

LEGEND	
	BOUNDARY (SCDB)
	SEWER LINE
	SHED
	BUILDING LINE
	SWIMMING POOL
	PERGOLA
	WALL RETAINING LIMESTONE
	WALL RETAINING ROCK
	FENCE
	GATE
	BAR AREA
	BRICKWALL
	EDGE OF BITUMEN
	EDGE OF PAVING
	ROAD KERB BOTTOM
	ROAD KERB TOP
	BREAKLINE
	CONTOUR MAJOR
	CONTOUR MINOR
	OVERHEAD POWER LINES
	NAT SURFACE
	MAILBOX
	POWER POLE
	WATER METRE
	PAVING PT
	FLOOR FINISH LEVEL
	TBM - DECKSPIKE
	TREE
	TOP OF WALL

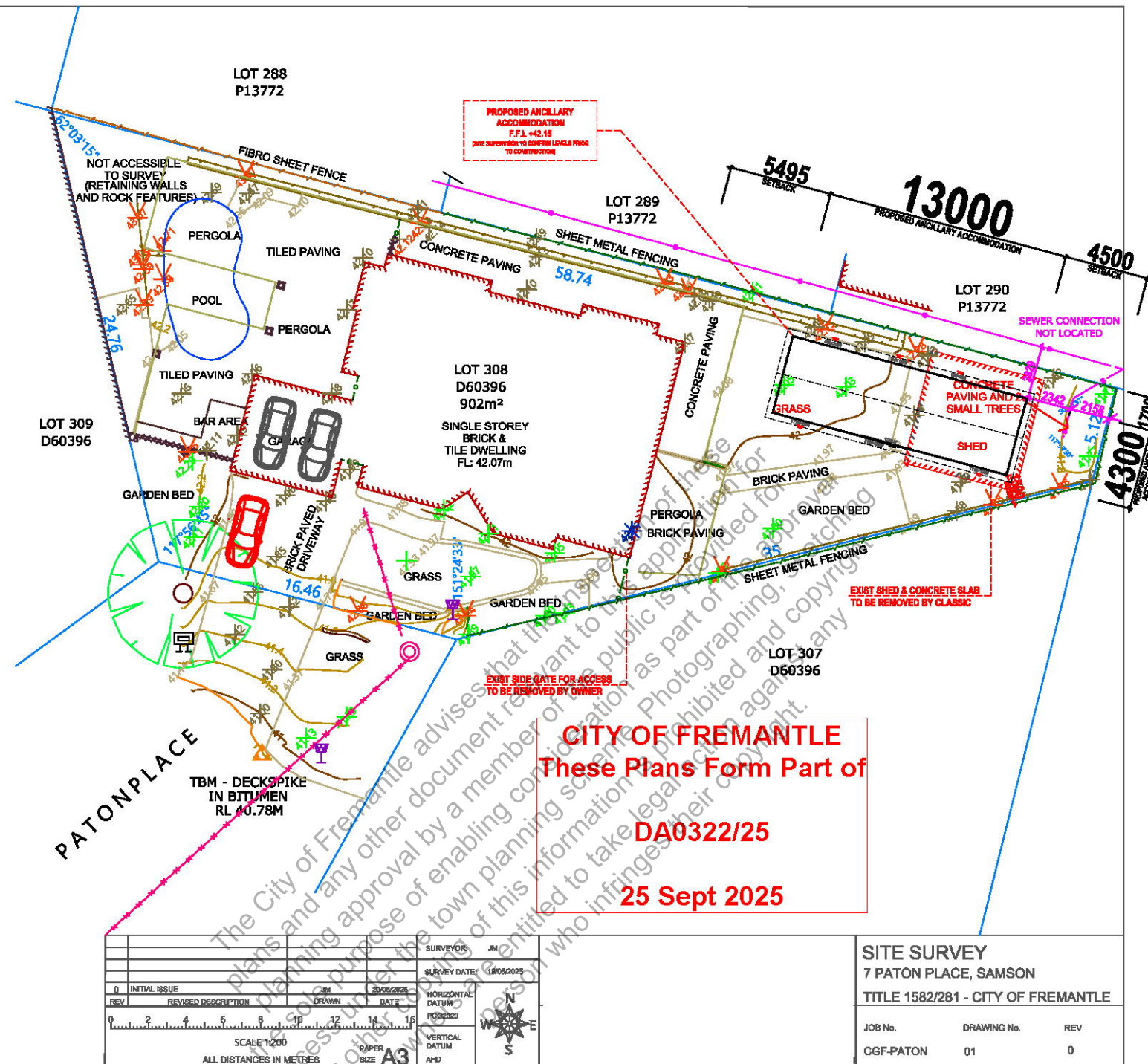
NOTES:
AHD DERIVED FROM SSM FREMANTLE 22
USING SMARTNET RTK GNSS

THE BOUNDARIES SHOWN ON THIS PLAN WERE
NOT RE-ESTABLISHED AS PART OF THIS SURVEY
AND SHOWN FOR REFERENCE PURPOSES ONLY
FROM LANDGATE DIGITAL DATA.
A BOUNDARY RESURVEY IS RECOMMENDED TO
ACCURATELY LOCATES BUILDINGS AND FENCES.
THIS SURVEY DOES NOT GUARANTEE THE
LOCATION OF BOUNDARY PEGS OR FENCES
IN RELATION TO THE BOUNDARIES. IT IS A SITE
SURVEY ONLY AND IS NOT BE USED FOR ANY
OTHER PURPOSE.
FOR EASEMENTS, CHECK THE CERTIFICATE OF TITLE.

SERVICES SHOWN ARE VISIBLE AT THE TIME
OF SURVEY OR FROM DIGITAL DATA SERVICES.
NO GUARANTEE THAT ALL SERVICES PRESENT
ARE SHOWN AND LOCATIONS OF BURIED
SERVICES ARE NOT VERIFIED.

SILVERSTONE ACCEPTS NO RESPONSIBILITY FOR ANY
CHANGES TO THE PARCEL, OR PORTION THEREOF,
SHOWN ON THIS SURVEY INCLUDING, BUT NOT LIMITED
TO, ANY ADJOINING PROPERTY LEVELS OR FEATURES
THAT MAY HAVE OCCURRED SINCE THE DATE OF
THIS SURVEY. PLAN HAS IMPLIED COPYRIGHT.

THESE NOTES MUST NOT BE REMOVED
FROM THE DIGITAL MODEL OR PLAN.



Proposed Site Plan Layout

Scale 1:300

Final Drawing

Approval by Client

Date

SITE DETAILS	
LOT NO.	308
SITE AREA	902m ²
ZONING	R15
PROPOSED ANCILLARY DWELLING	55.9m ²
PROPOSED INTERNAL AREA	52.71m ²
PROPOSED ALFRESCO+CARPORT	N/A
BUSH FIRE RISK ASSESSMENT REPORT	N/A

NOTE:
SITE WORKS BY CLASSIC:
-EXIST SHED & CONCRETE SLAB TO BE REMOVED.

SITE WORKS BY OWNER:
-UPGRADE TO 3 PHASE POWER IF REQUIRED.
-SOAKWELLS.
-DISCONNECT POWER FROM SHED.
-REMOVE SIDE GATE FOR ACCESS.



AERIAL VIEW



STREET VIEW

NOTES:

GENERAL NOTES:

1. ALL DIMENSIONS, ANGLES AND LEVELS MUST BE CHECKED AND VERIFIED ON SITE.
2. ALL DIMENSIONS ARE IN METRIC mm (UNLESS OTHERWISE NOTE).
3. DO NOT SCALE FROM DRAWINGS. IF IN DOUBT, CONTACT DRAFTING OFFICE.
4. ALL MATERIALS AND WORKMANSHIP TO BE IN ACCORDANCE WITH THE B.C.A AND RELEVANT AUSTRALIAN STANDARDS.
5. DRAWINGS MUST BE READ WITH ALL OTHER RELEVANT DOCUMENTS, INCLUDING CONDITIONS OF APPROVAL ETC.
6. ANY DISCREPANCIES OR CONFLICTING INFORMATION MUST BE RESOLVED WITH THE OFFICE PRIOR TO COMMENCING ANY WORKS.
7. SOAKWELL BY OWNER AND LOCATED 1200mm FROM FOOTING AND BOUNDARY.

GENERAL CONSTRUCTION NOTES:

1. ALL VEGETATION, RUBBISH, TOPSOIL AND CONTAMINATION FILL SHALL BE REMOVED FROM SITE AND REPLACED WITH CLEAN COMPACTED FILL.
2. NEW FILL SHALL BE CLEAN, WELL GRADED, YELLOW SAND COMPACTED IN LAYERS NO GREATER THAN 300mm IN DEPTH.
3. ALL SAND FILL SHALL BE COMPACTED TO A MINIMUM OF 7 BLOWS PER 300mm - FOR 750mm DEPTH. TESTED USING A STANDARD 9kg PERTH SAND PENETROMETER.
4. PROVIDE TERMITE TREATMENT UNDER SLAB IN ACCORDANCE WITH AS 3680.1. TERMITE PROTECTION IS REQUIRED WHERE AD JOINING ARE EXPOSED. TIMBER IS TO BE CREATED TO AS 3660.1.

ORIENTATION:



ADDRESS:

7 Paton Place, Samson, WA 6163

APPROVED BY CLIENT:

DATE:

25 JUNE 2025

REVISION:

DRAFTER:

DRAWING TITLE:

PROPOSED SITE PLAN LAYOUT

DESCRIPTION OF THE BUILDING(S) - BCA
ANCILLARY ACCOMMODATION - 1a

SCALE:

1/300

DRAWING NO.:

A01

DOUBLE GLAZING DOOR AND WINDOW SCHEDULE WHITE FRAMES ONLY			QUANTITY
'D2'	SLIDING DOOR (R-H SLIDE)	2143H x 2000W	1
'W2'	AWNING WINDOW	1115H x 1200W	3
'W3'	AWNING WINDOW	600H x 600W	1
'W4'	AWNING WINDOW	600H x 2400W	1

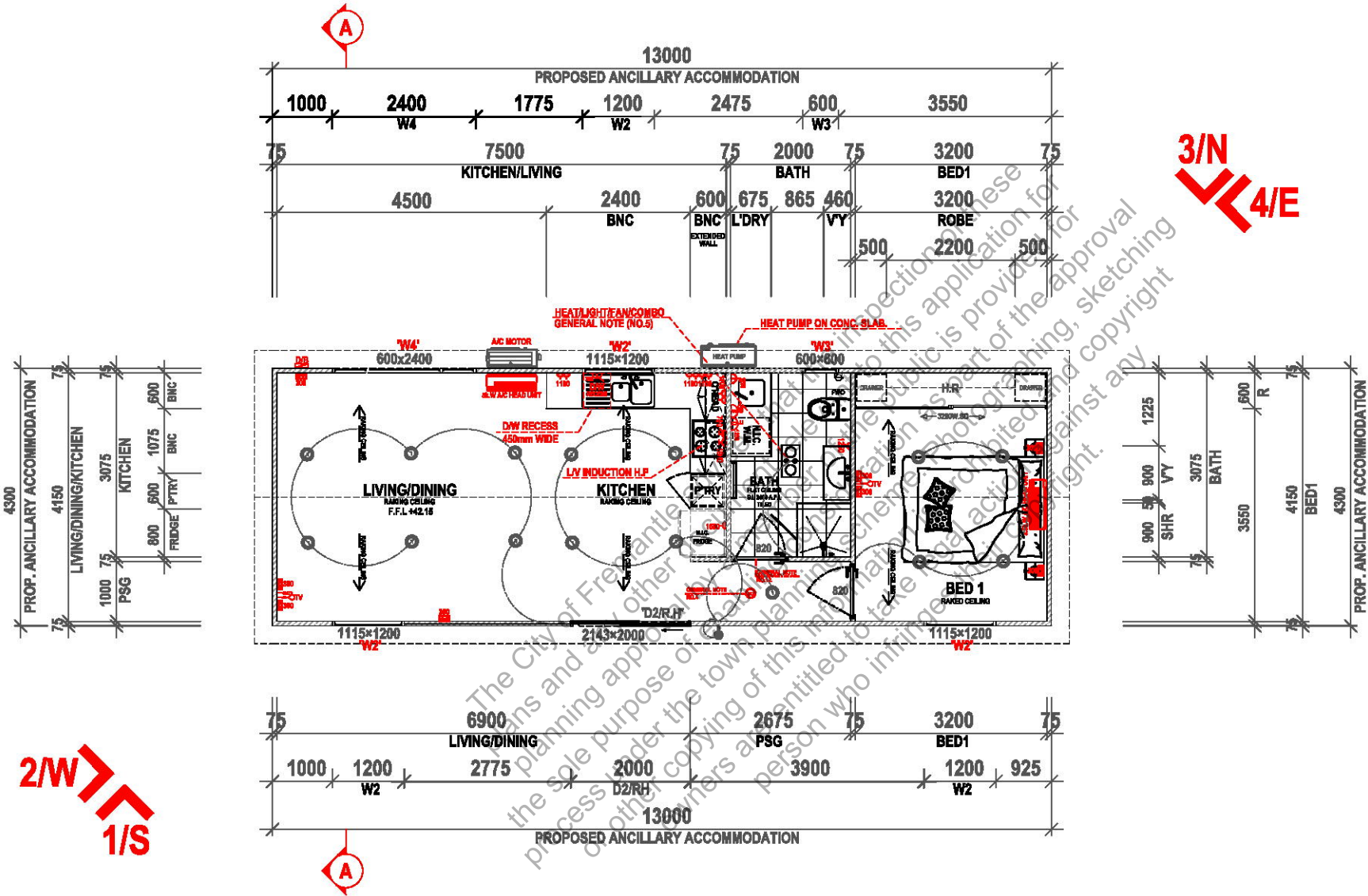
ELECTRICAL LEGEND		
SYMBOLS	DESCRIPTION	QUANTITY
	DISTRIBUTION BOARD	1
	LED LIGHTS	15
	FLOOR DGPO - 300 AFL	8
	DGPO - 1100 AFL - AS NOMINATED - DOUBLE	4
	DGPO - 1200 AFL - AS NOMINATED - SINGLE	2
	SMOKE DETECTOR	1
	COMBO (EXHAUST FAN/HEAT/LIGHT)	1
	DGPO - 1200 AFL - AS NOMINATED - DOUBLE	1
	DGPO - 1500 AFL - AS NOMINATED - SINGLE	1
	EXTERNAL WATERPROOF LIGHT	1
	DGPO - 750 AFL - AS NOMINATED - DOUBLE	1
	DGPO - 1900 AFL - AS NOMINATED - SINGLE	1
	DGPO - 700 AFL - AS NOMINATED - SINGLE	2
	3.5 kW AIR-CONDITIONER	1
	5 kW AIR-CONDITIONER	1
	DATA POINT	1
	TV POINT	2
	HEAT PUMP	1
TOTAL		45

CITY OF FREMANTLE
These Plans Form Part of

DA0322/25

25 Sept 2025

- GENERAL NOTES:
- DIMENSIONS ARE TO FRAME STUDS ONLY & DO NOT INCLUDE LININGS OR CLADDINGS.
 - HEIGHTS ARE FROM TOP OF SLAB. NO ALLOWANCE MADE FOR FLOOR COVERINGS.
 - THE BUILDING CODE OF AUSTRALIA FORMS PART OF THESE DRAWINGS, ALL THE BCA REQUIREMENTS ARE TO APPLY INCLUDING THOSE NOT SHOWN OR MENTIONED HERE IN.
 - SMOKE ALARMS TO BE HARDWIRED, INTERCONNECTED IN ACCORDANCE WITH NCC V2 PART 9.5 AND AS3786.
 - EXHAUST FANS TO BE CONNECTED TO LIGHT SWITCH WITH A 10MIN TIMER, 25 L/S (BATHROOM/SANITARY) AND 40 L/S (KITCHEN/LAUNDRIES) & DIRECTLY TO OUTSIDE AIR.
 - BUILDER IS TO PROVIDE ALL FLASHING AS NECESSARY TO WATERPROOF THE BUILDING.
 - WET AREA FLOORS TO BE WATERPROOFED IN ACCORDANCE WITH AS3740 - 2010 "WATERPROOFING OF WET AREAS WITHIN RESIDENTIAL BUILDINGS.
 - TILING TO WET AREAS BY BUILDER, UNLESS NOTED OTHERWISE.
 - ELECTRICAL & PLUMBING FINAL LOCATIONS AT DESCRIPTION OF TRADE TO MEET AS/NZS 3000:2007 & AS/NZS 3500.5.
 - SOAKWELL/ STORMWATER IN ACCORDANCE WITH BCA REQUIREMENTS & BUILDING PERMIT CONDITIONS TO BE UNDERTAKEN.
 - MINIMUM CEILING HEIGHT IS 2400mm, BATH IS FLAT CEILING, AND LIVING & KITCHEN & BEDROOM 1 ARE RAKED CEILING.
 - LIFT OFF HINGES WILL BE USED FOR WC's.



Proposed Floor & Electrical Plan
Scale 1:100

NOTE:
EXTRA PLUS:
-1x DATA POINT / 2x TV POINT / 2x DBL P.P FOR EACH TV POINT / 2X DOUBLE P.P FOR KITCHEN.
-HEAT/LIGHT/FAN/ COMBO
-HEAT PUMP AND LV INDUCTION HOTPLATE INCLUDED.
-1x 3.5kW & 1x 5kW REVERSE CYCLE SPLIT A/C SYSTEM.
-CLASSIC DOUBLE GLAZED EXTERNAL DOOR & WINDOWS (GLOSS WHITE).
-CLIENT INSTALLING ROLLER SHUTTERS, SUPERVISOR TO LIAISE WITH OWNER RE-TIMING OF FITTING.

Final Drawing
Approval by Client
Date _____

ORIENTATION:

ADDRESS:
7 Paton Place, Samson, WA 6163

APPROVED BY CLIENT: DATE: 25 JUNE 2025 REVISION:

DRAWING TITLE:
PROPOSED FLOOR & ELECTRICAL PLAN

DESCRIPTION OF THE BUILDING(S) - BCA
ANCILLARY ACCOMMODATION - 1a

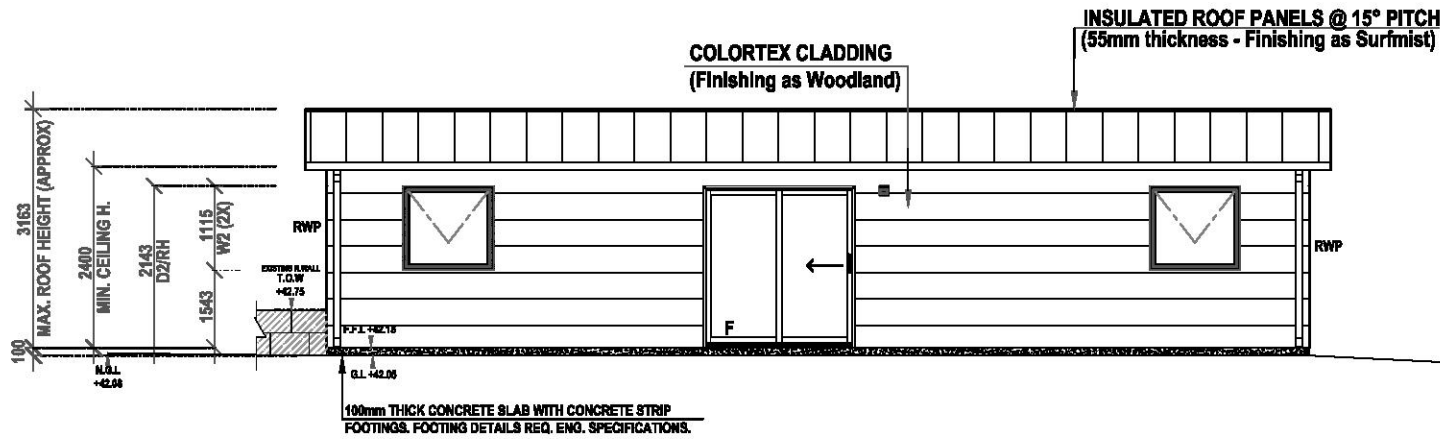
SCALE:
1/100

DRAWING NO.:
A02

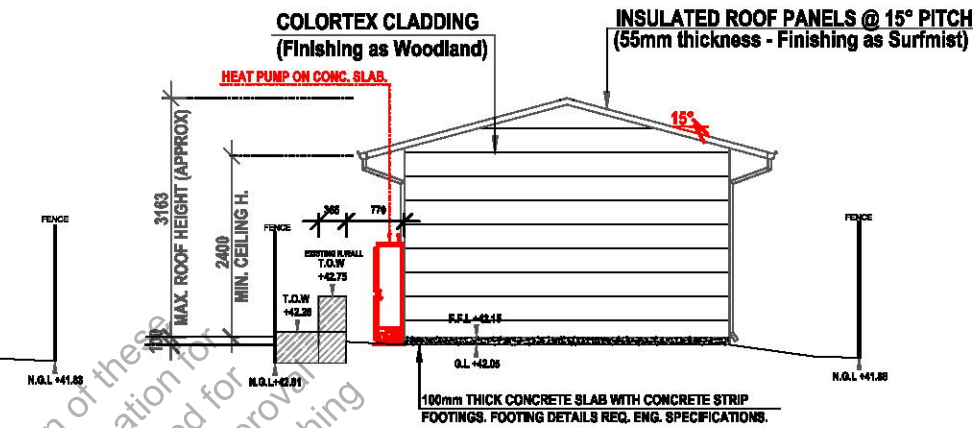
CITY OF FREMANTLE
These Plans Form Part of

DA0322/25

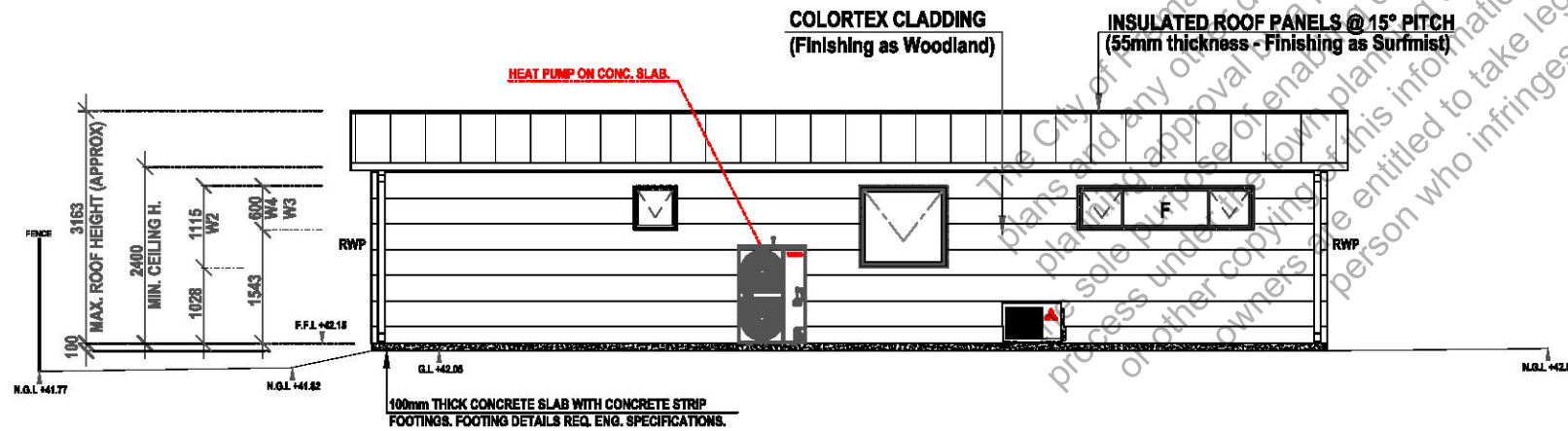
25 Sept 2025



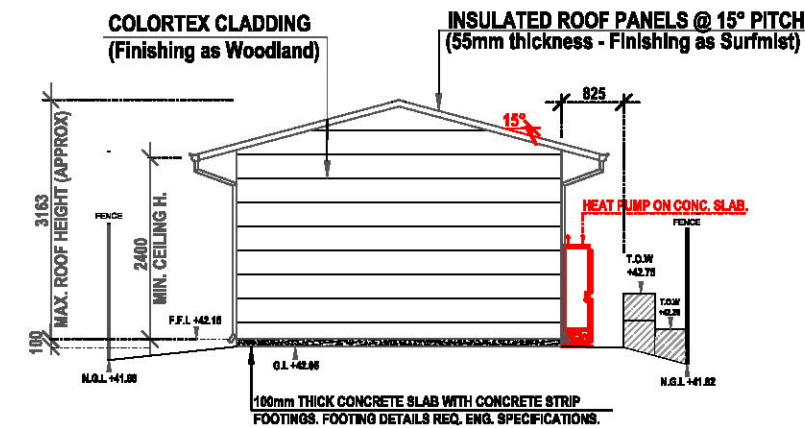
PROPOSED ELEVATION 1 - (S)
SCALE 1:100



PROPOSED ELEVATION 2 - (W)
SCALE 1:100



PROPOSED ELEVATION 3 - (N)
SCALE 1:100



PROPOSED ELEVATION 4 - (E)
SCALE 1:100

DOUBLE GLAZING DOOR AND WINDOW SCHEDULE WHITE FRAMES ONLY			QUANTITY
'D2'	SLIDING DOOR (R-H SLIDE)	2143H x 2000W	1
'W2'	AWNING WINDOW	1115H x 1200W	3
'W3'	AWNING WINDOW	600H x 600W	1
'W4'	AWNING WINDOW	600H x 2400W	1

NOTES:

COLOR SELECTION:

EXTERIOR CLADDING: FINISHING AS WOODLAND.
ROOF TOP: FINISHING AS SURFMIST.
GUTTER & BARGE: FINISHING AS WOODLAND.
WINDOW FRAMES: GLOSS WHITE.

ORIENTATION:

ADDRESS:

7 Paton Place, Samson, WA 6163

APPROVED BY CLIENT:

DATE:

25 JUNE 2025

REVISION:

DRAWING TITLE:

PROPOSED ELEVATIONS

DESCRIPTION OF THE BUILDING(S) - BCA

ANCILLARY ACCOMMODATION - 1a

SCALE:

1/100

DRAWING NO.:

A03

Final Drawing

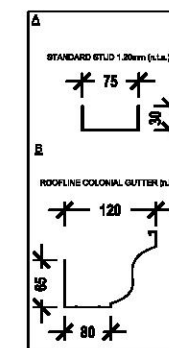
Approval by Client

Date

WALL CLADDING:
WALL CLADDING IF IT IS DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH AS 1562.1.
AN EXTERNAL WALL (INCLUDING OPENINGS AROUND WINDOWS AND DOORS) MUST PREVENT THE PENETRATION OF WATER THAT COULD CAUSE:
(A) UNHEALTHY OR DANGEROUS CONDITIONS, OR LOSS OF AMENITY FOR OCCUPANTS; AND
(B) UNDUE DAMPNESS OR DETERIORATION OF BUILDING ELEMENTS.



1. CONCRETE SHALL BE GRADE N20/20/80.
2. TERMITE PROTECTION IS REQUIRED TO TOP OF CONCRETE, WHERE ADJOINING TIMBER IS EXPOSED. TIMBER IS TO BE TREATED TO AS 3660.1 STANDARDS.
3. REFER TO STRUCTURAL ENGINEER'S DOCUMENTATION FOR FURTHER INFORMATION.



Date _____

25 Sept 2025

DRAWING NO.: **A04**