

53 AMHERST STREET - WHITE GUM VALLEY

PROPOSED ALTERATIONS AND ADDITIONS

- A1.00 - SITE PLAN
- A1.01 - GROUND FLOOR PLAN
- A1.02 - LOWER GROUND AND FIRST FLOOR PLANS
- A2.00 - ELEVATIONS 1 OF 2
- A2.00 - ELEVATIONS 2 OF 2

CITY OF FREMANTLE
These Plans Form Part of

DA0264/25

14 Aug 2025



GENERAL NOTES

ALL DIMENSIONS ARE IN METRIC MILLIMETRES

WRITTEN DIMENSIONS SHALL TAKE PREFERENCE OVER SCALED DIMENSIONS

LARGE SCALE DRAWINGS SHALL TAKE PREFERENCE OVER SMALLER SCALE DRAWINGS

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THE ARCHITECT IS TO BE NOTIFIED OF ANY DISCREPANCIES

SITE VISIT- THE CONTRACTOR SHALL BE REQUIRED TO VISIT AND ACQUAINT HIMMERSSELF WITH ALL VISIBLE SITE CONDITIONS PRIOR TO COMMENCEMENT OF WORKS

BOX GUTTER DIMENSIONS T.B.C BY ROOF PLUMBER

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HEIGHTS TO CONFORM WITH BRICK COURSINGS WHERE POSSIBLE

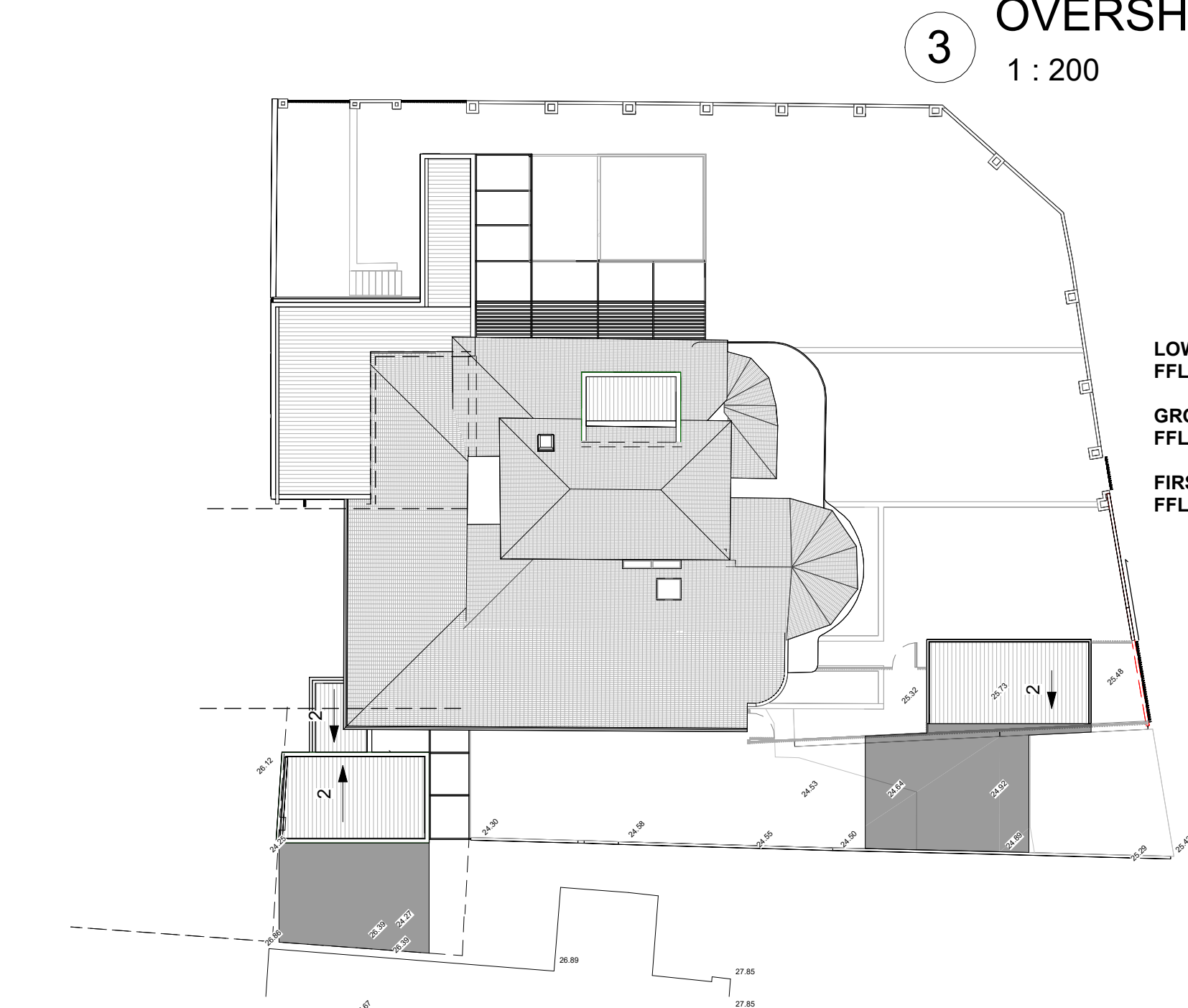
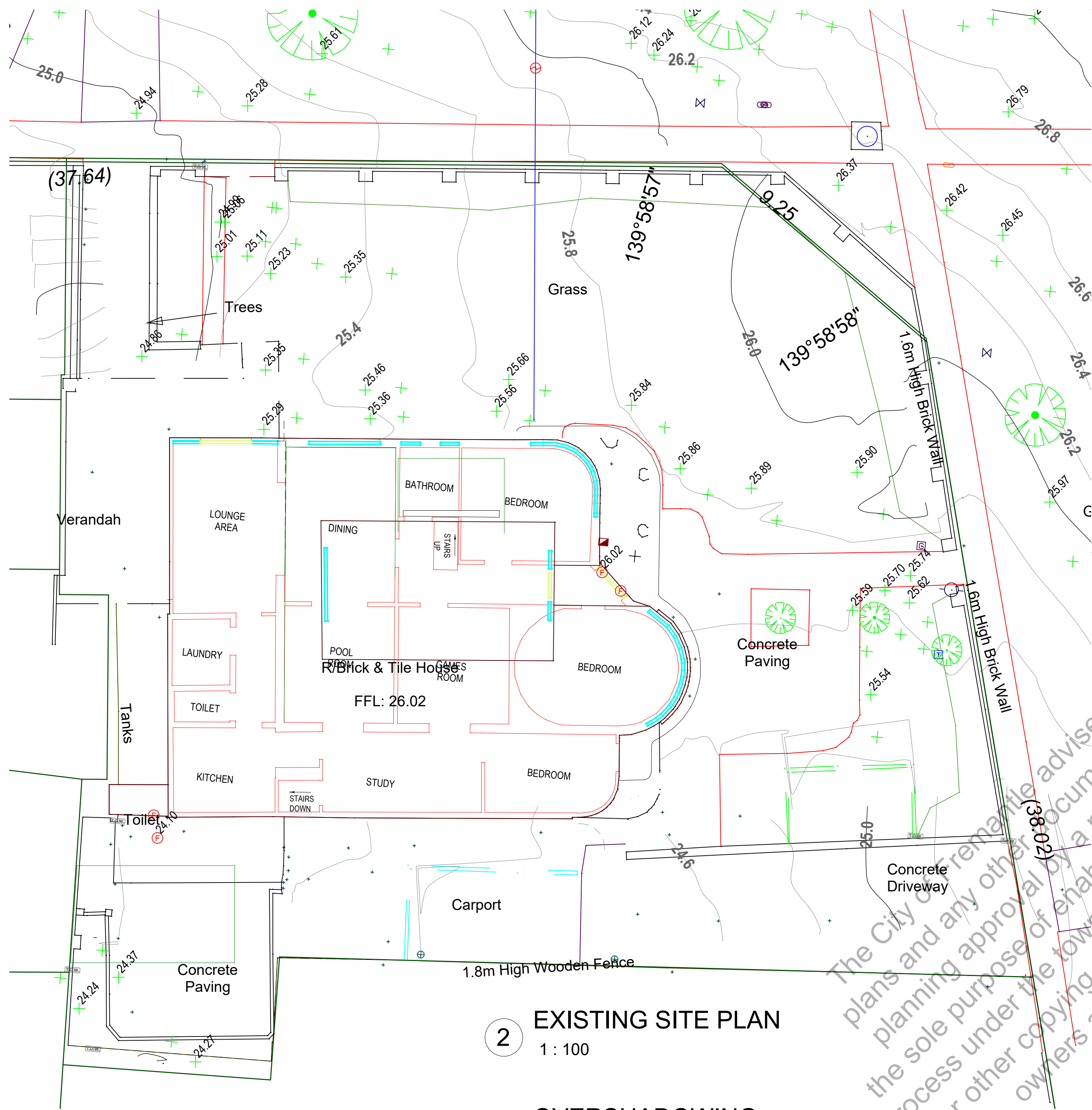
ANY DISCREPANCIES TO BE CHECKED AND CONFIRMED WITH THE ARCHITECT PRIOR TO COMMENCEMENT OF WORKS AND/OR ANY FURTHER WORKS

REVISION	DESCRIPTION	DATE	ISSUED TO
0	DRAWING ISSUE - DEVELOPMENT APPLICATION	23.07.25	COUNCIL

PROJECT | AMHERST ALTERATIONS AND ADDITIONS

TITLE | COVER

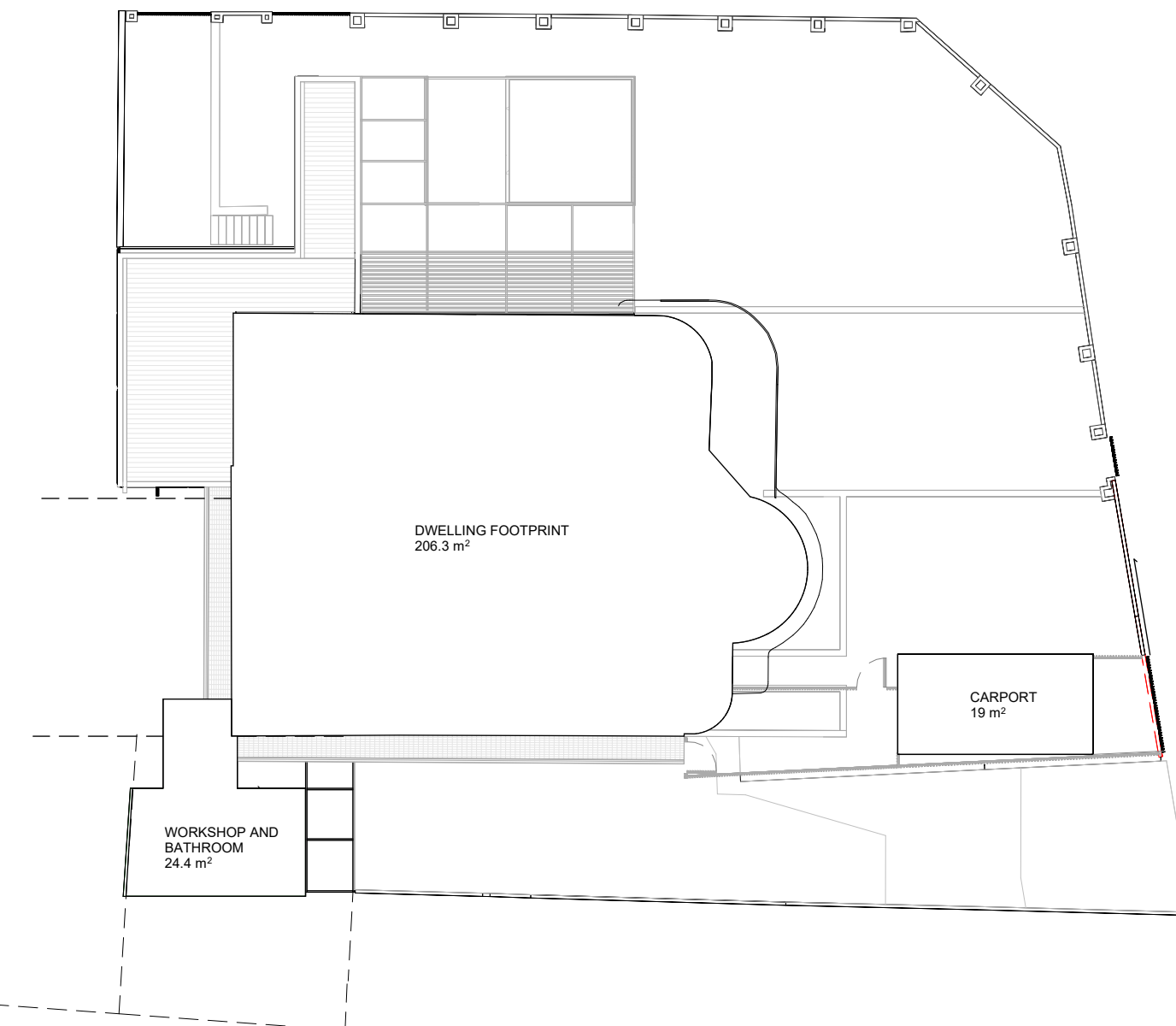
ADDRESS | 53 AMHERST STREET | SHEET NO. | A0.00 | DRAWN BY | MC | CHECKED BY | MC | DATE | 23.07.25



LOWER GROUND FLOOR
FFL 24.10

GROUND FLOOR
FFL 26.03

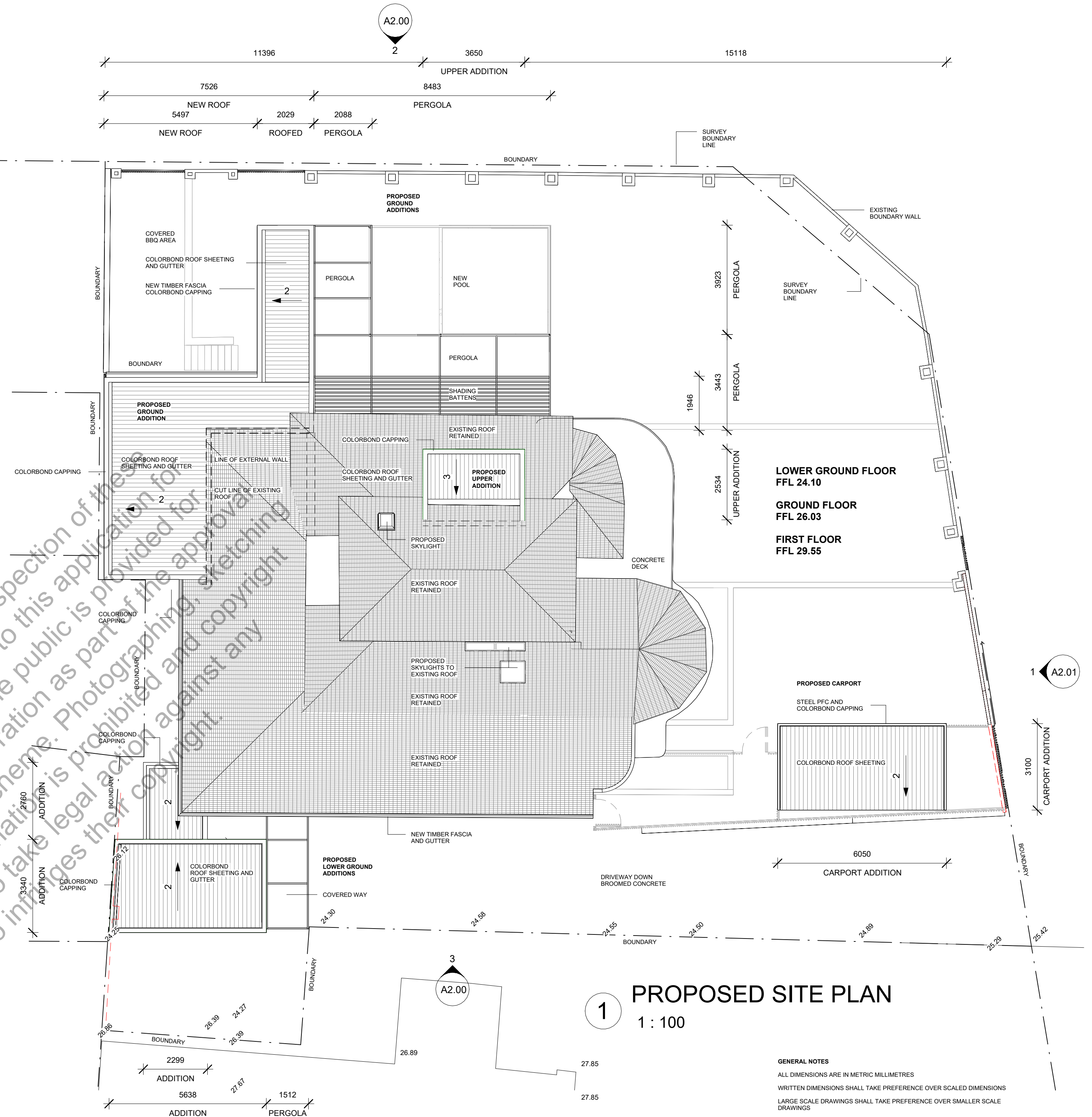
FIRST FLOOR
FFL 29.55



AREAS

SITE AREA	849 m ²
EXISTING DWELLING FOOTPRINT	206 m ²
PROPOSED CARPORT	19 m ²
WORKSHOP AND BATHROOM	24 m ²
TOTAL	249m ²
PLOT RATIO	70% OPEN SPACE

4 PLOT RATIO
1:200



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PROJECT | AMHERST ALTERATIONS AND ADDITIONS

TITLE | SITE PLAN

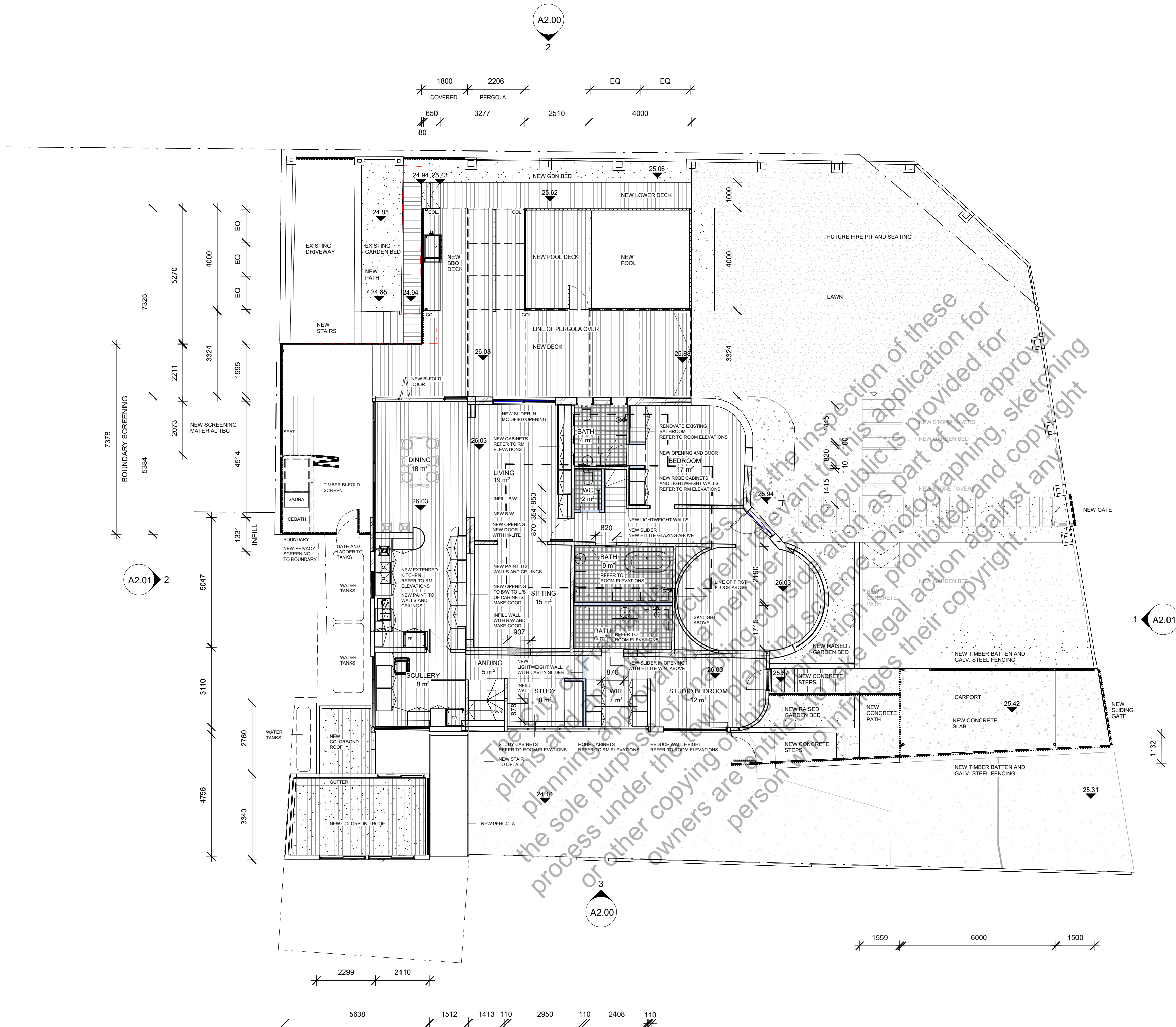
ADDRESS | 53 AMHERST STREET

SHEET NO. | A1.00

DRAWN BY | MC

CHECKED BY | MC

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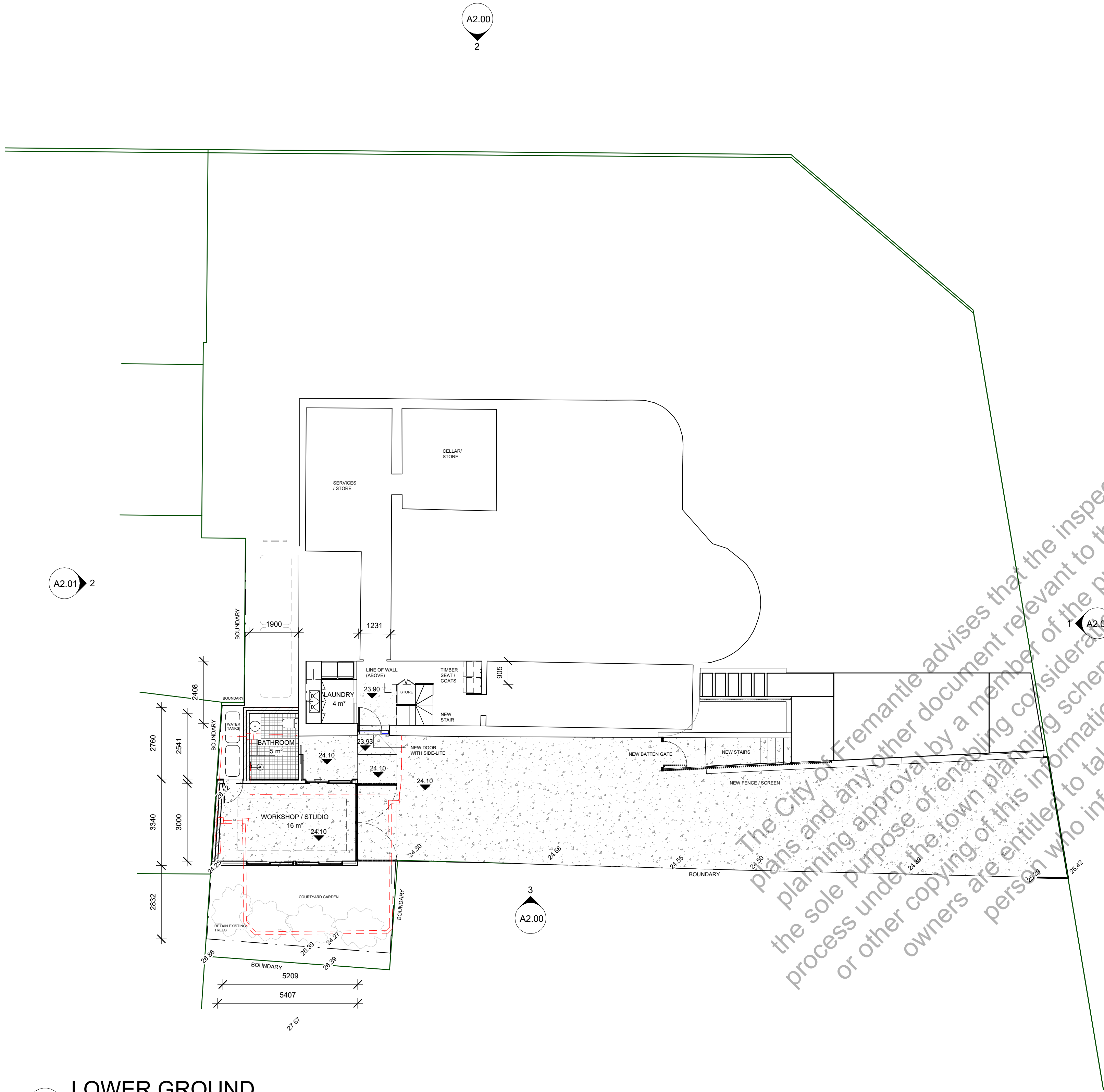
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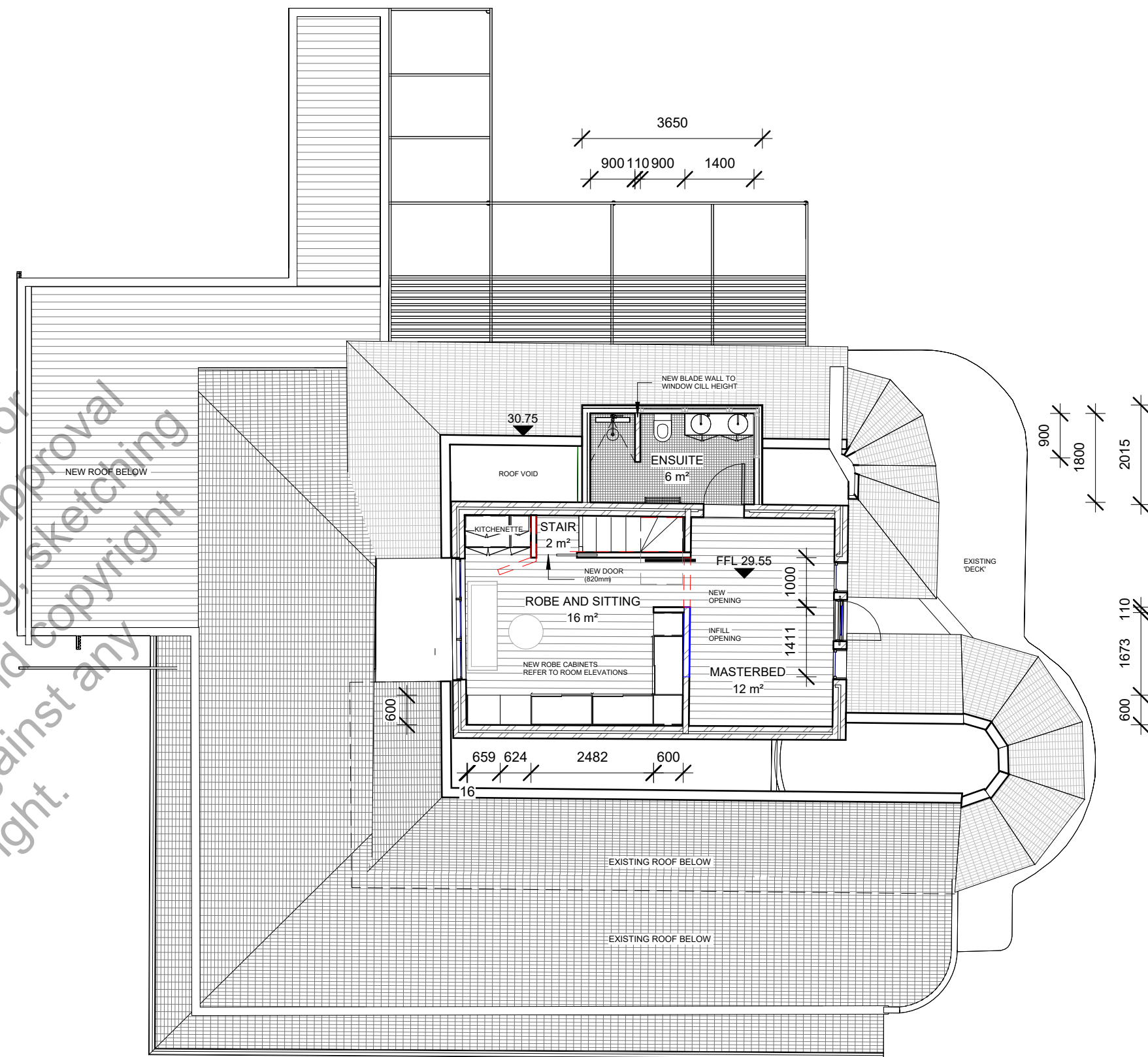
PROJECT | AMHERST ALTERATIONS
AND ADDITIONS

TITLE | GROUND FLOOR PLAN

ADDRESS | 53 AMHERST STREET | SHEET NO. | A1.01 | DRAWN BY | MC | CHECKED BY | MC | DATE | 23.07.25



1 LOWER GROUND
1 : 100

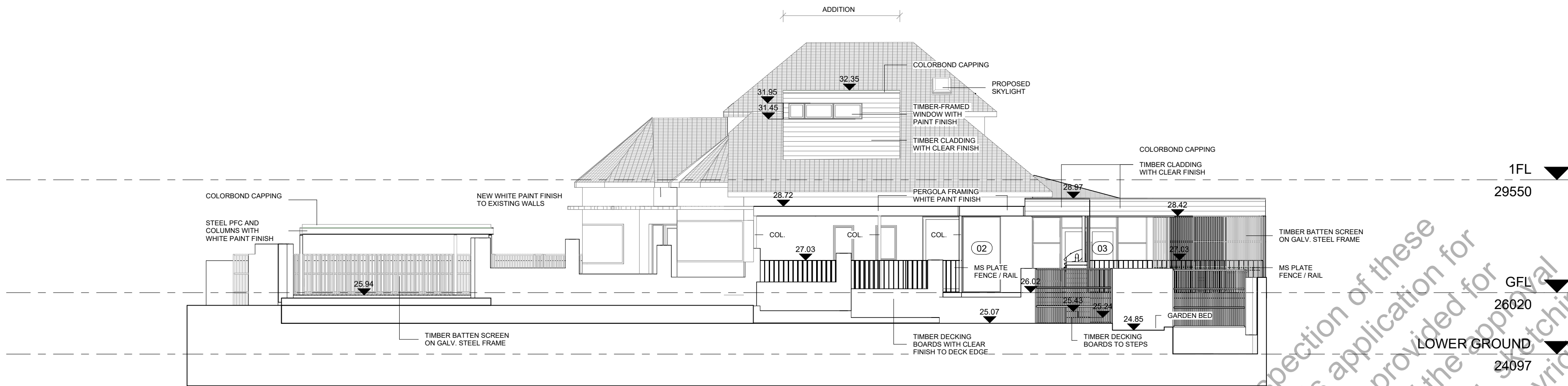


2 FIRST FLOOR PLAN
1 : 100

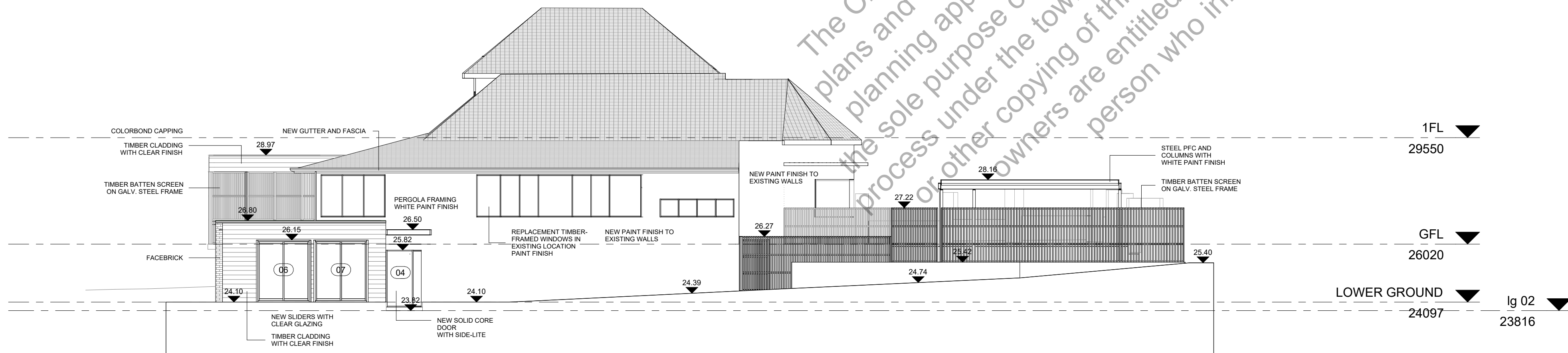
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PROJECT	AMHERST ALTERATIONS AND ADDITIONS		
TITLE	LOWER GROUND AND FIRST FLOOR PLANS		
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53 AMHERST STREET	A1.02	MC	MC
			DATE
			23.07.25

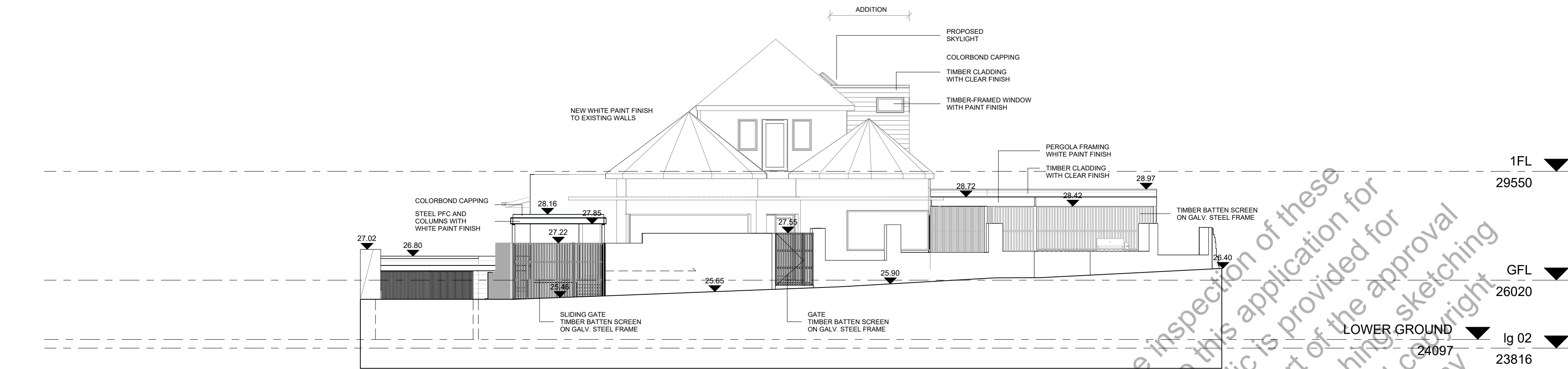


2 NORTH ELEVATION
1 : 100



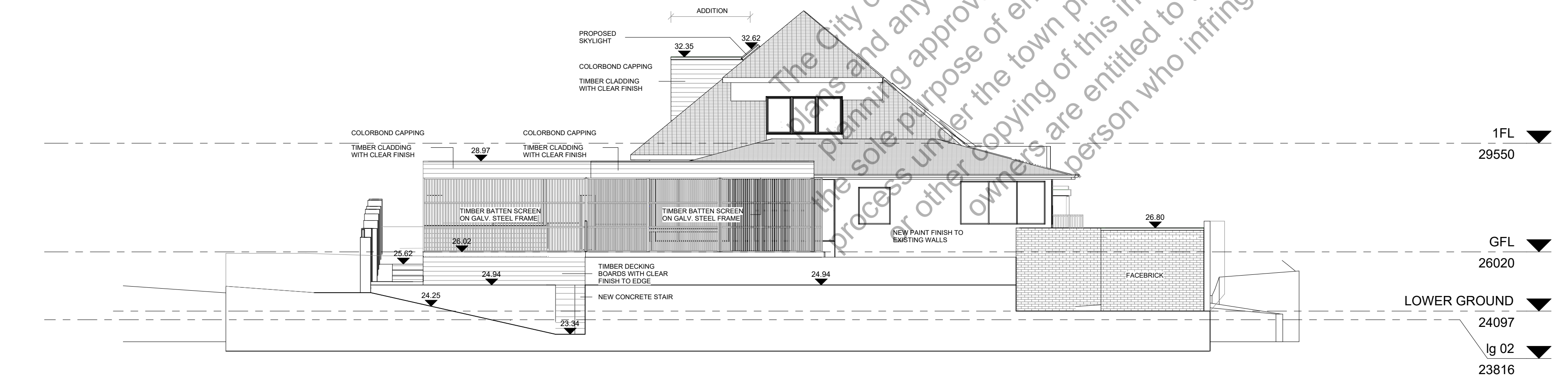
3 SOUTH ELEVATION
1 : 100

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1 EAST ELEVATION
1 : 100

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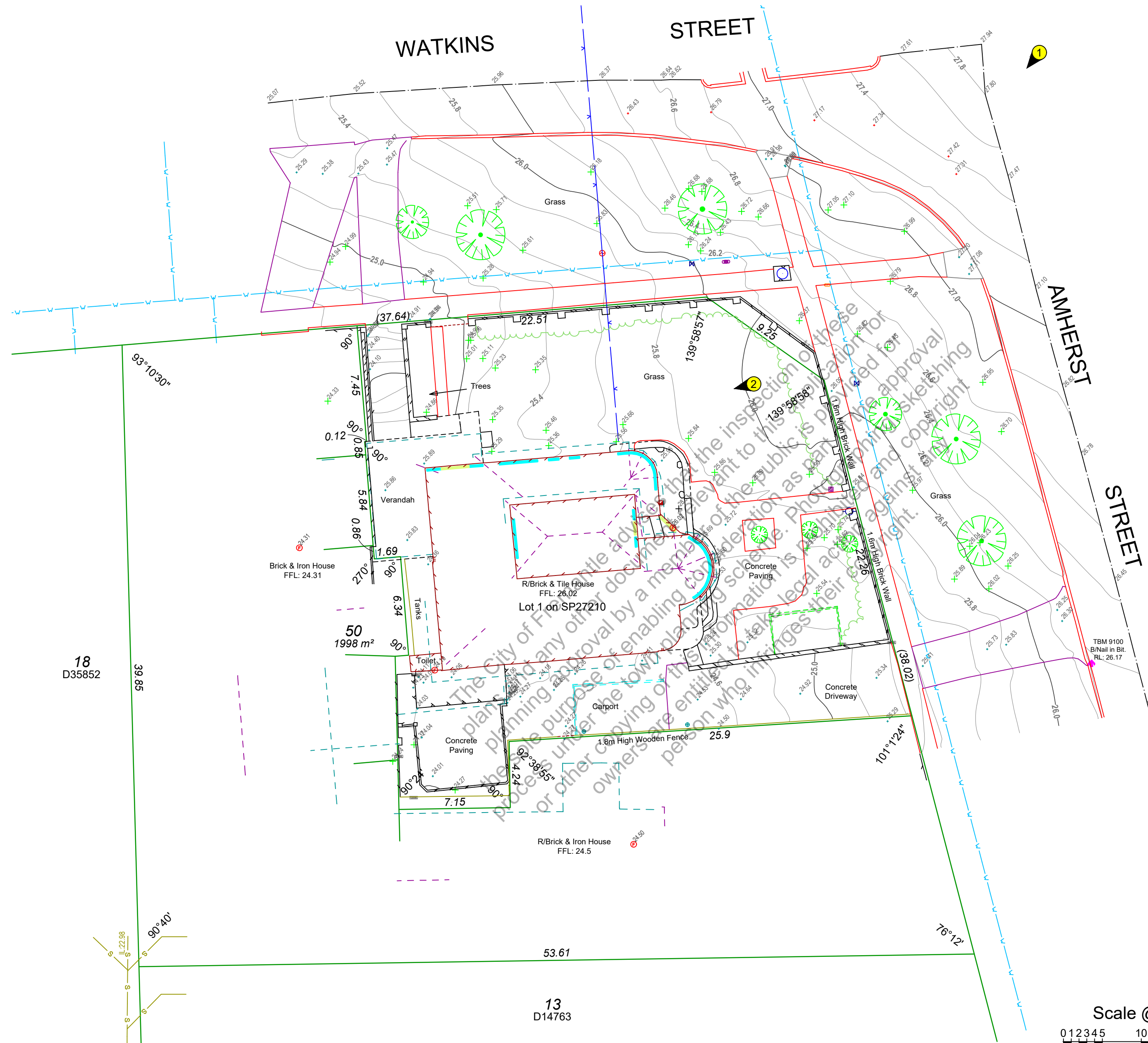
Photo ①



Photo ②



LOCATION SKETCH
NOT TO SCALE



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SYMBOL LEGEND

- Power Pole
- Power Meter Box
- Communication Pit
- Telstra Pit
- Gas Meter
- Tap
- Stop Valve
- Water Meter
- Floor Level
- Natural Surface
- Deck Level
- Driveway Level
- Road Surface Level
- Pole / Post
- Top of Wall
- Tree

LINestyle LEGEND

- Contour Major 1.0m Intervals
- Contour Minor 0.2m Intervals
- Cadastral Boundary
- Kerb Line
- Road Centreline
- Pedestrian Ramp
- Driveway Edge
- Building
- Balcony
- Roof Ridge
- Eave Line
- Wall
- Concrete Edge
- Fence Line
- Gate
- Brick Paving
- Garden Bed
- Overhead Power
- Bush Line
- DBYD Sewer
- DBYD Water
- Door
- Window

CONTROL POINT SCHEDULE

Point	Easting	Northing	Elevation	Description
9100	44953.353	351450.619	26.17	B/Nail in Bitumen
9104	44901.276	351489.503	25.13	R/Set
FRE81	45222.942	351633.730	32.49	SSM

Scale @A2 1:400



24192-F01-1.0.dwg

VER.	DATE	BY	AMENDMENTS	FILE SOURCE
1.0	08.11.2024	MDB	Issued for Information	24192-1.0-30102024-PCG2020-F

Notes:
1. Boundary constructed from cadastral connection.
2. True position of Boundary is subject to a re-establishment survey.
3. Heights established from SSM FRE 81 via GPS connection.
4. Dimensions, Areas and Offsets subject to re-establishment survey.
5. Sewer & water data plotted from Dial Before You Dig and survey.
6. Refer to Certificate of Title for limitations, Interests, Encumbrances and Notifications.

CLIENT:

JOB NO: 24192	TITLE: FEATURE SURVEY	DATUM	N VER: 1.0
PROJECT:	LOT 1 ON SP27210 (LOT 50 D39010) Nº 53 AMHERST STREET WHITE GUM VALLEY WA 6162 C/T 2035-578	VERT: AHD HORIZ: PCG2020 SCALE: 1:200	
SURVEYOR: JT	DATE OF SURVEY: 01.11.2024	DRAWN BY: MDB	
APPROVED BY: NRW	SHEET NO: 1 OF 4	A2	