONSIDERED THE PROBABLY BUILD FORM AND POSITION OF THE FUTURE BUILD AT THE SOUTHERN PROPERTY:

- WE HAVE DESIGNED OUR BUILD TO BE CENTRAL ON THE BLOCK, WE HAVE EXCEEDED THE MINIMUM FIRST FLOOR BOUNDARY SETBACK IN ORDER TO MAXIMISE THE SOLAR ACCESS OF THE SOUTHERN PROPERTY
- WE HAVE OPTED FOR MINIMUM CEILING HEIGHTS ON BOTH FLOORS. GROUND FLOOR SHOWS 2.7m, BUT WILL REQUIRE 2.4m CEILINGS TO THE KITCHEN AND BATHROOMS FOR DUCTING SPACES.
- THE PROPOSED SHED HAS BEEN MOVED AWAY FROM THE SOUTH BOUNDARY SO AS TO NOT PROJECT A SHADOW ANY HIGHER THAN THE FENCE WOULD.
- THE PROPOSED ALFRESCO SIMILARLY HAS BEEN CONSIDERED SO AS NOT TO SHADOW THE SOUTHERN PROPERTY.

OUR PERFECT DESIGN FOR OUR PROPERTY WOULD HAVE CAST A SHADOW OVER 33% ON TO THE SOUTHERN PROPERTY, SOMETHING WE CONSIDERED TO BE TOO HIGH AND DECIDED TO MAKE ADJUSTMENTS TO OUR DESIGN IN ORDER TO REDUCE THE IMPACT ON THE SOLAR ACCESS.

A FEAT THAT CAN PROVE DIFFICULT ON AN EAST-WEST ORIENTATING SITE.

AND AS THE R-CODES THEMSELVES EXPLAIN, IT MAY BE NECESSARY IN SOME INSTANCES SUCH AS THIS, TO EXCEED THE OVERSHADOWING LIMITS FROM TABLE 3.9a.

WE FEEL THAT EXCEEDING THIS LIMIT OF 25% BY A MERE 1% IS A VERY POSITIVE OUTCOME.



### ROOF PLAN & OVERSHADOWING

Rev	Date	Description
C	05.07.25	DA AMENDMENT

Dwg Status: DESIGN

Project Name:	<b>BEACY JEAN</b>	Project No:	<b>2543</b>	Drawing Title:	<b>ROOF PLAN + OVERSHADOWING</b>
Project Address:	<b>LOT 109, COVICH AVENUE, BEACONSFIELD. PARENT LOT - 12 Jean Steet, Beaconsfield</b>	Drawn by:	<b>DM</b>	Scale @ A3	As indicated
		Check By:	—	Drawing Number:	<b>A106</b>
				REV:	<b>C</b>

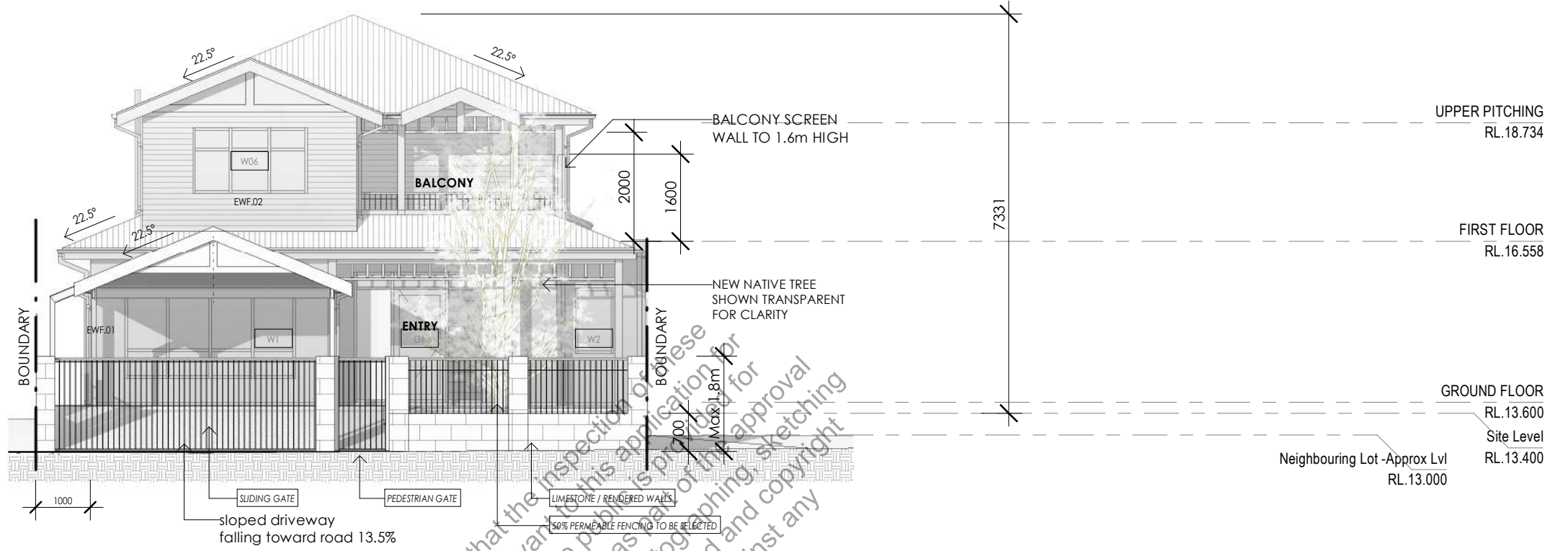
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# WALL FINISH LEGEND

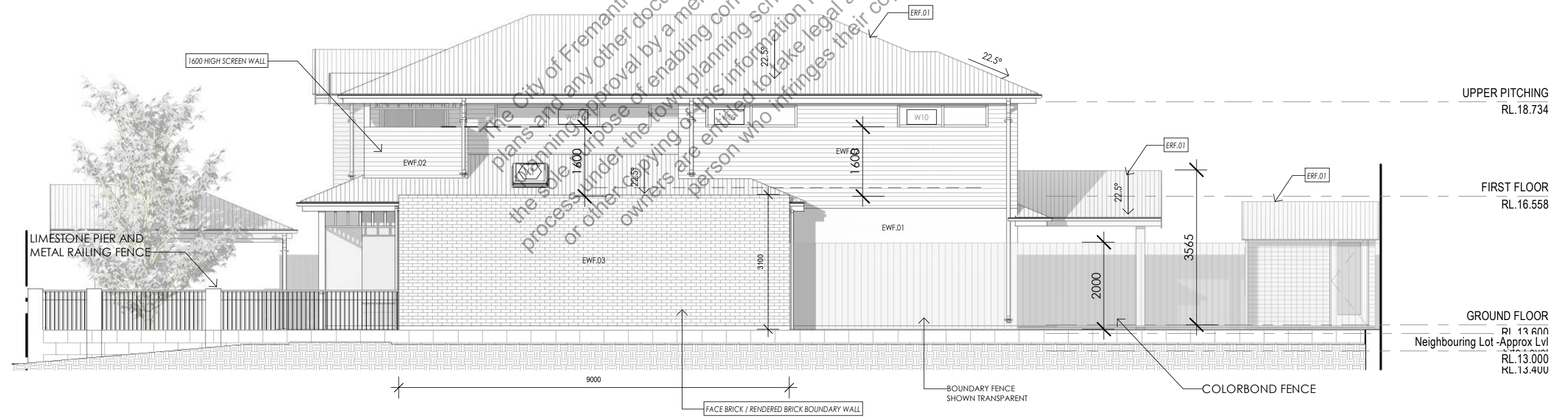
REFER TO SHEET A201 FOR FULL CONSTRUCTION AND FINISH DETAILS

- EWf-01:**
  - DOUBLE BRICK
  - RENDER FINISH
- EWf-02:**
  - 90mm TIMBER FRAMING
  - WEATHERBOARD FINISH
- EWf-03:**
  - FACE BRICK FINISH ZERO LOT WALL
  - 60/60/60 FRL

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**EAST ELEVATION**



**NORTH ELEVATION**



Rev	Date	Description
C	05.07.25	DA AMENDMENT

Dwg Status: DESIGN

Project Name: **BEACY JEAN** Project No: **2543** Drawing Title: **ELEVATIONS - E & N**

Project Address: **LOT 109, COVICH AVENUE, BEACONSFIELD. PARENT LOT - 12 Jean Steet, Beaconsfield** Drawn by: **DM** Scale @ A3: **1 : 100**

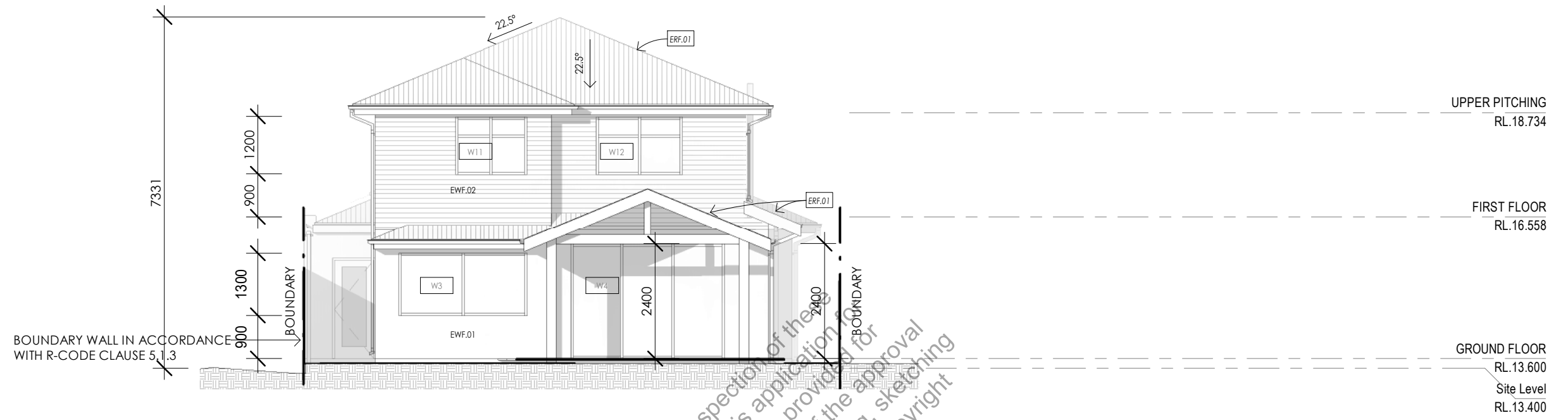
Check By: **—** Drawing Number: **A202** REV: **C**

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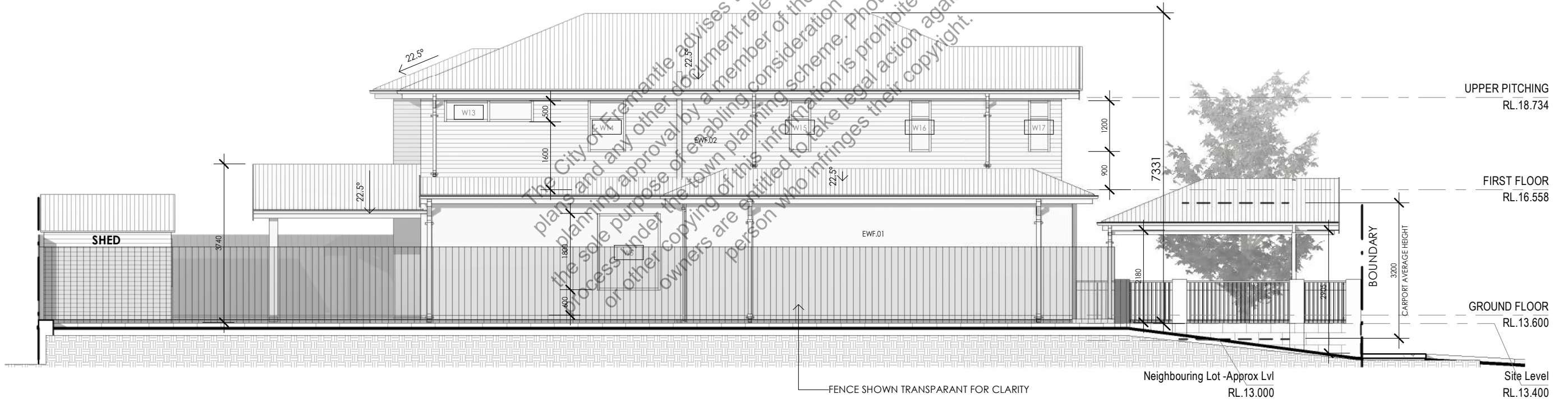
# WALL FINISH LEGEND

REFER TO SHEET A201 FOR FULL CONSTRUCTION AND FINISH DETAILS

- EWf-01:**
  - DOUBLE BRICK
  - RENDER FINISH
- EWf-02:**
  - 90mm TIMBER FRAMING
  - WEATHERBOARD FINISH
- EWf-03:**
  - FACE BRICK FINISH ZERO LOT WALL
  - 60/60/60 FRL



WEST ELEVATION



SOUTH ELEVATION

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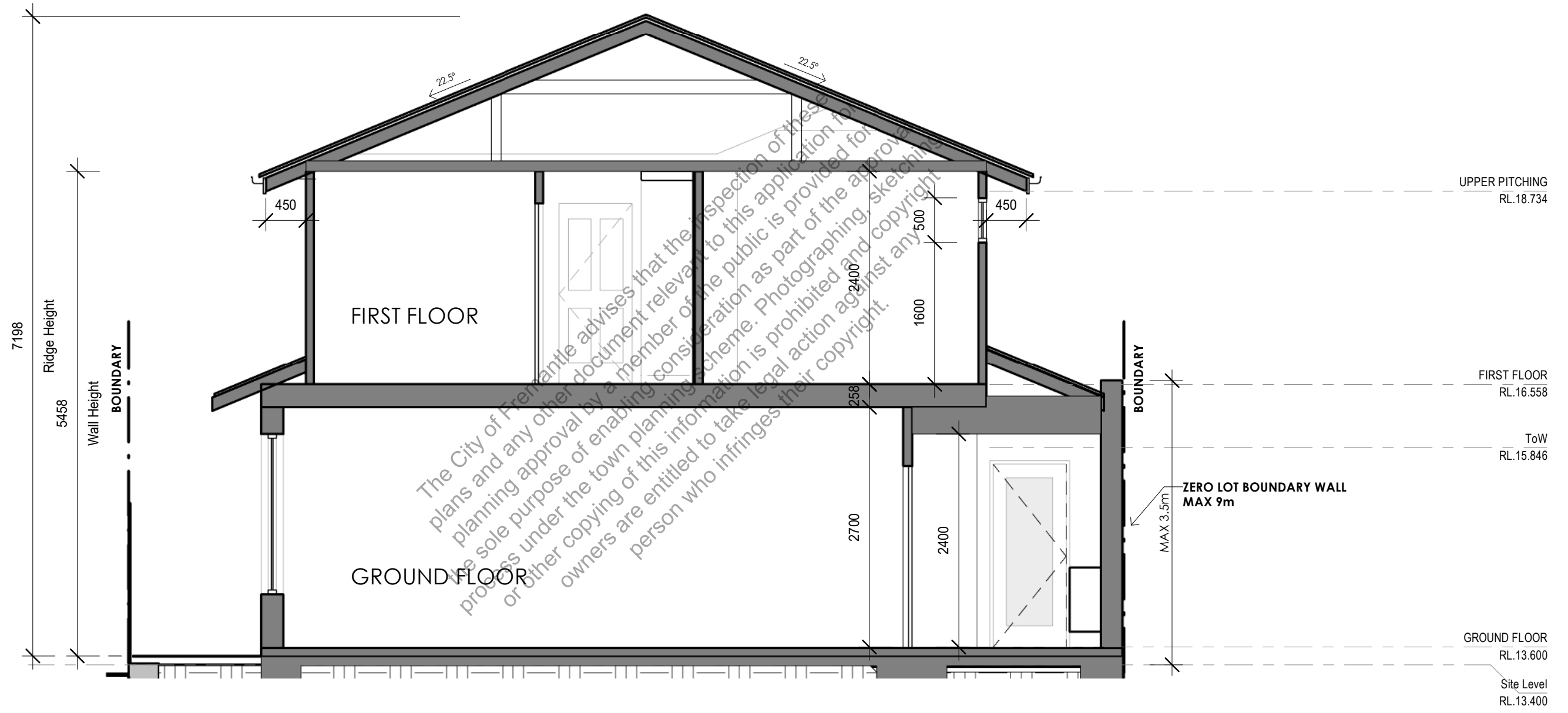
Rev	Date	Description
C	05.07.25	DA AMENDMENT

Dwg Status: DESIGN

Project Name:	<b>BEACY JEAN</b>	Project No:	<b>2543</b>	Drawing Title:	<b>ELEVATIONS W &amp; S</b>
Project Address:	<b>LOT 109, COVICH AVENUE, BEACONSFIELD. PARENT LOT - 12 Jean Steet, Beaconsfield</b>	Drawn by:	<b>DM</b>	Scale @ A3:	<b>1 : 100</b>
		Check By:	<b>—</b>	Drawing Number:	<b>A203</b>
				REV:	<b>C</b>

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**6 July 2025**



**SECTION AA**

Rev	Date	Description
C	05.07.25	DA AMENDMENT

Dwg Status: DESIGN

Project Name: **BEACY JEAN**  
 Project Address: **LOT 109, COVICH AVENUE, BEACONSFIELD. PARENT LOT - 12 Jean Steet, Beaconsfield**

Project No: **2543**  
 Drawn by: **DM**  
 Check By: **—**

Drawing Title: **SECTION AA**  
 Scale @ A3: **1 : 50**

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Drawing Number: **A301**

**SECTION AA**  
 REV: **C**