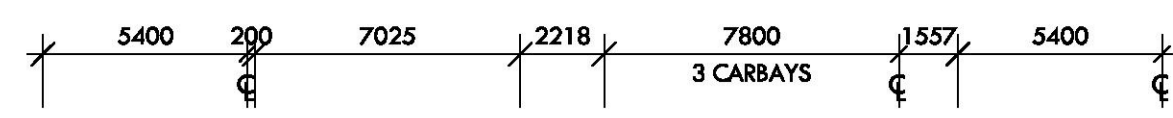


NOT INCLUDED AS PART OF THIS APPLICATION

AREA SUBJECT OF APPLICATION



SITE CRITERIA - CARWASH

1. Site Area	461m ²
a. Site Area	
3. Floor Area (GFA)	32m ²
a. OFFICE	
4. Carparking	2 Cars
Total Car provided	

Landscaping
 6. Soil landscaping
 Defined as vegetative landscaping.
 Gross Floor Area - GFA
 A. All Floor Areas on this plan are shown as GROSS FLOOR AREA.
 Unless otherwise noted as Net Floor Area
 B. Distribution of Gross Floor Area is defined as:
 i. GROSS FLOOR AREA OF TENANCY:
 Gross Floor Area of an individual Tenancy is defined as the area contained between the centre line of common tenancy walls and the outside edge of external walls.
 ii. GROSS FLOOR AREA OF A BUILDING:
 Gross Floor Area of a Building is defined as the total area contained between the outside edge of external walls.
 Net Floor Area - NFA
 A. Net Floor Area of a Tenancy on this plan is defined as the area between external or tenancy dividing walls.
 B. This area is inclusive of balconies if the balconies are exclusive to the Tenancy.

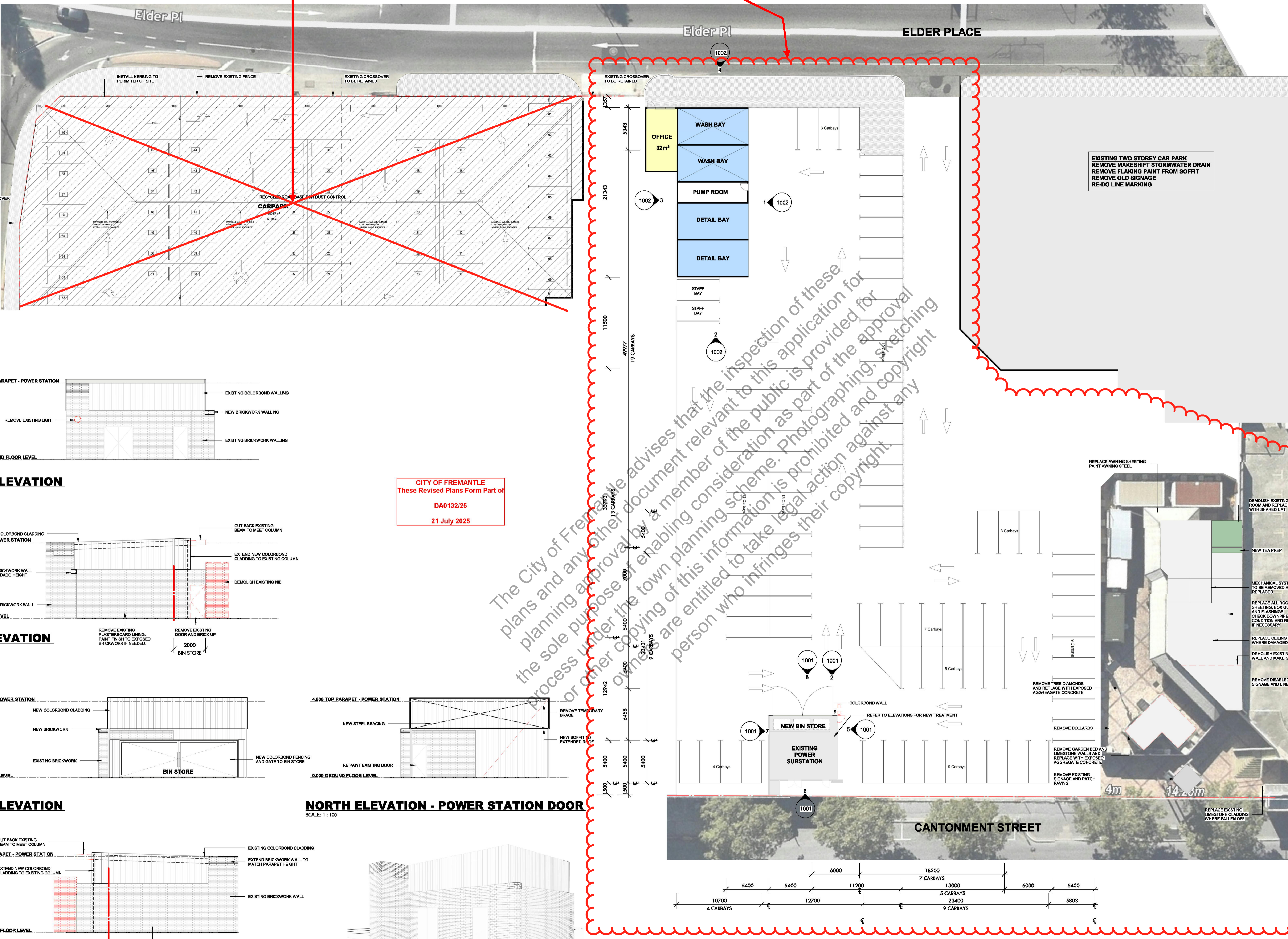
SITE DESIGN CHECKLIST

- 1. SEWER MAINS LOCATION TO BE DETERMINED
- 2. FIRE MAINS PRESSURE TEST REQUIRED
- 3. FIRE TANKS OR PUMPS TO BE DETERMINED
- 4. WESTERN POWER TRANSFORMER LOCATION TO BE DETERMINED
- 5. CROSSOVER & ACCESS TO STREET TO BE DETERMINED BY LOCAL AUTHORITY
- 6. FULL FEATURE SITE SURVEY REQUIRED
- 7. DIAL BEFORE YOU DIG REQUIRED
- 8. BUSHFIRE ATTACK LEVEL (BAL) TO BE DETERMINED
- 9. STREET POWER POLES TO BE DETERMINED
- 10. SITE ZONING & USE TO BE DETERMINED

NOTE: Any of the following items that do not have an 'X' in the provided square requires determination.

LEGEND

- MANUAL CAR WASH BAYS
- BUILDING FOOTPRINT - OFFICE
- RECYCLED ASPHALT FOR DUST CONTROL
- EXTENT OF CONCRETE HARDSTAND
- EXTENT OF ROADBASE HARDSTAND
- EXTENT OF BITUMEN PAVING
- EXTENT OF CERAMIC TILES
- EXTENT OF BRICK PAVING / CONCRETE PAVING
- EXTENT OF LANDSCAPING



EXISTING TWO STOREY CAR PARK
 REMOVE MAKESHIFT STORMWATER DRAIN
 REMOVE FLAKING PAINT FROM SOFFIT
 REMOVE OLD SIGNAGE
 RE-DO LINE MARKING

CITY OF FREMANTLE
 These Revised Plans Form Part of
 DA0132/25
 21 July 2025

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SOUTH ELEVATION

EAST ELEVATION

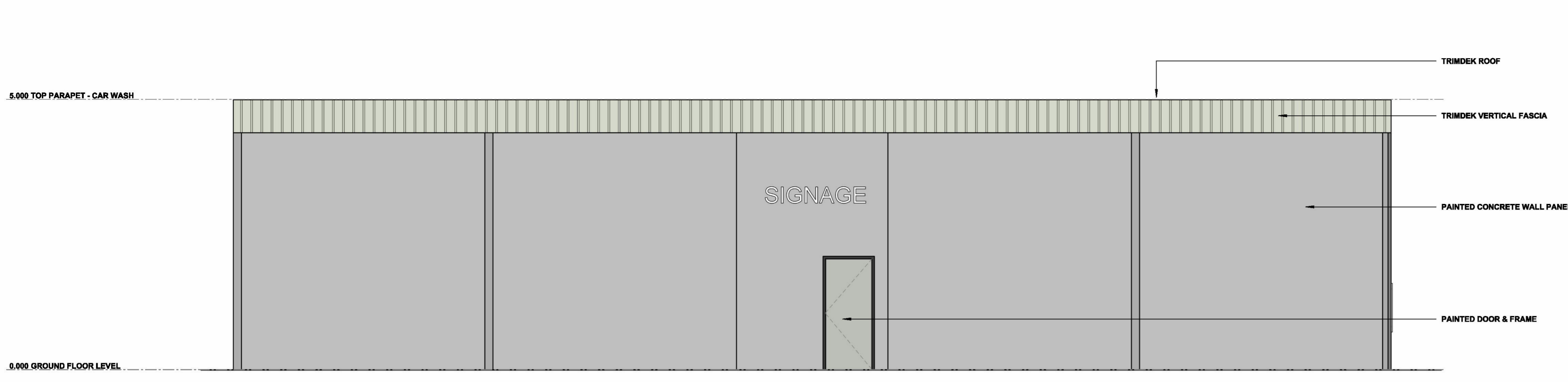
NORTH ELEVATION

NORTH ELEVATION - POWER STATION DOOR

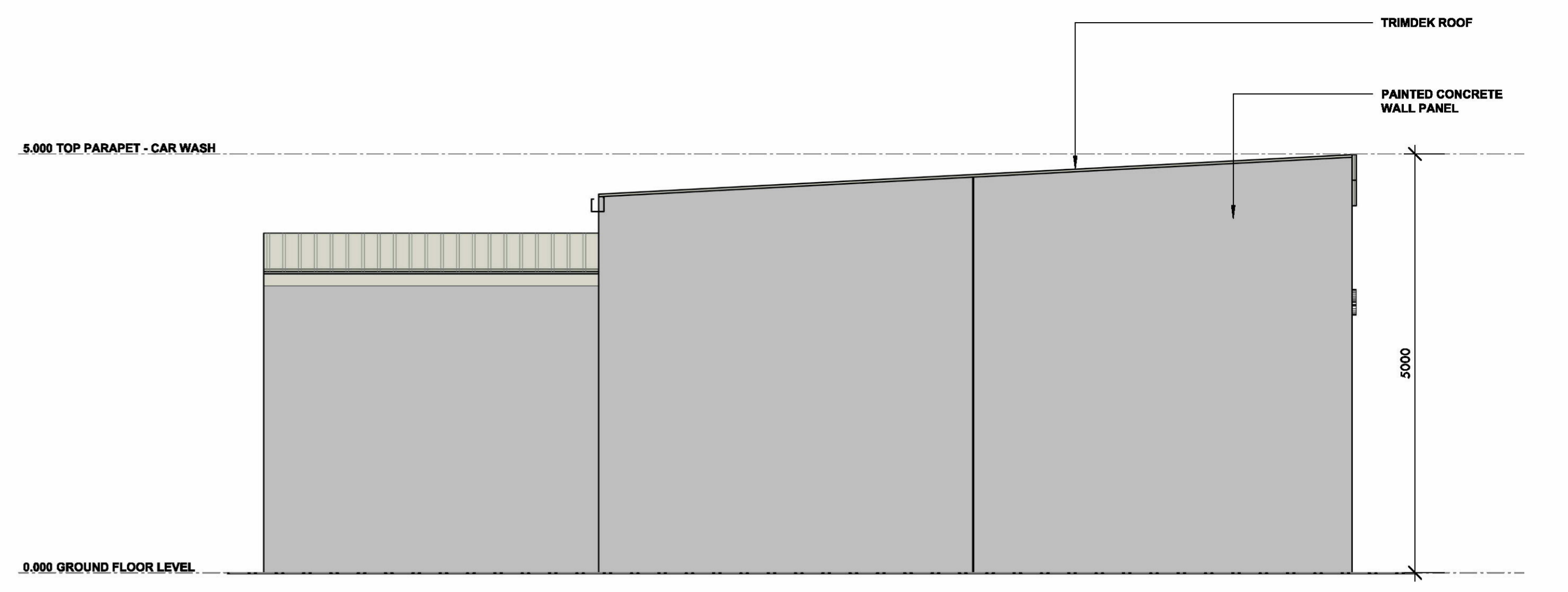
WEST ELEVATION

GROUND FLOOR CARWASH

PRELIMINARY

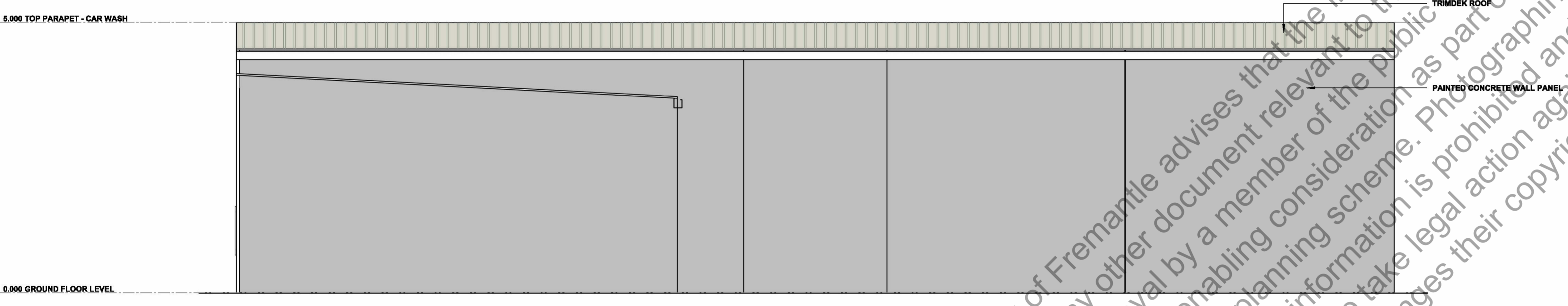


1 ELEVATION
002 SCALE: 1:50

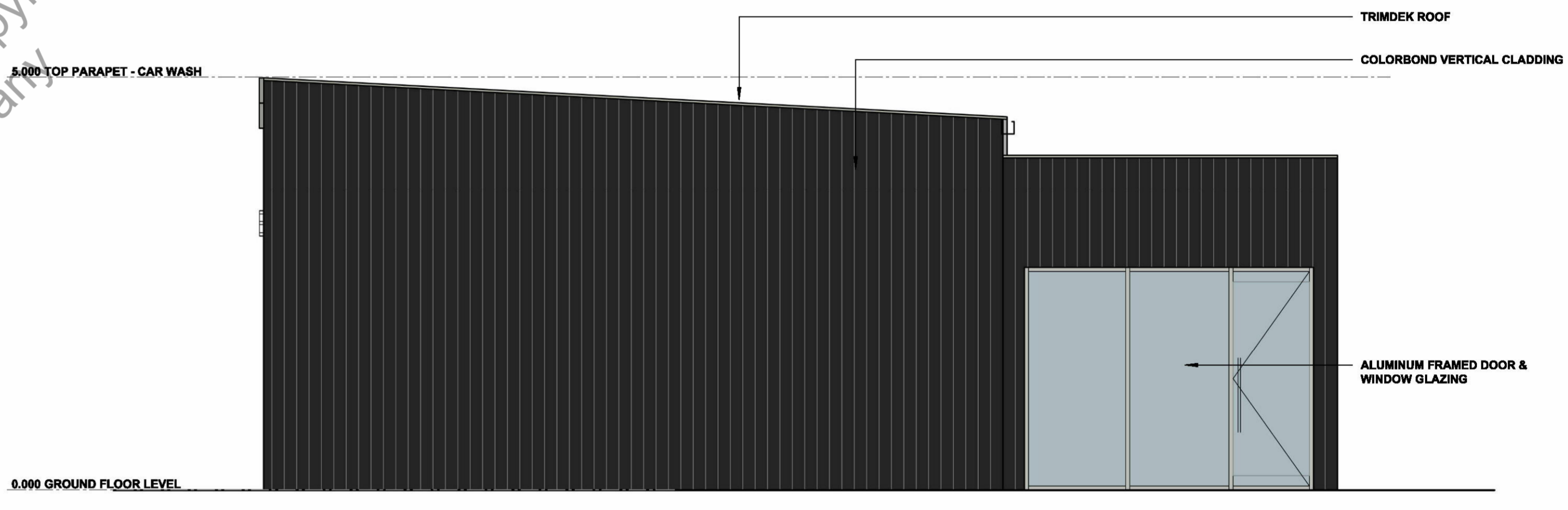


2 ELEVATION
002 SCALE: 1:50

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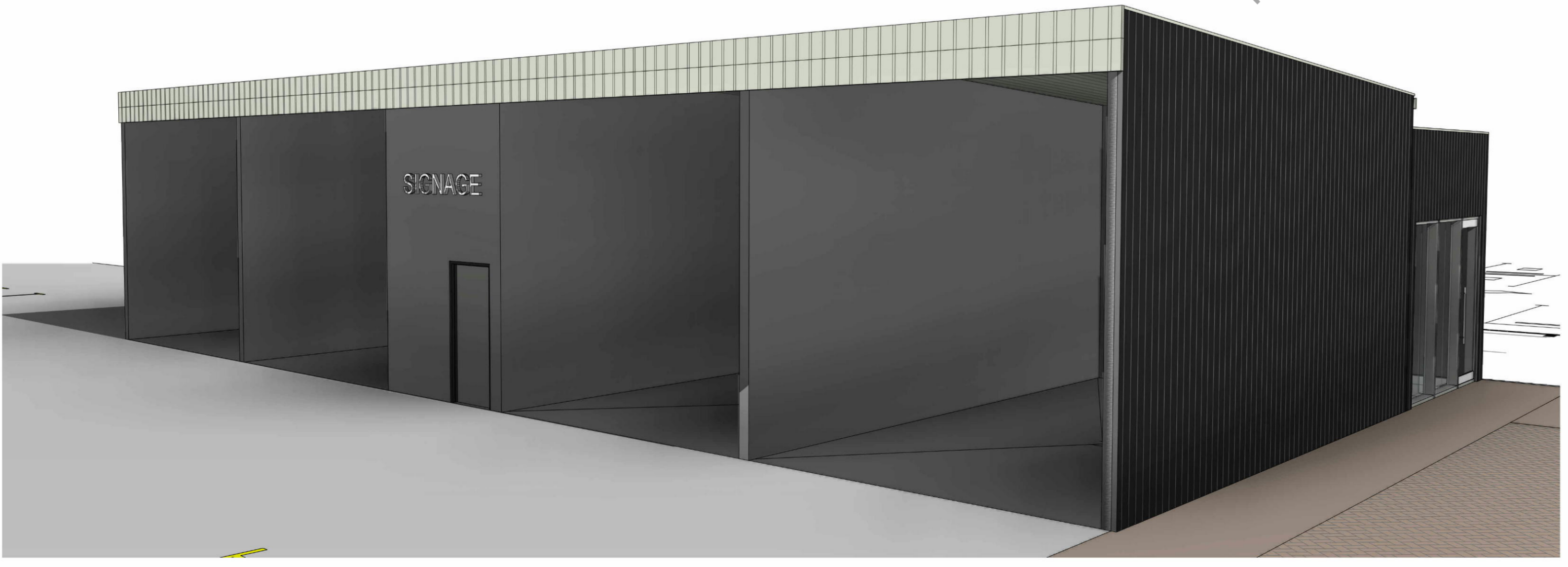


3 ELEVATION
002 SCALE: 1:50



4 ELEVATION
1001 SCALE: 1:50

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PRELIMINARY