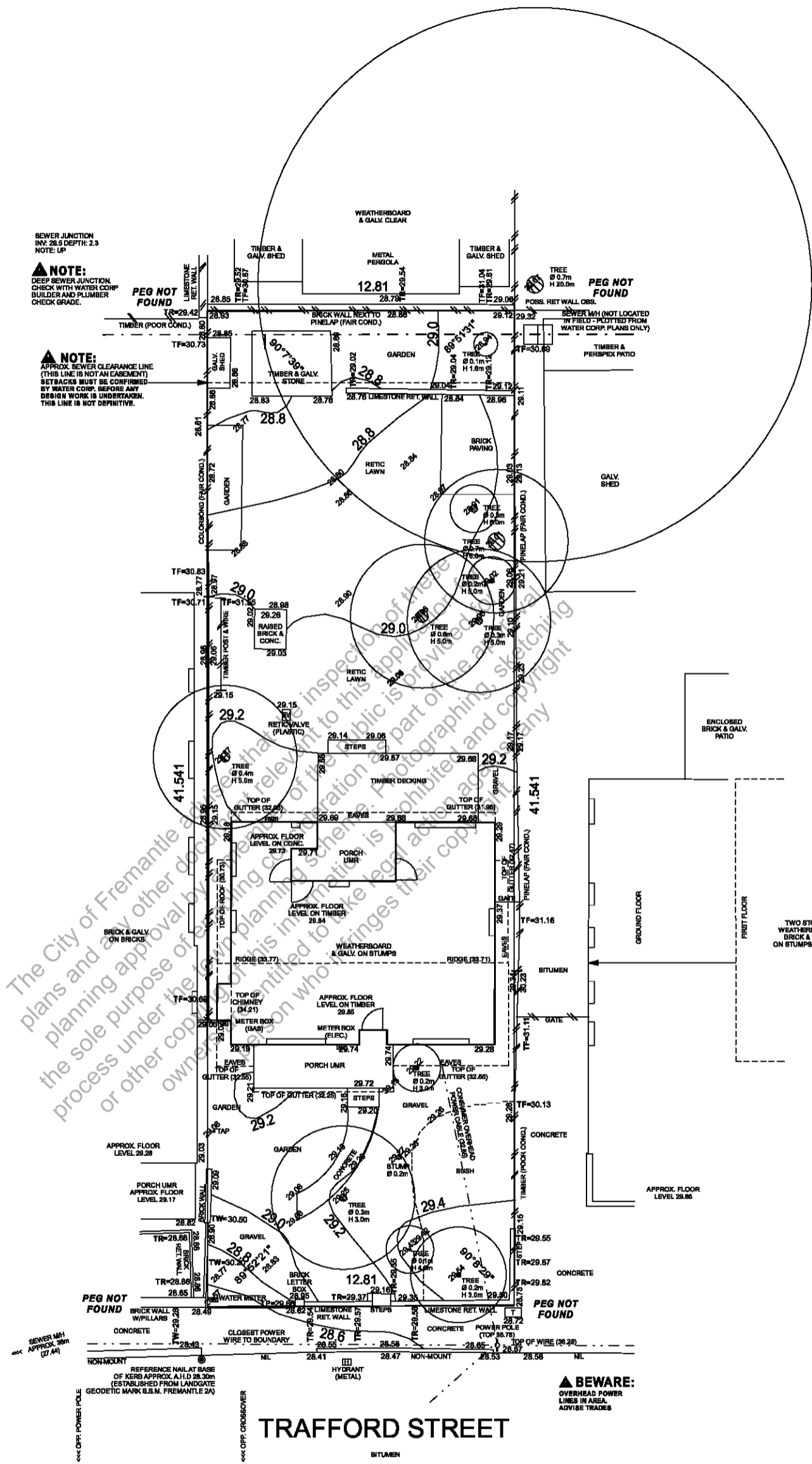


LEGEND	
⊕	POWER DOME
⊖	POWER POLE
(1)	PHONE PIT
(W)	WATER COIN.
⊕	WATER COIN.
TF=10.00	TOP PILLAR/POST
TW=10.00	TOP WALL
TR=10.00	TOP RETAINING
TF=10.00	TOP FENCE

CITY OF FREMANTLE
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LOT MISCLOSE
 0.010 m

DISCLAIMER:
 Due to lack of survey marks/pegs, all building offset dimensions & features are approximate only and positioned from existing pegs/fences and walls which may not be on the correct alignment. Any design that involves additions to any structures shown or portion of structures remaining after any demolition has taken place requires boundaries to be repegged and exact offsets provided to your designer/architect before any plans are produced and before any work is started on site.

DISCLAIMER:
 Lot boundaries drawn on survey are based on landgate plan only. Survey does not include title search and as such may not show easements or other interests not shown on plan. Title should be checked to verify all lot details and for any easements or other interests which may affect building on the property.

DISCLAIMER:
 Survey does not include verification of cadastral boundaries. All features and levels shown are based on orientation to existing pegs and fences only which may not be on correct cadastral alignment. Any designs based or dependent on the location of existing features should have those features' location verified in relation to the true boundary.

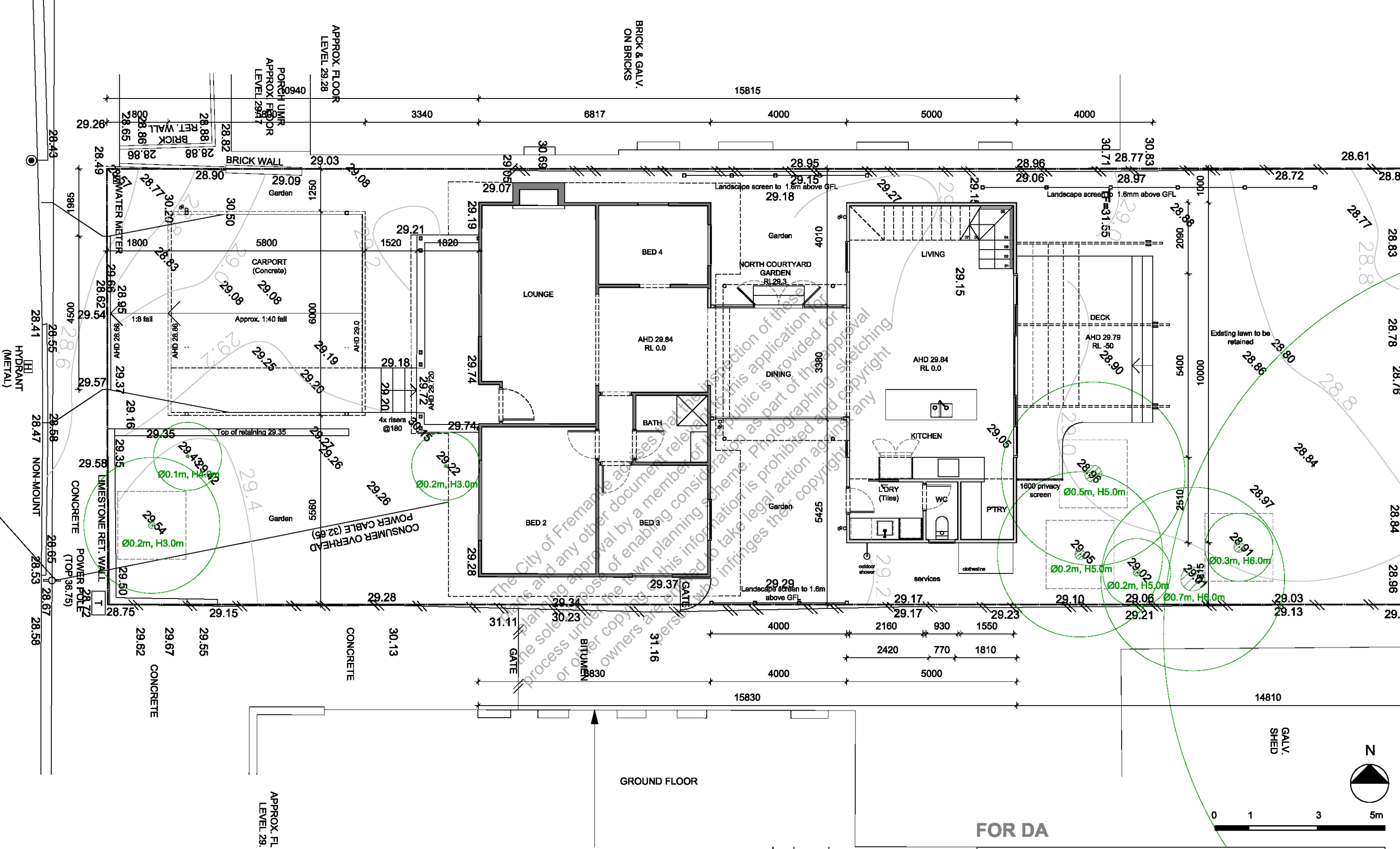
DISCLAIMER:
 Survey shows visible features only and will not show locations of underground pipes or conduits for internal or mains services. Verification of the location of all internal and mains services should be confirmed prior to finalisation of any design work.

DISCLAIMER:
 Cottage & Engineering surveys accept no responsibility for any physical on site changes to the parcel or portion of the parcel of land shown on this survey including any adjoining neighbours levels and features that have occurred after the date on this survey. All Sewer details plotted from information supplied by Water Corporation.

Scale 1:200
 0 2 4 6 8



JOB #	597959	GPS	Lat: -32.064225 Long: 115.760857	ROADS	Bitumen	ELEC.	O/Head
ADDRESS	#8 Trafford Street	LOT	Lot 13 (Plan 270)	KERBS	Non-Mount / Nil	COMMS.	Yes
SUBURB	Beaconsfield	AREA	531m ²	FOOTPATH	Concrete	WATER	Yes
LGA	CITY OF FREMANTLE	VOL.	1106	SOIL	Sand	GAS	Check Alinta
DRAWN		DATE	22 Jan 25	DRAINAGE	Good	SEWER	Yes
		SSA No		VEGETATION	Light Grass Cover	COASTAL	1100m To Ocean (Approximate Only Confirm with Shire)

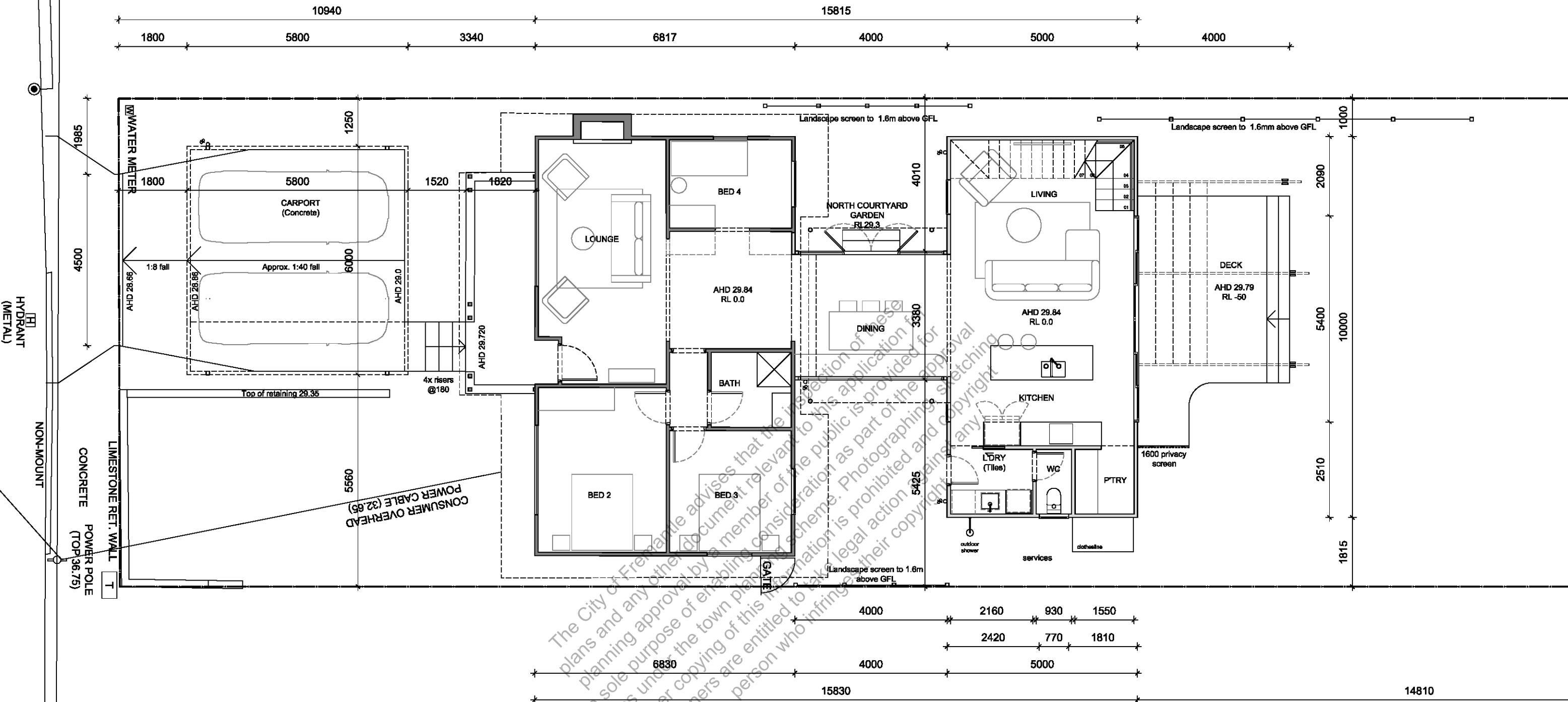


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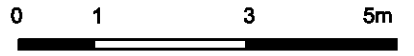
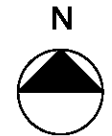
NO	DATE	DESCRIPTION	

Do not scale off this drawing. Work from the indicated dimensions only. All site dimensions to be verified by Contractor and any discrepancies reported to Architect. All dimensions in millimetres unless otherwise noted.

PROJECT / ADDRESS 8 TRAFFORD ST BEACONSFIELD WA 6162	DRAWING SITE PLAN & LANDSCAPING
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DATE FEBRUARY 2025	



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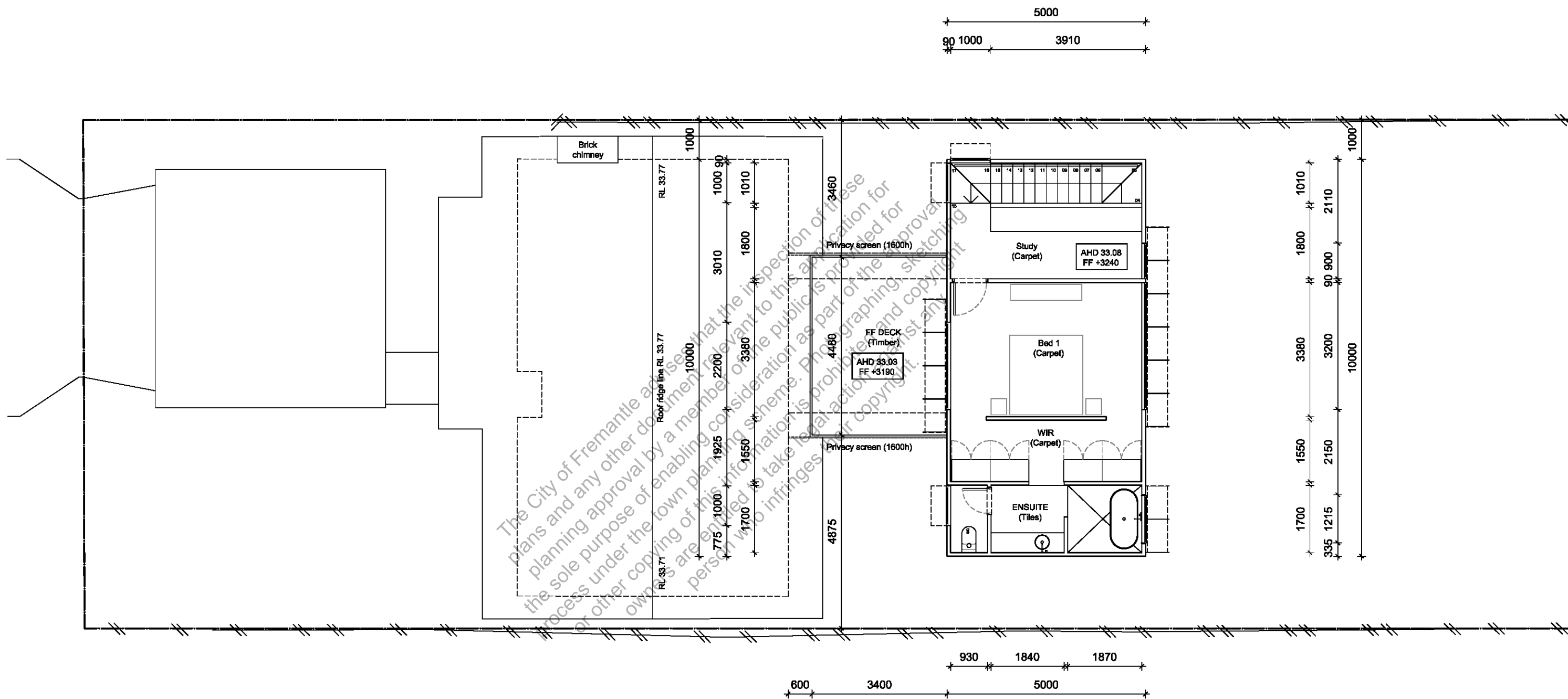
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A03



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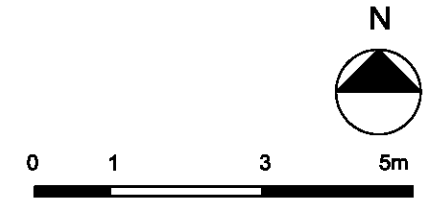
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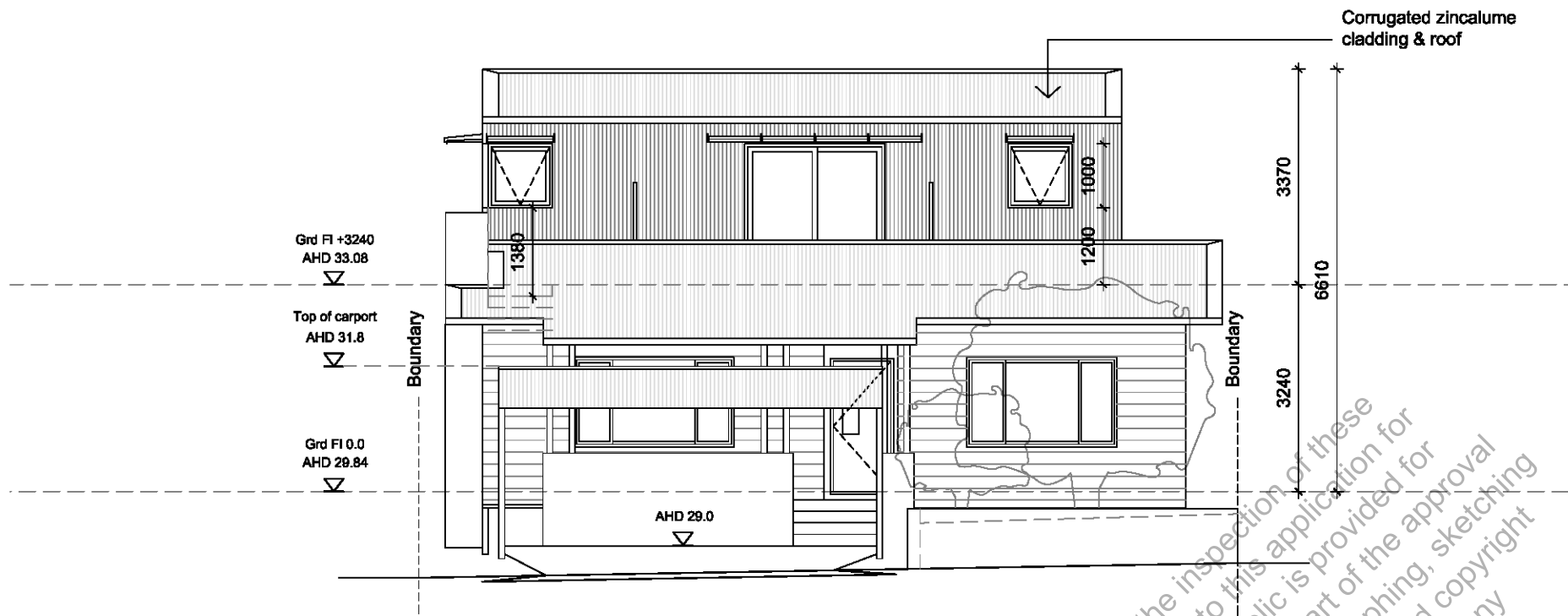
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FIRST FLOOR PLAN

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FEBRUARY 2025

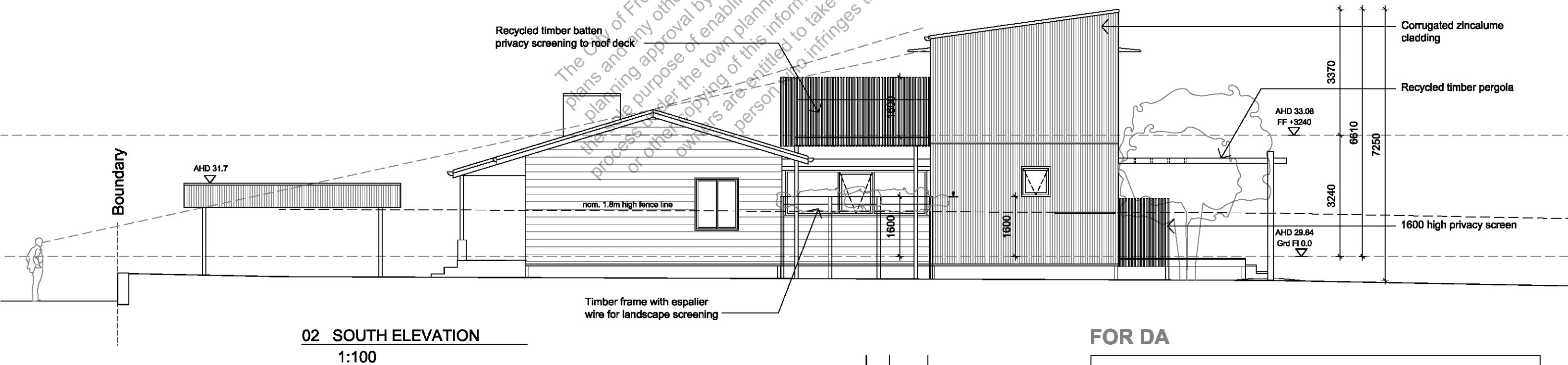
A04





01 WEST ELEVATION (TRAFFORD ST)
1:100

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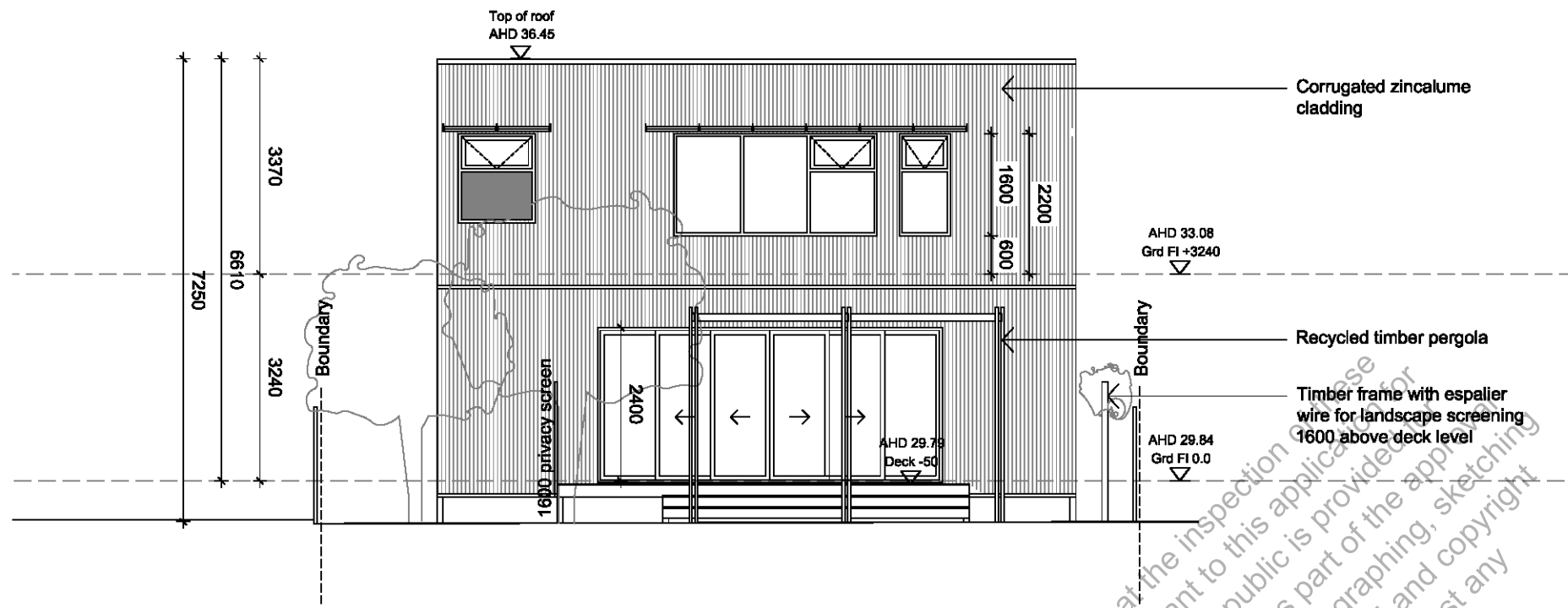


02 SOUTH ELEVATION
1:100

FOR DA

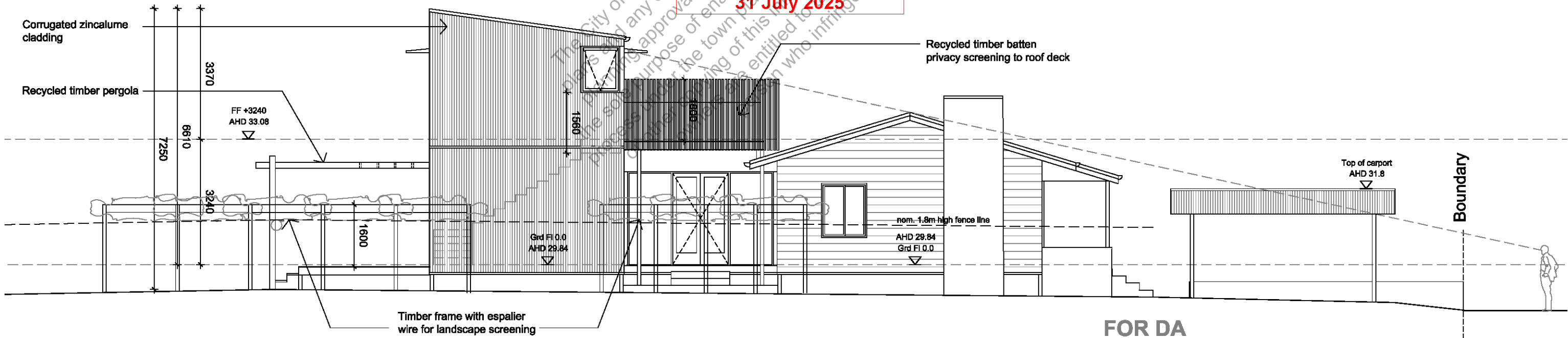
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REVISIONS		
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FEBRUARY 2025			



01 EAST ELEVATION
1:100

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02 NORTH ELEVATION
1:100

FOR DA

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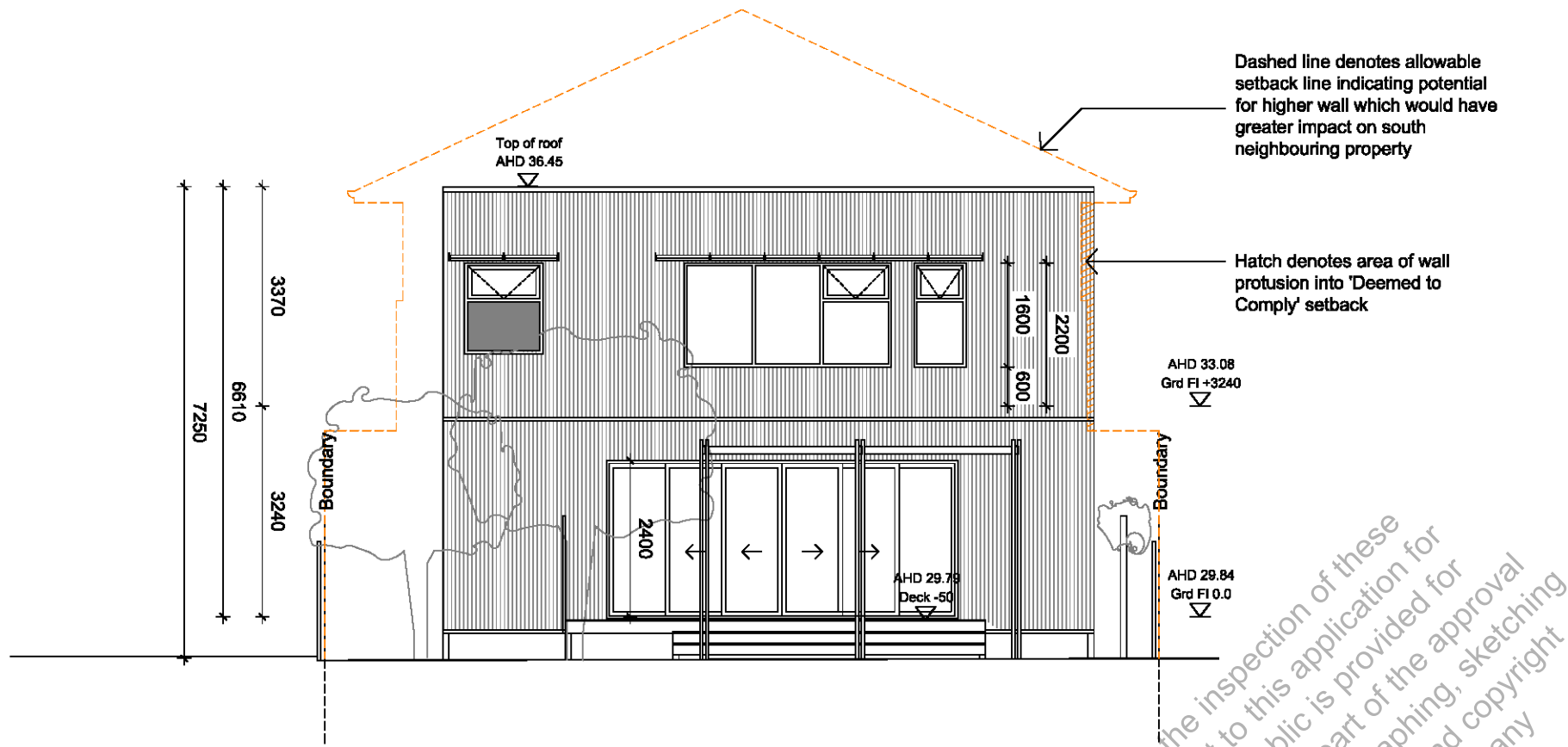
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DRAWING
ELEVATIONS

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FEBRUARY 2025

A11



01 EAST ELEVATION - Planning overlay
1:100

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31 July 2025

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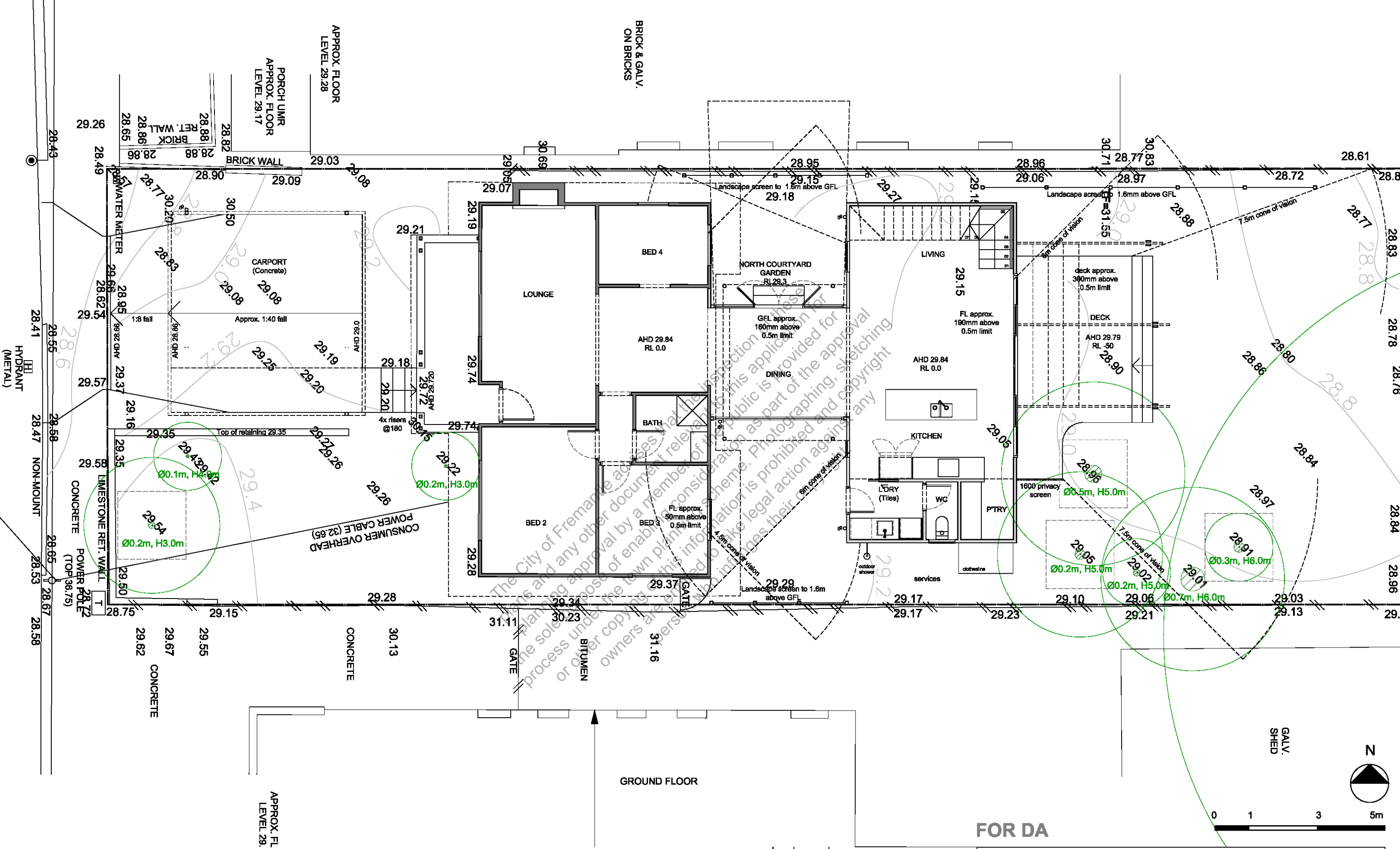
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ELEVATION
PLANNING OVERLAY

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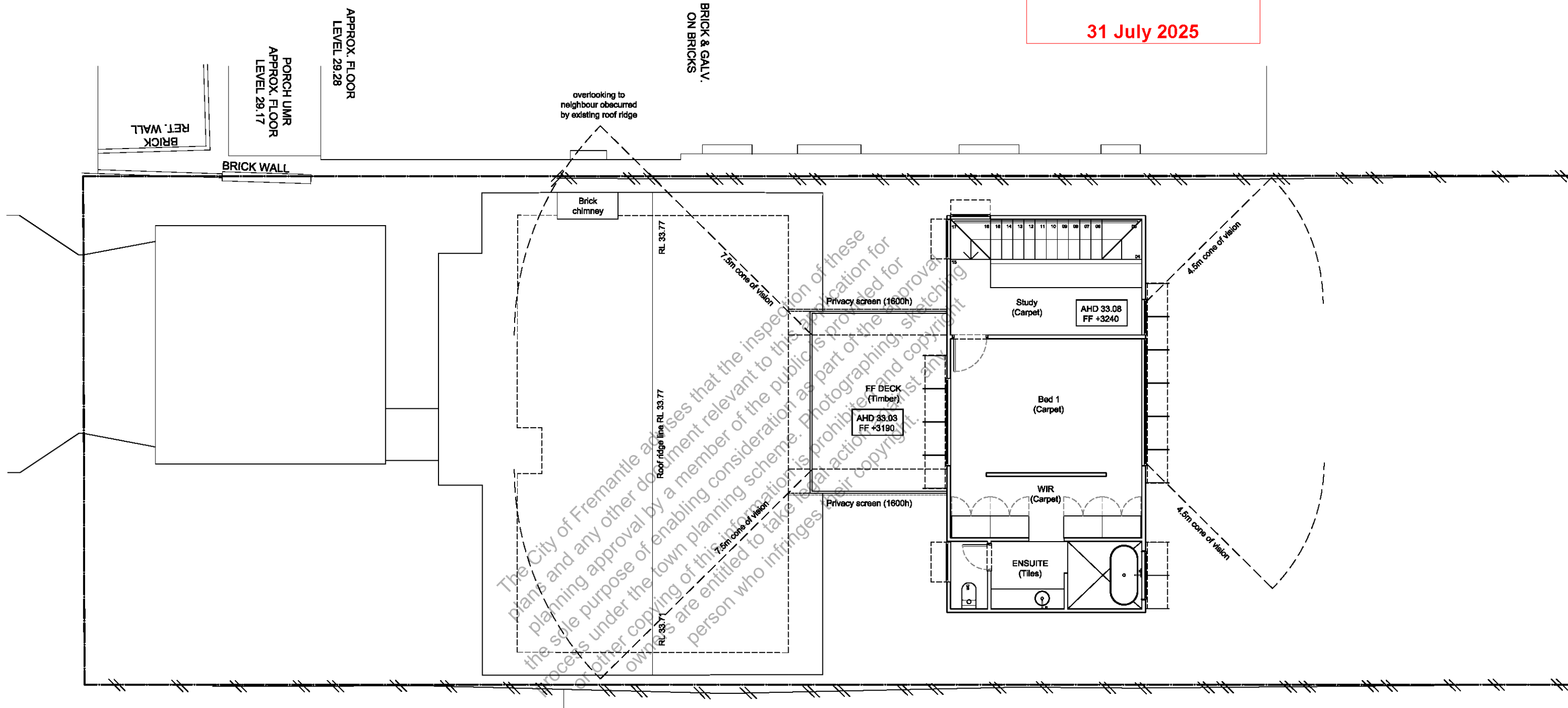
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OVERLOOKING
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FEBRUARY 2025
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CONCRETE

CONCRETE

GATE

BITUMEN

APPROX. FLOOR
LEVEL 29.85

GROUND FLOOR

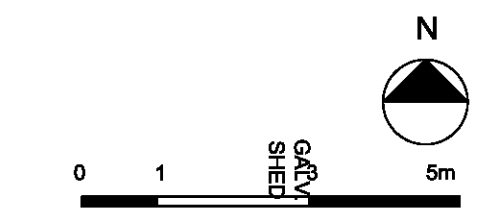
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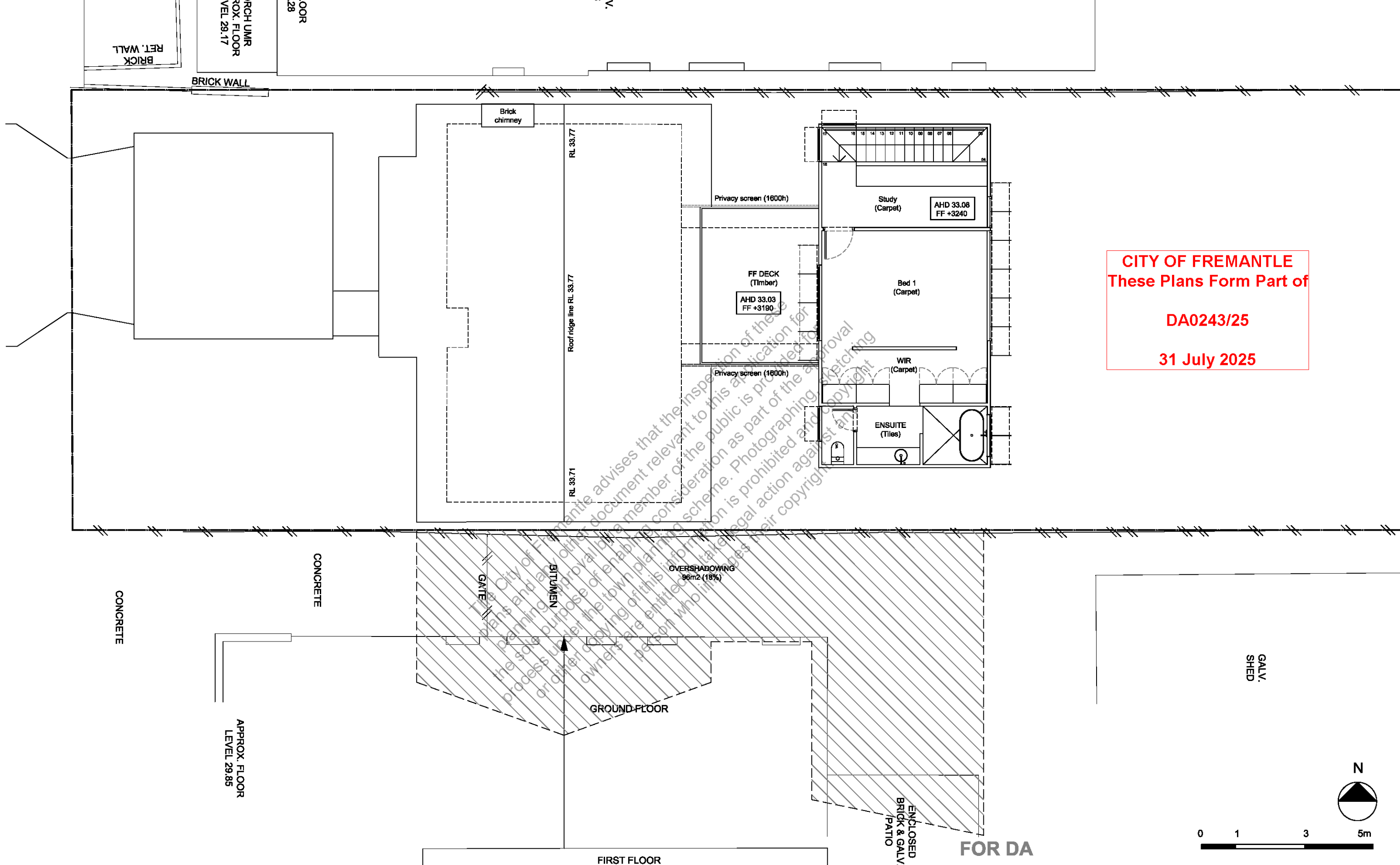
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