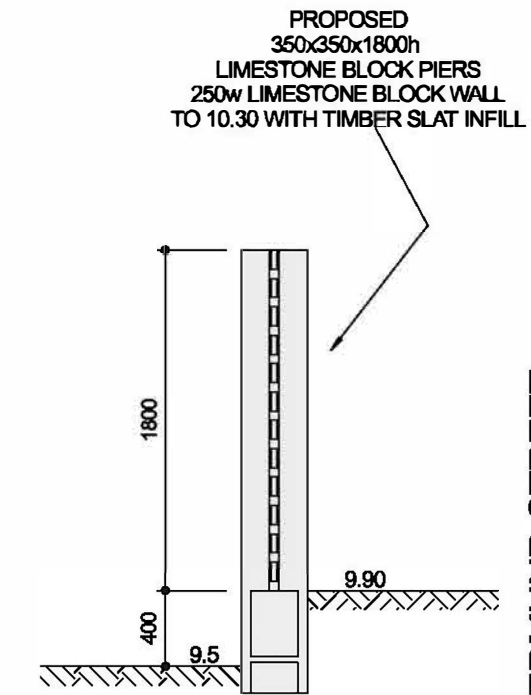
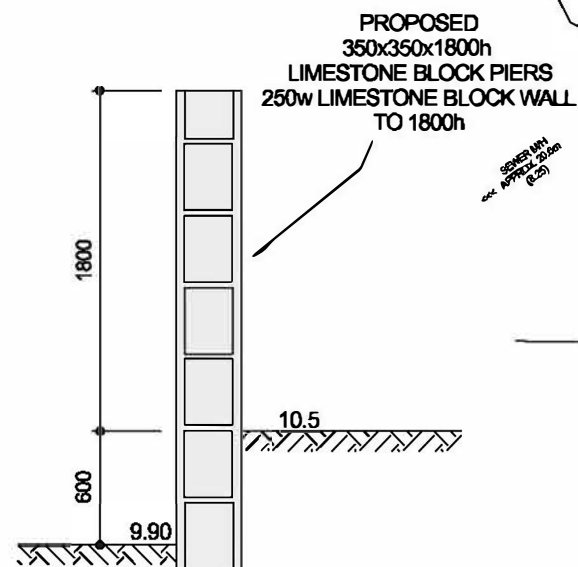


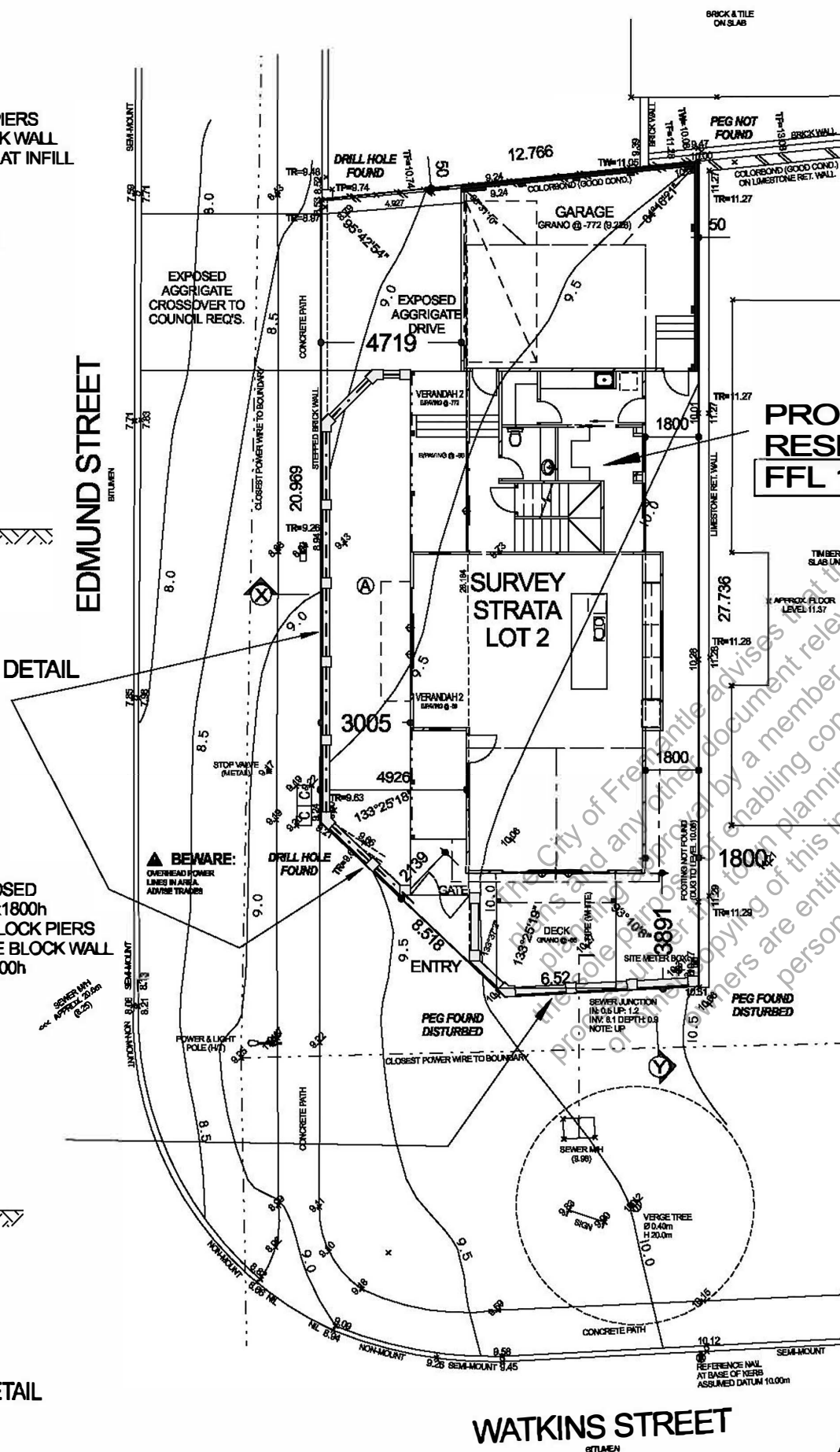
SURVEY STRATA LOT 2



SECTION X - BOUNDARY WALL DETAIL

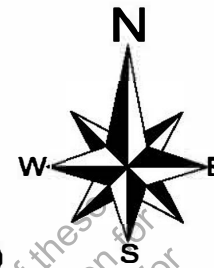


SECTION Y - BOUNDARY WALL DETAIL



NOTE: REFER TO ENERGY OPERATOR (POWERS) ACT 1979 SEE DOCUMENT

LOT MISCLOSE
0.000 m



**PROPOSED
RESIDENCE
FFL 10.00**

⚠️ DISCLAIMER:

Lot boundaries drawn on survey are based on landgate plan only. Survey does not include title search and as such may not show easements or other interests not shown on plan. Title should be checked to verify all lot details and for any easements or other interests which may affect building on the property.

⚠️ DISCLAIMER:

Survey does not include verification of cadastral boundaries. All features and levels shown are based on orientation to existing pegs and fences only which may not be on correct cadastral alignment. Any designs based or dependent on the location of existing features should have those features' location verified in relation to the true boundary.

DISCLAIMER:

Survey shows viable features only and will not show locations of underground pipes or conduits for internal or mains services. Verification of the location of all internal and mains services should be confirmed prior to finalisation of any design work.

⚠ WARNING:

Check developer/strata company regarding possible future/existing internal service run ins, positions & details. Check for possible private sewer lines & position & details of connection to strata lot. Beware possible building restrictions on strata lot by management statement or by-laws. If strata boundaries not defined on plan only parent lot may be re-peged and line pegs placed.

LEGEND		POWER DOME
		POWER POLE
		PHONE PITs
		WATER CONN.
	TP=10.00	TOP PILLAR/POST
	TW=10.00	TOP WALL
	TR=10.00	TOP RETAINING
	TF=10.00	TOP FENCE

ADDRESS: LOT 2 (#18) WATKINS STREET WHITE GUM VALLEY	
DRAWN: LS DATE: 04/11/2013	
JOB NUMBER: 1937	REVISION: F
SHEET NUMBER: 5 OF 5	

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CONTOUR & FEATURE SURVEY

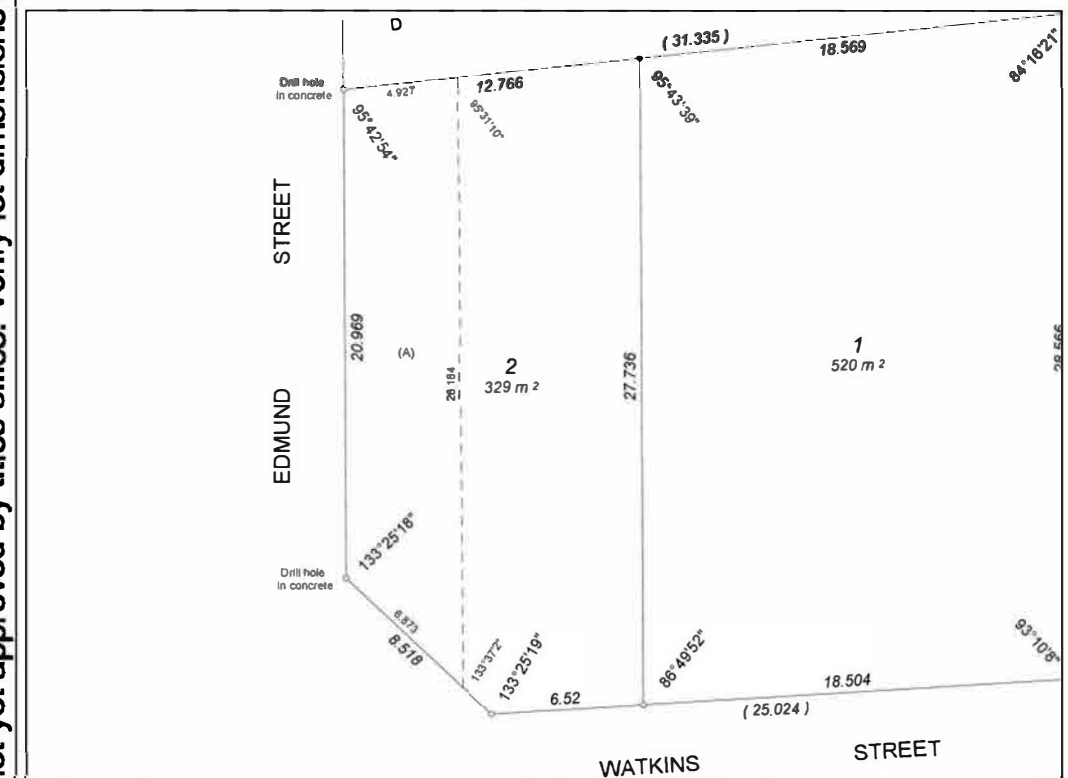
LOT Survey Strata Lot 2 (SP 88186 - Unapproved)

ADDRESS #18 Watkins Street, White Gum Valley

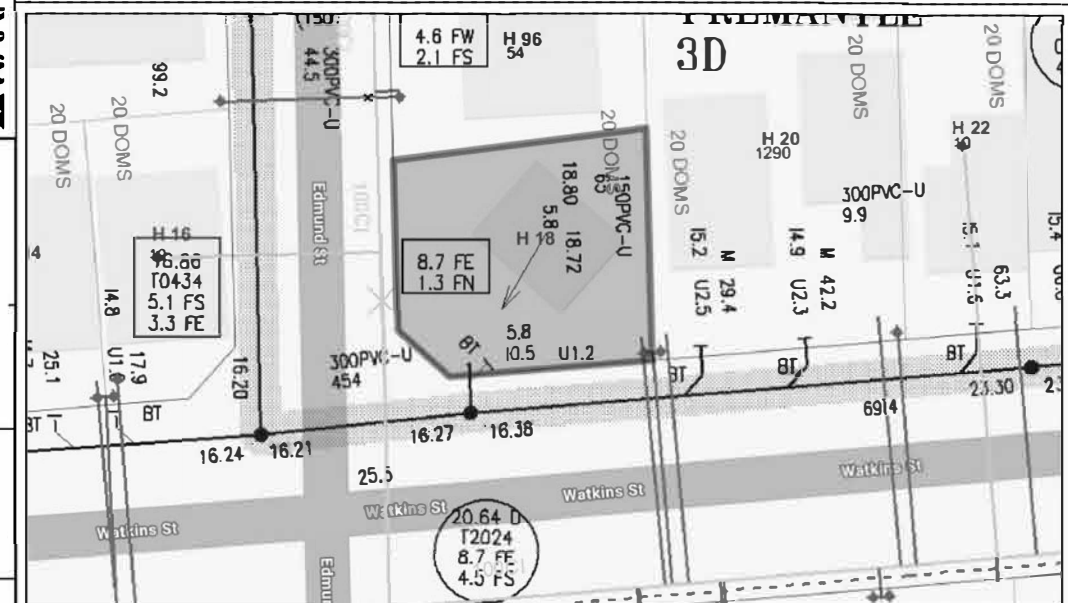
LGA CITY OF FREMANTLE

CLIENT

GPS Lat: -32.059881 Long: 115.761651

SSA No AREA 329m²

ELEC.	U/Ground / O/Head	SEWER	Yes	ROADS	Bitumen	COASTAL	1300m To Ocean (Approx. Only - Confirm With Shire)
GAS	Check Alinta	COMMS	Yes	PATH	Concrete	SOIL	Sand
WATER	Yes	DRAINAGE	Good	KERBS	See Survey	VEG.	Light Grass Cover



PDF processed with CutePDF evaluation edition www.cutePDF.com

- CLIENT NOTE**
1. ALL DIMENSIONS STATED ON THIS DRAWING RELATE TO WALLFRAME SETOUT ONLY. NO ALLOWANCE IS MADE FOR THE ADDITION OF GYROCK OR WALL FINISH WHERE THESE APPLY. CARE SHOULD BE TAKEN TO INCLUDE SUCH ALLOWANCES IN CALCULATION OF CLEARANCE REQUIRED FOR FUTURE FITTINGS.

1. ALL DIMENSIONS STATED ON THIS DRAWING
RELATE TO WALLFRAME SETOUT ONLY.
NO ALLOWANCE IS MADE FOR THE ADDITION
OF GYPROCK OR WALL FINISH WHERE THESE
APPLY. CARE SHOULD BE TAKEN TO INCLUDE
SUCH ALLOWANCES IN CALCULATION OF
CLEARANCE REQUIRED FOR FUTURE FITTINGS.

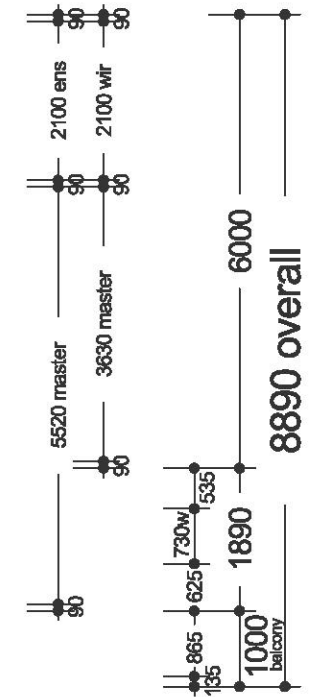
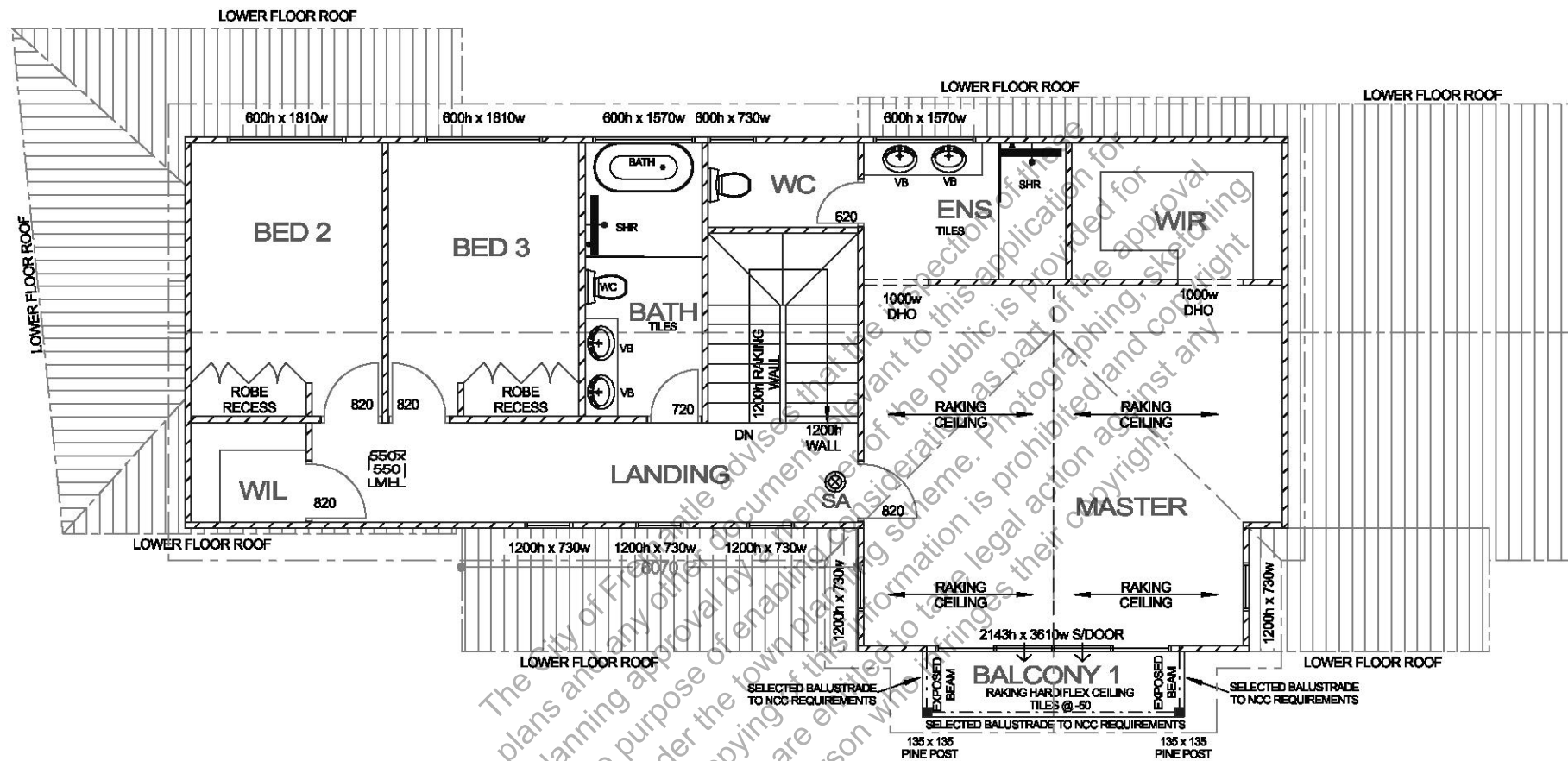
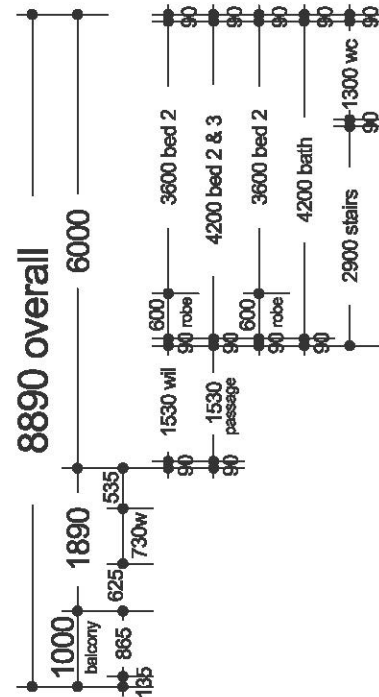
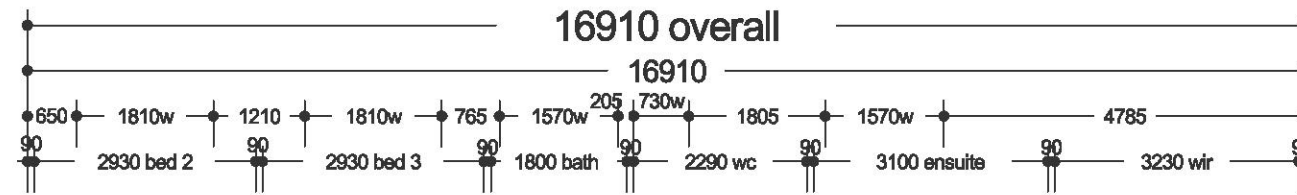
2743h CEILINGS LOWER FLOOR
UNLESS NOTED OTHERWISE

2400h CEILING TO PDR & L'DRY
TO ALLOW FOR AIR CON DUCTING

1. ALL DIMENSIONS ARE TO BE VERIFIED ON SITE.
2. DO NOT SCALE FROM DRAWINGS

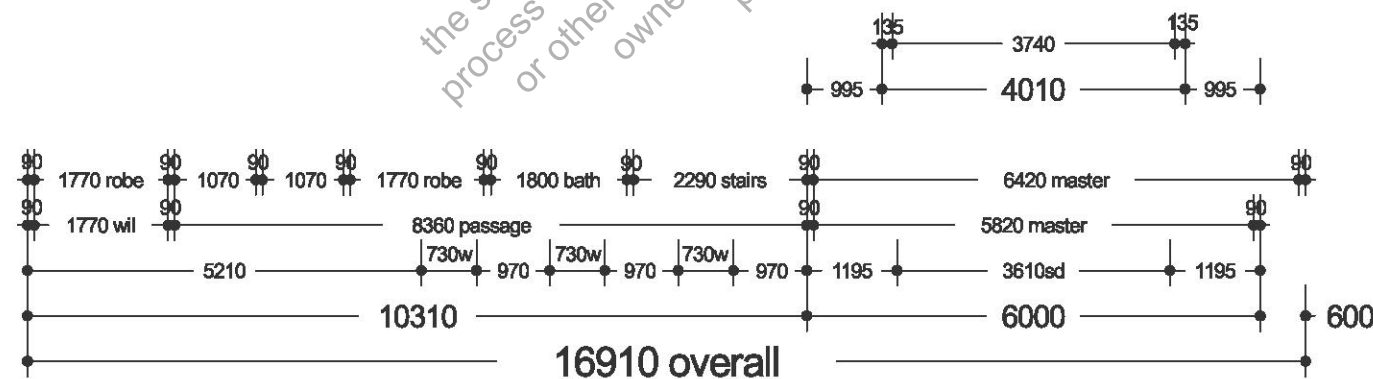
**1. ALL DIMENSIONS STATED ON THIS DRAWING
RELATE TO WALLFRAME SETOUT ONLY.
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OF GYPROCK OR WALL FINISH WHERE THESE
APPLY. CARE SHOULD BE TAKEN TO INCLUDE
SUCH ALLOWANCES IN CALCULATION OF
CLEARANCE REQUIRED FOR FUTURE FITTINGS.**

AREAS:	
GROUND FLOOR	: 116.82m ²
GARAGE & STORES	: 51.71m ²
VERANDAHA 1	: 11.47m ²
VERANDAHA 2	: 6.97m ²
VERANDAHA 3	: 4.01m ²
TOTAL	: 144.98m²
UPPER FLOOR	: 112.80m ²
BALCONY 1	: 4.01m ²
TOTAL	: 116.81m²
O/ALL TOTAL	: 261.79m²



UPPER
FLOOR PLAN
1 : 100

1 : 100



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These Plans Form Part of

DA0408/25

21 Nov 2025

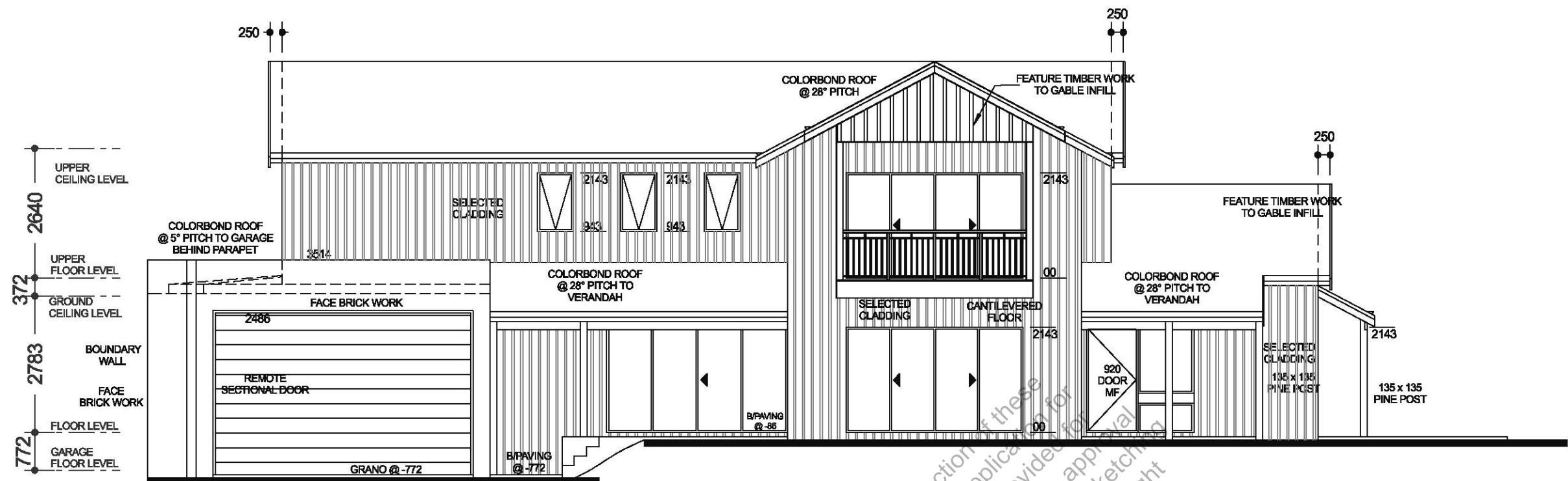
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DATE: 02/12/2024			
REV	VO #	DRN	DATE
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B	EMAIL 12/01	LS	26/01/2025
C	EMAIL 12/2	LS	13/02/2025
D	UPDATES	LS	05/07/2025
E	REDRAWN DUE TO ROAD FRONTAGE	LS	14/09/2025
F	REDRAWN DUE TO COUNCIL W/PLACES	LS	08/11/2025
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JOB No. 1937	REVISION E
SHEET No. 2 OF 5	

⊗ SMOKE ALARMS SHALL BE HARD WIRED
SA AND INSTALLED TO COMPLY TO
AS3786-1996 SMOKE ALARMS

**2600h CEILINGS TO UPPER FLOOR
UNLESS NOTED OTHERWISE**

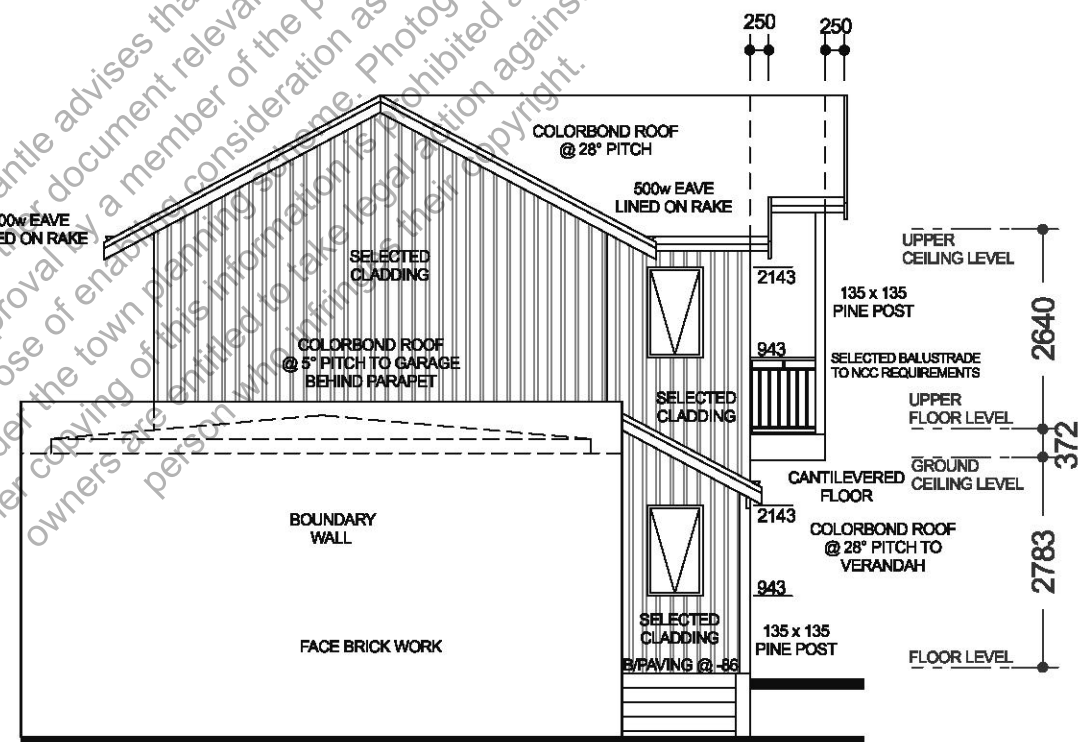


ELEVATION 1
SCALE 1:100

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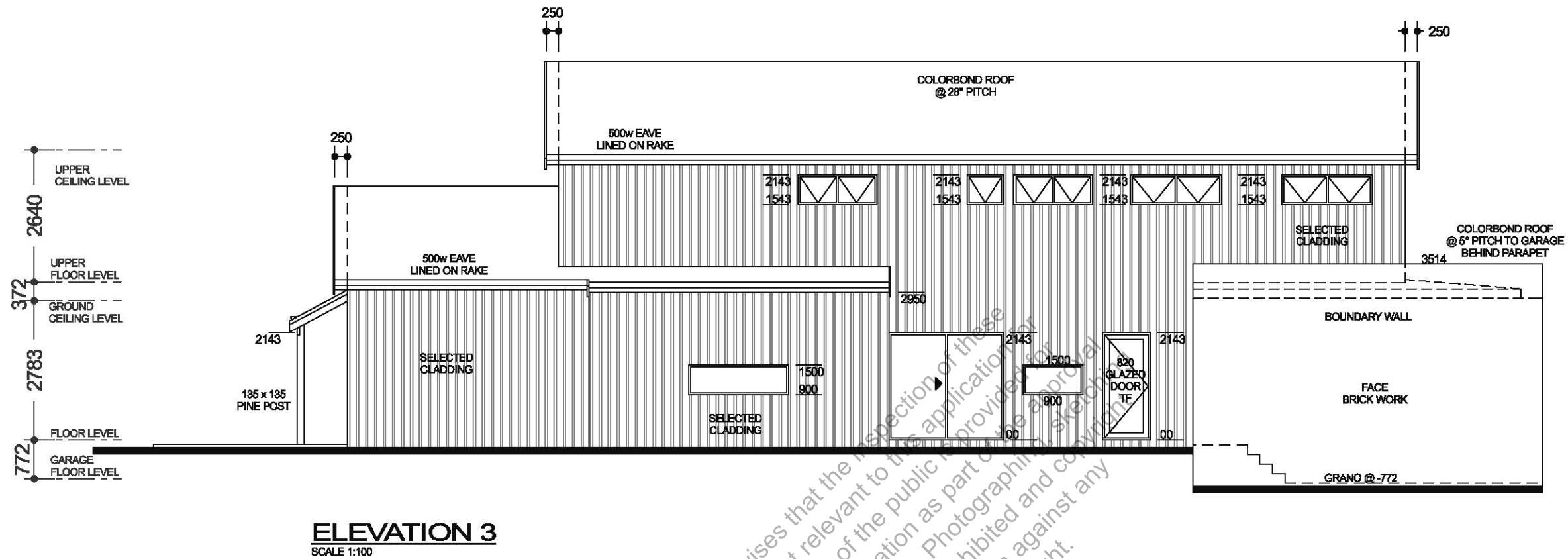
DA0408/25

21 Nov 2025



ELEVATION 2
SCALE 1:100

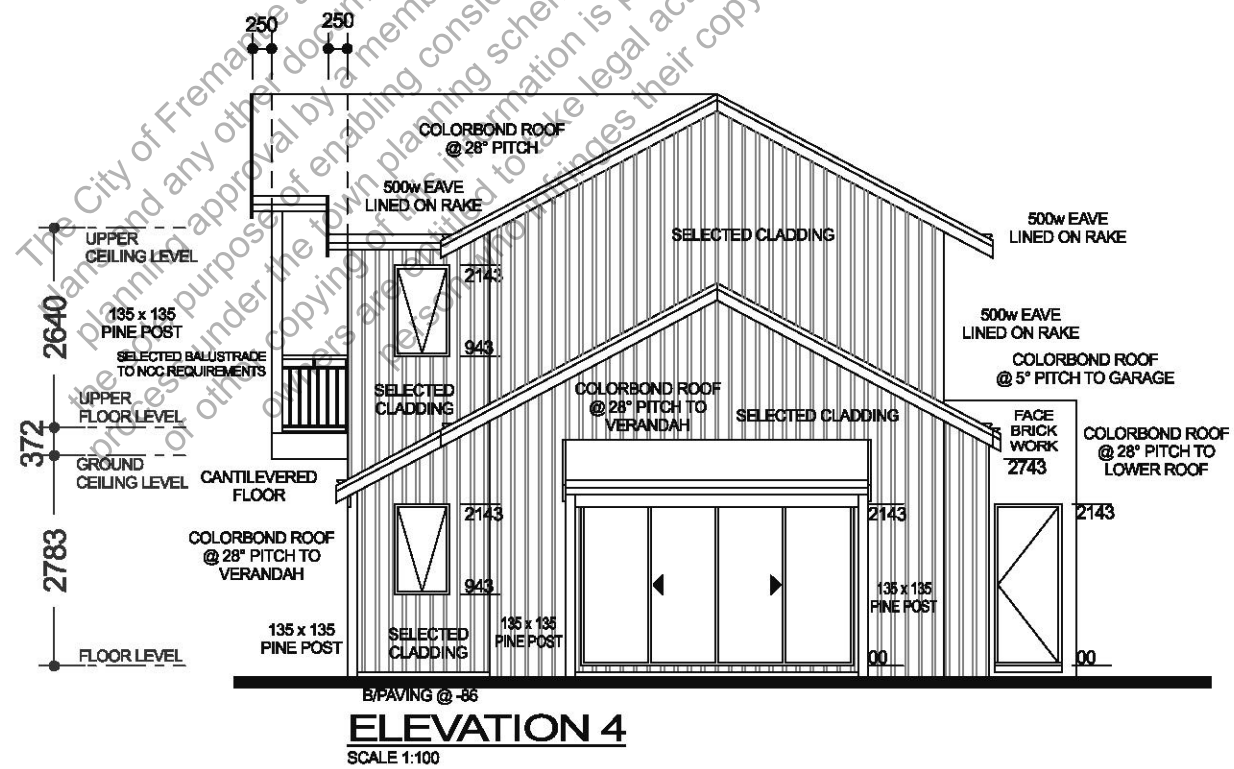
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REV	VO #	DRN	DATE				
A	UPDATES	LS	14/12/2024		REVISION E		
B	EMAIL 12/01	LS	26/01/2025				
C	EMAIL 12/2	LS	13/02/2025				
D	UPDATES	LS	05/07/2025				
E	REDRIGN DUE TO ROAD FRONTAGE	LS	14/09/2025				
F	REDRIGN DUE TO ROAD FRONTAGE	LS	08/11/2025				
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DRAWN: LS		SCALE	
DATE: 02/12/2024		1 = 100	
REV	VO #	DRN	DATE
A	UPDATES	LS	14/12/2024
B	EMAIL 12/01	LS	26/01/2025
C	EMAIL 12/2	LS	13/02/2025
D	UPDATES	LS	05/07/2025
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F	REVISION DUE TO COUNCIL UP-DOOR	LS	09/11/2025
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JOB No.	1937
SHEET No.	4 OF 5
REVISION	E