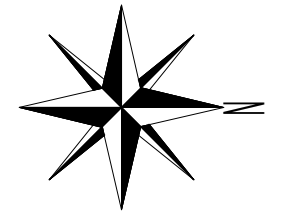


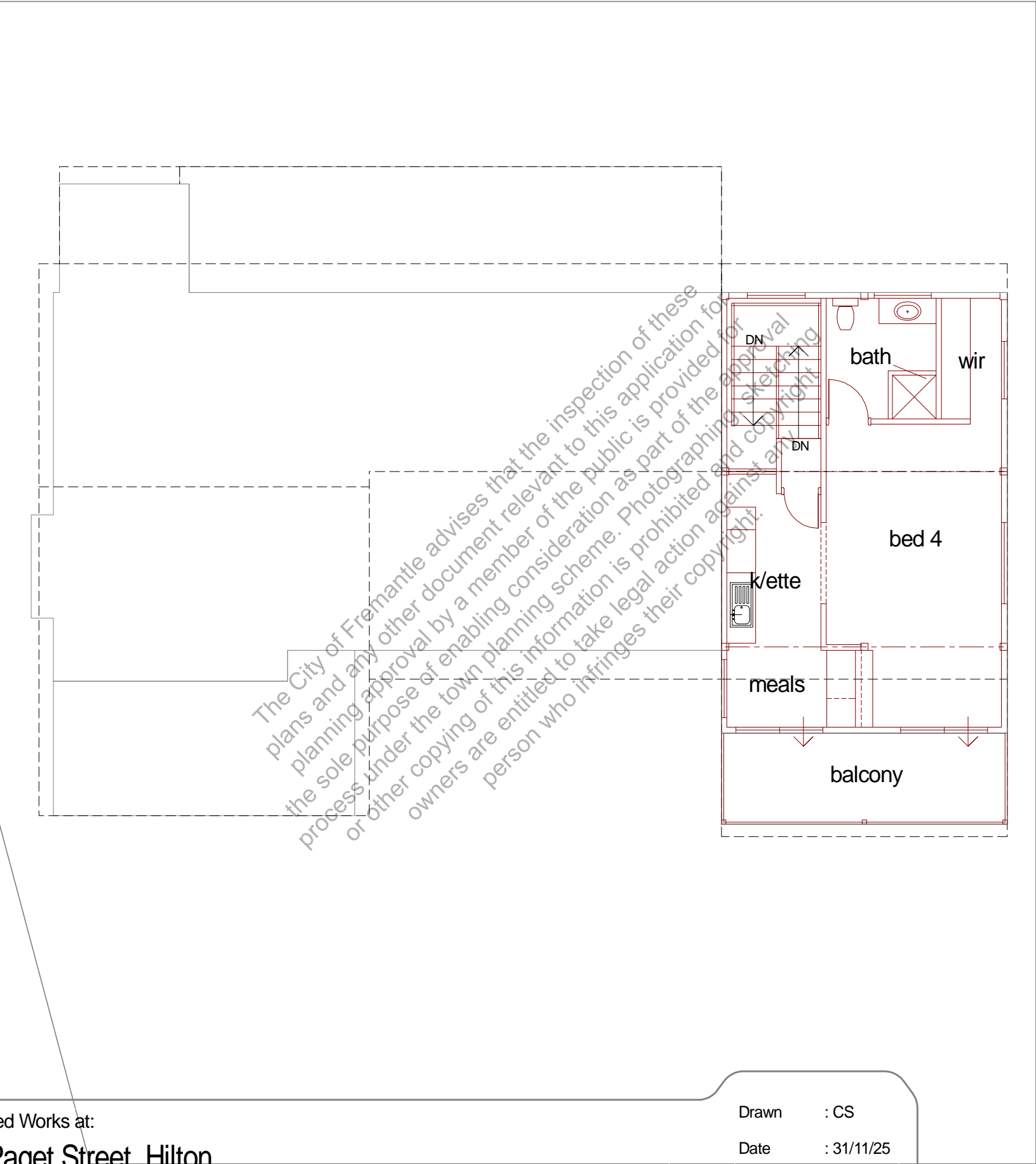
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AREA

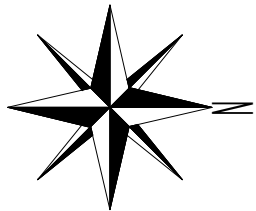
Ground Floor	113.92m ²
Garage	44.33m ²
Verandah	18.48m ²
Patio	29.13m ²
Upper Floor	54.56m ²
Balcony	11.31m ²
Total	271.73m²

CLIENT NOTE
 Drawings are subject to council approvals, engineers details, site survey and energy efficiency requirements.





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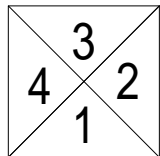
URBAN EMPIRE HOMES

SPECIFICATION NOTES

remove existing tiled roof and provide colorbond

extend house adding w/l and laundry in timber frame with selected FC lining

remove existing and provide new window



AREA

Ground Floor	148.15m ²
Garage	33.80m ²
Verandah	18.48m ²
Alfresco	19.79m ²

Upper Floor	54.56m ²
Balcony	11.31m ²

Total 286.09m²

CLIENT NOTE

Drawings are subject to council approvals, engineers details, site survey and energy efficiency requirements.



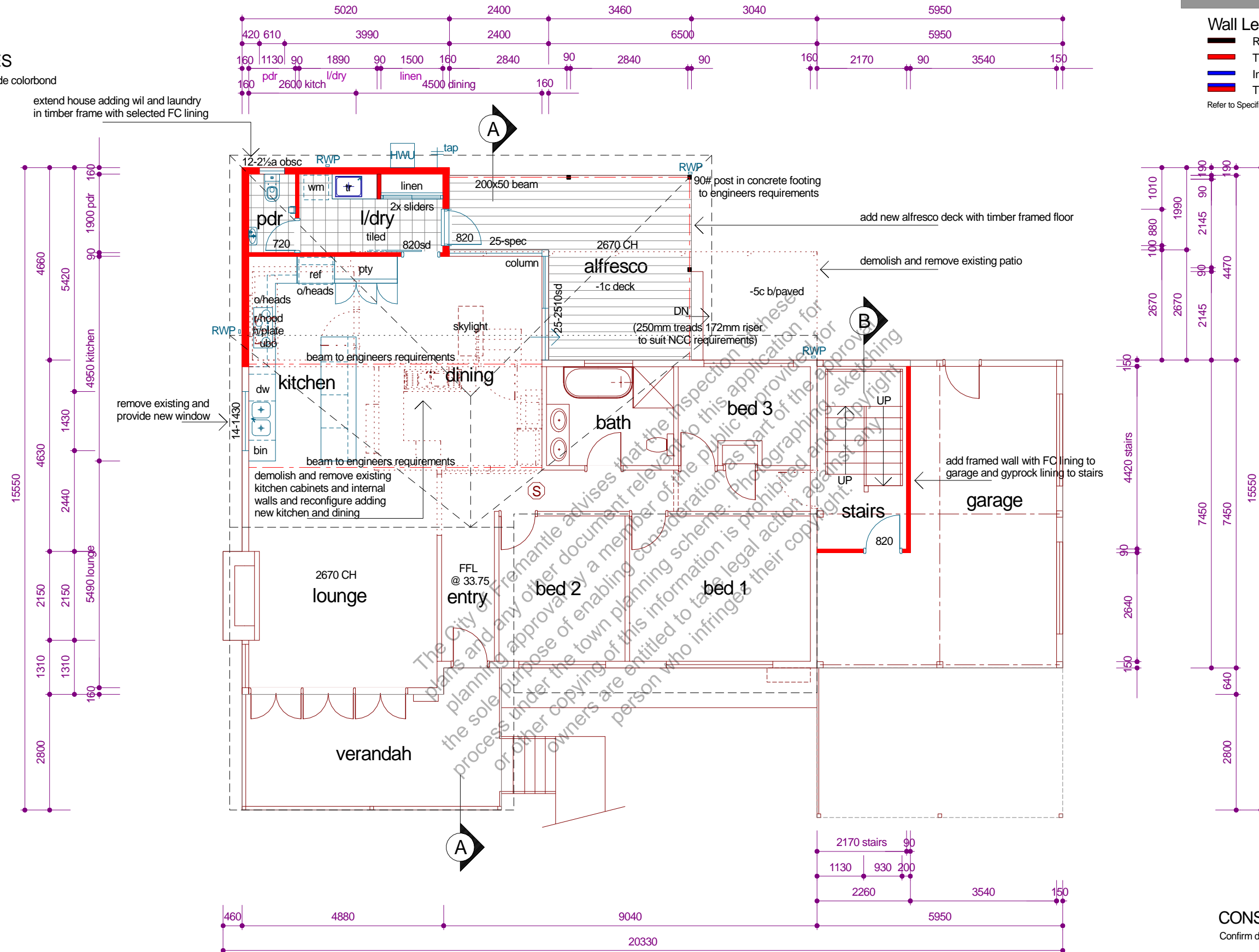
Proposed Works at:
#93 Paget Street, Hilton
For:

Drawn : CS
Date : 31/11/25
Scale : 1:100
Sheet **03**

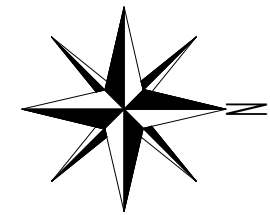
Proposed Ground

Wall Legend

- Rendered or facebrickwork as noted
 - Timber or Steel Framed as noted
 - Insulated Wall System
 - Timber/Steel Framed with Insulated Cladding
- Refer to Specification for Selected Finishes/Inclusions

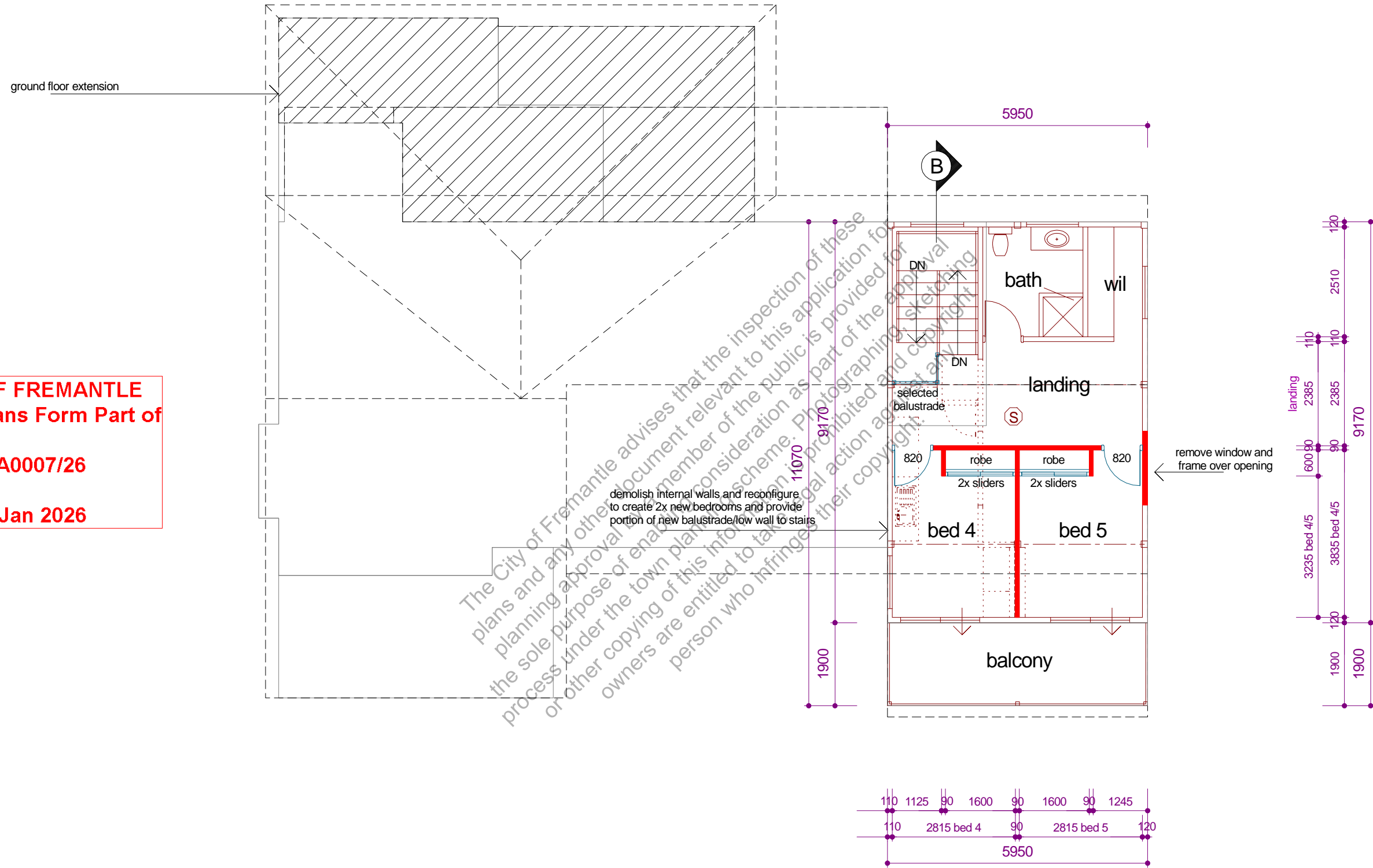


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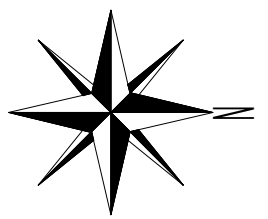
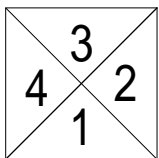


CONSTRUCTION NOTES

- Confirm dimensions on site prior to the commencement of works.
- Figured dimensions take precedence over scaling
- All dimensions shown on plans are raw dimensions only which do not include plaster thickness.
- Location and number of downpipes is indicative only and may be changed at the builders discretion to comply with BCA requirements. All roof plumbing to suit AS3500.
- Contractors to confirm all services prior to commencement of works.
- Drawings to be read in conjunction with Structural Engineers details.
- Refer to AC contractors drawings for associated AC requirements
- Site Setouts to be confirmed via Repeg.

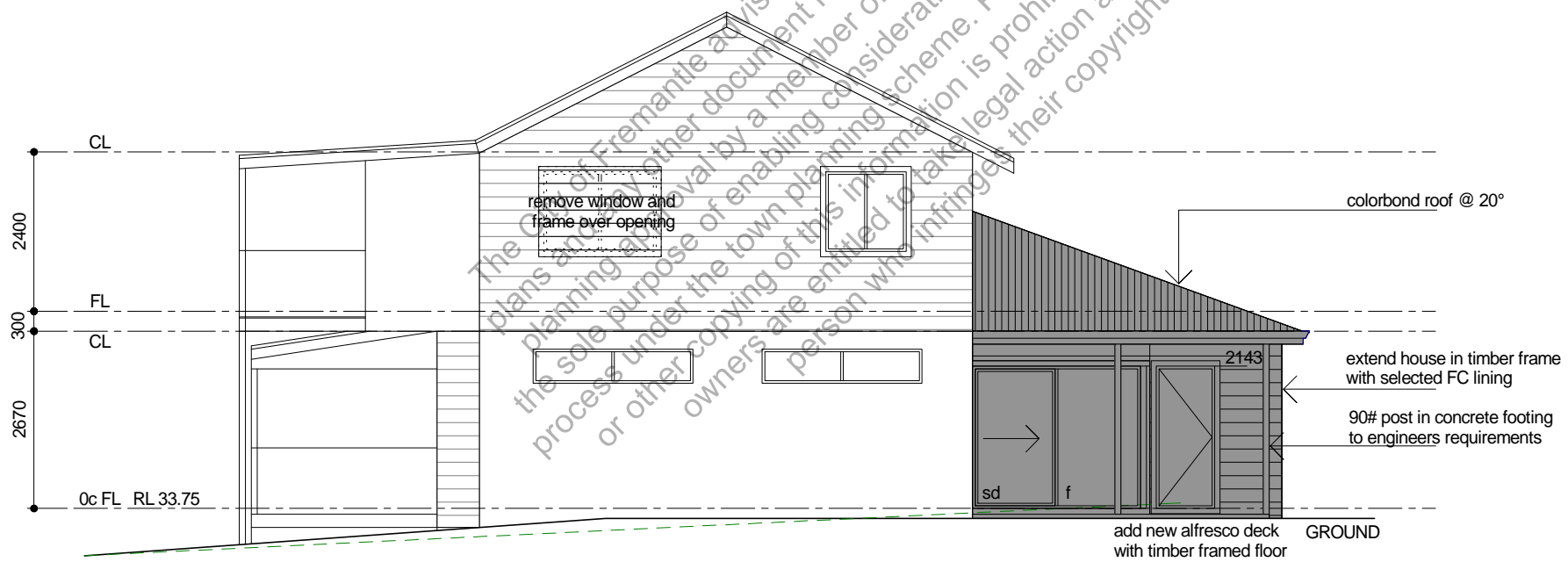


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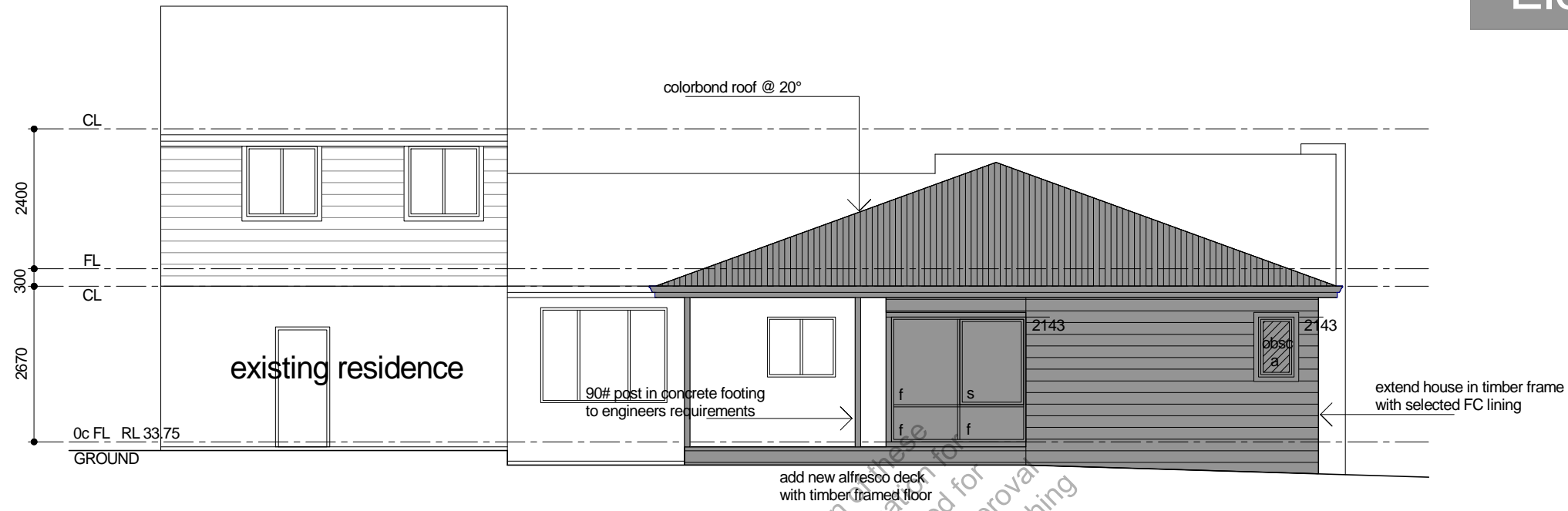


elevation 1

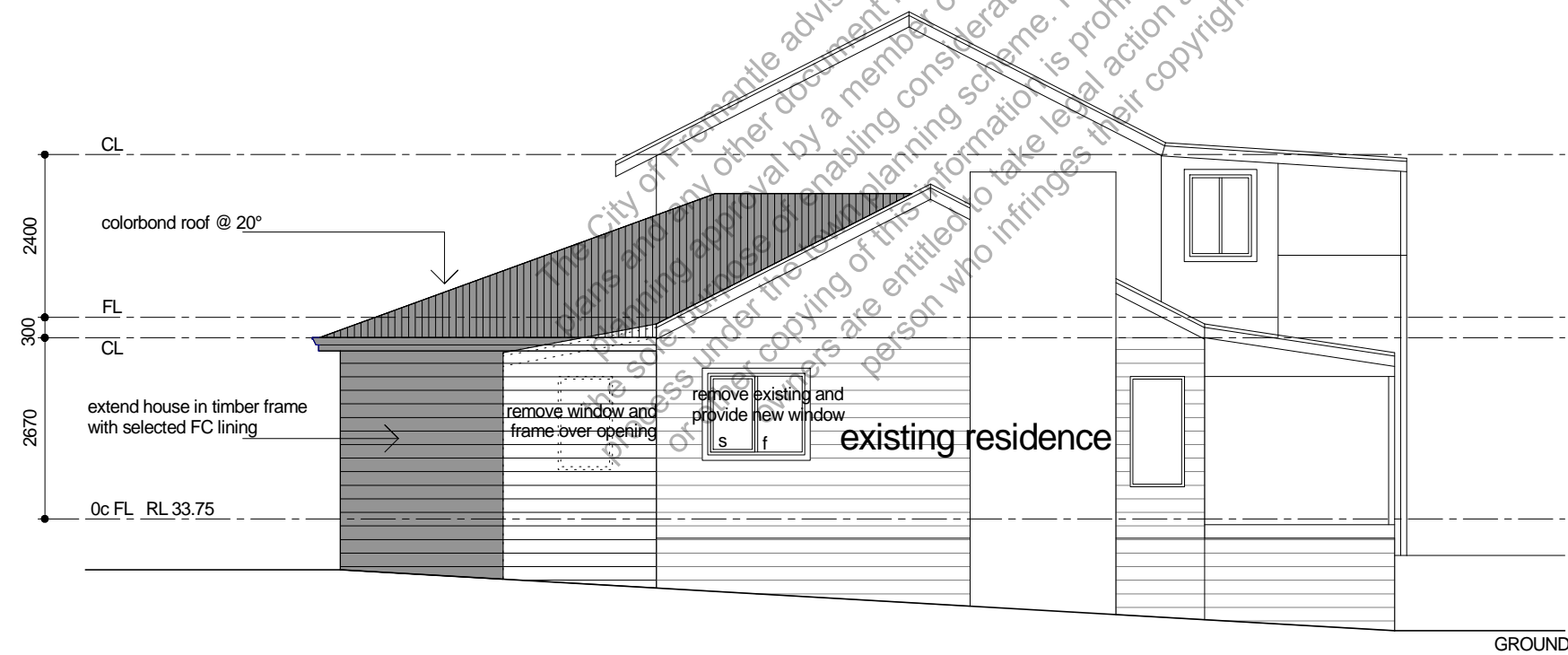


elevation 2

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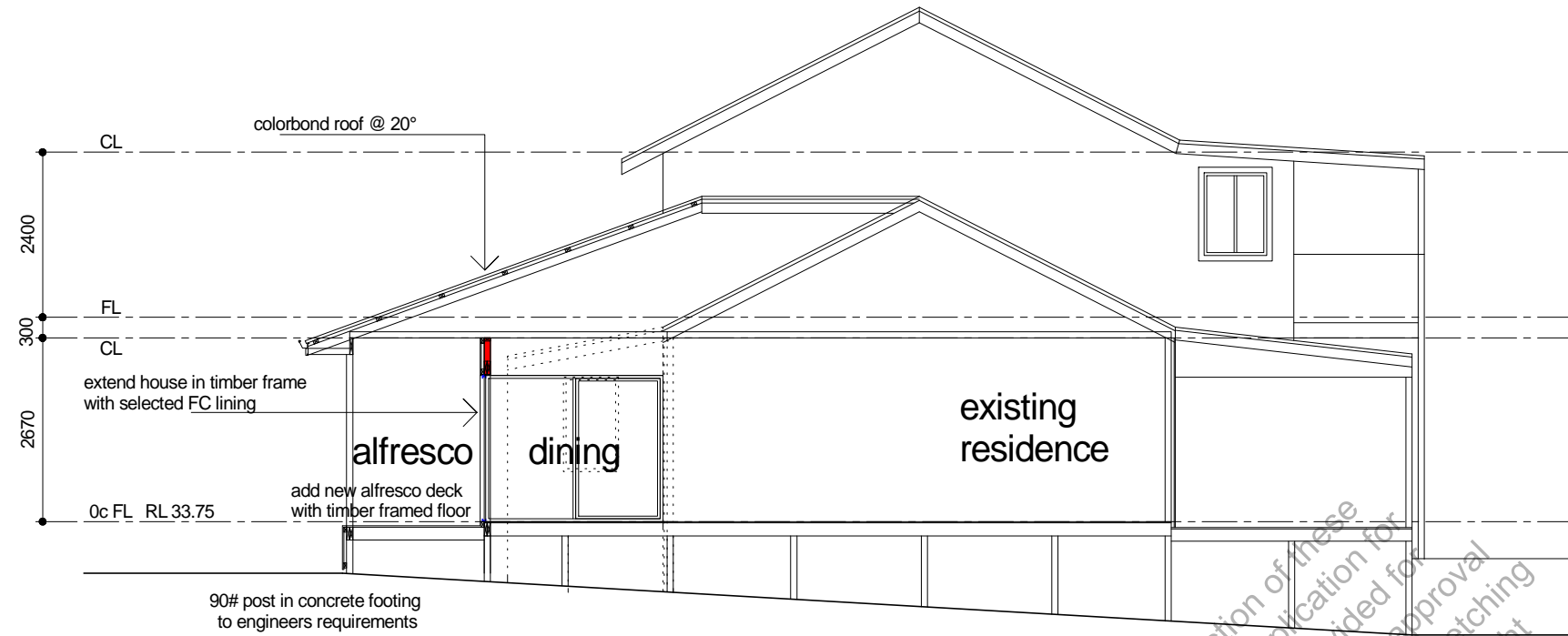


elevation 3

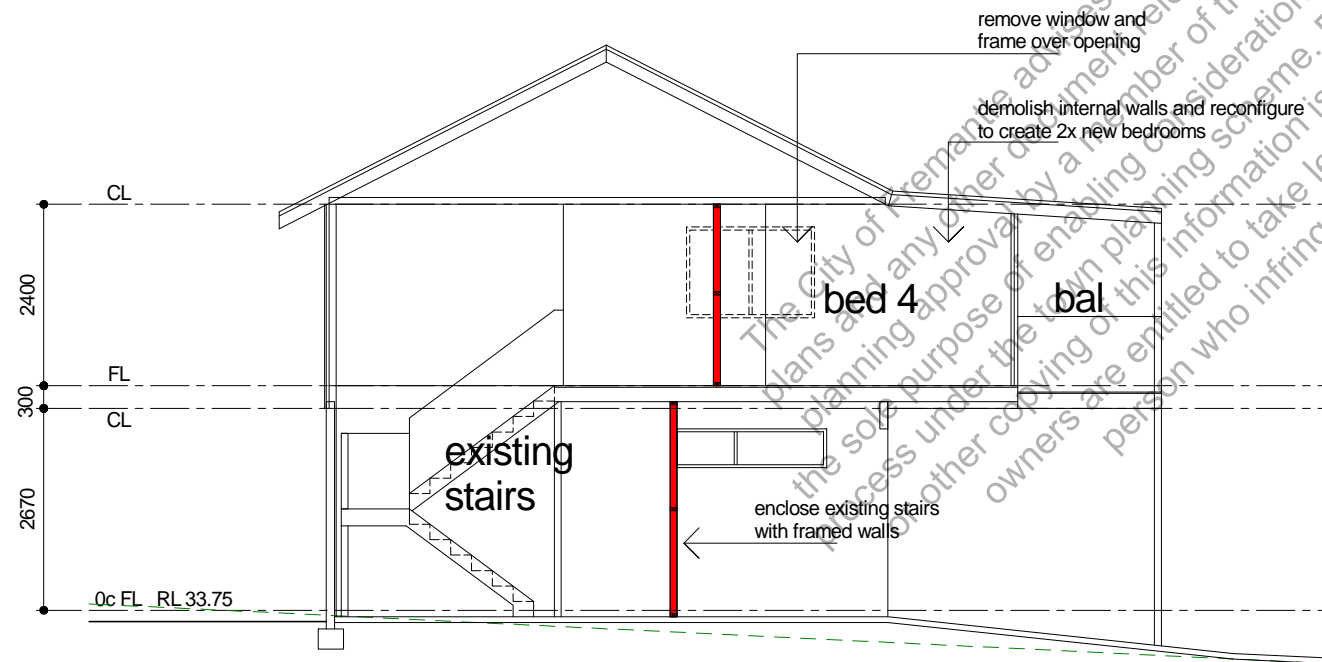


elevation 4

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section A
TIMBER ROOF FRAME
TO COMPLY W/- AS1684

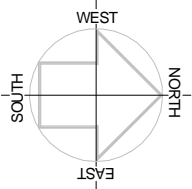


section B
TIMBER ROOF FRAME
TO COMPLY W/- AS1684

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DA0007/26

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LOT 2

514m²

SERVICE INFORMATION

AREA	ESTABLISHED		
SEWERAGE	YES	DEPTH	N/A
WATER	YES	PRELAIN	C
ELECTRICAL	YES	O/H	
TELECOM	YES		
GAS	YES		
DRAFTED	SSW	SURVEYOR	MR

SERVICE LEGEND

SURVEY	
✱	DATUM
○PF	PEG FOUND
○PG	PEG GONE

SEWERAGE	
○SEW	SEWER MANHOLE
○IO	INSPECTION OPENING
○IS	INSPECTION SHAFT

WATER	
○M	WATER METER
○H	HYDRANT
○F	FLUSH POINT
○V	STOP VALVE

ELECTRICAL	
○/□D	POWER DOME/PILLAR
○P	POWER POLE
○L	LAMP POST
○C	CONSUMER POLE
○A	STAY WIRE ANCHOR

STORMWATER	
○	STORMWATER MANHOLE
□	GRATE
□	SIDE ENTRY PIT

GAS	
○G	GAS METER
○S	SERVICE VALVE

TELECOM	
○	COMMUNICATION PIT
TMH	TELSTRA MANHOLE

REFER TO DRAINAGE PLUMBING DIAGRAM FOR INTERNAL STRATA SERVICING

CONSTRUCTION NOTES

Confirm dimensions on site prior to the commencement of works.

Figured dimensions take precedence over scaling

All dimensions shown on plans are raw dimensions only which do not include plaster thickness.

Location and number of downpipes is indicative only and may be changed at the builders discretion to comply with BCA requirements. All roof plumbing to suit AS3500.

Contractors to confirm all services prior to commencement of works.

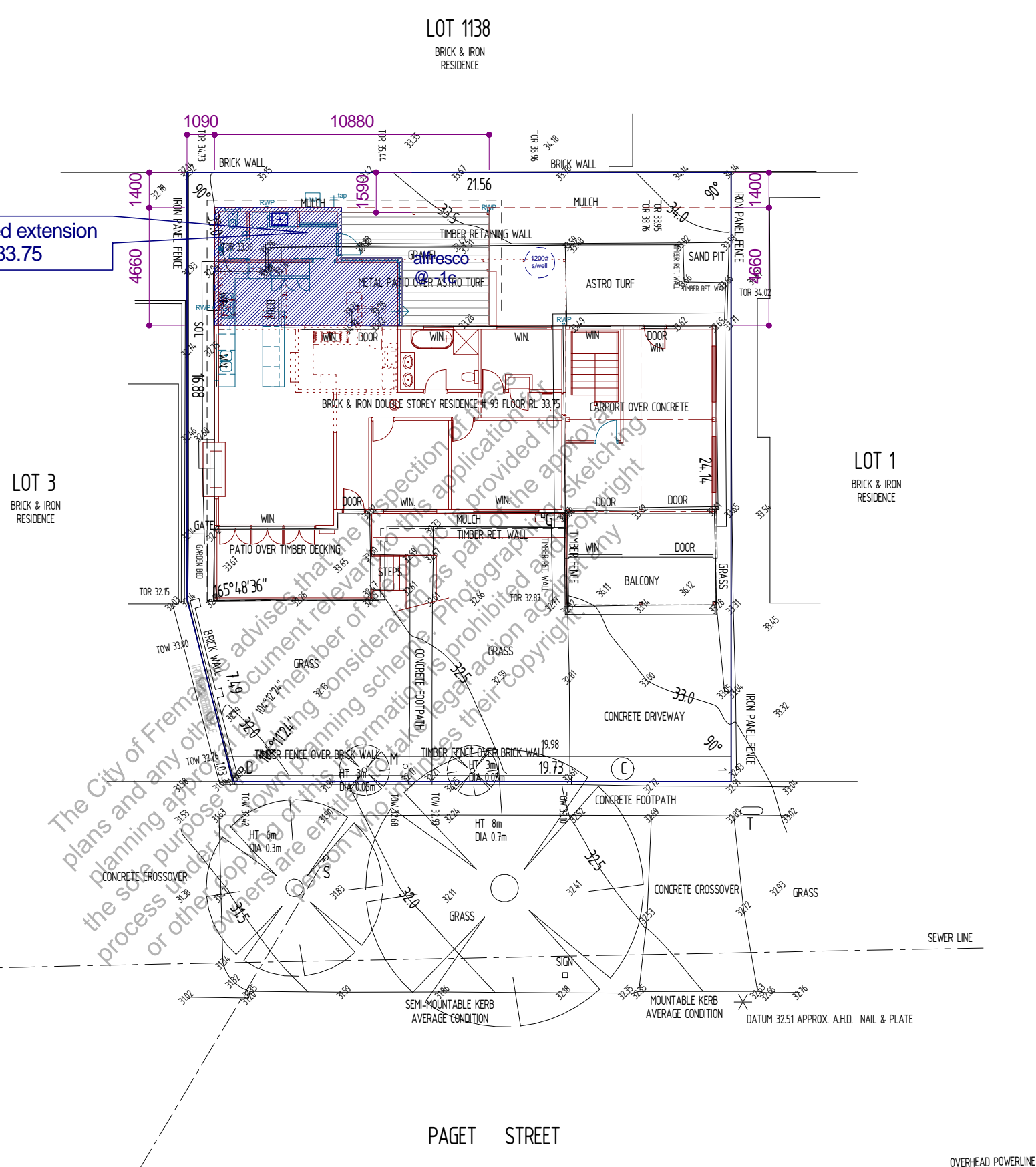
Drawings to be read in conjunction with Structural Engineers details.

Refer to AC contractors drawings for associated AC requirements

Site Setouts to be confirmed via Repeg.

NOTE: BOUNDARY POSITIONS PER ALIGNMENT WARNING: BOUNDARY RE-ESTABLISHMENT SURVEY REQUIRED TO CONFIRM REPELABLE AND CORRECTLY LOCATED BOUNDARY MARKS POSITIONS AND DIMENSIONS

proposed extension FFL @ 33.75



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○ EASEMENT: (TRANSMISSION OF ELECTRICITY BY UNDERGROUND CABLE) BENEFIT TO: LOT 1

Drawn: 31/11/25 Sheet: 11

CLIENT:			
ADDRESS: LOT 2 (#93) PAGET STREET, HILTON			
PLAN: SP84719	C/T: 4021/900	AUTHORITY: CITY OF FREMANTLE	
DATE: 24/10/2025	JOB REFERENCE: TSA8632 - FS2		
H. Grid : LOCAL	Local level : 29.61	A.H.D. value derived from : V8744	SEWER M/H Distance from Datum : 40.15m
V. Datum : AHD	A.H.D. level : 29.61		
VERSION	DATE	DESCRIPTION	APPROVED BY

IMPORTANT NOTES:

- The information on this drawing is current at the date of survey.
- All services are to be confirmed with relevant authorities.
- This includes without limitation, Sewerage / Water / Drainage / Electrical / Gas & Communications
- Further Limitations / Interests / Encumbrances / Notifications may be listed on the Certificate of Title.
- Original lot dimensions taken from Landgate Survey Plans.
- Boundary Re-establishment Survey required to confirm lot boundary position and dimensions.
- The sole purpose of this plan is for presentation to WAPC for process of application for subdivision to produce a conditional approval.
- Final lot numbers, dimensions and areas may vary due to WAPC requirements, government authority conditions and final field survey.
- This plan is for the purpose of application and in no way represents WAPC conditional approval.
- TSA Surveys does not accept liability for loss or damage to any person or corporation who may rely on this plan for any purpose.
- Permission is required from TSA Surveys for the reproduction or copying of this plan.

Scale: 1:200 at A3