

# FEATURE SURVEY

STREET NAME: THOMPSON ROAD    LOT #: 14    HOUSE #: 24    SUBURB: NORTH FREMANTLE    LOCAL AUTHORITY: CITY OF FREMANTLE    LOT AREA: 324m<sup>2</sup>    R CODE: R25    SURVEY DATE: 07/06/2022    SCALE AT A3 SIZE: 1:200

**CLIENTS DETAILS:**

**Matt Mudie**

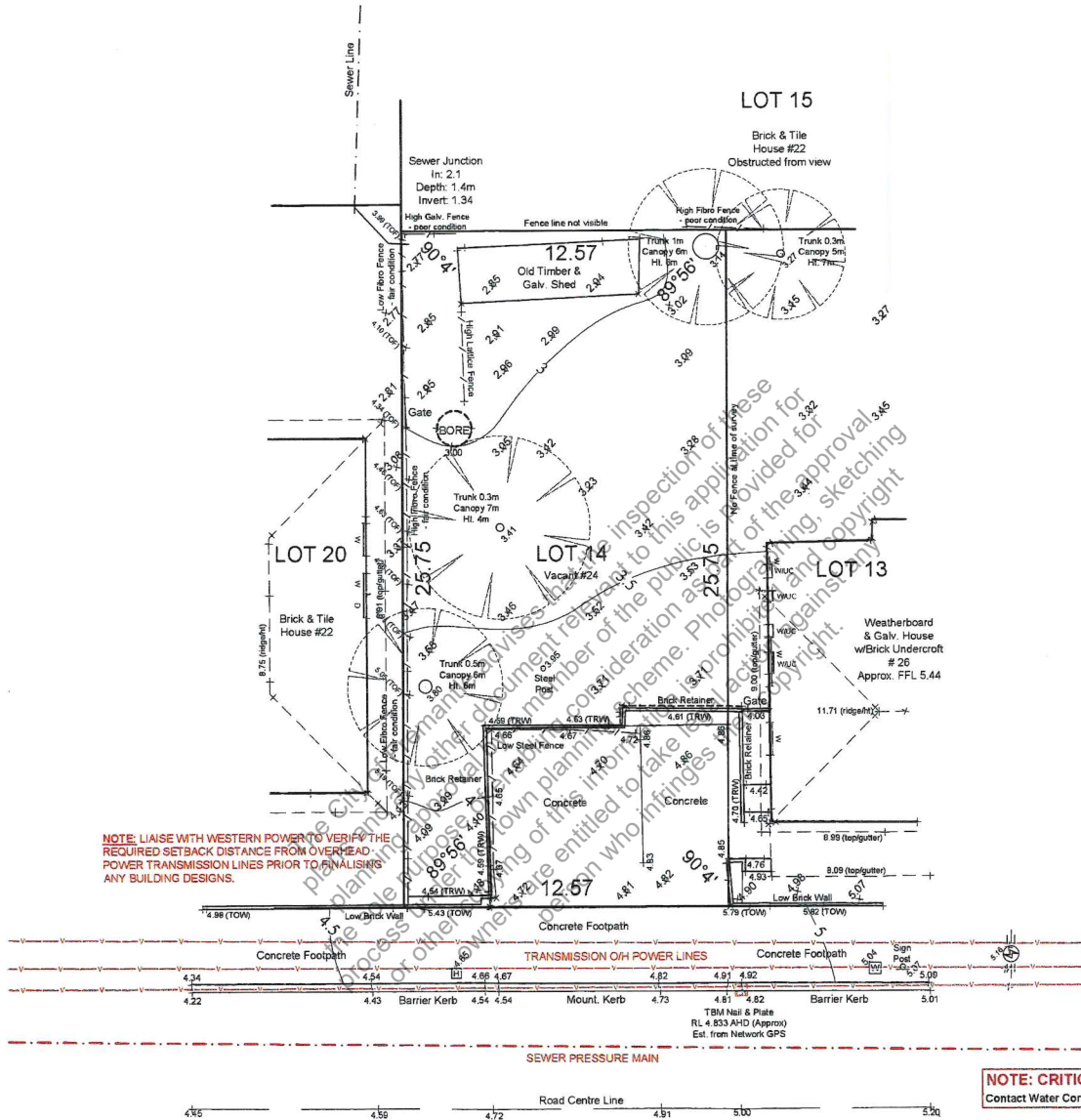
LEVEL DATUM: AHD (Approx.)  
 DWG REF: Thompson 24 F - v1.0

**LEGEND**

HYDRANT   
  POWER POLE   
  WATER VALVE   
  TREE (TO SCALE)   
  WINDOW   
  DOOR   
  W/UC UNDERCROFT WINDOW   
  TEMP. BENCHMARK

VISION SURVEYS CONSULTING VERIFY THAT AN ALIGNMENT SURVEY HAS BEEN CONDUCTED ON 07/06/2022 TO ESTABLISH THE BOUNDARY POSITIONS OF LOT 14 ON PLAN 1926. THE POSITION OF ALL STRUCTURAL FEATURES REPRESENTED ON THIS PLAN ARE TO BE ASSUMED ACCURATE IN RELATION TO THE BOUNDARY. VISION SURVEYS CONSULTING IS NOT LIABLE FOR ANY CHANGES MADE TO THE PARCEL OR PORTION OF THE PARCEL OF LAND SHOWN ON THIS SURVEY INCLUDING BUT NOT LIMITED TO ANY ADJOINING PARCEL THAT HAVE OCCURRED AFTER THE DATE ON THIS SURVEY.

**FEATURE SURVEY PROVIDED WITH PREVIOUSLY APPROVED PLANS**

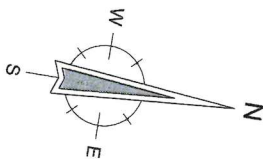


## THOMPSON ROAD

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**DA0032/26**

**2 Feb 2026**

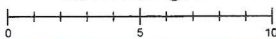


**SURVEY**  
 1:200



T: (08) 6144 0000 F: (08) 6144 0099  
 59 SCARBOROUGH BEACH RD,  
 SCARBOROUGH WA 6019  
 Email: info@visionsc.com.au  
 www.visionsurveys.com.au

SCALE 1:200 @ A3



PLAN / DIAG / SP	P1926
ELECTRICITY	OH/HEAD & U/GROUND
WATER	YES
GAS	YES

TELSTRA	YES
SEWERAGE	YES
DRAINAGE	GOOD
VEG. / SOIL	AS DESCRIBED

**IMPORTANT NOTES:**

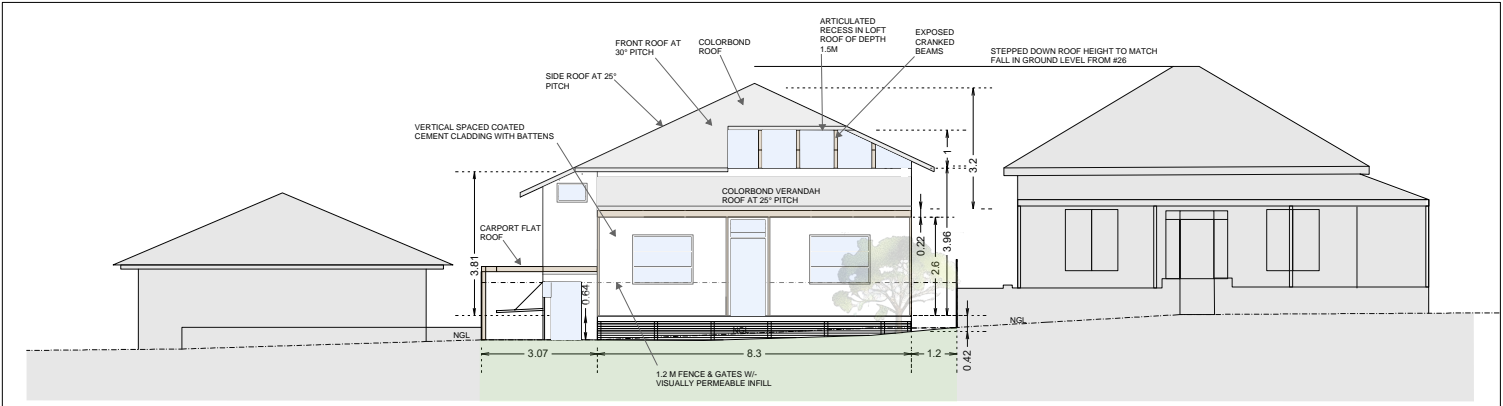
VISION SURVEYS ACCEPTS NO RESPONSIBILITY FOR ANY CHANGES TO THE PARCEL OR PORTION OF THE PARCEL OF LAND SHOWN ON THIS SURVEY INCLUDING BUT NOT LIMITED TO ANY ADJOINING NEIGHBOURS LEVELS AND FEATURES THAT HAVE OCCURRED AFTER THE DATE ON THIS SURVEY.

THIS PLAN IS INTENDED FOR THE DEPT OF PLANNING & INFRASTRUCTURE ONLY.

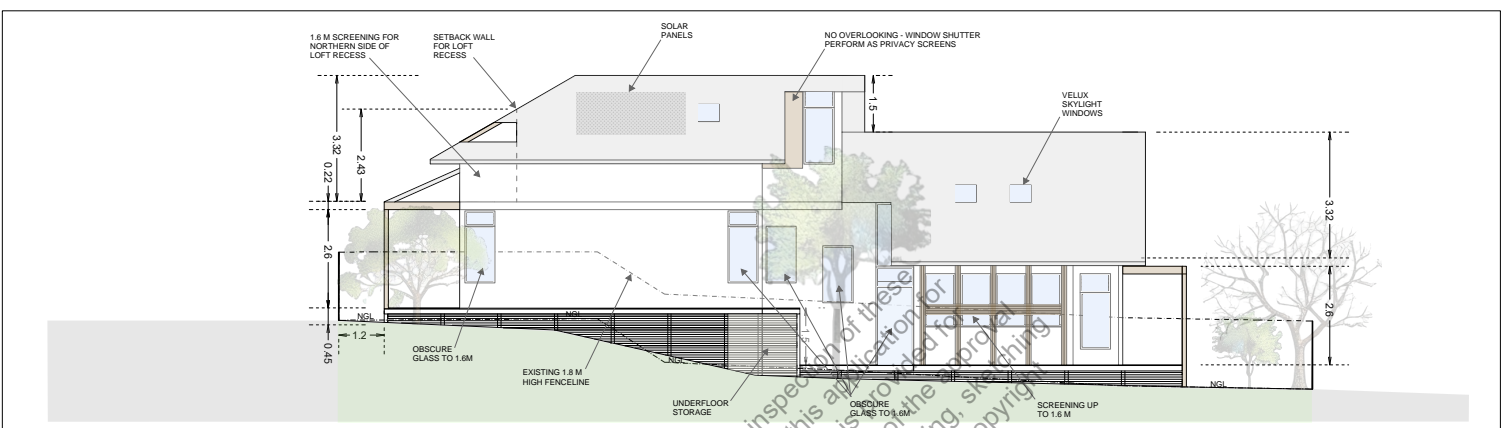
SEWER / DRAINAGE MAY VARY FROM SCHEMATIC PRESENTATION / CHECK WITH APPROPRIATE AUTHORITY BEFORE ADOPTION OF POSITION.

CHECK TITLE FOR EASEMENTS / COVENANTS ETC.

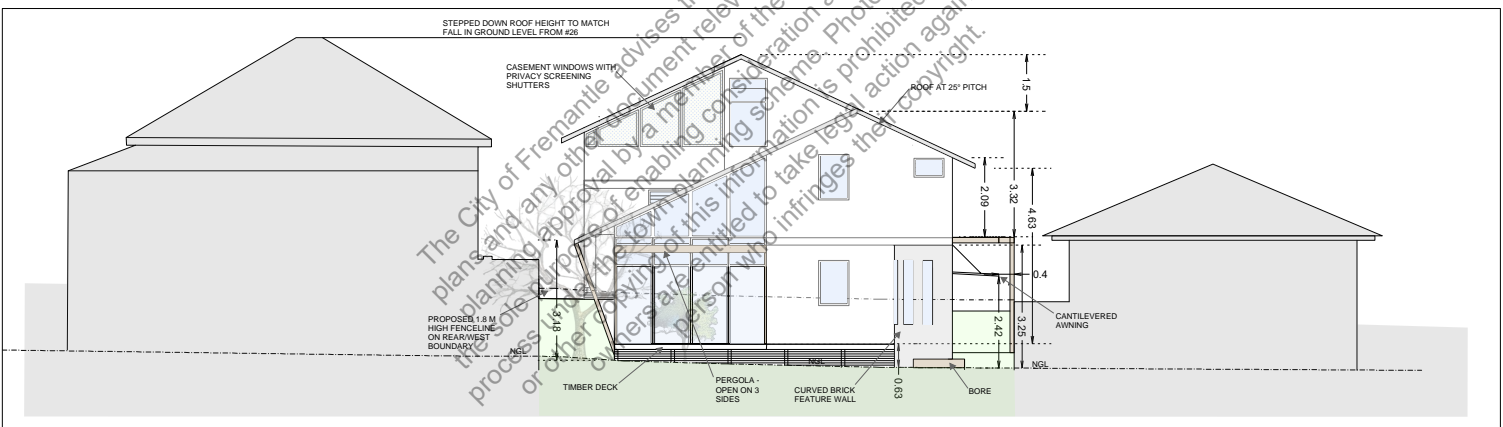




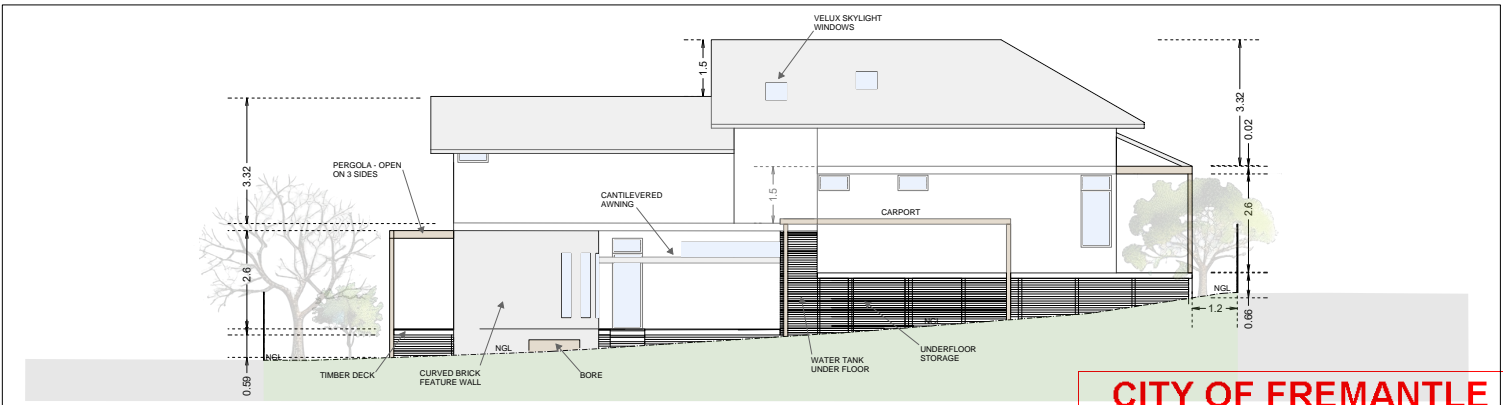
Elevation - East (street facing)



Elevation - North



Elevation - West



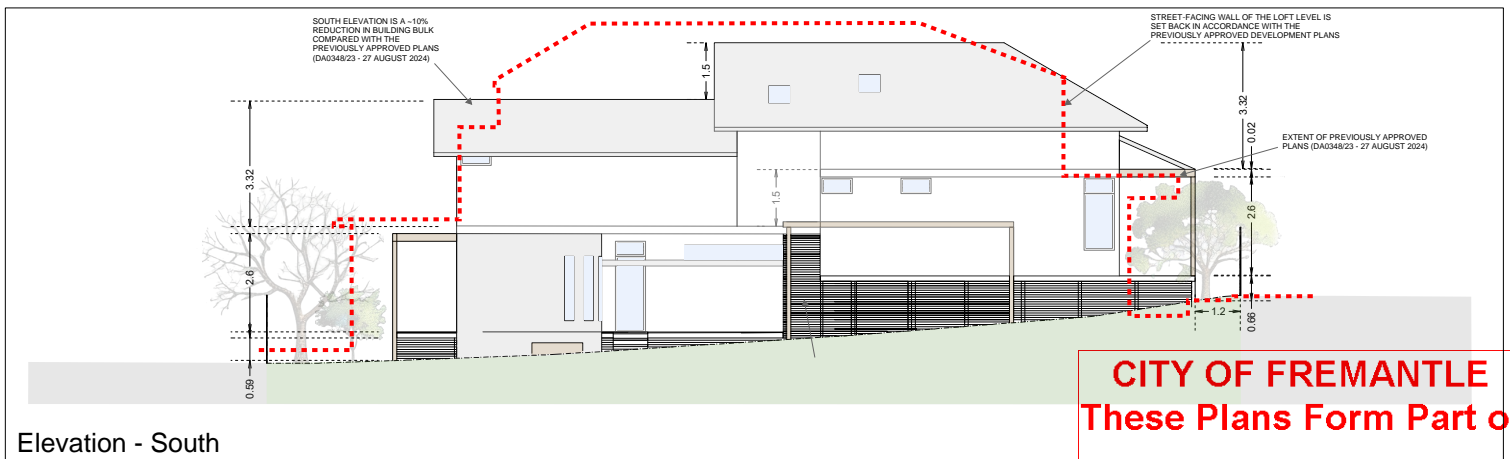
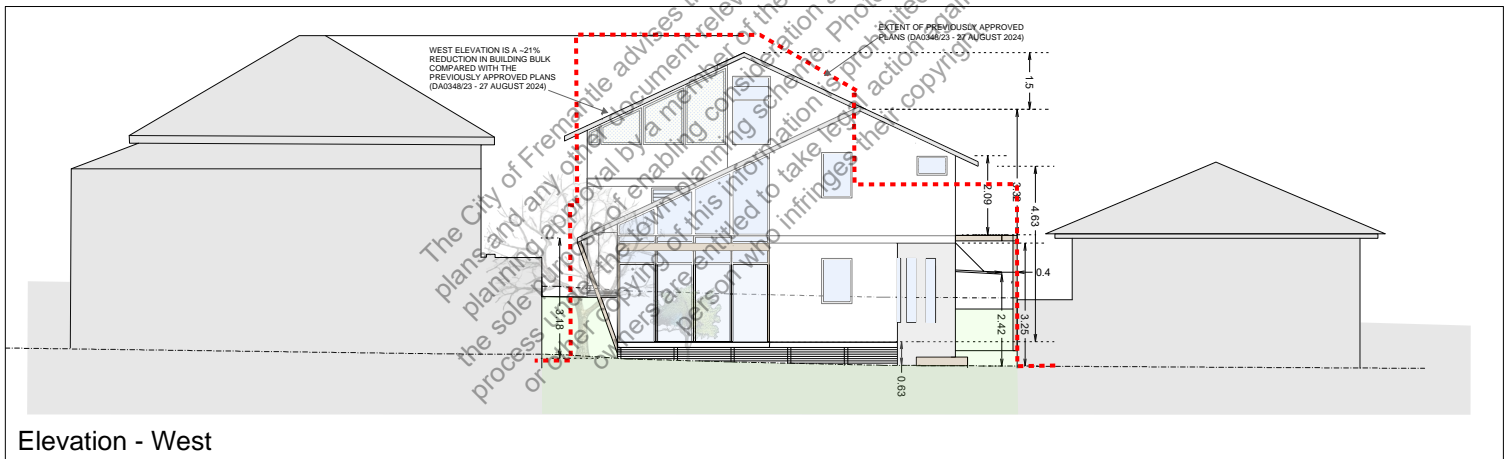
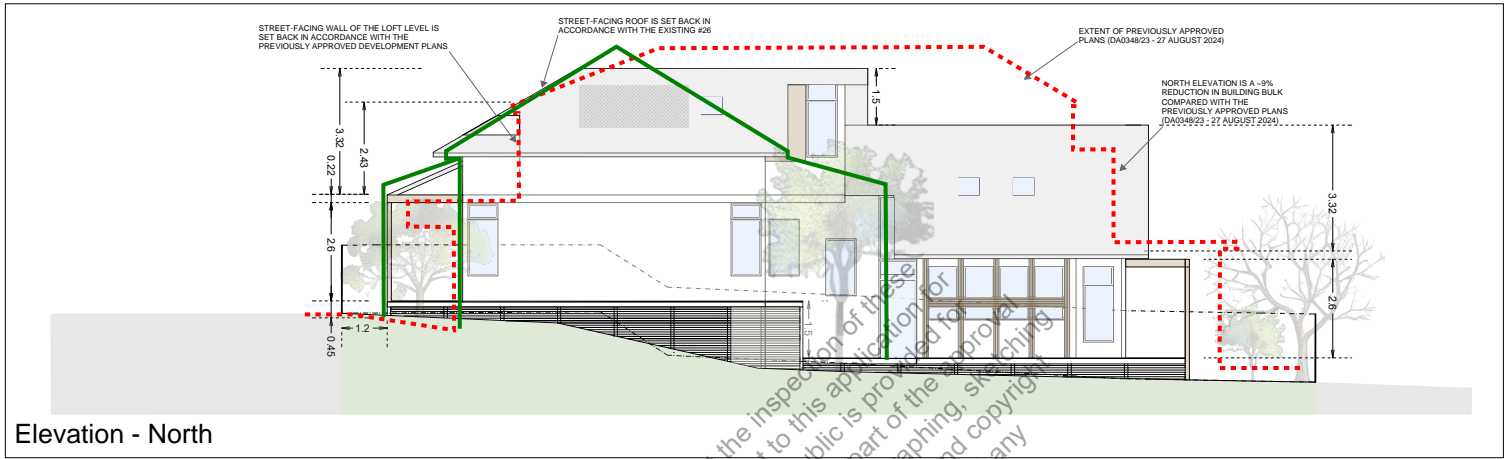
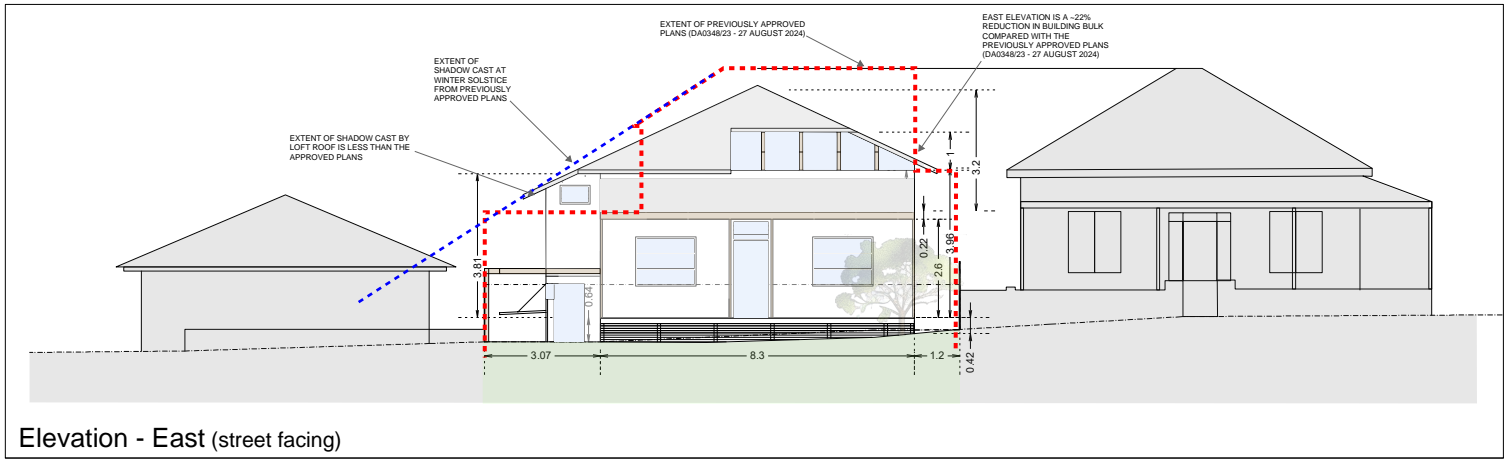
Elevation - South

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SCALE @ A4  
 SIZE: 1:200

LOT 14, (#24) THOMPSON ROAD, NORTH FREMANTLE  
 DATE: 27/01/2026

NOTES:  
 ROOM SIZES ARE APPROXIMATE ONLY  
 WINDOW SIZES MAY NEED TO BE ALTERED TO SUIT ENERGY EFFICIENCY  
 REQUIREMENTS AT WORKING DRAWING STAGE



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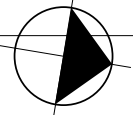
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**SITE COVERAGE**  
 ZONED R25  
 % ALLOWED 50%  
 SITE AREA 324.00 m<sup>2</sup>  
 SITE COV. AREA 160.80 m<sup>2</sup>  
**SITE COV. = 49.5%**

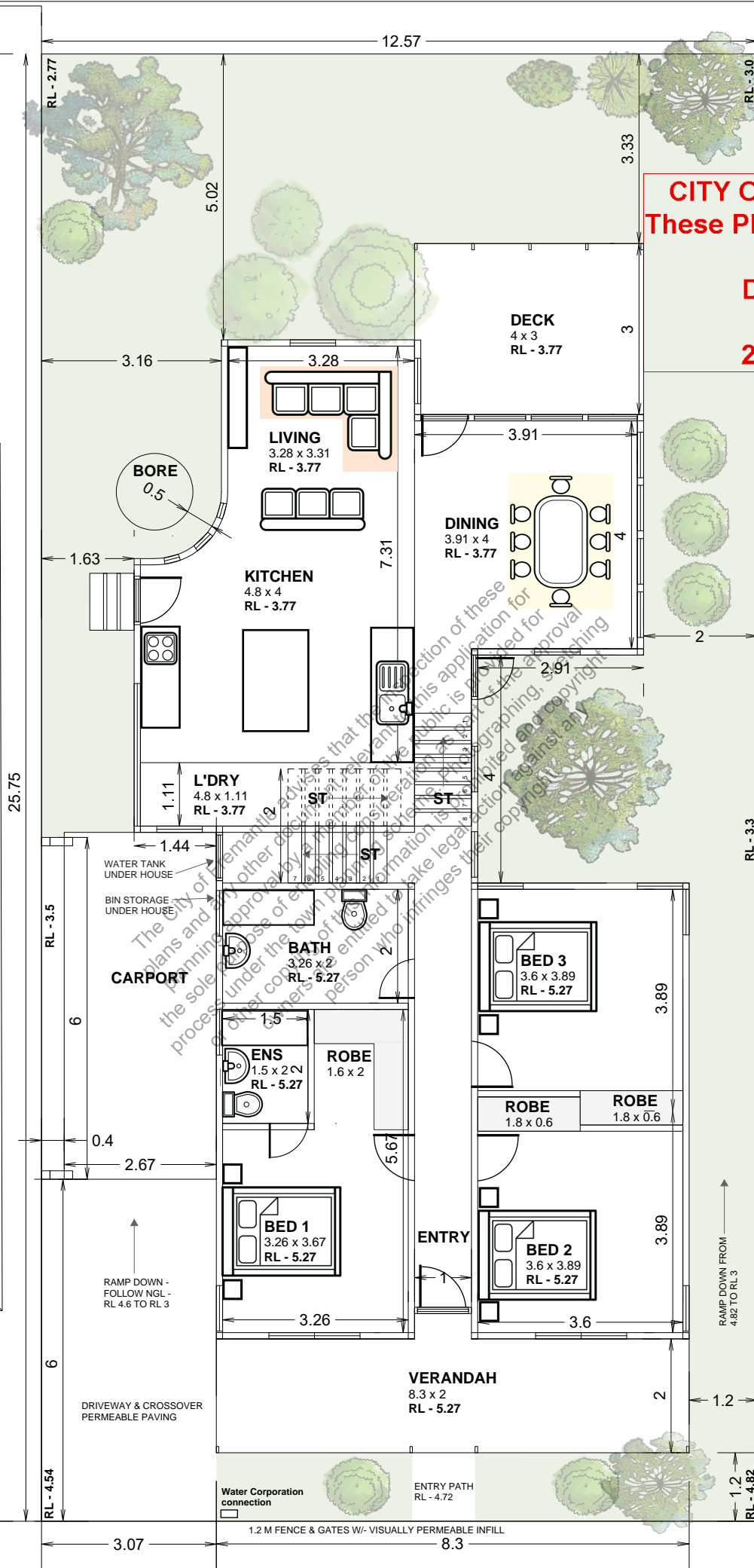
NORTH



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**GROUND FLOOR**

SCALE @ A4 SIZE: 1:100

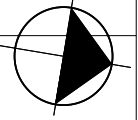
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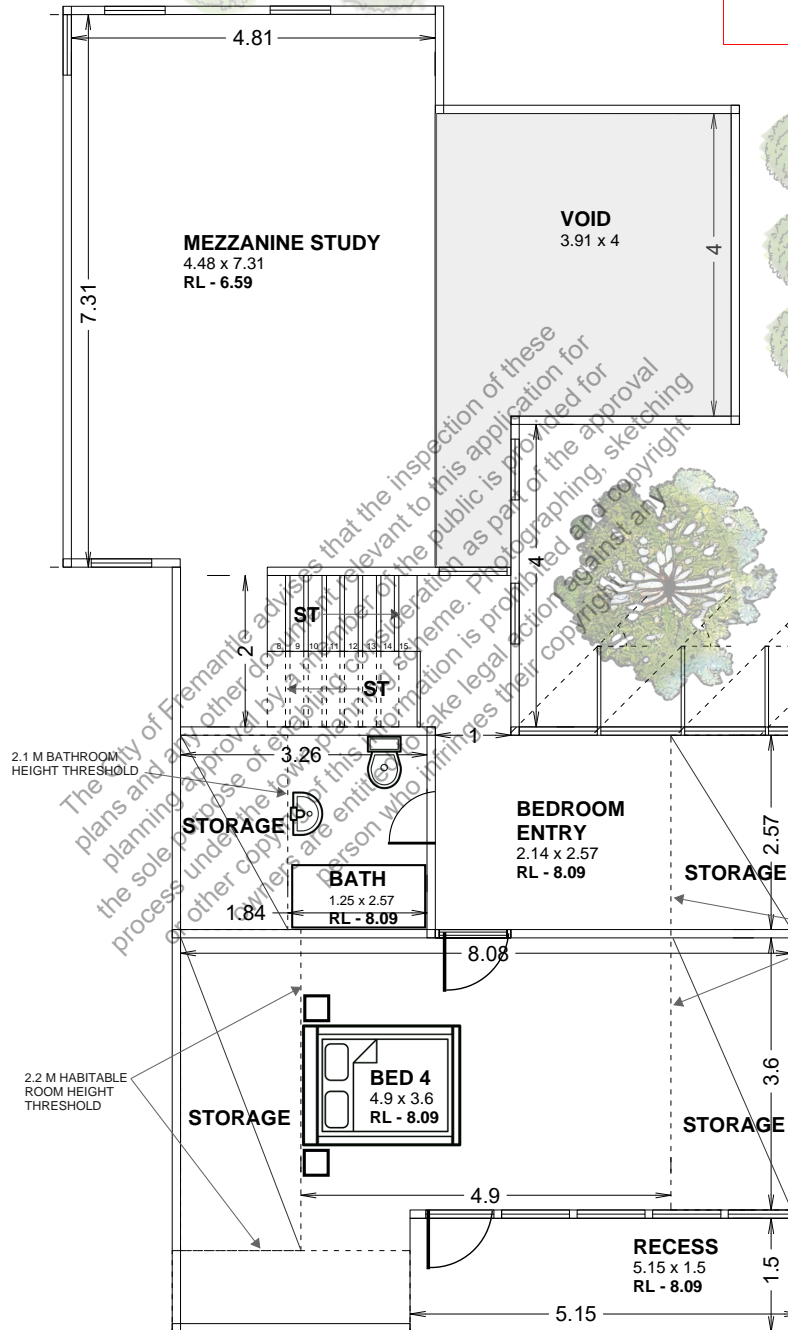
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NO OVERLOOKING - WINDOW SHUTTER PERFORM AS PRIVACY SCREENS AT 45°

2.1 M BATHROOM HEIGHT THRESHOLD

2.2 M HABITABLE ROOM HEIGHT THRESHOLD

2.2 M HABITABLE ROOM HEIGHT THRESHOLD

**LOFT LEVEL**

SCALE @ A4 SIZE: 1:100

**LOT 14, (#24) THOMPSON ROAD, NORTH FREMANTLE**

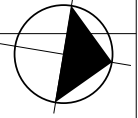
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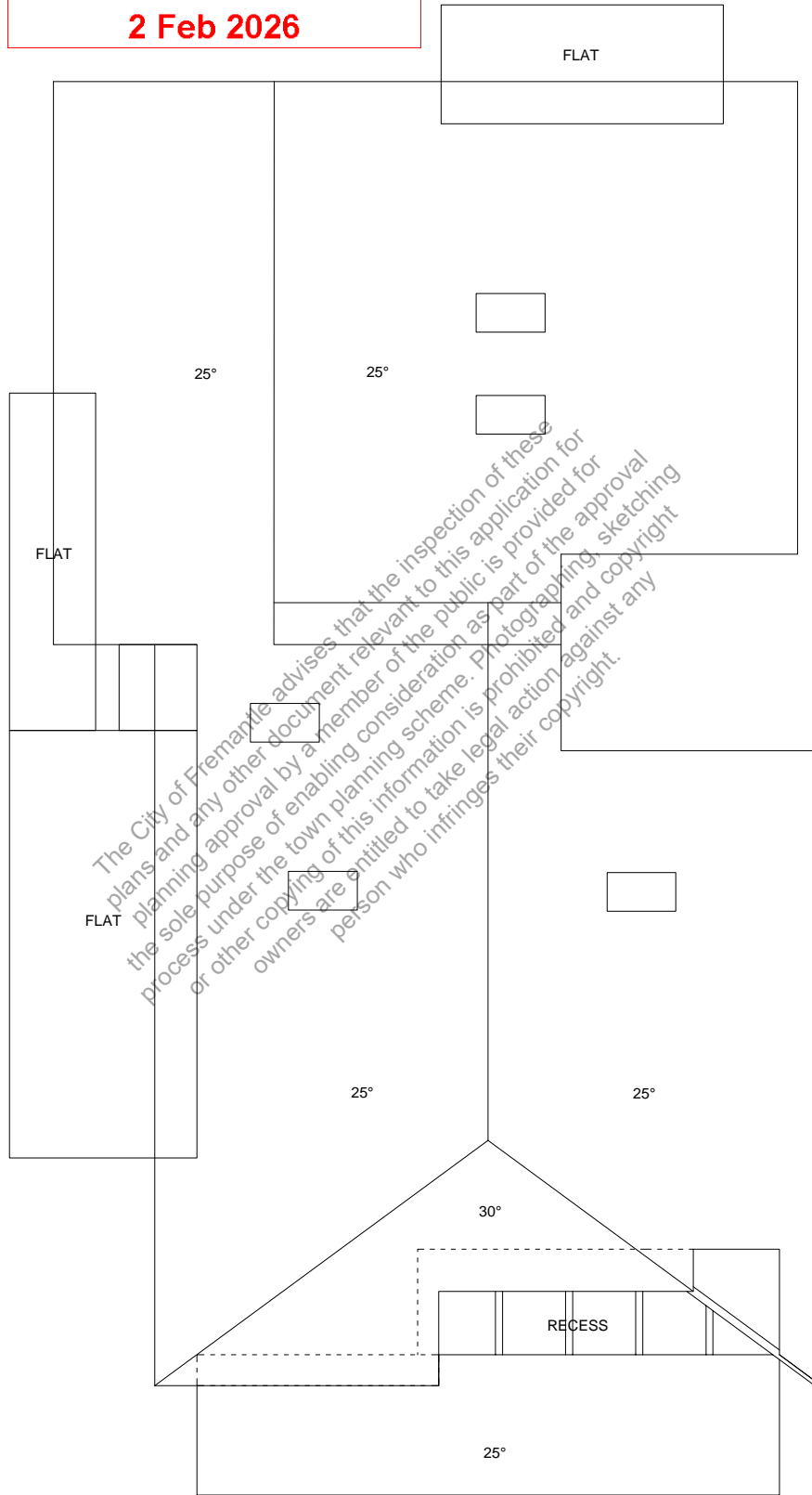
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**ROOF PLAN**

SCALE @ A4 SIZE: 1:100

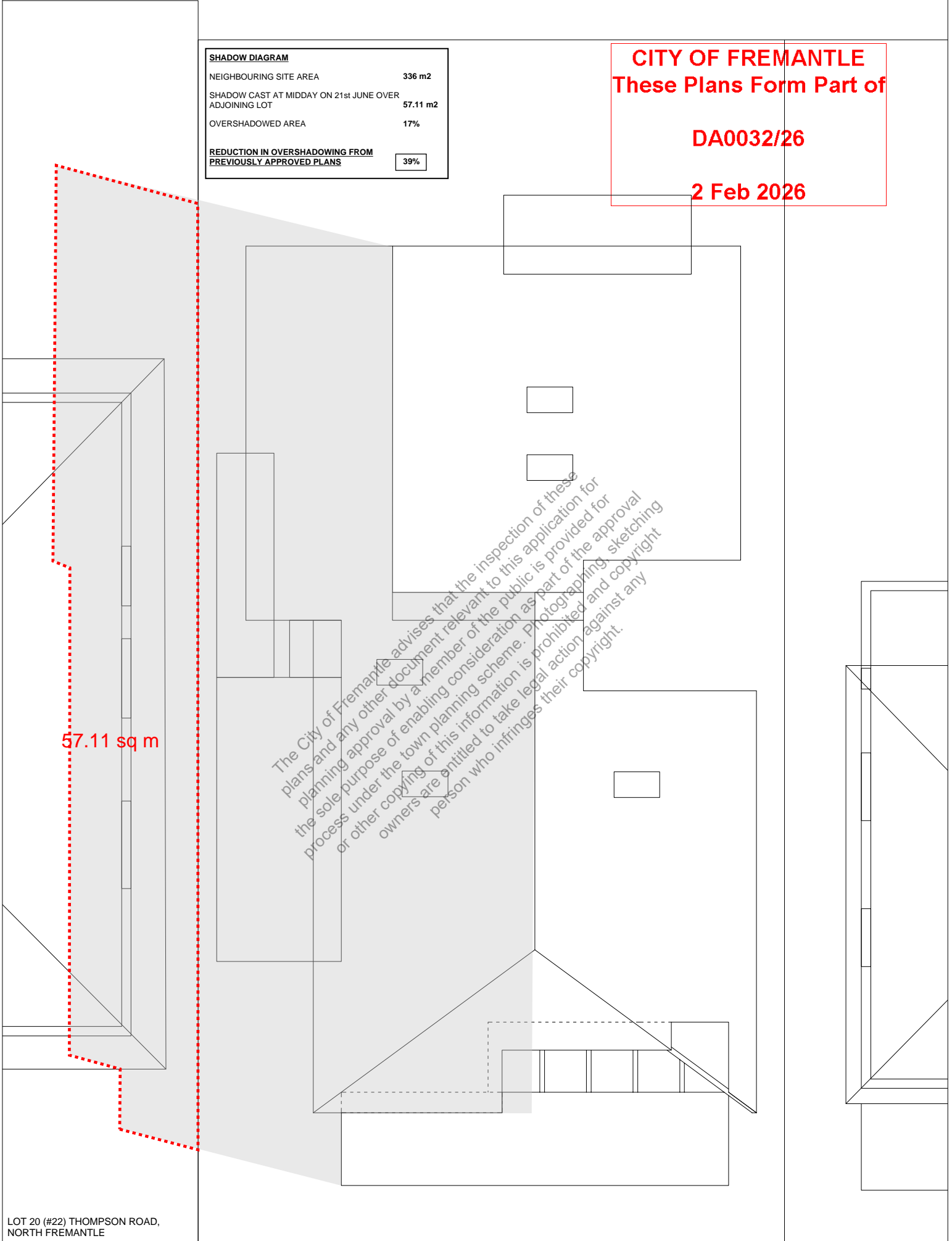
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<b>SHADOW DIAGRAM</b>	
NEIGHBOURING SITE AREA	336 m <sup>2</sup>
SHADOW CAST AT MIDDAY ON 21st JUNE OVER ADJOINING LOT	57.11 m <sup>2</sup>
OVERSHADOWED AREA	17%
<b>REDUCTION IN OVERSHADOWING FROM PREVIOUSLY APPROVED PLANS</b>	<b>39%</b>

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57.11 sq m

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LOT 20 (#22) THOMPSON ROAD,  
 NORTH FREMANTLE