



# Local Planning Policy 3.6

Heritage-protected Places  
Built Form and Land Use

<b>Citation .....</b>	<b>1</b>
<b>Introduction .....</b>	<b>1</b>
How to read this policy .....	1
<b>Objectives.....</b>	<b>2</b>
<b>Application of this Policy.....</b>	<b>2</b>
Related policies .....	2
<b>Policy Provisions.....</b>	<b>3</b>
1. Contributory places .....	3
2. Development Assessment .....	3
<b>Part 1: All Heritage-Protected Places.....</b>	<b>4</b>
3. Conservation (excludes non-contributory properties) .....	4
4. Change of Use (excludes non-contributory properties) .....	5
5. Demolition (excludes non-contributory properties) .....	6
6. Archaeology .....	7
7. Subdivision and Amalgamation .....	7
8. Additions and Alterations to All Contributory and Individually Listed Places.....	9
8.1 Primary street setbacks .....	9
8.2 Internal Alterations .....	9
8.3 General.....	13
8.4 Form .....	14
8.5 Chimneys.....	15
8.6 Roofs.....	16
8.7 Roof Plumbing .....	18
8.8 Wall Materials and Colours .....	19
8.9 Decorative Details .....	22
8.10 External fixtures .....	23
8.11 Outbuildings .....	23
8.12 Swimming pools and spas .....	23
8.13 Limestone features.....	24
<b>Part 2: Residential Building Typologies.....</b>	<b>25</b>
9. Additions and Alterations to All Contributory and Listed Residential Places ....	27
9.1 Siting, Setbacks and Scale .....	27
9.2 Verandahs, porches and awnings .....	32
9.3 Doors and Windows.....	33
10. Non-contributory Properties Including New Infill .....	35
10.1 Siting and Scale .....	35
10.2 Building Form .....	38
10.3 Materials, Colours and Detailing .....	38
10.4 Roofs.....	39
10.5 Verandahs / Porches / Awnings.....	39
10.6 Doors and Windows.....	39

11. Garages and Carports to All Residential Buildings .....	39
12. Fencing to All Residential Buildings.....	42
<b>Part 3: Industrial Building Typologies.....</b>	<b>44</b>
13. Industrial buildings in Fremantle .....	44
13.1 Conservation .....	46
13.2 Adaptive reuse.....	47
13.3 Siting .....	49
13.4 Form and scale .....	50
13.5 Details and materials.....	51
13.6 Services.....	52
13.7 Infill buildings.....	52
<b>Part 4: Commercial Building Typologies.....</b>	<b>54</b>
14. Commercial buildings in Fremantle .....	54
14.1 Conservation .....	56
14.2 Adaptive reuse.....	58
14.3 Verandahs.....	59
14.4 Shopfronts .....	59
14.5 Siting .....	61
14.6 Form and scale .....	62
14.7 Details and materials.....	63
14.8 Services.....	64
14.9 Infill buildings.....	65
<b>Part 5: Criteria for Specific Heritage Areas .....</b>	<b>66</b>
15. Hilton Garden Suburb Heritage Area .....	66
15.1 Street Setbacks .....	66
15.2 Garage width.....	67
15.3 Street walls and fences.....	68
15.4 Vehicle Access .....	69
15.5 Building Height .....	69
15.6 Boundary walls .....	70
15.7 Form and proportion of new dwellings .....	70
15.8 Conservation of existing dwellings.....	70
15.9 Rear lots .....	71
15.10 Non-residential development .....	71
15.11 Subdivision .....	71
16. West End .....	71
17. Other Heritage Areas.....	71
<b>Appendix 1 - Definitions .....</b>	<b>73</b>
<b>Appendix 2 – Diagrams .....</b>	<b>76</b>
<b>Appendix 2 – Common Heritage Building Diagrams .....</b>	<b>79</b>



# Heritage-protected Places Built Form and Land Use

## Citation

This is a Local Planning Policy prepared under Schedule 2 of the Planning and Development (Local Planning Schemes) Regulations 2015. This policy may be cited as Local Planning Policy 3.6 – Heritage-protected Places Built Form and Land Use (LPP 3.6).

## Introduction

The purpose of this policy is to outline the general assessment criteria for development proposals for properties subject to heritage area protection, and their relationship with more detailed area-specific policies and plans applicable to individual heritage areas.

The Policy Provisions are split into five parts:

**Part 1** applies to all heritage-protected places.

**Part 2** applies to all heritage-protected places with a residential built form.

**Part 3** applies to all heritage-protected places with an industrial built form.

**Part 4** applies to all heritage-protected places with a commercial built form.

**Part 5** applies to specific heritage areas.

Where Part 5 criteria is inconsistent with Parts 1-4, Part 5 prevails to the extent of any inconsistency.

## How to read this policy

If your property is...	Then...
In the Hilton Heritage Area	Refer to Part 5. If any element is not addressed in Part 5, (ex: external doors, verandahs, etc.) refer to the general criteria in Parts 1 & 2.
Within another Heritage Area listed in Part 5 of this policy	Deemed-to-comply primary street setbacks are provided in Part 5. For all else, refer to the general criteria in Part 1, and Parts 2-4 based on your building typology.
Not within a Heritage Area listed in Part 5 of this policy, and neither contributory nor individually listed	Refer to clauses 2, 6 and 7. Then clauses 10-12 for residential typologies, or Parts 3 or 4 for Commercial or Industrial typologies.
Not within a Heritage Area listed in Part 5 of this policy, but is contributory and/or individually listed	Refer to Part 1, then Parts 2-4 based on your building typology.

## Objectives

The objectives of the policy are to ensure that:

1. A consistent approach is applied to the assessment of heritage significance and impact for individual places and areas.
2. Development is undertaken in a sympathetic manner which does not cause loss of historic cultural heritage significance.
3. Development acknowledges, maintains and enhances the heritage significance of the place or area and is consistent with the principles of development set out within the policy.
4. Key features which contribute to an understanding of cultural heritage significance of a place or an area are retained and enhanced.
5. Development within heritage-protected places responds to the specific characteristics of an individual heritage place and/or area as outlined in the area's statement of significance.
6. New development in Heritage Areas is designed appropriately for its context and reflects and responds to the significance of the area.
7. Existing places and fabric located in Heritage Areas which are, or may become, of cultural heritage significance are protected until such time as mapping of Contributory Places has been completed and any significant fabric added to the Heritage Area mapping and/or the Local Heritage Survey, or as otherwise determined by Council upon planning application.

## Application of this Policy

This policy applies to all heritage-protected places as defined in the *Planning and Development (Local Planning Schemes) Regulations 2015* (the Regulations) within the scheme area.

### Related policies

This policy works in conjunction with the following local planning policies:

- LPP 1.6: Heritage Administration and Procedures, which outlines the City's broad approach to heritage assessment and protection;
- LPP 1.7: Development Exempt from Approval Under Local Planning Scheme No. 4, which describes where development to a heritage-protected place does not require development approval;
- LPP 3.6.1: Heritage Areas Listings, which identifies the heritage area boundaries of each area, its statement of significance, and a list of properties identified as being contributory (where such process has been carried out);
- Any other local planning policy, conservation plan or local development plan that relates specifically to an area.

Where a more specific local planning policy, conservation plan, structure plan or local development plan relating to heritage exists for a heritage area or place (such as LPP 3.21: West End Heritage Area), that policy or plan prevails over these more general heritage provisions. Otherwise, this policy prevails over other local planning policies to the extent of any inconsistency.

# Policy Provisions

## 1. Contributory places

Places within heritage areas can be defined as either ‘contributory’ or ‘non-contributory’ to the significance of the area. Contributory places may include places which are not individually heritage listed. Contributory places are determined by Council having due regard to an assessment against the criteria of the Burra Charter<sup>1</sup> and may include representative examples of a place type, period or style, places which contribute to the streetscape; and/or one which combines with other related places to demonstrate the historic development of a heritage area.

Where mapping of contributory places has not been undertaken for a Heritage Area, or has not been completed due to the inaccessibility of the site or the inability to fully reveal the existence of potentially fabric of cultural significance, this will be assessed upon planning application.

## 2. Development Assessment

### 2.1 Development Application Requirements

Refer to Local Planning Policy 1.6: Heritage Administration and Procedures, for information on the following additional application requirements:

- A streetscape and/or landscape analysis may need to accompany any application for development in a heritage area that is visible from the street or public realm.
- Additional information required for treatments to external surfaces of a Level 1 or 2 heritage listed building.

### 2.2 Principles for Development to Places and Areas

Fundamentally, development of a place or area should acknowledge, maintain and enhance, the heritage significance of the place or area as set out below:

Theme	Non-Contributory	Contributory Places	Listed Places
Heritage fabric	N/A	Retain and conserve and restore significant places, fabric and elements of the <b>original building exterior</b> , whilst supporting their continued use.	Retain, conserve or restore significant places, fabric and elements of the place, whilst supporting their continued use.
Pattern of development	Where visible from the public realm, recognise and respond sympathetically to the traditional pattern of development of the historic streetscape without attempting faux heritage.	Recognise and respond to the traditional pattern of development of the place or area.	Recognise and respond to the traditional pattern of development of the place.

<sup>1</sup> Refer Local Planning Policy 1.6 – Heritage Administration and Procedures

Theme	Non-Contributory	Contributory Places	Listed Places
Traditional character	<p>Where visible from the public realm, reflect the traditional streetscape and character of the area (or, where this is very significantly modified, the prevailing streetscape), taking into consideration:</p> <ul style="list-style-type: none"> <li>a) Siting and scale of development</li> <li>b) Form of development</li> <li>c) Traditional elements including: <ul style="list-style-type: none"> <li>i. Roofs;</li> <li>ii. Verandahs, porches and awnings;</li> <li>iii. Windows and doors;</li> <li>iv. Chimneys;</li> <li>v. Materials, colour and detailing;</li> <li>vi. Fencing.</li> </ul> </li> </ul>	<p>Where affecting the <b>original building exterior</b>, reflect the traditional streetscape and character of the place or area (or, where this is significantly modified, the prevailing streetscape), taking into consideration:</p> <ul style="list-style-type: none"> <li>a) Siting and scale of development</li> <li>b) Form of development</li> <li>c) Traditional elements including: <ul style="list-style-type: none"> <li>a. Roofs;</li> <li>b. Verandahs, porches and awnings;</li> <li>c. Windows and doors;</li> <li>d. Chimneys;</li> <li>e. Materials, colour and detailing;</li> <li>f. Fencing.</li> </ul> </li> </ul>	<p>Reflect the traditional streetscape and character of the place, taking into consideration the same criteria as for contributory places.</p>

In larger and more diverse heritage areas and places with higher level significance, more site-specific consideration with higher degrees of restriction is applicable for more significant and intact parts.

## Part 1: All Heritage-Protected Places

*For contributory properties, this part only applies where development affects the **original building exterior**. For individually listed properties, this part applies to the whole of the place.*

### 3. Conservation (excludes non-contributory properties)

Conservation is the process of managing change to a place in such a way that its cultural heritage significance is retained. This involves routine care and maintenance but may also require more significant adaptation at some stages of a building's life. Conservation means all the processes of looking after a place to retain its cultural significance and can include maintenance, preservation, restoration, reconstruction and adaptation. It is recognised that adaptation of heritage buildings for appropriate new uses is an important way of ensuring their continued viability and safeguarding their long-term future. However, the need for change should always respect the underlying requirement to conserve heritage significance.

The conservation of historic limestone and early brick buildings requires particular care and skills. Technical advice sheets are available on the City's website, which provide further guidance on conservation practices.

#### 3.1 Conservation Criteria

- 3.1.1 Retain and conserve form, fabric and elements of the original building exterior, whilst supporting their continued use.
- 3.1.2 Conservation of a place should identify and take into consideration all aspects of cultural and natural significance without unwarranted emphasis on any one value at the expense of others. Conservation work should ensure that the heritage fabric and other values are well maintained.
- 3.1.3 Traditional techniques and materials should be used for the conservation of significant fabric. In some circumstances modern techniques and materials which offer substantial conservation benefits and have been demonstrated not to damage significant building fabric may be appropriate on the advice of the City.
- 3.1.4 Preservation is appropriate where the existing fabric or its condition constitutes evidence of cultural heritage significance, or where insufficient evidence or investigation has been carried out to allow an informed approach to restoration and reconstruction.
- 3.1.5 Restoration is appropriate only if there is sufficient evidence of an earlier state of the fabric.
- 3.1.6 Reconstruction is appropriate only where a place is incomplete through damage or alteration, and only where there is sufficient evidence to reproduce an earlier state of the fabric. It should be identifiable on close inspection or through additional interpretation.
- 3.1.7 Whilst new work should be identifiable, it should also:
  - a) Not adversely affect the setting of the place.
  - b) Have minimal impact on the cultural significance of the place.
  - c) Not distort or obscure the cultural significance of the place, or detract from its interpretation and appreciation.
  - d) Respect and have minimal impact on the cultural significance of the place.
- 3.1.8 Brick and limestone walls constructed prior to 1950 are not to be painted with acrylic paints or rendered with cement render or other impervious materials such as sealers because this can damage the fabric and contribute to rising damp.
- 3.1.9 Building maintenance should seek to avoid the removal of, or damage to, the existing fabric of the building or the use of new materials.
- 3.1.10 Repairs, including replacing missing or deteriorated fabric with like-for-like fabric should not involve damage to the significant fabric of the building.
- 3.1.11 Replacement of utility services should use existing routes or voids that do not involve the removal of, or damage to, the significant fabric of the building.
- 3.1.12 Excavation for the purpose of exposing, inspecting, maintaining or replacing utility services is not to affect archaeological remains.
- 3.1.13 Removal of significant landscaping is to be avoided as it may impact the heritage significance of the place.

#### **4. Change of Use (excludes non-contributory properties)**

The use of a heritage place, or a group of places within a heritage area is often intrinsically linked to its historical evolution and heritage significance. Generally, the retention of original or long-associated uses is encouraged. However, it is acknowledged that, as places evolve over time, the use of heritage places may also need to change. An empty, disused heritage place is more likely to deteriorate at a quicker rate, be subject to vandalism and lose its relevance to the local community. As such, one of the most effective ways to retain the heritage significance of a place or a heritage area is to ensure it has an ongoing, compatible



and viable use. Some new uses may not be appropriate for a place if the amount of adaptation required will result in the loss of significant heritage fabric or important heritage values. Introducing new building services as part of a use change can potentially disturb large portions of significant fabric and it is important that these are carefully considered when adapting places of heritage significance for new purposes.

#### 4.1 Change of Use Criteria

- 4.1.1 The continuation of uses, or reinstatement of previous historic uses that are of cultural heritage significance and consistent with the zoning of the land, or are approved non-conforming uses, are the preferred form of conservation except for cases where the original use has evolved so much that the accommodating this will result in the loss of significant heritage fabric and values.
- 4.1.2 Where continuation of a culturally significant use is not feasible, ensure a compatible use is sought that minimises alteration to the place, setting and streetscape.
- 4.1.3 Interpret earlier uses where those uses were significant to the heritage of the place and/or area.
- 4.1.4 Where a place has historically been accessible to the public, any change of use should consider the continuation of public accessibility in some form or publicly accessible interpretation.
- 4.1.5 Should new services be required for a change of use for a heritage place, conceptual details of new services should be submitted at development application stage. New building services should be designed and integrated to minimise any impact on the significant fabric.

### 5. Demolition (excludes non-contributory properties)

Demolition is a permanent change that cannot be reversed. Even removal of places with lower levels of individual heritage significance in an area or minor fabric of a place can cumulatively undermine the significance of a heritage place or area.

Demolition of any building or structure, or part thereof, on any heritage-protected place (including non-contributory buildings in a Heritage Area) requires development approval under the Local Planning Scheme unless otherwise exempt in Local Planning Policy 1.7: Development Exempt from Approval Under Local Planning Scheme No. 4.

In considering a proposal for demolition on any site in a Heritage Area where the mapping of contributory places has not been completed and/or is incomplete, the local government shall determine whether any fabric located thereon qualifies as a contributory place as part of the development application assessment process. Applications will be assessed against Clause 4.14 of Local Planning Scheme No. 4 with the following providing additional guidance.

#### 5.1 Demolition Criteria

- 5.1.1 Demolition or removal of culturally significant fabric or a place is contrary to the principles and objectives of this policy and the scheme. The following factors are not considered justification for demolition:
  - a. economic or other perceived gain from the redevelopment of the land;
  - b. poor condition resulting from the place not being properly maintained; and/or
  - c. the presence of hazardous materials, such as asbestos.
- 5.1.2 When considering partial demolition, the original / early portion of the place is to be retained and conserved. For contributory properties, this relates only to the **original**

**building exterior.** For individually listed properties, this relates to the whole of the place.

- 5.1.3 Facadism, where all building fabric is removed apart from the façade, is not supported due to the loss of significant historic meaning and heritage value.
- 5.1.4 The removal and replacement of asbestos or other hazardous materials should be followed immediately by replacement with a matching (but non-hazardous) material. For example, flat asbestos wall sheeting with joint cover battens should be replaced with flat fibre cement sheeting with joint cover battens in the same configuration; a replacement with timber weatherboards or fibre cement weatherboards would not be considered to be a matching material.
- 5.1.5 Where demolition is approved, an archival record prepared in a format approved by the City may be required as a condition of planning approval.

## **6. Archaeology**

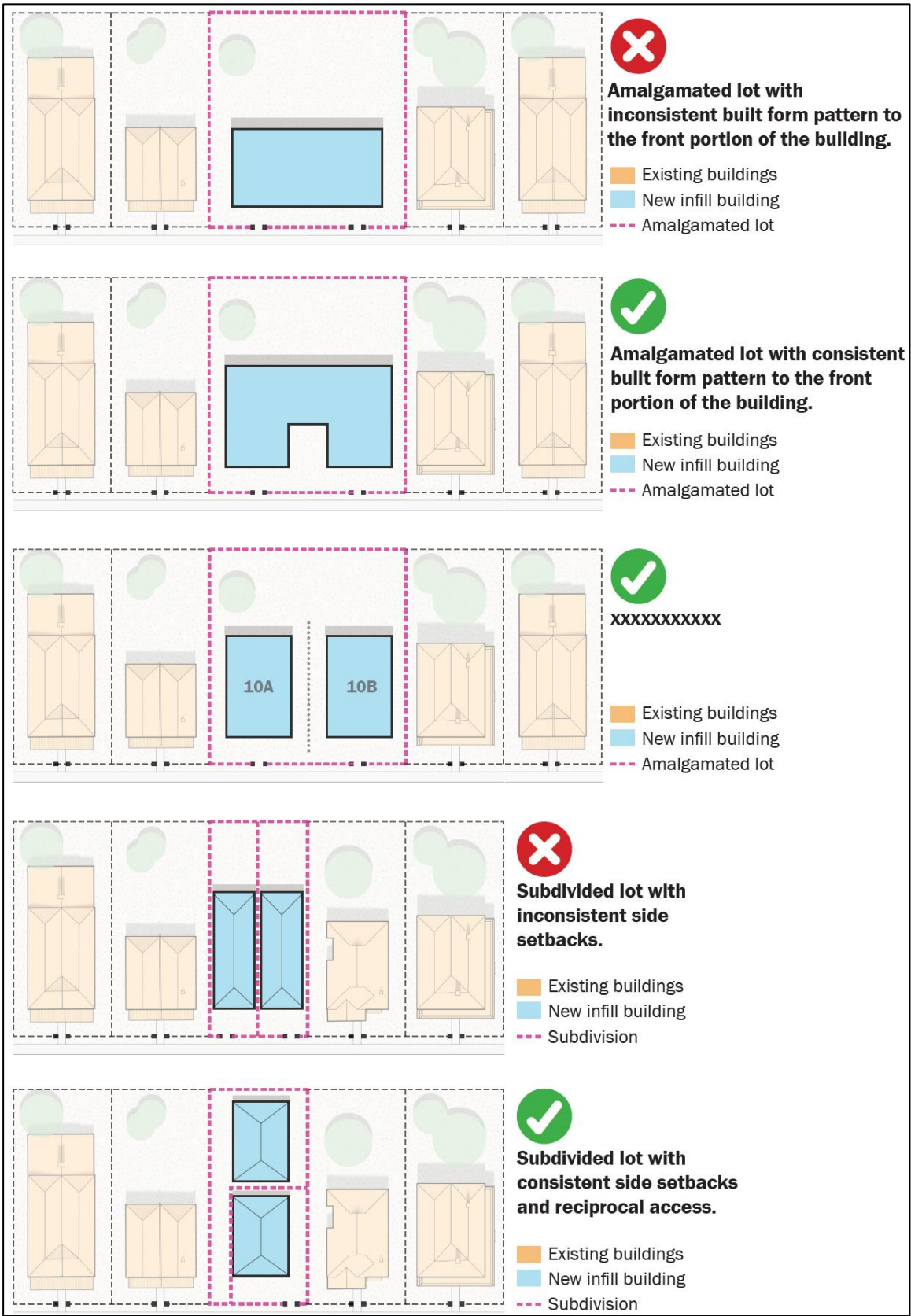
- 6.1 Where reasonable evidence exists that undisturbed archaeological material exists on a site on the Heritage List or in a Heritage Area, and where that material may be disturbed or destroyed as part of proposed building works, then an archaeological investigation will be required undertaken to the Council's satisfaction prior to the commencement of building work. Refer to Local Planning Policy 1.6: Heritage Administration and Procedures for further information.

## **7. Subdivision and Amalgamation**

The significance of a heritage place or area relies in part on the original setting and context of each building, inclusive of the pattern of development along the street. Subdivision and amalgamation can, therefore, have an impact on the cultural heritage significance of a heritage place or area. In providing advice to the Western Australian Planning Commission on subdivision applications referred to the City of Fremantle for comment, the City will have regard to the following matters.

### **7.1 Subdivision and Amalgamation Criteria**

- 7.1.1 Proposals are not to necessitate the demolition of a place by proposing new lot boundaries which cut through a significant building or structure.
- 7.1.2 The alignment of new lot boundaries is to ensure places are conserved with sufficient curtilage around them to maintain their significance and contribution to the heritage character of the place and streetscape.
- 7.1.3 The alignment of new lot boundaries is to ensure places will not require the blocking up of doors or windows that would compromise their use or significance.
- 7.1.4 Proposed subdivision layouts, even for non-contributory properties, are to reflect the traditional pattern and proportions of lots in the area. Consideration may be given to the introduction of new forms (e.g. battleaxe lots) where such a layout helps preserve the heritage character of the streetscape, or within zoned Development Areas.
- 7.1.5 Access legs for battleaxe or survey strata subdivision shall provide reciprocal access to both the front and rear lots. Where such an arrangement is proposed, the City will recommend a condition of subdivision be imposed ensuring reciprocal rights of access.
- 7.1.6 New lots are to be capable of being developed in a manner consistent with this policy.



**Figure Series 1: Subdivision and amalgamation layouts**

## 8. Additions and Alterations to All Contributory and Individually Listed Places

When making alterations or additions to places, the outcome should enhance the cultural heritage significance of the place (whether this significance is individual to the site, or part of the broader significance of the area) or, at the least, not diminish it. This generally involves changing as little as possible but as much as necessary in order to retain the cultural heritage significance of the place and maintain its utility. Because the significance of each individual place and its context is different, assessment of the suitability of proposals requires that each proposal be assessed on its own merits.

### 8.1 Primary street setbacks

No additions or buildings to be located within the primary street, in front of a place, or within an established street setback area unless reinstating an original feature in the original architectural style or set out elsewhere in this policy (ex: carports, fences, etc.).

### 8.2 Internal Alterations

Item	Contributory	Level 3	Level 2	Level 1A and 1B
i. Interiors	Conservation of original interior detailing is encouraged.	Internal changes may be considered. Conservation of original interior detailing is encouraged as a positive heritage outcome.	Non-structural minor internal changes may be considered on a case by case basis. Conservation of original interior detailing is required.	
ii. Historic patterns of access and movement	N/A	Historic patterns of access and movement are encouraged to be retained and conserved (for example, original entrances and hallways).	Historic patterns of access and movement should be retained and conserved (for example, original entrances and hallways).	
iii. Ceilings, cornices, moldings, roses, etc.	Conservation of original interior ceilings, cornices, moldings, roses, etc. is encouraged.	a) Retention and conservation of early ceilings (such as lathe and plaster ceilings), decorative cornices, moldings, ceiling roses, etc. is encouraged. b) New decorative cornices, moldings, ceiling roses, etc. should be based on evidence from	a) Retain and conserve early ceilings (such as lathe and plaster ceilings), decorative cornices, moldings, ceiling roses, etc. b) Replacement decorative cornices, moldings and ceiling roses should be based on evidence from the place.	

Item	Contributory	Level 3	Level 2	Level 1A and 1B
		the place or on buildings of a similar period, style, original socioeconomic level and location.		
iv. Walls and new openings	Conservation of original walls is encouraged.	<ul style="list-style-type: none"> <li>a) Retention and conservation of early walls is encouraged.</li> <li>b) New openings in walls are preferred over the removal of whole walls.</li> <li>c) Where new openings are proposed, wall nibs and down stands are to be retained.</li> </ul>	<ul style="list-style-type: none"> <li>a) Retain and conserve early walls.</li> <li>b) Do not remove whole walls.</li> <li>c) New openings in walls are to be kept to a minimum in number and size and to be non-structural.</li> <li>d) Where new openings are proposed, wall nibs and down stands are to be retained.</li> </ul>	<ul style="list-style-type: none"> <li>a) Retain and conserve early walls.</li> <li>b) Do not remove whole walls.</li> <li>c) New openings in walls will only be considered in exceptional circumstances and where there are no other alternative.</li> <li>d) New openings in walls are to be kept to a minimum in number and size and to be non-structural.</li> <li>e) Where new openings are proposed, wall nibs and down stands are to be retained.</li> </ul>
v. Wall detailing	Early wall finishes and elements such as skirtings, timber panelling and picture rails are encouraged to be retained and conserved.		Retain and conserve early wall finishes and elements such as skirtings, timber panelling and picture rails.	
vi. Render and painting	It is encouraged to avoid introducing cement render/plaster and acrylic paints to walls that are not rendered, unpainted or have lime plaster	Avoid introducing cement render/plaster and acrylic paints to walls that are not rendered, unpainted or have lime plaster and /or limewash or mineral paint as this	Do not introduce cement render/plaster and acrylic paints to walls that are not rendered, unpainted or have lime plaster and /or limewash or mineral paint as this can cause damp issues for the building.	

Item	Contributory	Level 3	Level 2	Level 1A and 1B
	and /or limewash or mineral paint as this can cause damp issues for the building.	can cause damp issues for the building.		
vii. Wall vents	Wall vents are encouraged to be retained, conserved or reinstated.		Wall vents are to be retained, conserved or reinstated.	
viii. Replacement elements	N/A where internal works do not have any impact on the original building exterior.	Replacement elements are to be based on evidence from the place or on buildings of a similar period, style, original socioeconomic level and location.	Replacement elements are to be based on evidence from the place.	
ix. Doors	N/A where internal works do not have any impact on the original building exterior.	Internal doors can be altered, blocked and new openings introduced in most circumstances.	Internal original / early doors can be altered, blocked and new openings introduced occasionally in certain circumstances.	Internal original / early doors are not to be altered.
x. Floors	It is encouraged not to replace timber floor structures with concrete floors as this can cause rising damp and airflow issues for the building.	<ul style="list-style-type: none"> <li>a) Retain and conserve early timber floor structure and timber floorboards.</li> <li>b) Do not replace timber floor structures with concrete floors as this can cause rising damp and airflow issues for the building.</li> <li>c) The retention and conservation of significant early floor finishes such as terrazzo and tessellated tiling is encouraged.</li> </ul>	<ul style="list-style-type: none"> <li>a) Retain and conserve early timber floor structure and timber floorboards.</li> <li>b) Do not replace timber floor structures with concrete floors as this can cause rising damp and airflow issues for the building.</li> <li>c) Retain and conserve significant early floor finishes such as terrazzo and tessellated tiling is encouraged.</li> <li>d) New floor finishes may be placed over existing early timber floors, though these new finishes</li> </ul>	

Item	Contributory	Level 3	Level 2	Level 1A and 1B
		d) New floor finishes may be placed over existing early timber floors, though these new finishes are not to cause damage to the timber floors below.	are not to cause damage to the timber floors below.	
xi. Staircases	It is encouraged to retain original staircases.	Original / Early staircases are to be retained and conserved rather than replaced. Removal may only be considered in exceptional circumstances where no alternative is possible.	Original / Early staircases are to be retained and conserved rather than replaced. If not building code compliant, then sensitive adaptation is to be undertaken rather than replacement.	
xii. Fireplaces	It is encouraged to retain fireplaces, hearths and mantels.	Fireplaces, hearths and mantels are to be retained and conserved. If no longer operational, fireplace, hearth and mantel elements are to remain in situ. If fireplace is to be blocked then this is no be done in a non-intrusive and non-visible manner. Removal may be considered in exceptional circumstances, however, the chimney is to be retained.	Fireplaces, hearths and mantels are to be retained and conserved. If no longer operational, fireplace, hearth and mantel elements are to remain in situ. If fireplace is to be blocked then this is no be done in a non-intrusive and non-visible manner.	
xiii. Stained glass	It is encouraged to retain internal stained glass. Where stained glass is on an external window and forms part of the original building exterior, it is to be retained.	Damaged glass is encouraged to be repaired.	Damaged glass is to be repaired rather than replaced. If replacement is necessary, it must match the original design and craftsmanship.	
xiv. Cabinetry, fixtures, fittings, light	It is encouraged to retain early cabinetry, fixtures, fittings, light	a) Original / Early cabinetry, fixtures, fittings, light fittings, switches, door and window	a) Original / Early cabinetry, fixtures, fittings, light fittings, switches, door and window hardware are to be retained and conserved.	



Item	Contributory	Level 3	Level 2	Level 1A and 1B
fittings, switches, door and window hardware	fittings, switches, door and window hardware.	hardware are to be retained and conserved. b) Replacement elements are to be based on evidence from the place or on buildings of a similar period, style, original socioeconomic level and location.	b) Replacement elements are to be based on evidence from the place.	
xv. Internal services	It is encouraged not to chase new services into original/early brick and limestone walls; instead run new services through surface mounted conduits, existing service runs, masonry and timber framed wall cavities, under floor spaces and/or ceiling spaces.	Do not chase new services into original/early brick and limestone walls; instead run new services through surface mounted conduits, existing service runs, masonry and timber framed wall cavities, under floor spaces and/or ceiling spaces.		

### 8.3 General

Item	Contributory	Level 3	Level 2	Level 1A and 1B
i. Additions and alterations	Alterations and additions to the <b>original building exterior</b> are to respond sympathetically to the heritage values of the area as a whole and that part of the heritage area in the vicinity of the proposed development, with changes designed and sited in a manner that retains, conserves, respects and complements the heritage significance of the area.	All alterations and additions are to respond sympathetically to the heritage values of the place, with changes designed and sited in a manner that retains, conserves, respects and complements the heritage significance of the place.		
ii. Significance	Alterations and additions to the <b>original building exterior</b> are to change as little as reasonably possible that would impact the streetscape significance.	All alterations and additions are to change as little as reasonably possible that would impact the significance of the place.		



Item	Contributory	Level 3	Level 2	Level 1A and 1B
iii. Restoration	Where it can be demonstrated that original fabric of the <b>original building exterior</b> has been previously removed or unsympathetically altered, then the fabric is to be restored / reconstructed to the original form and detailing based on evidence such as photographs, old plans, or remnant fabric from the existing place or on buildings of a similar period, style, original socioeconomic level and location.	Where it can be demonstrated that original fabric of a place has been previously removed or unsympathetically altered, then the fabric is to be restored / reconstructed to the original form based on evidence such as photographs, old plans, or remnant fabric from the existing place or on buildings of a similar period, style, original socioeconomic level and location.		

#### 8.4 Form

The form of the building is its overall shape, size and the general arrangement of its main parts.

Item	Contributory	Level 3	Level 2	Level 1A and 1B
i. General	Ensure that new development to the <b>original building exterior</b> is consistent with the predominant form of the place or similar contributory places in the prevailing streetscape, including roof orientation, pitch, ridge height, size and orientation of windows, and eaves overhangs but without mimicking the detailing of historic buildings.	Ensure that new development is consistent with the form of the original place, including roof orientation, pitch, ridge height, size and orientation of windows, and eaves overhangs but without mimicking the detailing of historic buildings.	Ensure that new development is consistent with the form of the original place, including roof orientation, pitch, ridge height, size and orientation of windows, and eaves overhangs but without mimicking the detailing of historic buildings.	
ii. Mock heritage	New development to the <b>original building exterior</b> is to blend in with the streetscape but be discernible as new when looked at more closely. 'Faux' or 'mock' heritage detracts	New development is to blend in with the place but be discernible as new when looked at more closely. 'Faux' or 'mock' heritage detracts from an understanding and appreciation of the original place and is contrary to the objectives and principles of this policy.		

Item	Contributory	Level 3	Level 2	Level 1A and 1B
	from an understanding and appreciation of the original place and is contrary to the objectives and principles of this policy.			
iii. Repetition and symmetry	Where the building form of the place is highly repetitive, symmetric and/or asymmetric, new development of the <b>original building exterior</b> should continue this pattern.	Where the building form of the place is highly repetitive, symmetric and/or asymmetric, new development is to continue this pattern.		
iv. Contemporary additions	Contemporary style additions to the <b>original building exterior</b> are to respond to, and interpret, the scale, articulation and detail of the existing and nearby places in a modern, innovative and sympathetic way.	Contemporary style additions are to respond to, and interpret, the scale, articulation and detail of the existing place in a modern, innovative and sympathetic way.		

### 8.5 Chimneys

Chimneys are an integral part of the streetscape and are a key element of many heritage buildings. Chimneys are an element that is far less common in modern day buildings.

Item	Contributory	Level 3	Level 2	Level 1A and 1B
i. Existing chimneys	All chimneys are to be retained and conserved.			
ii. New chimneys	Any new chimney should be simple in design.	Chimneys, if altered, are encouraged to be returned to match the original.	Chimneys, if altered, are to be returned to match the original.	

## 8.6 Roofs

Traditionally, roof lines are a predominant element of the streetscape. Traditional roof materials were corrugated galvanised iron (often in short length sheets) or red clay tiles (predominantly in the Federation Period). It should be noted that certain roof materials are associated with particular periods of development and styles and care should be taken not to confuse the use of roof materials from different periods and styles.

Item	Contributory	Level 3	Level 2	Level 1A and 1B
i. Roof lines	Additions visible from the public realm are to respond to and reinforce the existing characteristics of a place, streetscape or neighbourhood with regards to plate and wall heights, roof form, ridge lines, parapet lines, roof slopes and eaves overhangs.	Additions are to respond to and reinforce the existing characteristics of a place with regards to plate and wall heights, roof form, ridge lines, parapet lines, roof slopes and eaves overhangs.		
ii. Form and material	Original roof forms and materials comprising the <b>original building exterior</b> are to be retained and conserved.	Original roof forms and materials are to be retained and conserved.		
iii. Contemporary roofs	Roof forms that are contemporary in style (i.e. flat / skillion) may be considered for rear and side additions, and are only permitted where not part of the <b>original building exterior</b> .	Roof forms that are contemporary in style (i.e. flat / skillion) may be considered for rear and side additions.		
iv. Replacement	Roof replacements to the <b>original building exterior</b> are to be either like-for-like or to match the original period and style of the building. If the building has undergone substantial change over time (for example changes from the Post War Migrant Era) then the use of the original roof material may not be	Roof replacements are to be either like-for-like or match the original historical period and style of the building. If the building has undergone substantial change over time (for example changes from the Post War Migrant Era) then the use of the original	Roof replacements are to match the original historical roof.	

Item	Contributory	Level 3	Level 2	Level 1A and 1B
	required – this will be assessed on a case-by-case basis.	historical roof material may not be required – this will be assessed on a case-by-case basis.		
v. Additions and maintenance	Where impacting the <b>original building exterior</b> , extensions to the existing roof and maintenance of existing roofs may use the colour and material of the remainder of the existing roof.	Extensions to the existing roof and maintenance of existing roofs may use the colour and material of the remainder of the existing roof.	Extensions to the existing roof and maintenance of existing roofs may use the colour and material of the remainder of the existing roof.	
vi. Metal roofs	For corrugated metal roofs of the <b>original building exterior</b> the preferred material is corrugated galvanised iron or steel (short length sheets are NOT required).	For corrugated metal roofs the preferred material is corrugated galvanised iron or steel (short length sheets are NOT required).	For corrugated metal roofs the preferred material is corrugated galvanised iron or steel. Short length sheets may be required in certain circumstances.	
vii. Zinalume	Zinalume metal roofing to the <b>original building exterior</b> may be considered.	Zinalume metal roofing may be considered in certain circumstances.	Zinalume metal roofing is NOT an acceptable roof material.	
viii. Colorbond	Colorbond metal roofing to the <b>original building exterior</b> may be considered in certain circumstances. Where considered, the colour is to be Shale Grey or similar unless it can be demonstrated the original roof was a different colour.	Colorbond metal roofing is NOT an acceptable roof material.		
ix. Dissimilar metals	Dissimilar metals are not to be used together as they are not always compatible and can cause a galvanic reaction and deterioration of the metals.			
x. Tiles	Tiles to the <b>original building exterior</b> are encouraged to be replaced to match the original and not changed to corrugated metal roofing.	A change from tiles to corrugated metal roofing may be considered in certain circumstances.	Tiles are to be replaced to match the original historical place and not changed to corrugated metal and vice versa.	

Item	Contributory	Level 3	Level 2	Level 1A and 1B
xi. Timber shingles, Slate, Copper Sheeting, Clay Pan Tiles etc	Do not use unusual roof cladding types unless there is evidence of earlier use. Like for like replacement of original unusual cladding types is encouraged.	Do not use unusual roof cladding types unless there is evidence of earlier use. A change from an unusual cladding type may be considered in certain circumstances.	Do not use unusual roof cladding types unless there is evidence of earlier use. Replace original unusual roof claddings like for like. If the cladding type is no longer available then cladding with a similar profile, texture and colour may be acceptable.	
xii. Asbestos	Replacement of asbestos and later altered roof materials of the <b>original building exterior</b> are to match the original period and style of the building. If the building has undergone substantial change over time (for example changes from the Post War Migrant Era) then the use of the original roof material may not be required – this will be assessed on a case-by-case basis.	Replacement of asbestos and later altered roof materials are to match the original period and style of the building. If the building has undergone substantial change over time (for example changes from the Post War Migrant Era) then the use of the original roof material may not be required – this will be assessed on a case-by-case basis.	Replacement of asbestos and later altered roof materials is to match the original or to suit the original period and style of the building.	Replacement of asbestos and later altered roof materials is to match the original.  Where asbestos sheeting was part of the original design, such as in WW2 or Post War buildings, asbestos sheeting to be replaced with a product with a similar profile.

### 8.7 Roof Plumbing

Traditional roof plumbing materials were generally galvanised iron for gutters, downpipes, rainheads, clips and brackets with cast iron downpipes, rainheads, clips and brackets sometimes used. Flashings were lead or galvanised iron. Copper and lead gutters, downpipes and flashings were occasionally used in high quality buildings. It should be noted that certain gutter, rainhead and downpipe profiles are associated with particular periods of development and styles of building and care should be taken to utilise these appropriate profiles.

Item	Contributory	Level 3	Level 2	Level 1A and 1B
i. Original elements	Original roof plumbing elements to the <b>original building exterior</b> are to be retained and conserved.	Original roof plumbing elements are to be retained and conserved and when required due to deterioration replaced like for like.		
ii. Dissimilar metals	Dissimilar metals are not to be used together as they are not always compatible and can cause a galvanic reaction and deterioration of the metals.			
iii. Replacement	If replacing roof plumbing elements of the <b>original building exterior</b> , traditional profiles are to be used based on the style of the place or buildings of a similar period, style and location.	If replacing roof plumbing elements, traditional profiles are to be used and based on evidence. Buildings of a similar period, style and location could be utilised to inform roof plumbing choices.	If replacing roof plumbing elements, traditional profiles are to be used and are to be based on evidence from the place.	
iv. PVC Downpipes	PVC downpipes to the <b>original building exterior</b> are not acceptable.	PVC downpipes are not acceptable.		
v. Rainheads, clips and brackets	Rainheads, clips and brackets to the <b>original building exterior</b> were generally utilitarian and simple in design and are not to be replaced with decorative elements.	Rainheads, clips and brackets were generally utilitarian and simple in design and are not to be replaced with decorative elements unless clear documentary evidence is available.	Rainheads, clips and brackets were generally utilitarian and simple in design and are not to be replaced with decorative elements unless clear documentary evidence is available. Some places may have a level of decoration to these elements which should be retained, conserved and reinstated if missing.	

### 8.8 Wall Materials and Colours

Traditional wall materials for buildings in Fremantle include limestone, early soft red clay bricks, later pressed clay bricks, timber weatherboards, corrugated metal sheeting, cement blocks and bricks and asbestos cement sheeting.

Limestone and early brick (which was fired at a much lower temperature than bricks today) are very porous and susceptible to salt attack and rising/falling/lateral damp issues. Limestone and early brick buildings are very prevalent and are key elements within the significant heritage streetscapes of Fremantle.

Timber buildings are also prevalent mainly in the residential areas of Fremantle and contribute to the significant streetscape.

Asbestos was a later used wall cladding material, particularly in the post WWII era of housing estates.

Please refer to Technical Guidance Notes for rising damp and care of heritage buildings.

For proposed external treatments to Level 1A, 1B and 2 listed buildings, refer to Local Planning Policy 1.6: Heritage Administration and Procedures for additional information required to accompany an application.

Item	Contributory	Level 3	Level 2	Level 1A and 1B
i. Original materials	Original wall materials to the <b>original building exterior</b> are to be retained and conserved.	Original wall materials are to be retained and conserved.		
ii. Replacement	Wall materials to the <b>original building exterior</b> are to be replaced like-for-like to match the original.	Wall materials are to be replaced like-for-like to match the original, particularly to the parts of the <b>original building exterior</b> .	Walls materials are to be replaced like-for-like to match the original.	
iii. Render or paint	<p>To conserve the visual appearance and prevent issues with damp:</p> <ul style="list-style-type: none"> <li>- Do not cement render, paint or seal limestone or brick surfaces that were originally self-finished.</li> <li>- Do not cement render, paint or seal lime rendered surfaces or those painted with limewash or mineral paint.</li> </ul>	<p>To conserve the visual appearance and prevent issues with damp:</p> <ul style="list-style-type: none"> <li>- Do not cement render, paint or seal limestone or brick surfaces that were originally self-finished.</li> <li>- Do not cement render, paint or seal lime rendered surfaces or those painted with limewash or mineral paint.</li> </ul> <p>The removal of intrusive finishes such as acrylic paint and cement render from originally unpainted masonry wall surfaces is encouraged especially when the paint or render surface has begun to break down</p>	<p>To conserve the visual appearance and prevent issues with damp:</p> <ul style="list-style-type: none"> <li>- Do not cement render, paint or seal limestone or brick surfaces that were originally self-finished.</li> <li>- Do not cement render, paint or seal lime rendered surfaces or those painted with limewash or mineral paint.</li> </ul> <p>Remove paint, cement render and other intrusive finishes from masonry wall surfaces that were originally unpainted especially when the paint or render surface has begun to break down and</p>	

Item	Contributory	Level 3	Level 2	Level 1A and 1B
		and would require preparation before repainting.	would require preparation before repainting.	
iv. Glossy materials and colour schemes	Where impacting the <b>original building exterior</b> : a) Do not: i. use glossy materials or finishes unless there is historical precedent for their use; or ii. use monochromatic colour schemes. b) Paint colours are to be compatible and complimentary to the heritage character of the place and area based on evidence (such as early photographs or site-based evidence) from the existing place or on buildings of a similar period, style, original socioeconomic level and location.	a) Do not use glossy materials or finishes unless there is historical precedent for their use. b) Do not use monochromatic colour schemes. c) Painting is to consist only of original colours (based on physical inspection or paint scrapes) or traditional colours based on evidence (such as early photographs or site-based evidence) from the existing place or on buildings of a similar period, style, original socioeconomic level and location.	a) Do not use glossy materials or finishes unless there is historical precedent for their use. b) Do not use monochromatic colour schemes. c) Paint colours are to be consistent with the original colour schemes of the building based on evidence. Where it is not possible to determine the original colour scheme refer to clause 8.8.1 below.	

8.8.1 For a Level 1A, 1B or 2 place where it is not possible to determine the original colour scheme, paint colour selection is to be consistent with the following key principles:

- a) The main body of the wall shall be natural wall colours that suggest the natural materials underneath (i.e. brick, stone or render).
- b) Where it is proposed to paint brick or stone quoining, colours shall be consistent with the natural materials underneath.
- c) Decorative elements - including cement rendered dressings (stucco), architraves, friezes, cornices, and pilasters – shall be highlighted with the use of no more than two muted tones in a lighter colour than the main body of the wall.
- d) Outer window frames shall be painted in dark colours (browns, deep reds, or dark greens), with light cream or white highlights accentuated in window sashes, and dividing joinery between individual window panes.
- e) In the case of verandahs and awnings, structural elements shall be dark tones (browns, deep reds, or dark greens) while decorative elements shall be highlighted with the use of light muted tones (cream or white).
- f) In the case of buildings with external timber cladding, paint colours shall be consistent with the original colour schemes of the building.



In addition to the above, regard is to be had for the following:

- g) Any established conservation management plan relating to the site;
- h) Any statement of heritage impact relating to the site; and
- i) Any advice received from the Heritage Council of Western Australia relating to the site.

### 8.9 Decorative Details

Decorative details on heritage buildings were particular in style, prevalence and level of detail for buildings of certain periods, styles, original socioeconomic level and location. Small workers cottages were unlikely to have much, if any, decorative detailing. Houses of a more substantial nature but still of the working class were likely to have some decorative detail (but not highly elaborate), whilst the homes of the wealthy were large and highly and elaborately detailed.

Item	Contributory	Level 3	Level 2	Level 1A and 1B
i. Existing detail	Decorative detail of the <b>original building exterior</b> is to be retained and conserved.	Decorative detail is to be retained and conserved.		
ii. Reintroduction	The reintroduction of decorative detail to the <b>original building exterior</b> is to be based on evidence (such as early photographs or site-based evidence) from the existing place or on buildings of a similar period, style, original socioeconomic level and location.	The reintroduction of decorative detail is to be based on evidence (such as early photographs or site-based evidence) from the existing place or on buildings of a similar period, style, original socioeconomic level and location.	The reintroduction of decorative detail is to be based on evidence (such as early photographs or site-based evidence) from the existing place.	
iii. New detail	Detail inappropriate to the period, style, socio economic standing and location of the place is not to be introduced to the <b>original building exterior</b> .	Detail inappropriate to the period, style, socio economic standing and location of the place is not to be introduced.	Detail not based on evidence from the place is not to be introduced	

#### 8.10 External fixtures

The installation of service utilities (power, water, and gas connections and meter boxes, fire services, and letterboxes) and functional utilities (air conditioning units, television aerials, satellite dishes, solar collectors, water tanks etc.) requires careful placement and treatment so as not to negatively impact the significance of an individual building, structure, or landscape, or that of the wider heritage area.

- i. When utilities are not exempted from requiring development approval by Local Planning Policy 1.7 – Development Exempt from Approval Under Local Planning Scheme No. 4, ensure that:
  - a) they will be located behind a building or structure and not impact the **original building exterior**;
  - b) their installation will not result in damage to significant fabric of a place;
  - c) their installation will not impact upon any archaeological remains; and
  - d) their installation will not impact upon or detrimentally affect a significant streetscape or landscape.
- ii. Solar collectors are not to be installed on street-facing roof planes.

#### 8.11 Outbuildings

Ancillary structures such as sheds and gazebos can have an impact on heritage places and areas through the introduction of elements that are not part of traditional development. Incorporation of these modern features requires careful placement and treatment to minimise impact. In some situations, they may not be appropriate at all.

- i. Ancillary structures and outbuildings are to be located behind the main wall of the original building and screened from view from the primary street and secondary streets in order to minimise their visual impact on the character of heritage places and areas.
- ii. Historic outbuildings such as stables, laundries and outdoor water closets are to be retained and conserved as they contribute to the significance of the heritage place or area.

#### 8.12 Swimming pools and spas

Below-ground swimming pools and spas may not have an impact upon the significance of a place or the wider heritage area. However, they typically have associated fencing and equipment that can have a negative impact, as can above-ground swimming pools and spas. Therefore, their siting requires careful consideration.

- i. Above-ground swimming pools and spas should be located behind the main wall of a building.
- ii. Where an in-ground swimming pool or spa is proposed to the front of a building, ensure that pool fencing is incorporated with other walls and / or fencing to minimise its visual impact, and that it has a similar level of visual permeability as required by the fencing criteria of this policy.
- iii. Ensure that any equipment enclosures are sited in places that minimise their visual impact.

#### *8.13 Limestone features*

Parts of Fremantle are located on limestone ridges and low hills. Remnants of limestone outcrops and cuttings into limestone ridges for roads, footpaths and buildings are important features in some streetscapes.

- i. Limestone features such as outcrops and cuttings are to be conserved and retained.

## Part 2: Residential Building Typologies

*This part relates to all heritage places with a residential built form. Note that form is distinctive from use. For example, a residential building typology is a building that was originally constructed as a residence even if it currently has a non-residential use operating within.*

*Refer to Part 1 for criteria not covered within this Part.*



Victorian Era, large house with decoration



Victorian Era, typical simple four room, central corridor house



Victorian Era, typical simple three room with side corridor house





Federation Era large house with corner verandah



Victorian Era limestone duplex, partly modified in Inter-War Era



Terrace house



Victorian Era house with Inter-War era modifications



Inter-War House

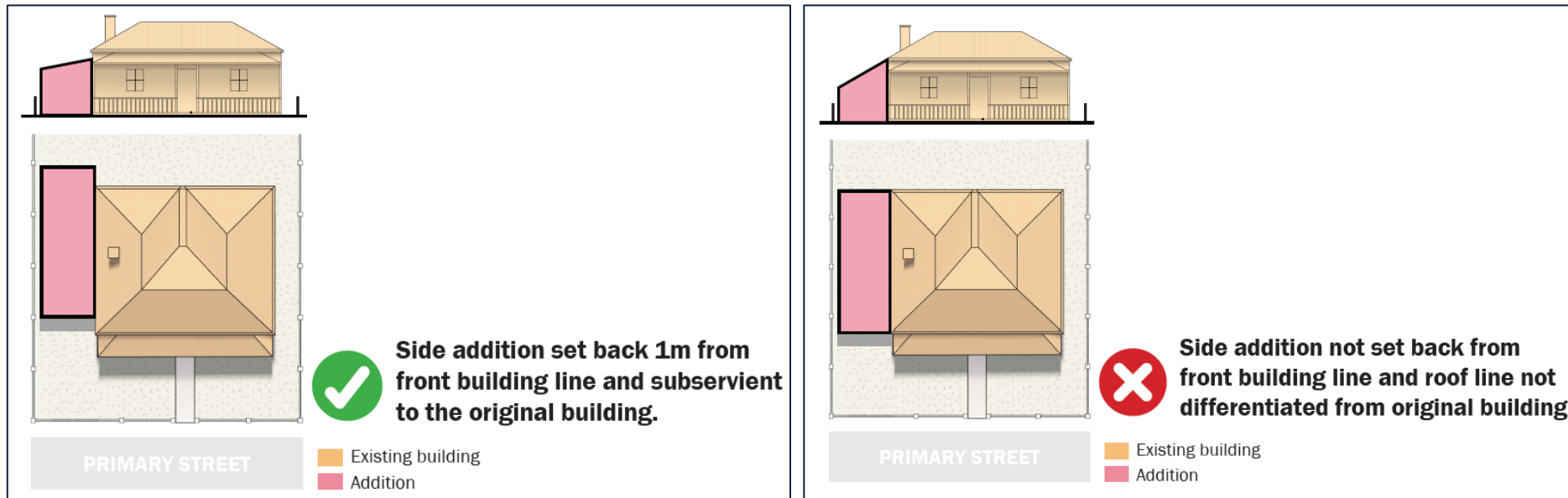


Post War House with garage

## 9. Additions and Alterations to All Contributory and Listed Residential Places

### 9.1 Siting, Setbacks and Scale

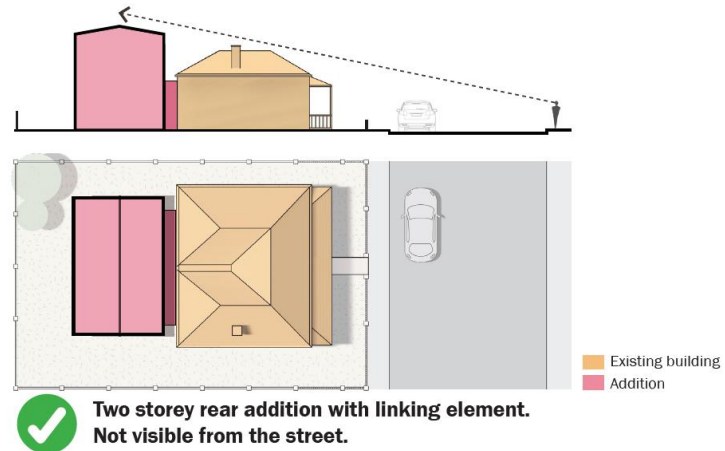
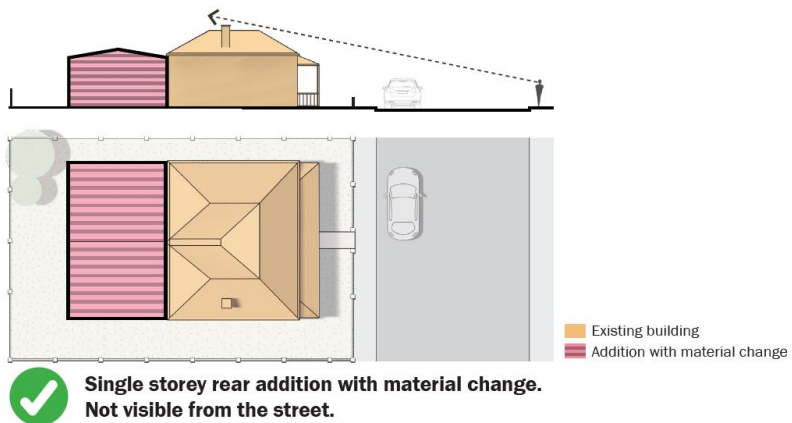
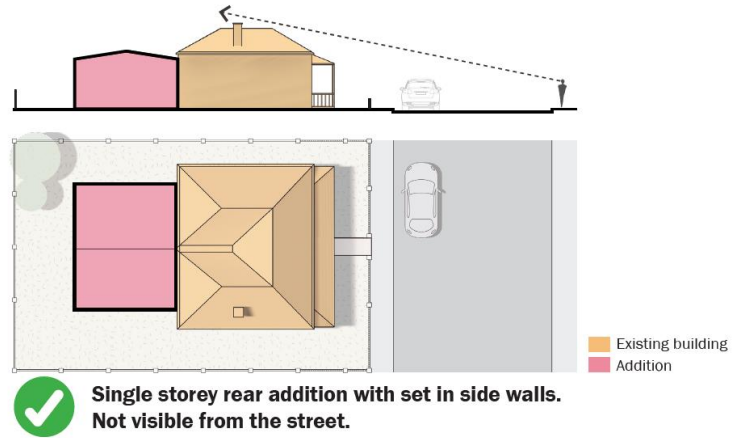
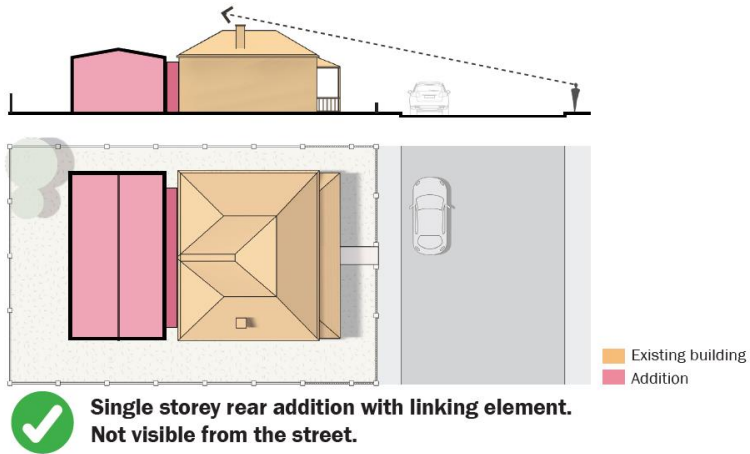
Item	Contributory	Level 3	Level 2	Level 1A and 1B
i. Primary street setbacks	a) Refer to Part 5 for deemed-to-comply setbacks for specific heritage areas.		Refer to clause 8.1 above.	
ii. Secondary street setbacks	a) No additions or buildings to be located within the secondary street setback, in front of a place, or within an established street setback area unless reinstating an original feature in the original architectural style. b) Single storey additions may be set back in line with the portion of dwelling on site fronting the secondary street. c) Second storey additions to the rear of a dwelling on a corner lot are to be set back an appropriate distance based on a streetscape analysis of the secondary street. Issues to consider include: <ul style="list-style-type: none"> <li>i. Prevailing streetscape and setbacks of the secondary street.</li> <li>ii. Avoiding a continuous wall extending from the existing side wall.</li> <li>iii. Avoiding a two-storey height wall to the secondary street (unless this reflects the prevailing streetscape of the secondary street).</li> </ul>		Requirements generally as per Level 3 but to be assessed on a case-by-case basis.	
iii. Side additions – Refer to Figure 2	Notwithstanding the criteria discouraging openings, removal of walls, and the like to the original building exterior elsewhere in this Policy, side additions are permitted provided they: <ul style="list-style-type: none"> <li>a) Are single storey and lower in height than the place;</li> <li>b) Are set back 1m min. from front building line;</li> <li>c) Have a new roof independent from the roof form of the place and which doesn't continue the slope of the roof of the <b>original building exterior</b>; and</li> <li>a) Have no alteration to existing roof form.</li> </ul>		Requirements generally as per Level 3 but to be assessed on a case-by-case basis.	

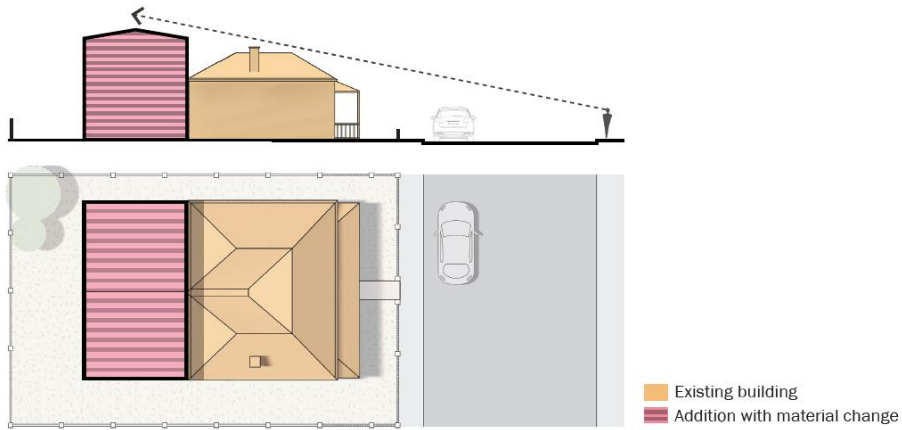


**Figure 2: Side Additions**

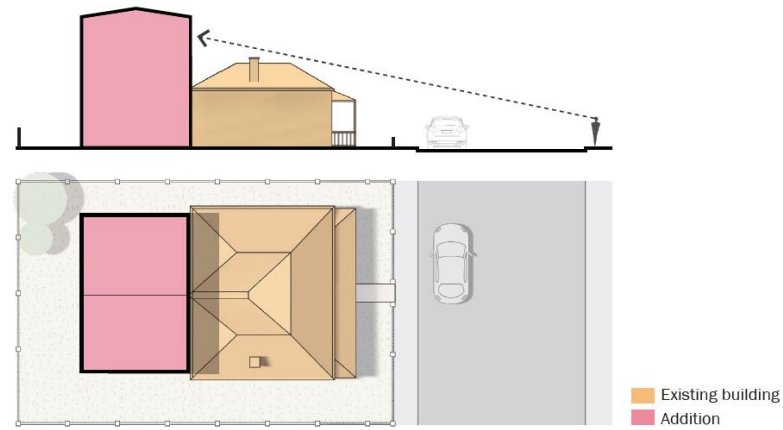
Item	Contributory	Level 3	Level 2	Level 1A and 1B
iv. Rear additions (single and double storey) – Refer to Figure Series below	<p>Ensure that development:</p> <ul style="list-style-type: none"> <li>a) has a maximum height that is the lesser of the Scheme, the R-Codes, or the visible from the street line of sight;</li> <li>b) does not alter the original building exterior;</li> <li>c) employs one of the following methods to retain the distinct form of the place: <ul style="list-style-type: none"> <li>i. Be detached from the place;</li> <li>ii. Be attached by a linkage with a reduced scale and/or contrasting material;</li> <li>iii. Have side walls set in from the place;</li> <li>iv. Have a wall height lower than that of the place; or</li> <li>v. Have differing finishes/materials from the original place or a material change at the junction of the old and new.</li> </ul> </li> </ul>	<p>Ensure that development:</p> <ul style="list-style-type: none"> <li>a) is not visible from the street;</li> <li>b) does not alter or impact the original building exterior;</li> <li>c) does not extend over or into the roof of the existing place;</li> <li>d) is constructed so that the roof of the new addition is independent from the original place's roof form (New roof may connect into back of roof of existing place as long as the extent of the original roof remains clear);</li> <li>e) employs one of the following methods to retain the distinct form of the place: <ul style="list-style-type: none"> <li>i. Be detached from the place;</li> <li>ii. Be attached by a linkage with a reduced scale and/or contrasting material;</li> <li>iii. Have side walls set in from the place;</li> <li>iv. Have a wall height lower than that of the place; or</li> <li>v. Have differing finishes/materials from the original place or a material change at the junction of the old and new.</li> </ul> </li> </ul>		Requirements generally as per Level 3 but to be assessed on a case-by-case basis.



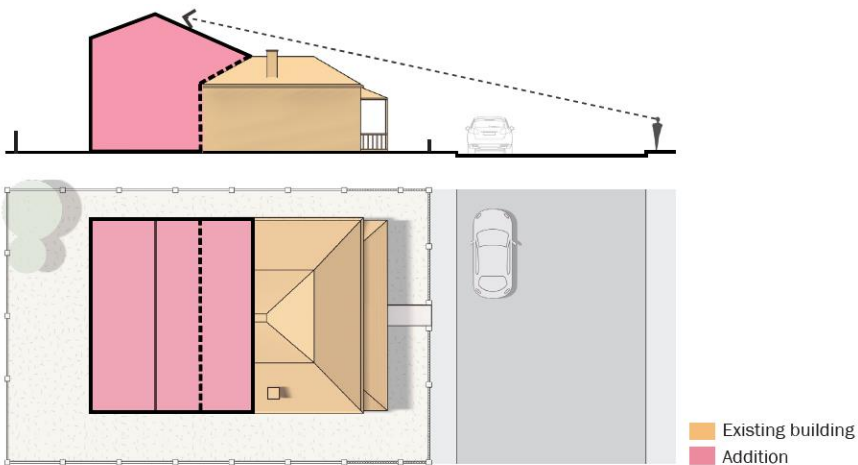




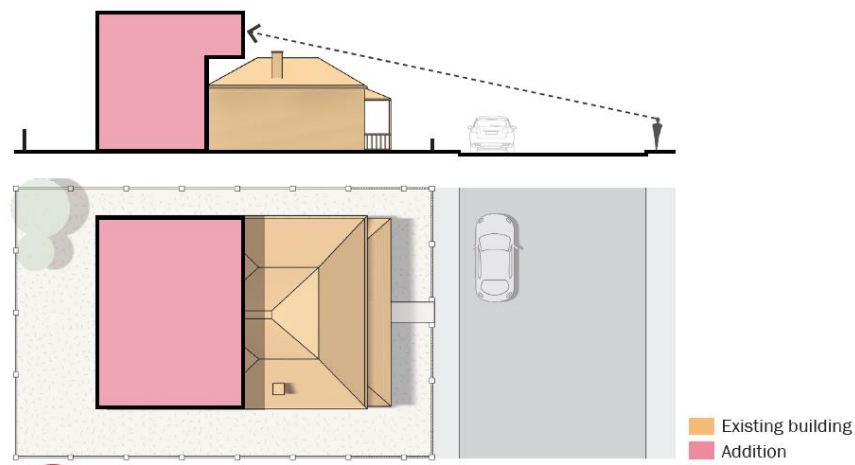
✓ **Two storey rear addition with material change. Not visible from the street.**



✗ **Two storey rear addition with excessive bulk and scale and visible from the street.**



✗ **Two storey rear addition with alterations to the original building's roof form.**



✗ **Two storey rear addition with built form over the original building.**

## 9.2 Verandahs, porches and awnings

Verandahs, porches and awnings were often an important element of the original form of a building. The era and style of the original construction will determine if the front façade had a verandah, porch or awning.

Item	Contributory	Level 3	Level 2	Level 1A and 1B
i. Form and material	a) Original verandah or porch forms and materials are to be retained and conserved. b) Front verandahs, porches, etc. are not to be enclosed.			
ii. Concrete floor	a) Do not replace timber verandah floors with concrete. This reduces airflow beneath the house and contributes to mould or rising damp. b) Removal of later concrete floor and reinstatement of timber floor is encouraged to improve ventilation.			
iii. Reconstruction	Reconstructed verandahs, porches and awnings can be introduced based on evidence or on buildings of a similar period, style, detail level and location.		Reconstructed verandahs, porches and awnings can be introduced based on evidence from the place on site.	
iv. Additions	a) New verandahs, porches and awnings can be introduced where they do not involve removal of the original and are appropriate to the streetscape without too precisely mimicking the style of the original character, building elements or heritage detailing unless it is a reconstruction.  b) Do not introduce a verandah where the original building had a porch and vice versa.	a) Should evidence not be available, then reinstatement of a simple form of verandah, porch or awning may be considered. This is to be done without mimicking heritage detail that was not original (i.e. do not introduce a bullnose verandah and turned timber posts if there is no evidence that this was an original detail of the building. Instead, introduce a pitched verandah with simple, square timber posts.)  b) Do not introduce a verandah where the original building had a porch and vice versa.	a) Do not introduce a verandah, porch or awning where the original building had a different element.  b) Do not introduce a verandah, porch or awning based on conjecture. Any introduction of verandahs, porches or awnings are to be based on historical evidence from the place.	

### 9.3 Doors and Windows

Doors and windows are significant elements in a place and their materials, shape, size and decoration are particular to the period and style of a place.

Item	Contributory	Level 3	Level 2	Level 1A and 1B
i. Original openings	Original doors and windows of the <b>original building exterior</b> are to be retained and conserved. Where they must be replaced due to damage or age, they are to match the original style of the place or buildings of a similar period, style, original socioeconomic level and location.	Original doors and windows are to be retained and conserved. Where they must be replaced due to irreparable damage, they are to match the original style of the place or buildings of a similar period, style, original socioeconomic level and location.	Original doors and windows are to be retained and conserved. Where they must be replaced due to irreparable damage, they are to match the original based on evidence.  The original configuration, size and style of windows and doors is to be retained.	
ii. New external openings	Do not add new openings to the front of the <b>original building exterior</b> . Openings to the side may be considered.		All new external openings considered on a case-by-case basis.	
iii. Design	All windows and door openings of the <b>original building exterior</b> are to have a vertical emphasis, which means they should be taller and narrower in appearance unless there is a predominance in the prevailing streetscape of horizontal emphasis, Interwar and later windows (for example, in the Hilton Heritage Area, etc.).		All windows and door openings are to have a vertical emphasis, which means they should be taller and narrower in appearance unless there is a predominance in the prevailing streetscape of larger, Interwar and later windows.	
iv. Front doors	Front doors to be conserved and remain in use.			
v. Conversion of windows to doors	Conversion of windows to doors of the <b>original building exterior</b> may be considered in certain circumstances.	Conversion of windows to doors of the <b>original building exterior</b> is not permitted but may be considered elsewhere in certain circumstances.	Conversion of windows to doors is not permitted if external to the original building but may be possible in certain circumstances.	

Item	Contributory	Level 3	Level 2	Level 1A and 1B
vi. Internal openings	Internal doors can be altered, blocked and new openings introduced.	Internal doors can be altered, blocked and new openings introduced in most circumstances, unless it results in loss of a key internal feature such as a fireplace. Interpret changes to record original configuration.	Internal original / early doors can be altered, blocked and new openings introduced in limited circumstances.  Interpret changes to record original configuration.	Internal original / early doors are not to be altered.

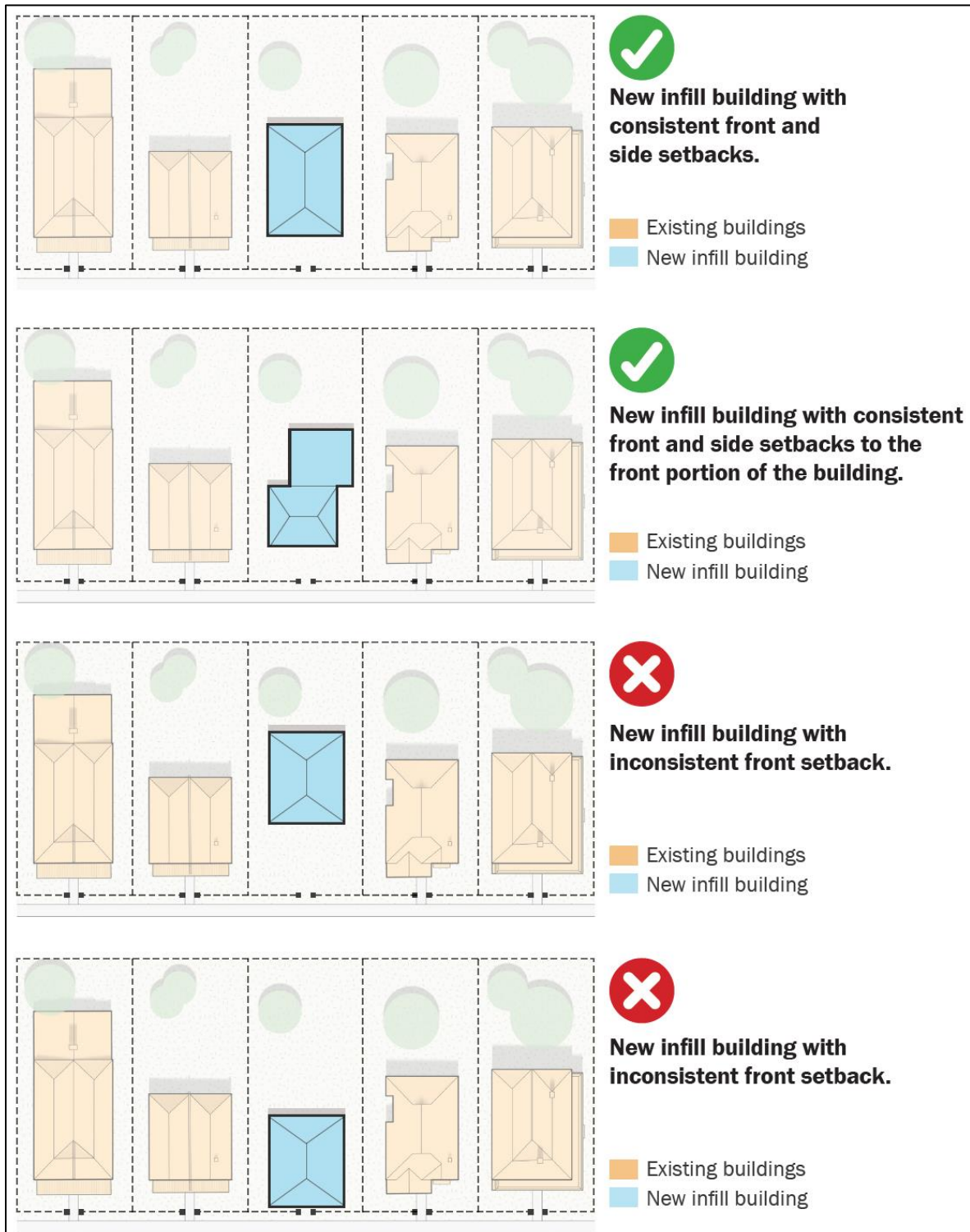
## 10. Non-contributory Properties Including New Infill

*This section applies to new development, and includes new houses as well as additions and alterations to existing non-contributory buildings, within a heritage area.*

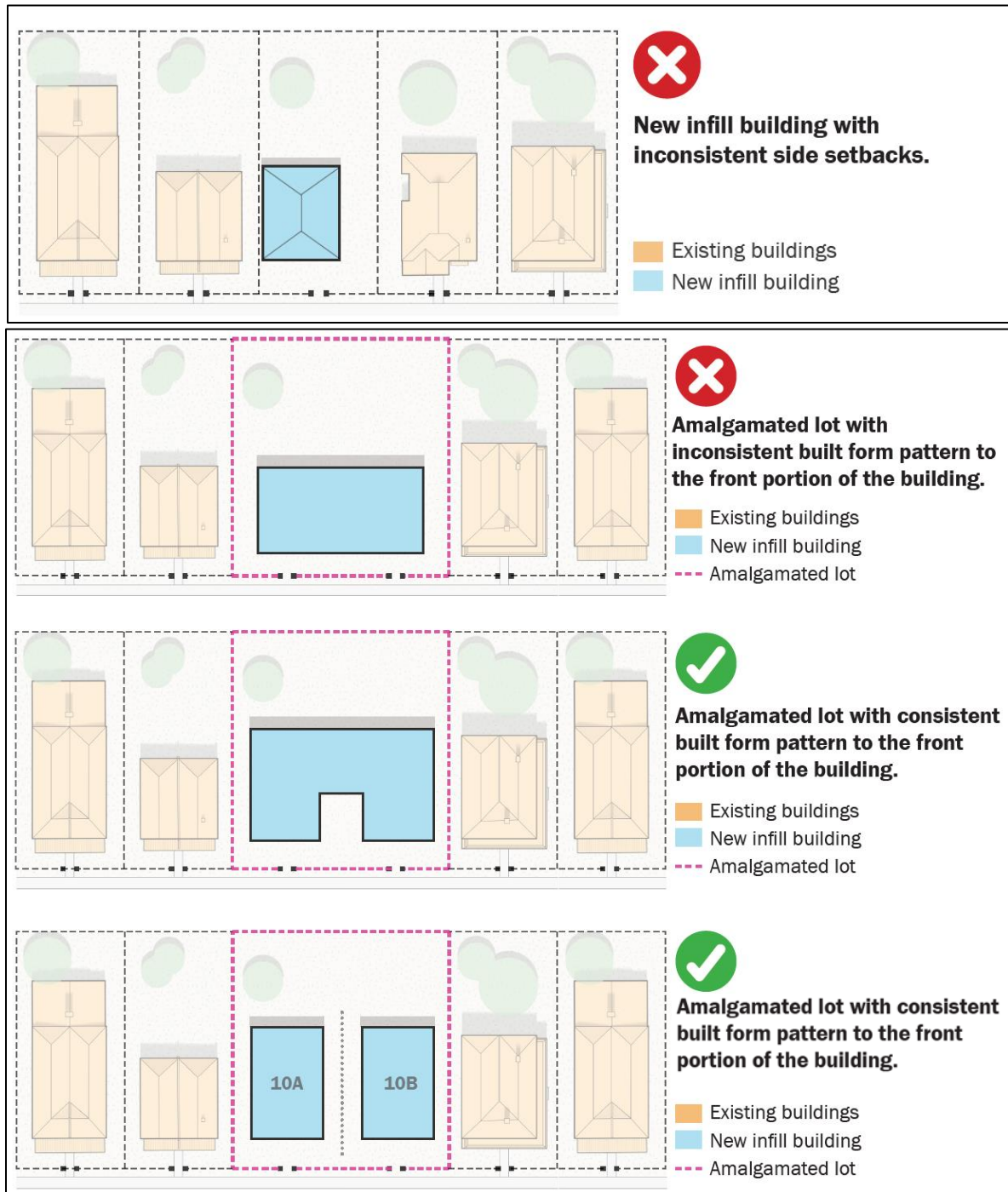
Where visible from the public realm, new development should respect and complement the heritage significance of the area. A respectful design approach gives special consideration to the siting, scale, architectural style and form, materials and finishes of the proposed development in relation to its neighbours, without copying historic detailing or decoration. New development that is visible from the public realm should respond sympathetically to the heritage values of the heritage area as a whole, and also to that part of the heritage area in the vicinity of the proposed development. Imaginative, well designed and harmonious construction is encouraged. Professional architectural services can be of great assistance in formulating appropriate designs.

### 10.1 Siting and Scale

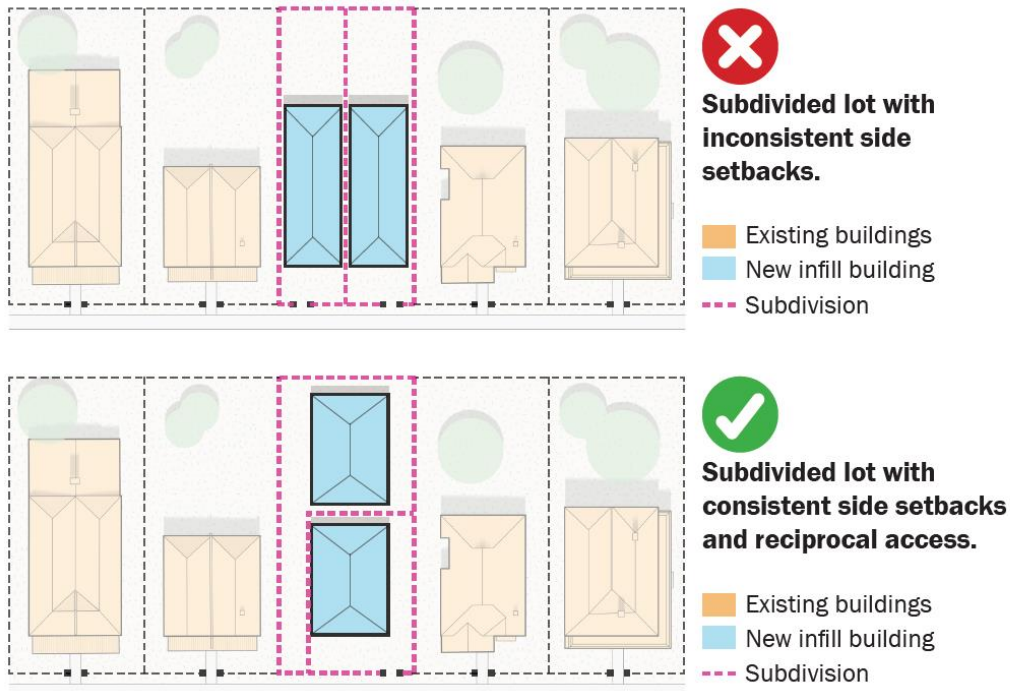
- 10.1.1. New development is to maintain the scale, siting, bulk, form and streetscape appearance of the prevailing streetscape and so should be guided by the criteria for contributory places elsewhere in this policy, but with some greater degree of flexibility.
- 10.1.2. New buildings within a heritage area shall:
  - a) Maintain a setting that is consistent with the original streetscape, including front and side setback patterns (refer figure series below);
  - b) Have a consistent bulk and scale in relation to the original street pattern. E.g. If the original street pattern is single storey then the new infill development should also be, or present as, single storey (at least to the front section of the lot); and
  - c) Have a plate height consistent with the original street pattern. New developments often propose a lower plate height than the earlier and original buildings. To ensure a consistency of scale the plate height is an important element to ensure it is consistent with the original street pattern.
- 10.1.3. Second storey additions to the rear of buildings on corner lots are to be set back an appropriate distance based on a streetscape analysis of the secondary street. Issues to consider include:
  - a) Prevailing streetscape and setbacks of the side street;
  - b) Avoiding a continuous wall extending from the existing side wall; and
  - c) Avoiding a two-storey height wall to the side street (unless this reflects the prevailing streetscape).
- 10.1.4. Street setbacks deemed to comply with the above are specified in Part 5 for some areas.











## 10.2 Building Form

The form of the building is its overall shape, size and the general arrangement of its main parts.

- 10.2.1 New residential development within a heritage area shall respect and harmonise with and be sympathetic to the predominant form of the prevailing streetscape without mimicking heritage detailing.
- 10.2.2 Where an industrial or commercial building is a contrasting element in a predominantly residential streetscape, the contrasting element is not be used as a precedent for new infill development.
- 10.2.3 Where the building form of contributory properties in the immediate area is highly repetitive, symmetric and/or asymmetric, new development visible from the public realm is to continue this repetition.
- 10.2.4 The treatment of new infill buildings in terms of the roof form, proportions, materials, number, size and orientation of openings, ratio of window to wall etc. shall relate to that of its neighbours.
- 10.2.5 Contemporary building designs shall respond to, and interpret, the scale, articulation and detail of the existing nearby buildings in a modern, innovative and sympathetic way.

## 10.3 Materials, Colours and Detailing

- 10.3.1 Materials, colours and level of detailing shall reflect / interpret the predominant materials and detailing of the original prevailing streetscape and not visually dominate the streetscape or adjacent heritage buildings.
- 10.3.2 New development is to blend in with the streetscape but be discernible as new when looked at more closely. 'Faux' or 'mock' heritage detracts from an

understanding and appreciation of the original building and is contrary to the objectives and principles of this policy.

- 10.3.3 Use of original or traditional colours is encouraged. Glossy materials or finishes are to be avoided unless a historical precedent for their use can be demonstrated.

#### *10.4 Roofs*

- 10.4.1 Traditionally, roof lines are a predominant element of the streetscape. All new development shall respond to and reinforce the existing characteristics of the prevailing streetscape regarding plate and wall heights, roof form, ridge lines, parapet lines, roof slopes and eaves overhangs.
- 10.4.2 Roof forms that interpret the predominant roof forms of the prevailing streetscape may be considered.

#### *10.5 Verandahs / Porches / Awnings*

- 10.5.1 Verandahs, porches and awnings were often an important element of streetscapes. Inclusion of verandahs, porches and awnings appropriate to the streetscape are encouraged without too precisely mimicking the style of the original character-building elements or heritage detailing.

#### *10.6 Doors and Windows*

- 10.6.1 All windows and door openings visible from the public realm are to have a vertical emphasis, which means they should be taller and narrower in appearance unless there is a predominance in the prevailing streetscape of larger, interwar and later windows.
- 10.6.2 Front doors are to address the street and be centrally located in the front façade of the new infill building unless there is a different original pattern in the prevailing streetscape.

### **11. Garages and Carports to All Residential Buildings**

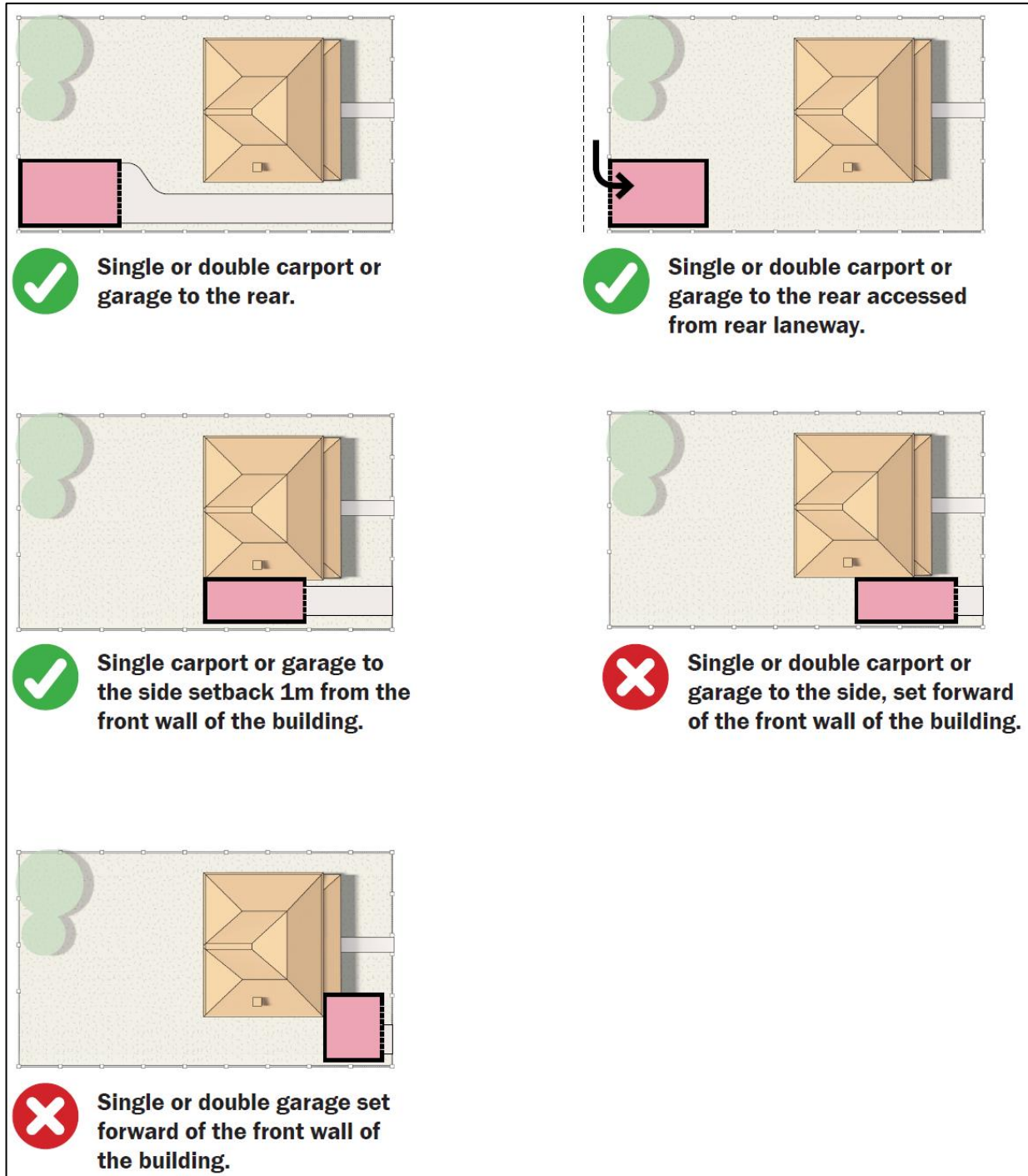
Single carports and garages were not constructed in Fremantle until the Inter-War Era and double carports were not common until the 1970s and 80s. Where provided at all, garages and carports to heritage places and within heritage areas were generally located to the rear or side of the original dwelling and so are not traditional features in Fremantle's heritage streetscapes. As such, new garages or carports are to be visually unobtrusive when viewed from the street.

- 11.1 Do not introduce new crossovers, driveways or parking areas where it would involve the removal of significant fabric of a place or would negatively impact upon the significance of the wider streetscape.
- 11.2 Carports and garages are to be located behind the building, and visually unobtrusive.
- 11.3 For non-contributory properties, a carport or garage to a new house that is under the main roof of the development may be set back in line with or behind the front building line of the new house (excluding its verandah / porch).
- 11.4 Notwithstanding the above carport and garage location requirements, the following arrangements may be considered for non-contributory properties, contributory

properties, Level 3 listed places, and some Level 2 listed places (on a case-by-case basis):

- a) A single or double carport located to the side of an existing or new house set back a minimum of 1m from the front building line of the house. (This setback line is taken as the front wall of the building that is closest to the proposed addition and is not the verandah or porch line). The roof to the side carport is to be flat, skillion or simple hipped or gable.
  - b) A single garage located to the side of an existing or new house set back a minimum of 1m from the front building line of the house. (This setback line is taken as the front wall of the building that is closest to the proposed addition and is not the verandah or porch line). The roof to the single side garage is to be flat, skillion or simple hipped or gable. The structure is to be no more than 3.5m wide.
  - c) A double garage located to the side of the existing or new house set back a minimum of 2m from the front building line of the house. (This setback line is taken as the front wall of the building that is closest to the proposed addition and is not the verandah or porch line). The roof to the double side garage is to be flat, skillion or simple hipped or gable. The width of the structure is to be no more than 45 percent of the width of the front of the dwelling or 6 meters (whichever is the lesser).
- 11.5 Where the site is not individually listed and no other location is available, a carport may be considered in front of a dwelling where:
- a) The carport does not exceed an average of 2.8 metres in height above natural ground level; and
  - b) The carport is located so as to maintain visibility of the dwelling from the street and surveillance from the dwelling to the street; and
  - c) The maximum width of the carport should not exceed 6 metres on a property with a frontage of 12 metres or greater, or 3 metres on a property with a frontage of less than 12 metres; and
  - d) The carport is set back one metre or greater from any side boundary.
- 11.6 Carports projecting forward of the building shall be:
- a) Open on at least 3 sides (including the side facing the street) with no door; and
  - b) Of lightweight construction with timber or steel vertical supports no greater than 150mm in width in any direction; and
  - c) Simple in design and visually subservient to the form and proportion of the dwelling.
- 11.7 Variations to the above may be considered where development meets one of the following criteria:
- a) The proposal is consistent with the character of the prevailing streetscape (e.g. within a redevelopment precinct) and the proposal does not have a negative impact on the significance of the place or area; and/or
  - b) The proposed setback does not result in a projecting element into an established streetscape vista by virtue of the road and/or lot layout in the locality or the topography of the land.

- 11.8 Access ways and car parking are to be designed to minimise the visual and physical impact on the heritage character of the place or streetscape (including landscaping) and are to be no more than 3.5m wide at the street crossover.



**Figure 3: Garage and carport setbacks**

## 12. Fencing to All Residential Buildings

Boundary walls and fences are the key physical elements at the interface between private properties and the public and private realms. Traditional fencing types can contribute greatly to a heritage area's residential streetscape and so are encouraged.

*For Level 1A, 1B or 2 listed places:*

- 12.1 Retain and conserve original fences and retaining walls including brick, stone, timber and composite fences/walls. If beyond conservation, replace like-for-like.
- 12.2 Retain and conserve limestone features such as natural outcrops, cuttings, etc.
- 12.3 Fencing style and design is to match the style and design of the original historic place.
- 12.4 Solid metal fences are not to be located within the primary or secondary street setback areas.

*For non-contributory properties, contributory places and Level 3 listed places:*

- 12.5 Retain and conserve original fences and retaining walls including brick, stone, timber and composite fences/walls. If beyond conservation, replace like-for-like.
- 12.6 Retain and conserve limestone features such as natural outcrops, cuttings, etc.
- 12.7 Fencing types and heights are to be of traditional design and style. Traditional fencing types depend on their location but can include:



Low-scale vertical picket fence



Low-scale limestone wall





Traditional post-and-wire fence



Low-scale horizontal slats



Traditional post-and-wire and picket fence



Low-scale vertical picket fence



Low-scale limestone wall with piers



Hybrid picket and masonry front fence

12.8 Primary and secondary street fencing is to take the following forms:

- a) Solid fencing up to 0.9m in height.
- b) Traditional open style (picket, post and wire or slat) up to 1.2m in height.
- c) Hybrid with a solid portion up to 0.5m and open style of 0.7m above the solid portion, to a total of 1.2m in height.
- d) Piers up to 1.5m in height.

12.9 Solid metal fences are not to be located within the primary or secondary street setback areas.

12.10 Contemporary interpretations and variations are to demonstrate that they are consistent with the prevailing streetscape.

12.11 Variations to the above may be considered where necessary to attenuate traffic noise for properties on primary distributor, district distributor A or integrator arterial roads.

## Part 3: Industrial Building Typologies

*This part applies to all places that have the form of original industrial buildings. Refer to Part 1 for general conservation and change of use principles, and criteria for demolition, archaeology, subdivision, primary street setbacks, general criteria, form, chimneys, roofs, roof plumbing, wall material and colours, and decorative details.*

### 13. Industrial buildings in Fremantle

Fremantle's historic industrial buildings are an important component of its heritage significance. They contribute to its unique urban form, character and sense of place and demonstrate how the city and its people evolved.

Fremantle was largely developed in the late nineteenth to early twentieth centuries before modern planning codes and private car ownership. Industrial zones did not exist and residential, commercial and industrial uses were located in close proximity with people living near or at their place of work.

The first warehouses and associated industrial buildings were in the West End, initially focused on the jetties in South Bay before migrating north towards the river following the construction of the Inner Harbour in the 1890s Gold Rush. The West End was almost completely rebuilt at this time with commercial offices, hotels and retail in High Street and an intensification of industrial and warehouse uses in the cross streets. Also at this time, wealthier residents departed for new residential areas on the limestone ridges on the then outskirts of the town.

In the 1890s, extensions to the Fremantle to Guildford railway line for industry, such as the spur line to the limestone quarries around Rocky Bay and another to the Owen Anchorage, led to the rapid expansion of North and South Fremantle. Warehouses and factories sprang up along the new railway lines and modest worker housing clustered around the new industry contributing to the working class character of these areas. In the Inter-War era larger warehouses and wool stores followed.

In the Post War Era there were efforts to increase industry and manufacturing on the outskirts of town with the establishment of industrial areas in OConnor, Kwinana and North Fremantle adjacent to North Quay. Warehousing and industry began to relocate to the new areas as changing technology in shipping, warehousing and manufacturing made the old warehouses and factories redundant and the rise in motor vehicle use reduced the benefits of being located near the railway lines.

By the 1980s much of the industry in Fremantle had relocated leaving many vacant or underused buildings. In the 1990s increased interest in heritage buildings and alternative housing models leads to adaptive reuse of former industrial buildings and Fremantle's working class suburbs began to change.

Today many industrial buildings remain in Fremantle, but most have new uses as residential, commercial, educational or cultural buildings. The cultural heritage of these buildings has been retained in the retention of original building fabric, form and industrial character. Apart from the warehouse streets of the West End, these buildings are often a contrasting element in a predominantly residential streetscape but their presence makes a major contribution to the character and identity of these areas.





Gold Rush Era industrial building with offices facing street and warehousing behind, Mouat Street, West End



Gold Rush era industrial building with warehouse section facing onto laneway, Croke Lane, West End



Inter-War Era Mills and Wares Biscuit Factory, Inter-War Era Weeties Factory, North South Fremantle, 1980s.



Furniture manufacturer and warehouse, Pakenham Street 1920s



1920s Wool Stores, 31 Scott Street, South Fremantle



### 13.1 Conservation

Industrial buildings are usually composed of large rectangular volumes with simple gable roof shapes, large open plan internal spaces and a clearly articulated structural grid. At their most modest industrial buildings are a simple 'shed' but more substantial buildings have a 'façade' of traditional commercial offices facing the street and a cartway providing access to the large open plan industrial space behind. Industrial buildings did not traditionally have verandahs or porches to street entrances or make use of domestic scaled elements.

Structural elements such as engaged masonry piers, window sills, parapet copings etc are often used to provide articulation and modulation of the façades of industrial buildings and give a distinctive rhythm and scale. While many industrial buildings feature a more detailed and refined street façade which makes a public statement about the value and solidity of the business, side and rear walls are more utilitarian. In some cases, there is a considerable contrast between the two sections such as a rendered brick façade to the front and corrugated iron sheeting to the rear.

Item	Contributory	Level 3	Level 2	Level 1A and 1B
i. Form, fabric, materials	Retain and conserve the distinctive building form, fabric and materials of the <b>original building exterior</b> .	Retain and conserve the distinctive building form, fabric, materials and spaces of the industrial building.		
ii. Component parts	Retain aesthetic differences between parts of the <b>original building exterior</b> with different character: <ul style="list-style-type: none"> <li>Do not gentrify industrial elements with materials and forms more suited to residential and commercial buildings.</li> <li>Do not change office/ commercial parts to look more industrial by stripping out more refined finishes</li> </ul>	Retain aesthetic differences between component parts of the building with different character: <ul style="list-style-type: none"> <li>Do not gentrify industrial elements with materials and forms more suited to residential and commercial buildings.</li> <li>Do not change office/ commercial parts to look more industrial by stripping out more refined finishes such as wall plaster or ceiling linings.</li> </ul>		
iii. Significant fabric	Retain and conserve original/ significant building fabric and key features of the <b>original building exterior</b> that contribute to its heritage values such as:	Retain and conserve original/ significant building fabric and key features of the industrial building that contribute to its heritage values such as: <ul style="list-style-type: none"> <li>facades, doors, windows, shopfronts, grills, signs;</li> </ul>		

Item	Contributory	Level 3	Level 2	Level 1A and 1B
	<ul style="list-style-type: none"><li>Vehicle doors, windows, shopfronts, grills, signs; structural elements and industrial equipment and hardware</li></ul>	<ul style="list-style-type: none"><li>structural elements like floors, walls, ceilings, beams, columns, trusses, and stairs; or</li><li>equipment such as gantries, pullies, block and tackles, timber bumper rails, chimneys, flues, loading platforms, hatches, machinery and hardware.</li></ul>		
iv. Patina, wear and tear	Where patina, wear and tear and other signs of earlier use contribute to the character and heritage value of the <b>original building exterior</b> , do not make old fabric look new or replace with new if it is still serviceable.	Where patina, wear and tear and other signs of earlier use contribute to the character and heritage value of the building do not make old fabric look new or replace with new if it is still serviceable.		
v. Original materials	Where original materials comprising the <b>original building exterior</b> need to be replaced but are no longer available seek alternatives which closely match the visual appearance of the original. For example, match the profiles of corrugated sheeting, weatherboards or steel frames in new materials with similar colours.	Where original materials need to be replaced but are no longer available seek alternatives which closely match the visual appearance of the original. For example, match the profiles of corrugated sheeting, weatherboards or steel frames in new materials with similar colours.		
vi. Exposure of internal fabric	Avoid leaving original formerly internal building fabric exposed where it will be subject to deterioration. For example, do not expose roof timbers or steel trusses to the elements or in places that are difficult to maintain and do not expose the inner faces of walls or window frames.			

### 13.2 Adaptive reuse

Most surviving industrial buildings in Fremantle have undergone some degree of adaptation in the 1990s and 2000s.

Item	Contributory	Level 3	Level 2	Level 1A and 1B
i. Formerly adapted buildings	Where formerly adapted buildings are to be adapted again, retain all remaining heritage fabric and reinstated items that	Where formerly adapted buildings are to be adapted again, retain all remaining heritage fabric and reinstated items.		

Item	Contributory	Level 3	Level 2	Level 1A and 1B
	form part of the <b>original building exterior</b> .			
ii. Original forms and features	It is recommended that original historical forms and missing elements and features that are part of the <b>original building exterior</b> are reinstated based on physical or documentary evidence.	Reinstate original forms and missing features and elements based on physical or documentary evidence of the place.		
iii. New uses	New uses are to be compatible with the original building and its contribution to the streetscape and: <ul style="list-style-type: none"> <li>a) minimise the loss and alteration of significant external fabric of the <b>original building exterior</b>; and</li> <li>b) suit the elements of the form, scale and structural grid.</li> </ul>	New uses are to be compatible with the heritage building and: <ul style="list-style-type: none"> <li>a) minimise the loss and alteration of significant fabric and spaces; and</li> <li>b) suit the form, scale and structural grid.</li> </ul>	New uses are to be compatible with the heritage building and: <ul style="list-style-type: none"> <li>a) minimise the loss and alteration of significant fabric and spaces;</li> <li>b) suit the form, scale and structural grid; and</li> <li>c) retain part of the large, internal spaces and expose the structural grid.</li> </ul>	
iv. Windows	Existing windows of the <b>original building exterior</b> to be utilised and activated and not blocked up.  In rare instances, and where they will not compromise the basic form and structure of the building, openings may be permitted to be blocked up. Where openings are blocked up, recess infill material to retain the façade rhythm.	Existing windows to be utilised and activated and not blocked up. In rare instances, and where they will not compromise the basic form and structure of the building, openings may be permitted to be blocked up. Where openings are blocked up, recess infill material to retain the façade rhythm.	Existing windows to be utilised and activated and not blocked up.	

Item	Contributory	Level 3	Level 2	Level 1A and 1B
v. New internal floors	New internal floors are to suit existing window layouts to actively engage with the facade.			
vi. Doors and gates	Existing doors, gates and vehicle access openings of the <b>original building exterior</b> to be retained. Glazing to be installed in redundant openings rather than solid materials.	Existing doors, gates and vehicle access openings to be retained. Glazing to be installed in redundant openings rather than solid materials.		
vii. New openings	New openings to the <b>original building exterior</b> may be acceptable where they will not compromise the basic form and structure of the building.	New openings may be considered where they will not compromise the basic form and structure of the building.		
viii. Balconies	Recessed balconies are to be constructed behind existing or new openings rather than adding external balconies.			

### 13.3 Siting

Most industrial buildings have a zero setback to the street (primary and secondary), and this often contrasts with surrounding residential development which is set back from the street.

Item	Contributory	Level 3	Level 2	Level 1A and 1B
i. Street setbacks	Additions to industrial buildings are to match the existing setbacks of the heritage building rather than adjacent buildings of a different typology.			

### 13.4 Form and scale

Item	Contributory	Level 3	Level 2	Level 1A and 1B
i. Form and volume	Additions to the <b>original building exterior</b> are to make use of simple volumes and industrial forms such as large rectangular volume with gable roofs or sawtooth truss roofs.	Additions are to make use of simple volumes and industrial forms such as large rectangular volume with gable roofs or sawtooth truss roofs.		
ii. Scale, proportions and rhythm	Additions to the <b>original building exterior</b> are to sympathetically respond to the scale, proportions, structural grid and rhythm of openings of the industrial building.	Additions are to sympathetically respond to the scale, proportions, structural grid and rhythm of openings of the industrial building.		
iii. Rear additions	Rear additions are to be designed so they do not adversely affect the <b>original building exterior</b> and are not visible from the street.			
iv. Secondary street setbacks	a) Second storey additions to the rear of a building on a corner lot are to be set back an appropriate distance based on a streetscape analysis of the secondary street. Issues to consider include: i. Prevailing streetscape and setbacks of the secondary street. ii. Avoiding a two-storey height wall to the secondary street unless this reflects the prevailing streetscape of the secondary street. b) Rear additions are to be lower than the eaves of the industrial building on the secondary street side and clearly articulated. Rear additions may be higher where they are not visible from the secondary street.		Generally, as per Level 3 but assessed on a case-by-case basis	
v. Side additions	Side additions to the <b>original building exterior</b> are to be lower than the eaves of the industrial building and clearly articulated. Articulation can include: <ul style="list-style-type: none"><li>a 1 meter setback behind the façade of the heritage building;</li><li>a subtle change in materials; or</li></ul>	Side additions are to be lower than the eaves of the industrial building and clearly articulated. Articulation can include: <ul style="list-style-type: none"><li>a 1 meter setback behind the façade</li></ul>	Generally, as per Level 3 but assessed on a case-by-case basis.	

Item	Contributory	Level 3	Level 2	Level 1A and 1B
	<ul style="list-style-type: none"> <li>a link element such as a glazed section.</li> </ul>	of the heritage building; <ul style="list-style-type: none"> <li>a subtle change in materials; or</li> <li>a link element such as a glazed section.</li> </ul>		
vi. Articulation	New additions impacting the <b>original building exterior</b> are to sympathetically respond to the level of articulation and modulation of the significant industrial buildings.	New additions are to sympathetically respond to the level of articulation and modulation of the significant industrial buildings.		

### 13.5 Details and materials

Item	Contributory	Level 3	Level 2	Level 1A and 1B
i. Character of details and materials	External detailing and materials of additions are to suit the industrial character of the heritage building and to avoid domestic scale, detailing and materials	Detailing and materials of additions are to suit the industrial character of the heritage building and to avoid domestic scale, detailing and materials		
ii. Practical decoration and details	Use structural elements and practical detailing such as engaged piers, copings, sills, etc to provide modulation and articulation of new facades			
iii. New materials	New materials to the <b>original building exterior</b> are to be sympathetic with the significant industrial buildings and not dominate them with highly contrasting colours, textures or materials.	New materials are to be sympathetic with the significant industrial buildings and not dominate them with highly contrasting colours, textures or materials.		

Item	Contributory	Level 3	Level 2	Level 1A and 1B
iv. Details to additions	Additional details to the <b>original building exterior</b> are to sympathetically respond to the details and materials of the heritage building rather than directly replicating stylistic features of the heritage building.	Additional details to sympathetically respond to the details and materials of the heritage building rather than directly replicating stylistic features of the heritage building.		

### 13.6 Services

Item	Contributory	Level 3	Level 2	Level 1A and 1B
i. Screening	New roof top services to be screened from view and integrated into overall building design. Access ladders, etc to roof top services to be discretely located and not impact on streetscape.			
ii. Services	<p>Services to the <b>original building exterior</b>:</p> <ul style="list-style-type: none"> <li>a) to be installed with minimal damage to heritage fabric.</li> <li>b) be discretely located and grouped to minimise visual impact.</li> <li>c) to be surface mounted rather than chased into masonry.</li> </ul> <p>Sufficient detail of new services to be provided at Development Application stage to demonstrate that these elements will have minimal impact on heritage fabric and spaces.</p>	<p>All new services:</p> <ul style="list-style-type: none"> <li>a) to be installed with minimal damage to heritage fabric and spaces.</li> <li>b) to be discretely located and grouped to minimise visual impact.</li> <li>c) to be surface mounted rather than chased into masonry.</li> </ul> <p>Sufficient detail of new services to be provided at Development Application stage to demonstrate that these elements will have minimal impact on heritage fabric and spaces.</p>		

### 13.7 Infill buildings

Where industrial buildings are a contrasting element in a predominantly residential streetscape, the industrial building is not be used as a precedent for new infill development.



Where the prevailing streetscape is industrial in character, infill development is to sympathetically respond to the siting, form, articulation and materials of the industrial context.





## Part 4: Commercial Building Typologies

*This part applies to all places that have the form of original commercial buildings.*

### 14. Commercial buildings in Fremantle

In the Gold Rush Era banks and offices were located around the Victoria Quay and the Town Hall and mixed-use commercial buildings with retail, offices and residential uses were located along major roads and in local centres. These buildings were all constructed with a zero setback to the street and had a distinct public face with a more finely detailed façade treatment. Simpler utilitarian treatments were used on side and rear elevations except for corner buildings which often addressed the corner with an entrance and had two primary facades.

Substantial banks and office buildings constructed in High Street and around Victoria Quay. were designed to express solidarity and permanence and often had complex façade treatments in the Federation Academic Classical Style. These buildings did not have shopfronts and the ground floor was often slightly elevated with recessed doorways to accommodate entrance steps. They did not have street verandahs although sometimes there were recessed porticos on the upper floor.

More commonly commercial buildings were mixed use with retail, services, offices and residential uses. Buildings had a zero setback from the front boundary with large shopfronts on the ground floor sheltered by a verandah that extended over the footpath and encouraged window shopping. Offices or residences were located above behind a classically proportioned façade with either a separate entrance or stair in the shop. In the more suburban residential areas parades of single storey shops were established at local centres and corner shops with attached houses were scattered throughout the area.

Fremantle's mixed use commercial buildings were mostly constructed in the Gold Rush Era but this building type continued to be used through the Inter-War era with the only major differences being the architectural treatment of the front façade, the use of fine metal framed shopfronts rather than timber shopfronts and the use of cantilevered box awnings rather than verandahs. Gold Rush era buildings were often refurbished in the Inter-War era with new shopfronts, awnings and façade treatments to reflect evolving stylistic trends.



Mixed used commercial buildings



Hotel



Gold Rush Era shops with original timber framed shopfronts and verandah



Gold-Rush era shop with Inter-War alterations to shopfronts and cantilevered awning



Detail – Timber shopfront



Detail – Metal framed shopfront



Two storey shop with residence/ storage above, North Fremantle



Corner Shop with attached house, Fremantle

#### 14.1 Conservation

Gold-Rush and Inter-War commercial buildings have a distinctive form and key architectural features including a decorative façade facing the primary street, large shopfronts edging the back of the footpath and a verandah or awning over the footpath to provide a pleasant environment to entice customers to visit and loiter. Attached residences were often located on upper floors or in the case of corner shops,

adjacent. Upper floors were also used for office and storage area or in some cases a separate staircase led up to 'chambers' or groups of small offices suites. Where buildings are located on a corner they often feature a corner entrance and address both primary and secondary streets.

Item	Contributory	Level 3	Level 2	Level 1A and 1B
i. Form, fabric, materials	Retain and conserve the distinctive building form, fabric, materials and spaces of the <b>original building exterior</b> of commercial buildings.	Retain and conserve the distinctive building form, fabric, materials and spaces of commercial buildings.		
ii. Component parts	Retain any differences between the component parts of the <b>original building exterior</b> and the differing treatments of main and side facades.	Retain any differences between the component parts of the building and the differing treatments of main and rear facades.		
iii. Original fabric	Retain and conserve original/ significant fabric and key features of the <b>original building exterior</b> that contribute to its heritage values including: <ul style="list-style-type: none"> <li>a) facades, shopfronts, doors, windows, grills, tiles and signs;</li> <li>b) verandahs and/ or awnings; and</li> <li>c) corner entrances.</li> </ul>	Retain and conserve original/ significant building fabric and key features of the commercial building that contribute to its heritage values, including: <ul style="list-style-type: none"> <li>a) facades, shopfronts, doors, windows, grills, tiles and signs</li> <li>a. verandahs and/ or awnings;</li> <li>b) corner entrances;</li> <li>c) significant internal elements – timber floors, walls, ceilings, cornices, roses, exposed steel beams and columns, stairs; and</li> <li>d) significant internal features such as internal timber stairs, display platforms, tiling or terrazzo in entries and timber framed office partitions on upper floors.</li> </ul>		
iv. Patina, wear and tear	Where patina, wear and tear and other signs of earlier use contribute to the character and heritage value of the building and are part of the <b>original building exterior</b> , do not make old fabric look new or replace with new if it is still serviceable and.	Where patina, wear and tear and other signs of earlier use contribute to the character and heritage value of the building, do not make old fabric look new or replace with new if it is still serviceable.		

v. Replacement	Where original materials of the <b>original building exterior</b> need to be replaced but are no longer available seek alternatives which closely match the visual appearance of the original. For example, match the profiles of corrugated sheeting, weatherboards or window frames in new materials with similar colours.	Where original materials need to be replaced but are no longer available seek alternatives which closely match the visual appearance of the original. For example, match the profiles of corrugated sheeting, weatherboards or window frames in new materials with similar colours.
----------------	--	---

#### 14.2 Adaptive reuse

Item	Contributory	Level 3	Level 2	Level 1A and 1B
i. New use	Acceptable new uses will retain heritage values through the retention of original building fabric of the <b>original building exterior</b> .	New uses to be selected that will retain heritage values through the retention of original building fabric and significant spaces.		
ii. Existing Openings	Existing windows, doors and shopfronts of the <b>original building exterior</b> are to be utilised and activated and not blocked up.	Existing windows, doors and shopfronts to be utilised and activated and not blocked up.		
iii. New Openings	New openings to the <b>original building exterior</b> may be acceptable where they will not compromise the basic form, original facade composition, architectural features and structure of the building.	No new external openings to significant facades.  New internal openings may be acceptable where they will not compromise the basic form, architectural features and structure of the building		
iv. Upper level mixed use	Proposals that bring the upper level of retail mixed use buildings into use are encouraged and new independent access arrangements to the <b>original building exterior</b> may be supported provided they	Proposals that bring the upper level of Retail Mixed Use buildings into use are encouraged and new independent access arrangements may be supported provided they do not undermine the recognised heritage value of the place.		

	do not undermine the recognised heritage value of the area.	
--	---	--

### 14.3 Verandahs

Verandahs and cantilevered box awnings are an important feature of commercial buildings which contribute to the heritage value of the building and surrounding streetscape as well as the amenity of the public realm by providing sheltered public space to encourage pedestrian activation of the area. Some two storey commercial buildings have double storey verandahs attached to primary and secondary street frontages.

- i. Retain and conserve original verandahs and cantilevered box awnings.
- ii. Reinstatement of original verandahs is encouraged where evidence is available to indicate a verandah was once present. Reinstatements should use photographic records and physical remnants to ensure they are reasonably accurate. Reinstated verandahs may be structurally enhanced to comply with modern requirements where the modification to the original design is concealed, for example, more durable steel posts in place of timber posts in the road reserve may be considered where they are of the same size, shape and profile.
- iii. Verandahs are not to be enclosed.
- iv. Café blinds or similar elements that enclose the space under a street verandah would only be considered where they do not impede pedestrian usage of the footpath or visually obscure the building and its shopfronts.

### 14.4 Shopfronts

Large, glazed shopfronts are a key architectural feature of commercial buildings and make an important contribution to the heritage character of Fremantle and the quality of the built environment.

The façade of a commercial building is divided into bays by the masonry building structure. Traditional shopfronts span for the full width of the structural bay and extend up to the underside of the verandah / awning roof. Some shops have a secondary highlight window over the verandah to provide extra light deep into the shop. The traditional shopfront consists of a recessed entrance door, large, glazed shopfront windows sitting on a low solid plinth or 'stall bay' and a glazed fanlight that extends over the door and shop window. There is usually a





glazed fanlight over the entrance door and shopfront which sometimes has decorative stained glass or lead lights. Inside the shop there was usually a raised platform to display goods.

Gold Rush era shopfronts were of timber construction sometimes with decorative turned columns, stained glass fanlight windows and tiled entry recesses and dados to structural piers. The solid stall bay was usually part of the shopfront. Inter-War era shopfronts had a fine metal framed structure with Art Deco influenced proportioning and decorative motifs, leadlight fanlight windows and tiled or terrazzo entry recesses and dados to structural piers. The stall bay was usually a masonry plinth which was tiled to match the dado tiling on the masonry piers to the façade.

#### *14.4.1 Conservation and adaptation of heritage shopfronts:*

- i. Heritage shopfronts are to be retained, conserved and, where possible, enhanced to maintain the character of the commercial building. Both the Gold Rush period timber frames and the interwar period, Art Deco influenced metal frames are significant.
- ii. Historic fabric and architectural features of the shopfront are to be retained including decorative features and glazing, metal vents, tiling, terrazzo features, shop numbers, remnant signage, pressed metal linings, etc.
- iii. Traditionally shopfront windows had fixed panes; modification of the shopfront to include some opening windows will only be considered where frames are invisible, and installation does not involve the removal of original fabric.
- iv. Do not remove transoms (horizontal elements) or mullions (vertical elements) from heritage shopfronts.
- v. Do not install bi-fold doors into heritage place shopfronts.
- vi. Do not install external roller doors, gates or roller shutters in front of shopfronts to heritage place buildings.
- vii. Glazing to shopfronts to be largely clear to activate the street and contribute to the ambience and character of the area.
- viii. Glazing above the shopfront and verandah level is to be retained and is not to be covered internally by bulkheads and ceilings.

#### *14.4.2 New shopfronts to heritage places*

- i. New shopfronts to heritage places may be considered where the original shopfront, or an Inter-War era replacement shopfront, has been removed in the past.

- ii. Reinstatement of missing shopfronts is highly encouraged where there is documentary evidence of the original shopfront (photos or plans) or physical evidence (a surviving shopfront or parts of a shopfront within the same building).
- iii. New shopfronts to a building with other surviving heritage shopfronts must either accurately reinstate the original shopfront or sympathetically respond to the form, architectural style, materials and colours of the original shopfront.
- iv. New shopfronts are to sympathetically respond to the traditional shopfront form and the architectural style and era of the building. Shopfronts are to include a recessed entrance, large shop window with a low solid plinth, fanlight and where appropriate highlight windows over the verandah / awning.

#### 14.4.3 Shopfront window signs

- i. Advertising on shopfronts not to significantly obstruct views into commercial tenancies so activity and shopfront displays will activate the street and contribute to the character of the area.
- ii. Fanlights to remain predominantly clear.
- iii. Traditional signage such as lettering or small logos on a clear background is encouraged.

#### 14.5 Siting

Most commercial buildings have a zero setback to the street (primary and secondary), and this often contrasts with surrounding residential development which is set back from the street. The exception to this is a Corner Shop and House which is a hybrid typology.

Item	Contributory	Level 3	Level 2	Level 1A and 1B
i.Existing setbacks	Additions to commercial buildings are to match the existing setbacks of the heritage building rather than adjacent buildings of a different typology.			
ii. Corner Shop and House	Additions to Corner Shop and House buildings are to respect the established setbacks of the two parts. For the house, refer to Part 2: Residential Building Typology of this Policy.			



#### 14.6 Form and scale

Item	Contributory	Level 3	Level 2	Level 1A and 1B
i. Form and volume	Additions to the <b>original building exterior</b> are to sympathetically respond to the form and volumes of the commercial building.	Additions are to sympathetically respond to the form and volumes of the commercial building.		
ii. Scale, proportions and rhythm	Additions to the <b>original building exterior</b> are to sympathetically respond to the scale, proportions, structural grid and rhythm of openings of the industrial building.	Additions are to sympathetically respond to the scale, proportions , structural grid and rhythm of openings of the commercial building.		
iii. Rear additions	Rear additions are to be designed so they do not adversely affect the <b>original building exterior</b> and are not visible from the street.			
iv. Rear additions to secondary street	a) Second storey additions to the rear of a building on a corner lot are to be set back an appropriate distance based on a streetscape analysis of the secondary street. Issues to consider include: i. Prevailing streetscape and setbacks of the secondary street. ii. Avoiding a two-storey height wall to the secondary street unless this reflects the prevailing streetscape of the secondary street. b) Rear additions are to be lower than the eaves of the commercial building on the secondary street side and clearly articulated. Rear additions may be higher where they are not visible from the secondary street.		Generally, as per Level 3 but assessed on a case-by-case basis	
v. Side additions	Side additions to the <b>original building exterior</b> are to be lower than the eaves of the commercial building and clearly articulated. Articulation can include:	Side additions are to be lower than the eaves of the commercial building and	Generally, as per Level 3 but assessed on a case-by-case basis.	

	<ul style="list-style-type: none"> <li>a 1 meter setback behind the façade of the heritage building;</li> <li>a subtle change in materials; or</li> <li>a link element such as a glazed section.</li> </ul>	<p>clearly articulated. Articulation can include:</p> <ul style="list-style-type: none"> <li>a 1 meter setback behind the façade of the heritage building;</li> <li>a subtle change in materials; or</li> <li>a link element such as a glazed section.</li> </ul>	
vi. Articulation	New additions impacting the <b>original building exterior</b> are to sympathetically respond to the level of articulation and modulation of the significant commercial buildings.	New additions are to sympathetically respond to the level of articulation and modulation of the significant commercial buildings.	

#### 14.7 Details and materials

Item	Contributory	Level 3	Level 2	Level 1A and 1B
i. Character of details and materials	External detailing and materials of additions are to suit the industrial character of the heritage building and to avoid domestic scale, detailing and materials	Detailing and materials of additions are to suit the industrial character of the heritage building and to avoid domestic scale, detailing and materials		
ii. Practical decoration and details	Use structural elements and practical detailing such as engaged piers, copings, sills, etc to provide modulation and articulation of new facades			

iii. New materials	New materials to the <b>original building exterior</b> are to be sympathetic with the significant commercial buildings and not dominate them with highly contrasting colours, textures or materials.	New materials are to be sympathetic with the significant commercial buildings and not dominate them with highly contrasting colours, textures or materials.
iv. Details to additions	Additional details to the <b>original building exterior</b> are to sympathetically respond to the details and materials of the heritage building rather than directly replicating stylistic features of the heritage building.	Additional details to sympathetically respond to the details and materials of the heritage building rather than directly replicating stylistic features of the heritage building.

#### 14.8 Services

Item	Contributory	Level 3	Level 2	Level 1A and 1B
i. Screening	New roof top services to be screened from view and integrated into overall building design. Access ladders, etc to roof top services to be discretely located and not impact on streetscape.			
ii. Services	<p>Services to the <b>original building exterior</b>:</p> <ul style="list-style-type: none"> <li>d) to be installed with minimal damage to heritage fabric.</li> <li>e) be discretely located and grouped to minimise visual impact.</li> <li>f) to be surface mounted rather than chased into masonry.</li> </ul> <p>Sufficient detail of new services to be provided at Development Application stage to demonstrate that these elements will have minimal impact on heritage fabric and spaces.</p>	<p>All new services:</p> <ul style="list-style-type: none"> <li>d) to be installed with minimal damage to heritage fabric and spaces.</li> <li>e) to be discretely located and grouped to minimise visual impact.</li> <li>f) to be surface mounted rather than chased into masonry.</li> </ul> <p>Sufficient detail of new services to be provided at Development Application stage to demonstrate that these elements will have minimal impact on heritage fabric and spaces.</p>		



#### *14.9 Infill buildings*

Where commercial buildings are a contrasting element in a predominantly residential streetscape, the commercial building is not be used as a precedent for new infill development.

Where the prevailing streetscape is commercial in character, infill development is to sympathetically respond to the siting, form, articulation and materials of the commercial context.

## Part 5: Criteria for Specific Heritage Areas

*The heritage areas below have specific requirements in addition to the general requirements of Parts 1-4 above. Where Parts 1-4 are inconsistent with Part 5, the Part 5 requirements prevail to the extent of the inconsistency.*

### 15. Hilton Garden Suburb Heritage Area

The Hilton Garden Suburb Heritage Area has a distinctive heritage character that is derived from its planning, development and construction by the State Housing Commission in the Post-War Era. The curvilinear road layout, parks, irregular shaped lots and large open front gardens all contribute to the garden suburb character and a high proportion of the original houses remain. The houses, which are a simplified form of popular Inter-War styles, have a high level of conformity due to limitations on floor area, scale and materials. Housing constructed in the early stage of development is timber framed with tiled roofs and variety was provided by variations in the simple hip and gable roof forms, the porch design and the wall cladding material. Later development east of Collick Street includes brick and tile house types with simplified elements of popular Post-War residential styles.

#### 15.1 Street Setbacks

- 15.1.1 For the purpose of determining the setback of buildings, the street designated as the primary or secondary street shall be determined by the Council, taking into consideration the prevailing streetscape, lot and house orientation and physical characteristics of the lot.
- 15.1.2 New extensions shall be located at the rear or side of the original dwelling.
- 15.1.3 Deemed-to-comply setbacks for buildings, including garages/carports where under the main roof of the development, are as follows:

Item	Setback
Primary Street	7m
Secondary Street	3m
Garages, Carports and Outbuildings	Set back in line with or behind the front wall of the dwelling.

- 15.1.4 Notwithstanding the above, carports may be located in front of the dwelling where the development meets all of the following criteria:
  - a) The carport is open on all sides with no door;
  - b) The carport is lightweight in construction with timber or steel vertical supports no greater than 150mm in width in any direction;
  - c) No part of the carport exceeds 2.8 metres in height above natural ground level;

- d) The carport appears simple in design and is visually subservient to the form and proportion of the dwelling;
  - e) The carport is located so as to maintain visibility of the dwelling from the street and surveillance from the dwelling to the street;
  - f) The maximum width of the carport is to be 6 metres on a property with a frontage of 14 metres or greater or on a property with a frontage of less than 14 metres, the maximum width of a carport is to be 3 metres; and
  - g) The carport complies with clause 5.1.3 – Lot boundary setbacks, of the Residential Design Codes.
- 15.1.5 Variations to primary street setbacks may be considered where the development meets at least one of the following criteria:
- a) Where the proposed setback of the building is consistent with the setback of buildings within the prevailing streetscape;
  - b) Where due to the nature of the road and/or lot layout in the locality or the topography of the land, the proposed setback of the building does not result in a projecting element into an established streetscape vista; or
  - c) Where the proposed setback of the building will facilitate the retention of a mature, significant tree deemed by the Council to be worthy of retention.
- 15.1.6 Variations to secondary street setbacks may be considered where the development meets criteria 15.1.5(b) above.
- 15.1.7 Dwellings are to be oriented parallel with the front boundary of the property addressing the primary street unless one of the following apply:
- a) The proposed dwelling orientation is consistent with the orientation of dwellings within the prevailing streetscape; or
  - b) The proposed dwelling orientation is consistent with the traditional angular orientation of buildings, particularly in the case of corner lots where dwellings are typically set square to the corner splay of the lot.

## 15.2 Garage width

### 15.2.1 Garage widths are as follows:

Location	Criteria
Garage set back in line with or less than 2 metres behind the front wall of the dwelling	Maximum garage width of 3.2 metres
Garage set back 2 metres or more behind the front wall of the dwelling	<ul style="list-style-type: none"> <li>Maximum garage width of 45% the width of the front of the dwelling</li> <li>Driveway to taper gradually from the garage to the street and be a maximum width of 3.5 metres at the street boundary</li> </ul>

Corner lots where the garage addresses the secondary street	Maximum garage width of 6 metres
---	----------------------------------

- 15.2.2 The garage width may be varied where one of the following can be demonstrated:
- The visual impact of the garage on the streetscape is alleviated due to significant variations in the topography in the front setback area such that the garage floor level is situated well below the ground level of the street;
  - The garage is setback a significant distance from the street boundary of the property and the width of the driveway is minimised to maintain a streetscape of open front setback areas and single residences separated by open space that are not dominated by garages; or
  - The positioning of the garage will assist in producing an overall building design more in keeping with the form and proportions of traditional Hilton houses, including a simpler roof form and the width of the driveway is minimised to maintain a streetscape of open front setback areas and single residences separated by open space that are not dominated by garages.

### 15.3 Street walls and fences

- 15.3.1 Fencing with a high proportion of visual permeability and reflective of fencing styles and materials traditional to the area (primarily post and wire/mesh infill) is strongly encouraged.
- 15.3.2 Street walls and fencing forward of the building line are to be a maximum height of 1.5 metres and meet the following criteria:

Where the maximum fence height is...	Visual permeability is to be...
Up to 0.9 metres	Minimum 20% visually permeable above 0.3 metres
1.0m to 1.2 metres	Minimum 50% visually permeable above 0.3 metres
1.3 to 1.5 metres	Minimum 85% visually permeable above 0.3 metres

- 15.3.3 Variations to the above may be considered where it is demonstrated that the proposal is consistent with character of the prevailing streetscape (including, in relation to this clause only, the house directly across the street and the three houses on either side of that opposing house, where these are located within the Hilton Heritage Areas) AND maintains clear surveillance between the street and the dwelling.
- 15.3.4 Notwithstanding the above, front fencing shall be visually permeable above 1.2 metres to a maximum height of 1.8 metres, with piers no higher than 2.0 metres for properties on the following streets:
- South Street, between Stock Road and Lee Avenue;
  - Carrington Street, between South Street and Winterfold Road; or



- Winterfold Road, between Carrington Street and Collick Street.

15.3.5 Solid masonry (brick) fencing of a maximum height of 2 metres is permitted to the rear boundary of properties backing onto Stock Road.

#### 15.4 Vehicle Access

15.4.1 Where two or more lots share a vehicular access point (via an access easement, common property driveway, or the like), such a shared vehicular access point is to be the sole vehicle access for all of those lots to that street front.

15.4.2 Where variations are permitted, new crossovers shall be a maximum width of 3 m, and the development is to provide a landscaping plan demonstrating high quality landscaping features to soften the impact of the additional hardstand on the streetscape appearance.

#### 15.5 Building Height

15.5.1 Building heights are as follows:

Item	Height
External wall height for elevations fronting the primary and/or secondary streets	Minimum 3.2 metres
External wall height	Maximum 3.5 metres (equivalent to single storey with loft)
Roof ridge height	Maximum 6.5 metres

15.5.2 Lesser external wall heights may be considered where the proposed height is consistent with the wall height of development within the prevailing streetscape and the development meets one of the following:

- The development incorporates design elements that give the development a greater, more traditional presence to the street such as gable ends greater than the minimum external wall height or a steeper roof pitch (within the maximum roof pitch requirement of 35 degrees); or
- The natural ground level of the site is higher than the street so the development maintains a greater, more traditional presence to the street.

15.5.3 Greater external wall heights and/or roof ridge heights may be considered where the development meets one of the following criteria:

- The development is on a rear survey strata lot, battleaxe lot or the equivalent and has minimal presentation to the streetscape and the development complies with the Deemed-to-comply requirements of the Residential Design Codes for the following:
  - Clause 5.1.3 Lot Boundary Setback,
  - Clause 5.1.4 Open Space, and

iii. Clause 5.4.2 Solar access for adjoining sites

- b) Excluding development on a rear survey strata lot, battleaxe lot or the equivalent, the front and side elevations of the development present generally as a single storey dwelling when viewed from the street with the predominant bulk of the element exceeding the prescribed maximum building height located at the rear of the dwelling; or
- c) Excluding development on a rear survey strata lot, battleaxe lot or the equivalent, the proposed building height is consistent with the building height of development within the prevailing streetscape.

*15.6 Boundary walls*

- 15.6.1 Boundary walls shall be located a significant distance from the front boundary to maintain a streetscape of separated single residences separated by open space.

*15.7 Form and proportion of new dwellings*

- 15.7.1 Unless it can be demonstrated that a proposal is consistent with the prevailing streetscape, roofs shall:
- a) Be hipped or gabled with a pitch between 27.5 and 35 degrees;
  - b) Be simple in form, incorporating no more than 2 roof elements visible from the primary and/or secondary street; and
  - c) Have eaves a minimum width of 450mm.
- 15.7.2 Buildings shall:
- a) Have wall angles of the front face of the dwelling be 90 degrees; and
  - b) Have a front door facing and clearly visible from the street.
- 15.7.3 Variations to the above may be considered where a proposal is consistent with the prevailing streetscape, and provides street surveillance from a habitable room or active outdoor habitable space between the dwelling and the street.

*15.8 Conservation of existing dwellings*

- 15.8.1 Where the dwelling is an original timber framed or brick dwelling constructed during the establishment of the Hilton Garden Suburb Precinct (dwellings constructed prior to 1965), refer to Parts 1 & 2 of this Policy for criteria on conservation and any other items not addressed in this Part. If the dwelling is not an original dwelling constructed prior to 1965, refer to clause 10 of this Policy for criteria not addressed in this Part.
- 15.8.2 Variations may be considered where the proposed development involves minor variations and is specifically designed according to solar passive design principles to achieve a significantly higher level of energy efficiency than could otherwise be achieved by complying with Parts 1,2 or 5 of this Policy.

### *15.9 Rear lots*

- 15.9.1 Where development is proposed on a site or lot that is either a battleaxe lot, rear survey strata lot or the equivalent and the proposed development has minimal presentation to the streetscape, only the maximum height and vehicle access provisions of this Part apply. For all else, refer to the Residential Design Codes.

### *15.10 Non-residential development*

- 15.10.1 Where development is proposed on a site or lot not zoned Residential and/or where the development is associated with a non-Residential use class, the development shall be compatible with the heritage significance of the "Hilton Garden Suburb Precinct" Heritage Area as well as the relevant requirements of the Local Planning Scheme No. 4.

### *15.11 Subdivision*

- 15.11.1 The historic pattern of subdivision within the Hilton Garden Suburb Precinct is characterised by wide lot frontages which contribute significantly to the streetscape character and amenity of Hilton. In order to preserve the traditional streetscape character and amenity of Hilton, the following criteria apply:
- a) The subdivision is in the form of battleaxe or survey strata (with or without common property) with one lot behind the other.
  - b) The proposed front lot shall have a minimum frontage of 16 metres. In the case of corner lots, the minimum frontage of 16 metres shall apply to the primary street.
  - c) Access legs for battleaxe or survey strata subdivision shall provide reciprocal access to both the front and rear lots. The City may impose a relevant condition on any subdivision.
- 15.11.2 Variations to the above may be considered where the local government is satisfied that the proposal will be consistent with the form of subdivision within the prevailing streetscape.

## **16. West End**

Refer to LPP 3.21: West End Heritage Area.

## **17. Other Heritage Areas**

### **17.1 Street setbacks**

For the following areas, deemed-to-comply street setbacks to residential development in a residential zone are as per the Residential Streetscape Policy unless the lot is subject to a more area-specific policy, guideline or planning instrument:

- Holland and Forrest Streets Heritage Area
- Howard Street Heritage Area
- Memorial Reserve Heritage Area



- North Fremantle Heritage Area
- Ord and Bateman Streets Heritage Area
- Ord Street Heritage Area
- South Fremantle Heritage Area

## Appendix 1 - Definitions

The following definition of terms used in the policy apply in addition to those in Planning and Development Act and Heritage Act, and subsidiary regulations, and City of Fremantle Local Planning Scheme No.4.

**Adaptation** means changing a place to suit the existing use or a proposed use.

**Additions** are new elements to be added to an existing place – this could include extensions, outbuildings or ancillary structures.

**Alterations** are changes to an existing place.

**Ancillary structures** include sheds, patios and gazebos etc.

**Bulk** is the combination of scale, massing and form of a building (three-dimensional perspective), e.g. a cube is of greater bulk than a pyramid of the same base size and elevation.

**Contributory place** means a **place** that makes a positive contribution to the **cultural heritage significance** of a Heritage Area. A **contributory place** may or may not be included on the City's **Heritage List** as an individual **place**.

**Curtilage** the area of land around a building associated with its function and/or appropriate visual space.

**External fixtures** – refer Residential Design Codes definition. (Includes air conditioning units, radio and television aerials, satellite dishes, solar panels, water tanks, service connections, meter boxes or similar structures appurtenant to buildings)

**Form** means the overall shape and size of a building, structure or fabric and the arrangement of its parts and features.

**Heritage List** is the list of places and areas that are considered to have cultural heritage significance to the City of Fremantle and are worthy of protection.

**Heritage-protected place** is as defined in Schedule 2 Regulation 1A of the *Planning and Development (Local Planning Schemes) Regulations 2015*. For ease of reference, the definition includes state registered places, locally registered places, places the subject of a heritage order or heritage agreement, and all properties within a heritage area, including non-contributory properties.

**Individual place** see Place.

**Interpretation** means communicating the meanings of a cultural or historic **place** through a variety of media and includes the retention and **conservation** of the **fabric** of the **place**.

**Like-for-like** means exchanging a part of a **place** in exactly matching material, colour, **form**, profile etc.

**Maintenance** means the continuous protective care of a **place** and its **setting**, including regular inspection and cleaning. **Maintenance** is distinct from repair, which involves **restoration** or **reconstruction**. For roofs, **maintenance** includes partial repairs such as replacement of some roof sheets or some tiles, but not whole roof replacement.

**Non-contributory** means a **place** that does not contribute to the **cultural heritage significance** of the South Fremantle Heritage Area.

**Original building exterior** means:

- a) the original external portions of a building that contribute to the area. It includes, the following:
  - i. the main external walls under the original main roofline;
  - ii. the roof, eaves, roof plumbing and chimneys of the original main building;
  - iii. any lean-tos of the same material and constructed at roughly the same time as the original main rooms of the house;
  - iv. porches, verandahs, front steps and the like;
  - v. window frames, doors, shopfronts, and positioning of openings;
  - vi. external detailing and features; and
  - vii. colour, material, texture, and the like.

But *excludes*:

- viii. portions of rear wall (inclusive of above items i-vii on the rear wall) at least 250mm from a side corner;
- ix. rear portions of roofs and eaves from the corner of the rear roof or eaves to 250mm in from the side corner of the wall; and
- x. any portions of roof at least 500mm behind the apex or parapet and down the length of the rear roof and not visible from the street.

Refer to figures 4 and 5 in Appendix 2.

**Patina** means the surface appearance of something evolving with age or use.

**Partial demolition** is selective in nature since it only removes certain parts of a building instead of the entire structure.

**Place (Heritage place / Individual place / Individually listed place)** has the meaning given by the *Heritage Act 2018*. It is the whole of the heritage lot or parcel of land which contains a heritage item that is considered to be the place. For purposes of this policy, the term excludes non-contributory properties unless as part of the term "heritage-protected place".

**Preservation** means maintaining a place in its existing state and preventing deterioration. Preservation would include, for example, repainting a previously painted timber element to protect it from the weather.

**Prevailing Streetscape** means the characteristics of the 3 properties adjoining either side of the subject site, fronting the same street and in the same street block. In the case of a corner lot where the dwelling is orientated to the splay, the characteristics of the adjoining three properties, where appropriate, facing both streets shall be considered. Greater weight may be given to the characteristics of the two immediately adjoining properties on either side of the subject site fronting the same street(s). For the purpose of this definition,

properties separated by a street shall not be considered 'adjoining', nor shall intrusive or non-contributory properties be used to establish context.

**Public realm** means publicly accessible areas such as footpaths and road reserves.

**Reconstruction** means returning a place to a known earlier state and is distinguished from 'restoration' by the introduction of new material. Reconstruction would include replacing decayed fabric with new fabric; for example, a rusted-out gutter being removed and a new (but matching gutter) being installed. Reconstruction should always be done in a 'like for like' replacement manner.

**Restoration** means returning a place to a known earlier state by removing accretions or by reassembling existing elements without the introduction of new material. It generally involves returning dislodged or relocated fabric to its original location. E.g. loose roof gutters on a building or displaced stones from a wall.

**Scale** is the two-dimensional elevation sizes of a building; the vertical height; horizontal width; and their relative proportions to surrounding buildings and places.

**Setback** means the horizontal distance of building edge from a property boundary.

**Setting** means the immediate and extended environment of a place that is part of, or contributes to, its cultural significance and distinctive character.

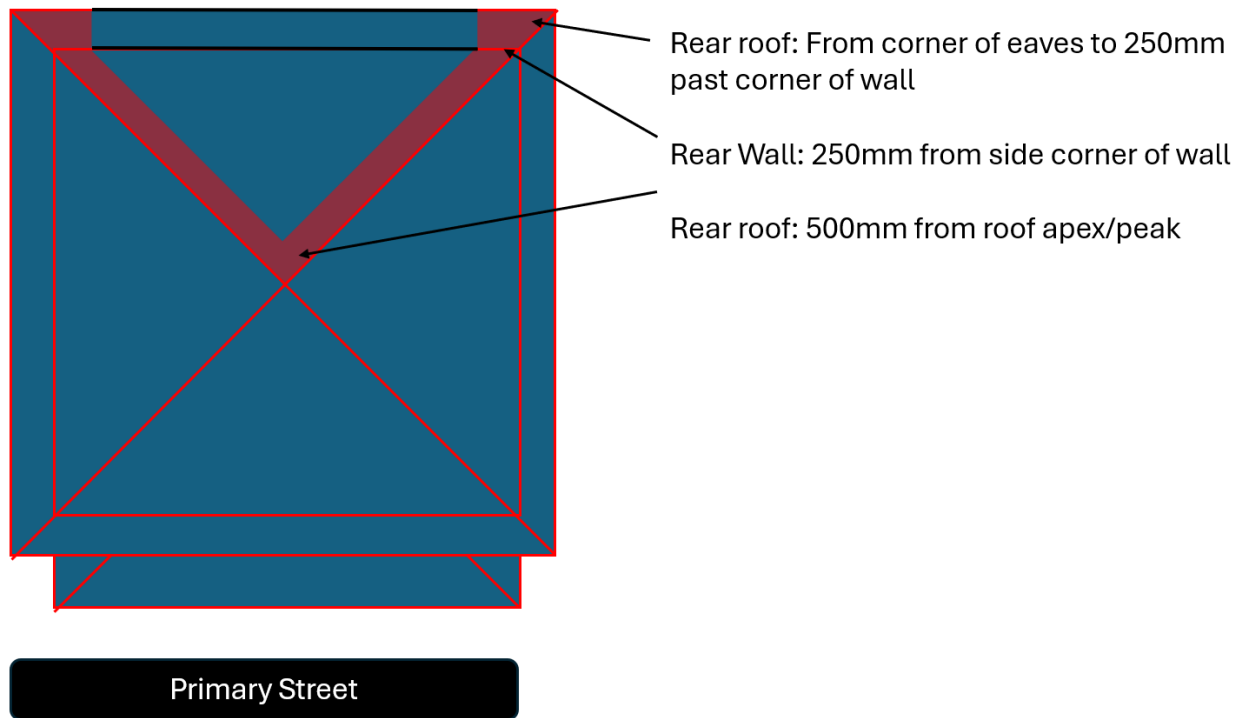
**Significant Fabric** is the part(s) of a place or area that are important to its cultural heritage significance. For contributory properties this relates only to the external parts that form the original building exterior. For individually listed properties, it may include any or all of the place.

**Siting** means the relationships and juxtaposition of buildings on a site and the space around/between buildings.

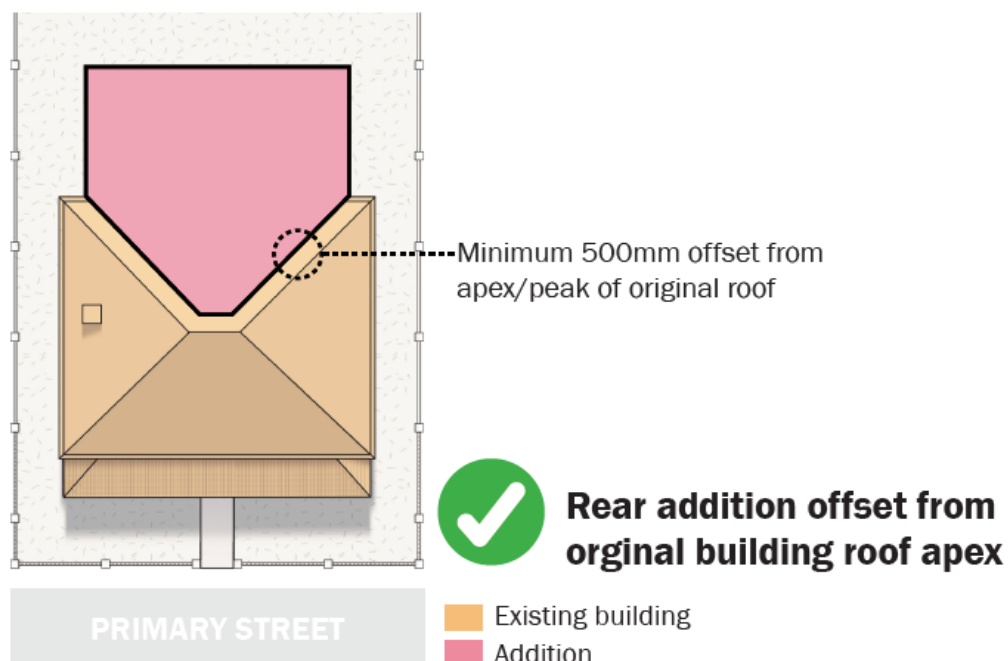
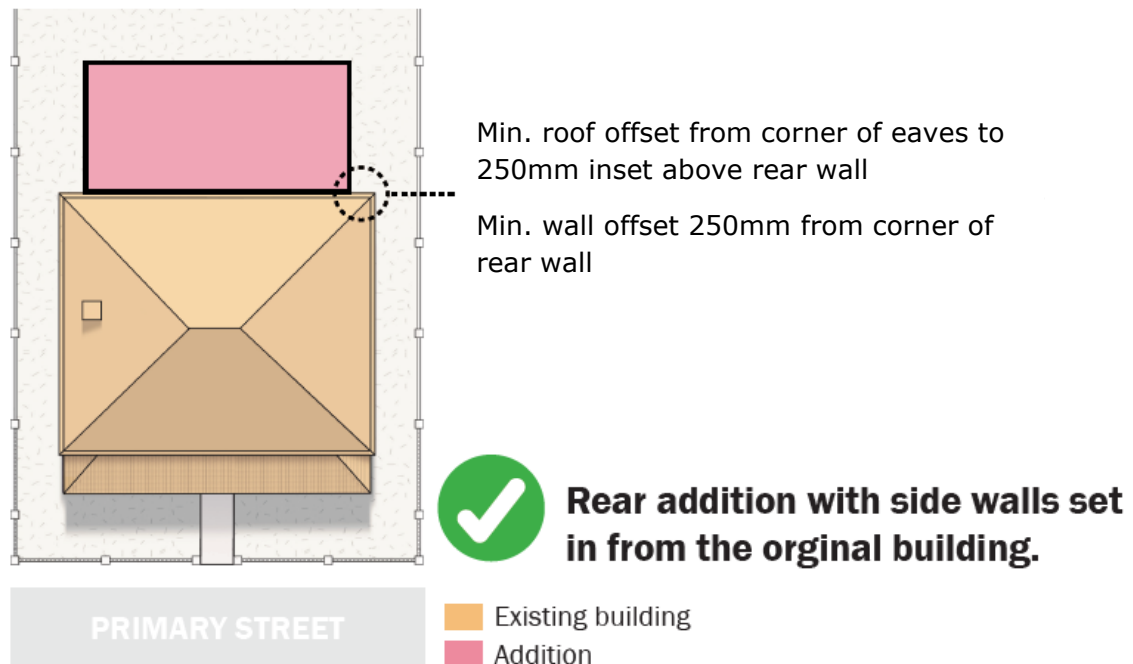
**Visible from the street** – means based on an assumed line of sight measured at a perpendicular angle to the primary street boundary of the development site and the street or public open space, at an assumed point of 1 metre less than the street width and 1.6 metres above ground level. An area of public open space will be considered to have an assumed street width of 20 metres for the purpose of this definition. (Refer to diagram in Appendix 2)



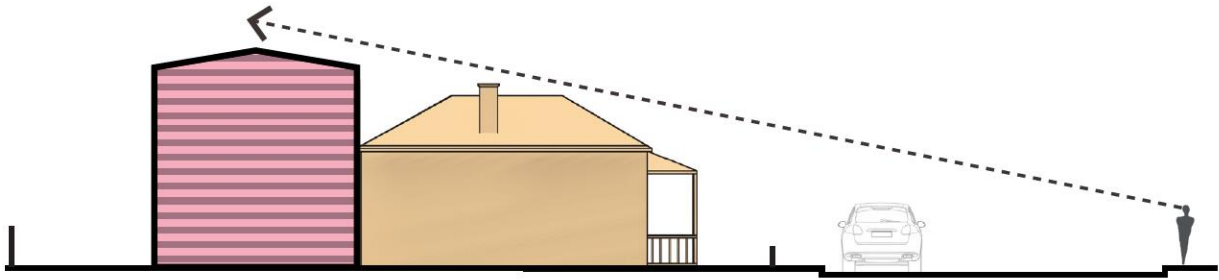
## Appendix 2 – Diagrams



**Figure 4: Original Building Exterior Outlined in Red**



**Figure 5: Figures illustrating development outside the original building exterior**



**Figure 6: Visible from the street line of sight**

## Appendix 2 – Common Heritage Building Diagrams

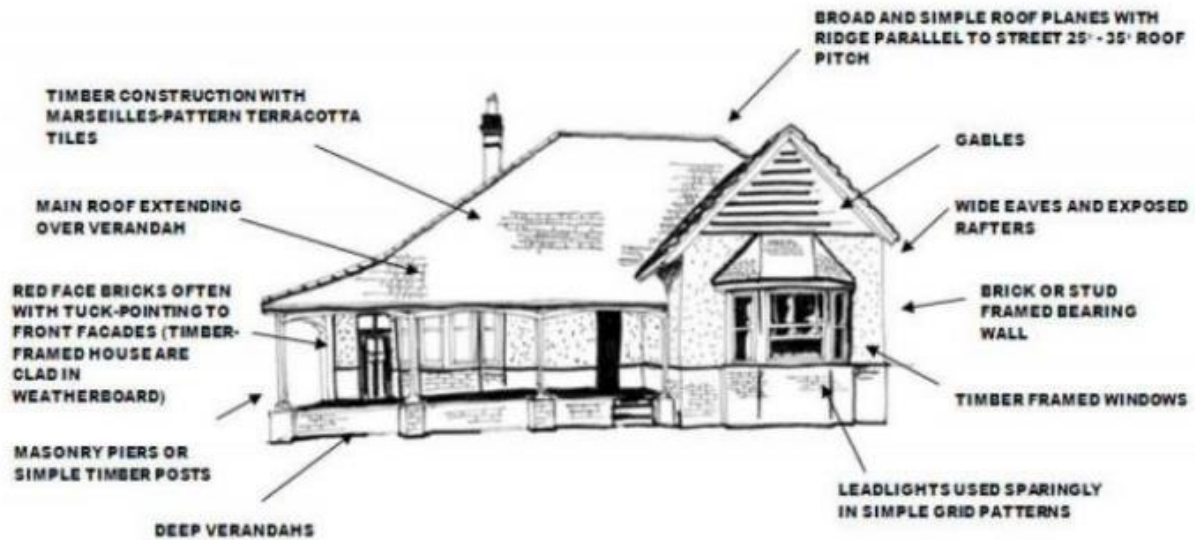
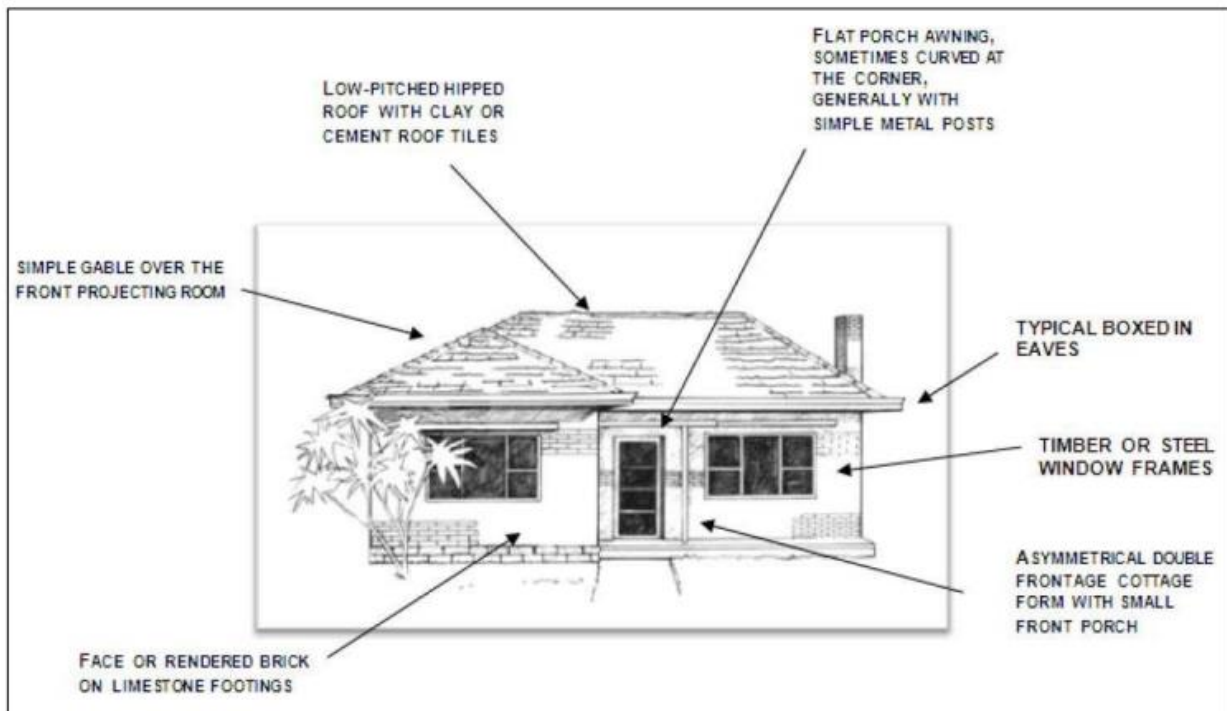


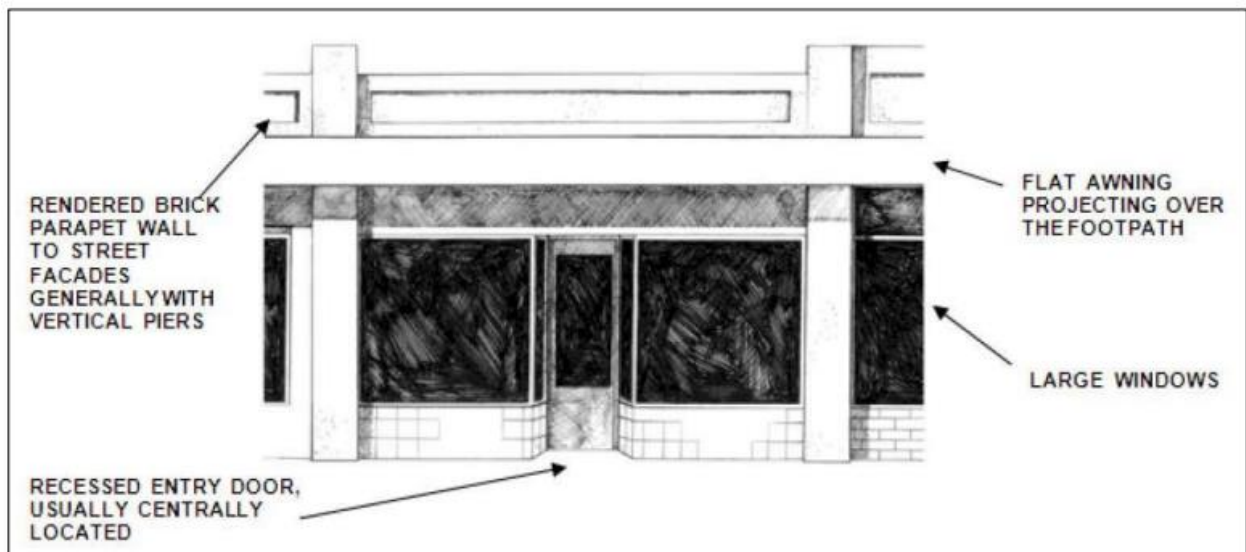
Figure 7: Federation Bungalow



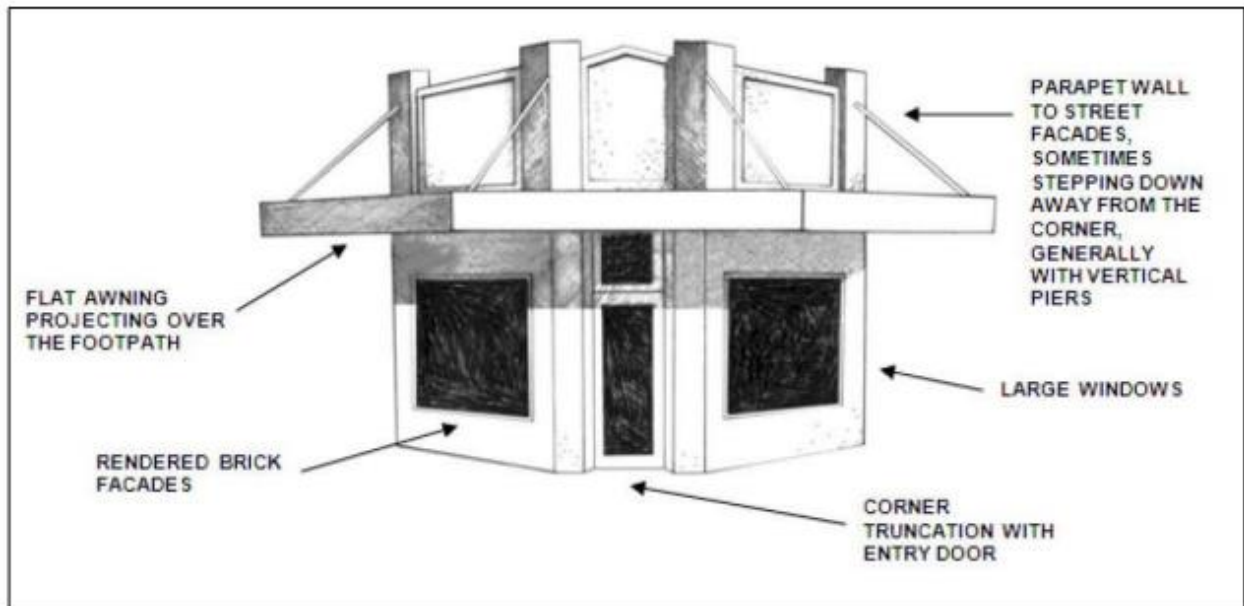
Figure 8: Inter-war Californian Bungalow



**Figure 9: Austerity Cottage**



**Figure 10: Shop front**



**Figure 11: Corner shop**

Responsibility and review information	
<b>Responsible officer:</b>	Manager Strategic Planning and City Design
<b>Document adoption/approval details</b>	27 August 2025 – Ordinary Meeting of Council – C2508-15
<b>Document amendment details</b>	
<b>Next review date</b>	27 August 2029