



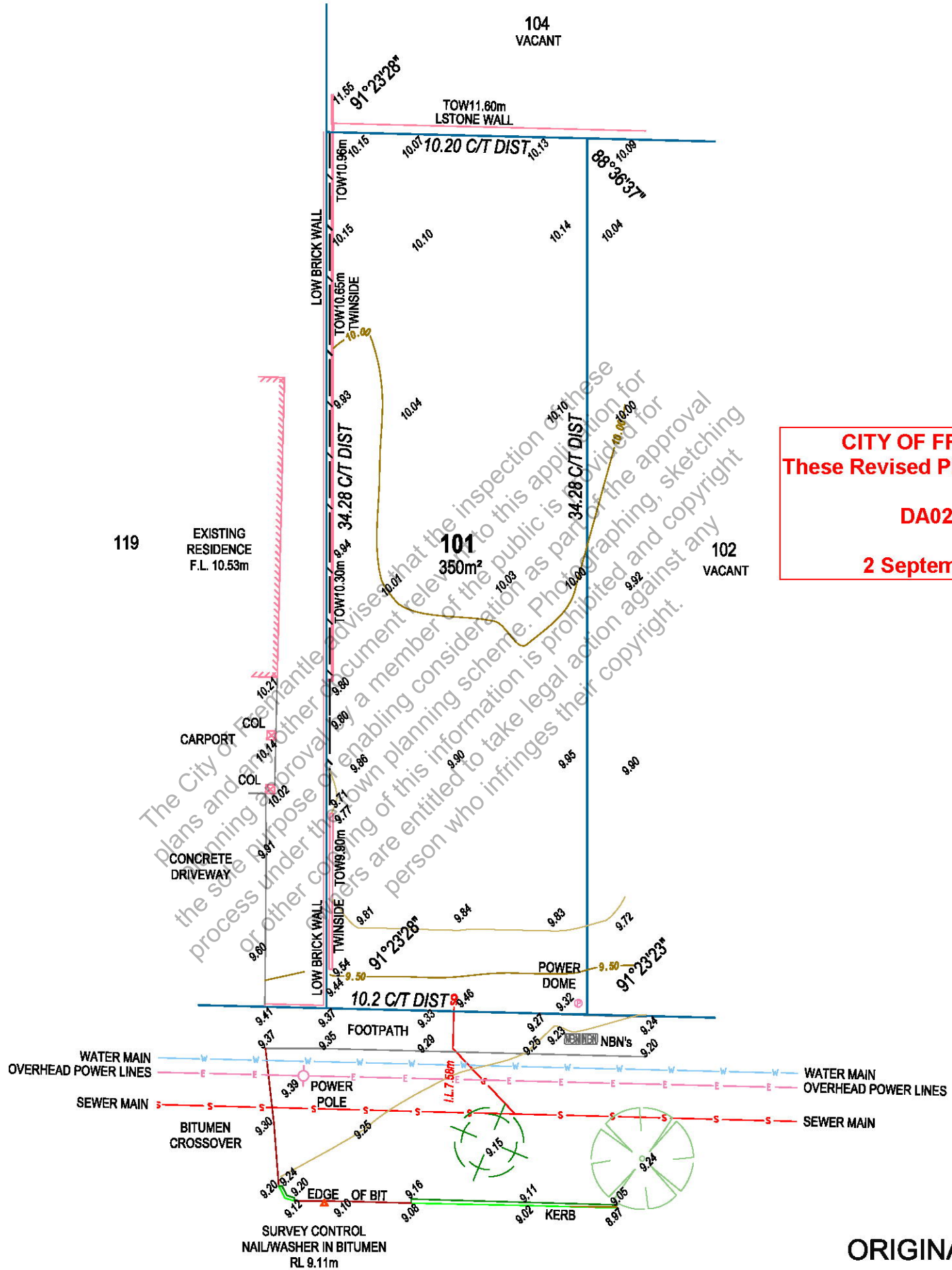
DISCLAIMER:
Due to lack of survey marks/pegs, all building offset dimensions & features are approximate only and positioned from existing fences and walls which may not be on the correct alignment and are to be verified when repegged. Any design that involves additions to any structures shown or portion of structures remaining after any demolition has taken place requires boundaries to be repegged and exact offsets provided to your designer/architect before any plans are produced and before any work is started on site.

DISCLAIMER:
Brook and Marsh Licensed Surveyors accept no responsibility for any physical on site changes to the parcel or portion of the parcel of land shown on this survey including any adjoining neighbour's levels and features that have occurred after the date of this survey.

DISCLAIMER: 13/06/2025
Sewer and Water details plotted from information supplied by Water Corporation and is approximate only.

DISCLAIMER:
Survey shows visible features only and will not show locations of underground pipes or conduits for internal or mains services. Verification of the location of all internal and mains services should be confirmed prior to finalisation of any design work.

DISCLAIMER: 10/08/2025
Coords are assumed.
A.H.D. derived from sewer m/h lid AA1169 (Lid RL 8.57m).



CITY OF FREMANTLE
These Revised Plans Form Part of
DA0244/25
2 September 2025

LEGEND

- TREE (LARGER SYMBOL DENOTES LARGER CANOPY)
- SURVEY CONTROL
- FENCE LINE

JEAN STREET

ORIGINAL SITE PLAN

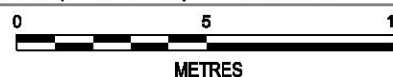
SHEET NO.
1 OF 3



DRAWN B.K.
SURVEYED A.R.
CONTOUR INTERVAL 0.25m
DATUM A.H.D. (SEWER LID)
JOB NUMBER 25153
DATE 13/06/2025
SCALE 1:200
COORD SYS. ASSUMED

**LEVEL AND FEATURE SURVEY OF
LOT 101 ON DP426913
JEAN STREET, BEACONSFIELD**

SHEET 1 of 1



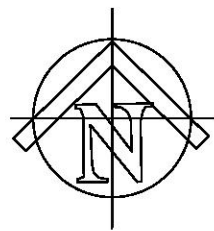
CLIENT
ASSETBUILD

REV.
00

DRAWING FILE. 25153 LF - Drawing001

A3

REV	DATE	REVISION DETAILS



LOT 101
350m²

ZONING R20/25

DEVELOPMENT
APPROVAL
REQUIRED

BAL -

BAL NOT APPLICABLE
TO THIS LOT

NOTE:
UNLESS OTHERWISE
NOTED C.L. @ 28c

NOTE:
3kW SOLAR PV
SYSTEM BY OWNER

119

EXISTING
RESIDENCE
F.L. 10.53m

NOTE:
WRITTEN JUSTIFICATION
REQUIRED FOR PROPOSED
CODE VARIATION AGAINST
R-CODES DESIGN PRINCIPLE

5.1.3 - LOT BOUNDARY
SETBACKS

CARPORT

CONCRETE
DRIVEWAY

NOTE:
WRITTEN JUSTIFICATION
REQUIRED FOR PROPOSED
CODE VARIATION AGAINST
R-CODES DESIGN PRINCIPLE

5.2.2 - GARAGE WIDTH

WATER MAIN
OVERHEAD POWER LINES

SEWER MAIN

BITUMEN
CROSSOVER

SURVEY CONTROL
NAIL/WASHER IN BITUMEN
RL 9.11m

KERBING TO BE MODIFIED
TO THE SATISFACTION OF
THE CITY OF FREMANTLE

PROPOSED CROSSOVER TO BE
CONSTRUCTED IN ACCORDANCE
WITH THE CITY OF FREMANTLE'S
GUIDELINES & SPECIFICATIONS

WATER MAIN
OVERHEAD POWER LINES

SEWER MAIN

FLOOR PLAN

Areas	
HOUSE	141.747
GARAGE / STORE	36.621
ALFRESCO	24.465
VERANDAH	5.696
	208.529 m²
PERIMETER ROOF AREA ON THE FLAT	62.560
	222.665

SITE COVERAGE: 179.37m² (51.25%)
OPEN SPACE: 170.63m² (48.75%)

NOTE:
WRITTEN JUSTIFICATION
REQUIRED FOR PROPOSED
CODE VARIATION AGAINST
R-CODES DESIGN PRINCIPLE

5.1.4 - OPEN SPACE

JEAN STREET

NOTES

CONFIRM ALL DIMENSIONS ON SITE
PRIOR TO COMMENCEMENT OF WORK.
REFER TO ENGINEER'S DRAWINGS FOR
STRUCTURAL AND CONCRETE WORK.
CONSTRUCTION DETAILS MAY VARY ON SITE
AT THE BUILDER'S OR OWNER'S DISCRETION.
DO NOT SCALE FROM DRAWINGS.

This drawings shall remain the sole property of
TECNICA DESIGNERS and must not be copied,
given, lent, resold, hired out or otherwise
disposed of without the written permission of
TECNICA DESIGNERS

DATE	STAGE	DRAWN
02/09/2025	C.O.F. AMENDS	M.M.
26/07/2025	AMENDS	M.M.
23/07/2025	AMENDS	V.T.
26/06/2025	PLNG-DRAWG	M.M.
22/05/2025	AMENDS	M.M.
07/05/2025	AMENDS	M.M.
ZONING: R20/25	VERSION: 009	

ADDRESS
LOT 101 JEAN STREET,
BEACONSFIELD

JOB NO.

2783 - 25

SHEET NO.

2 OF 3

SCALE 1:100

CITY OF FREMANTLE
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DA0244/25

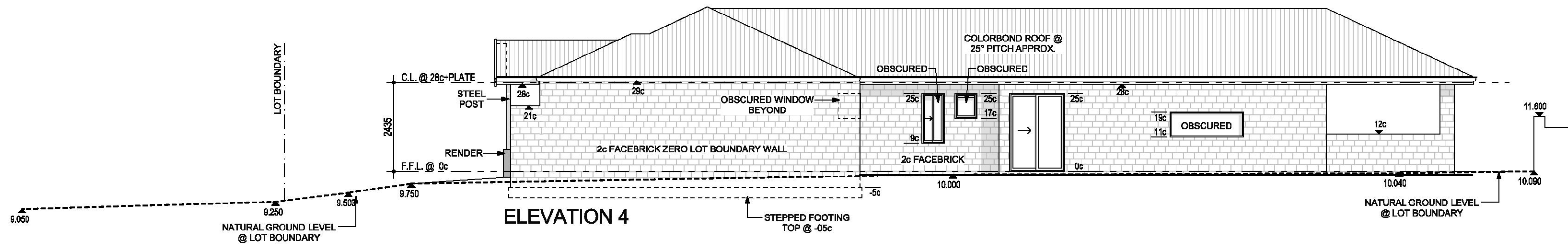
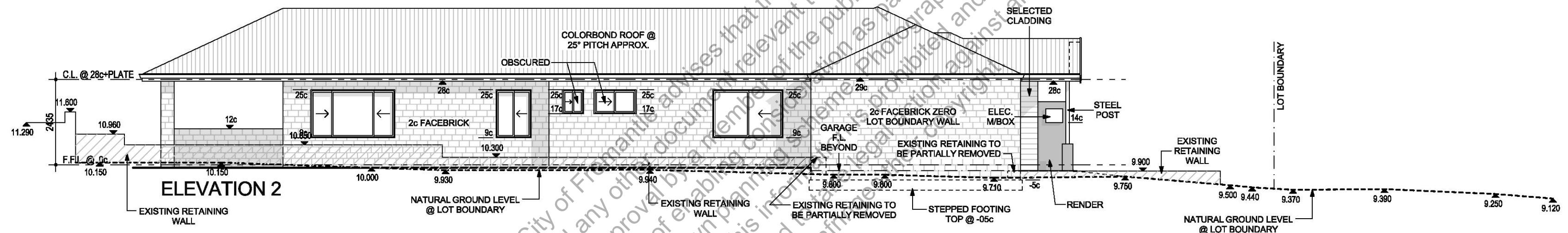
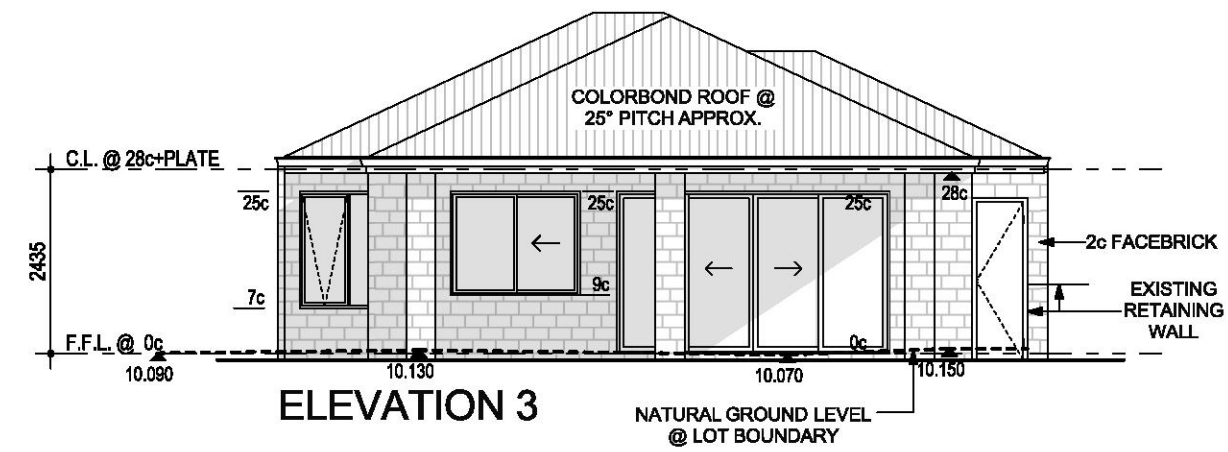
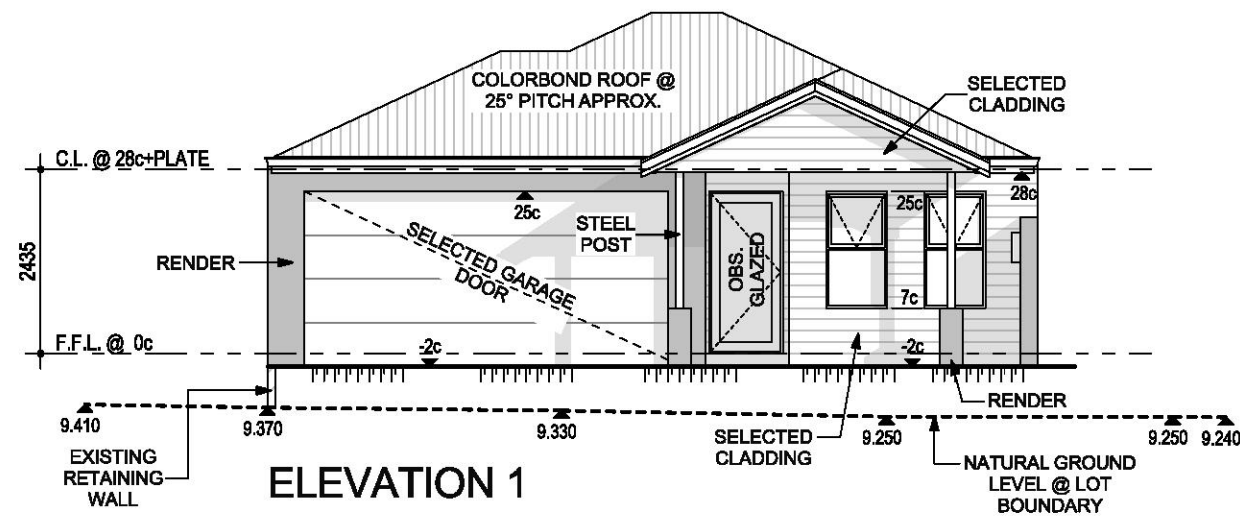
2 September 2025

3000L SLIMLINE
WATER TANK -
CONNECTED TO WC
OR LAUNDRY BY
OWNER

NOTE:
WRITTEN
JUSTIFICATION
REQUIRED FOR
PROPOSED
CODE VARIATION
AGAINST
R-CODES DESIGN
PRINCIPLE

5.1.3 - LOT BOUNDARY
SETBACKS

PLUMBER NOTE:
SEWER INVERT DEPTH
NOT AVAILABLE AT DATE OF
PRINTING - CONFIRM DEPTH
AND POSITION PRIOR TO
POURING OF CONCRETE SLAB



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BEACONSFIELD

JOB NO.
2783 - 25
SHEET NO.
3 OF 3
SCALE 1:100