

Galipo

Address:#25 Manning Street, Fremantle

Three Storey Dwelling - Renovation

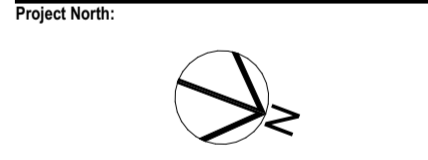
Job Number: 0118

Drawing No	Description
001	Cover Page
002	Original Site Survey
003	Demolition Site Plan
004	Proposed Site Plan
005	Existing Overshadowing Plan
006	Proposed Overshadowing Plan
007	Demolition Plan - Ground Floor
008	Garage & Cellar Floor Plan
009	Ground Floor Plan
010	Upper Floor Plan
011	External Elevations
012	3D Rendered Perspective
013	3D Rendered Perspective
014	3D Rendered Perspective

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CITY OF FREMANTLE
These Plans Form Part of
DA0149/26
20 April 2026

Revision	Description	Date
1.00	Concept Design	23.01.26



Client
Galipo

Project Name
Three Storey Dwelling - Renovation

Project Address
#25 Manning Street, Fremantle

Drawing Title:
Cover Page

Scale:	Sheet Size:
	A2
Project No:	Revision Number:
0118	1.00

Drawing No.:
001 of 12

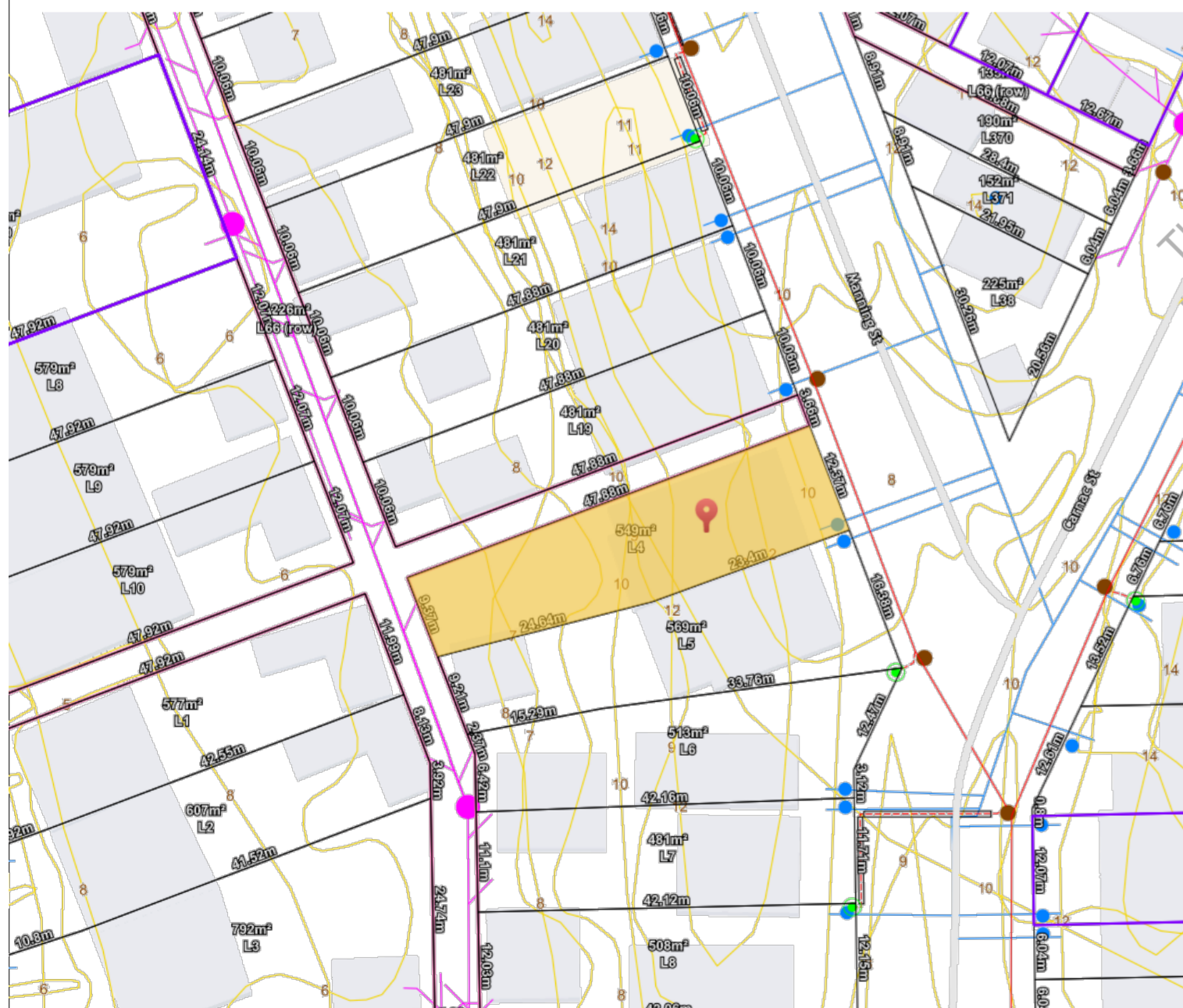


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INTRAMAP ARIERAL VIEW

SCALE: NTS



INTRAMAP MAP VIEW

SCALE: NTS

THE INFORMATION ON THIS DRAWING IS CURRENT AS AT THE DATE OF SURVEY SERVICES ARE TO BE CONFIRMED WITH RELEVANT AUTHORITIES. THIS INCLUDES WITHOUT LIMITATIONS: SEWERAGE, WATER SUPPLY, DRAINAGE, POWER SUPPLY, GAS SUPPLY & COMMUNICATIONS. FURTHER INTERESTS / NOTIFICATIONS / ENCUMBRANCES MAY BE LISTED ON THE CERTIFICATE OF TITLE.

- SEWERAGE**
- SEW SEWER MANHOLE
 - IS INSPECTION SHAFT
 - IO INSPECTION OPENING

- WATER**
- SV STOP VALVE
 - HY HYDRANT
 - FP FLUSH POINT
 - METER WATER METER

- POWER**
- CP CONSUMER POLE
 - PP POWER POLE
 - LP LAMP POST
 - SP STAY POLE
 - PD POWER DOME

- STORMWATER**
- SW MANHOLE
 - GRATE
 - SIDE ENTRY PIT

- TELSTRA**
- PIT TELSTRA PIT
 - GM GAS
 - GAS METER

- SURVEY**
- PF PEG FOUND
 - Pdist PEG DISTURBED
 - PG PEG GONE
 - STATION
 - DATUM / CONTROL

- BUILDING**
- BRICK & TILE
 - RESIDENCE
 - FLOOR R.L. 0.00
 - W

- W** EAVES LINE
- WINDOW
 - RD DOOR / ROLLER DOOR
 - GSD GLASS SLIDING DOOR

- WALLS**
- RETAINING WALL
 - BRICK WALL

- OTHER**
- NATURAL SURFACE
 - LEVEL

- X.XX** TREE
- Spread Ø
 - Height
 - Trunk Ø

- O/H** POWER LINE
- FENCE
 - SEWER LINE

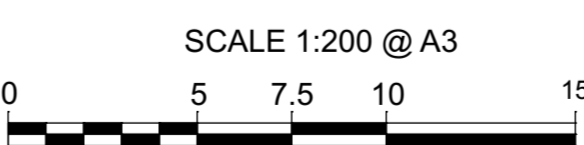
- TOP OF WALLS...**
- X.XXm TOPPT PARRAPET
 - X.XXm TOPLR PILLAR
 - X.XXm TOW WALL
 - X.XXm TOR RETAINER

- PIPE - SEWER CON**
- GAS MARKER
 - WATER METRE CONNECTION
 - PIPE - COMMUNICATIONS

- CONTOURS**
- 0.5m CONTOUR INT.

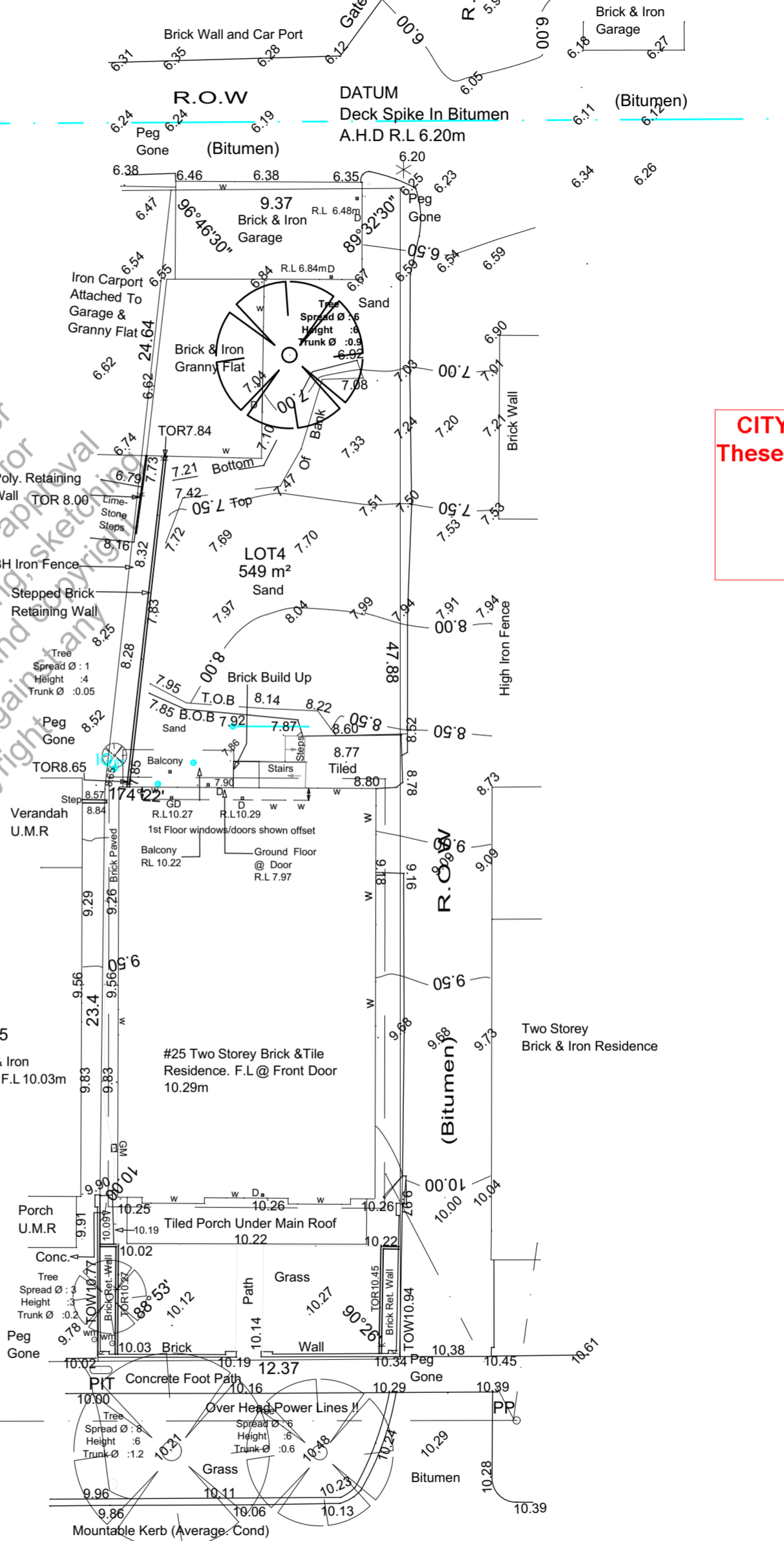
NOTE: SEWER MH No: 0036 APPROXIMATELY 27.05m FROM DATUM. (MEASURED A.H.D. LEVEL.: 6.43m) (WATER CORP A.H.D.: 5.95m)

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WARNING!
NOTE: BOUNDARY POSITION APPROXIMATE ONLY!
BOUNDARY RE-ESTABLISHMENT SURVEY REQUIRED TO CONFIRM LOT BOUNDARY POSITION AND DIMENSIONS.
REQUIRES REPEG SURVEY!

LOT 4
549m²
Lot Misclose: E: 9mm N: 10mm



MANNING ROAD

JOB No. 25MAN-DS-2025	CONTOUR & FEATURE SURVEY
LOT: 4 (#25) MANNING STREET	AUTHORITY: FREMANTLE
SUBURB: FREMANTLE	MAP REF.: 32°03'41.2"S 115°45'12.0"E
CLIENT: PHIL GALIPO	P2 CONCEPTS
Drawing Rev 01: 27/03/26	

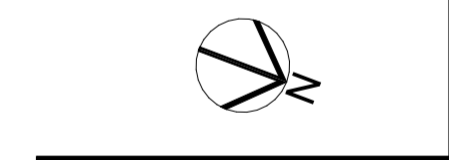
TERRA Surveys
Land & Engineering Surveying Services
ABN : 806 104 08 133
SERVICE INFORMATION

THE DATUM ON THIS PLAN HAS BEEN ESTABLISHED FROM A STANDARD SURVEY MARK - S.S.M FREMANTLE 97 WITH AN A.H.D. R.L OF 2.022m & MEASURED WITH FOIF G.P.S. INSTRUMENT

SOIL DESCR SAND, GRASS.

CITY OF FREMANTLE
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DA0149/26
20 April 2026

1:00	Concept Design	23.01.26
Revision Description		Date
Project North:		



Client	Galipo
Project Name	Three Storey Dwelling - Renovation
Project Address	#25 Manning Street, Fremantle
Drawing Title:	Original Site Survey
Scale:	1:200
Sheet Size:	A2
Project No:	0118
Revision Number:	1.00
Drawing No.:	002 of 12

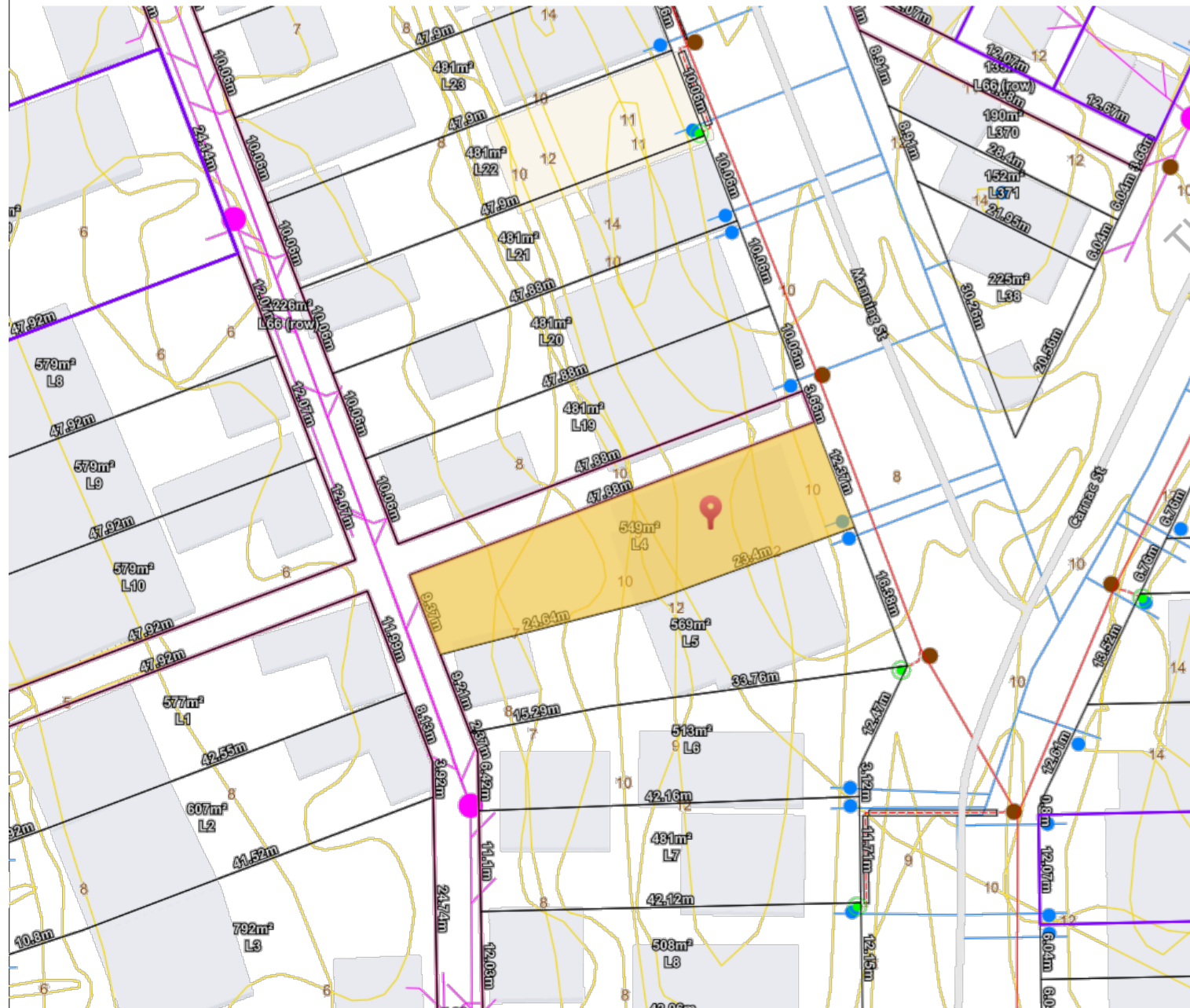


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INTRAMAP ARIERAL VIEW

SCALE: NTS



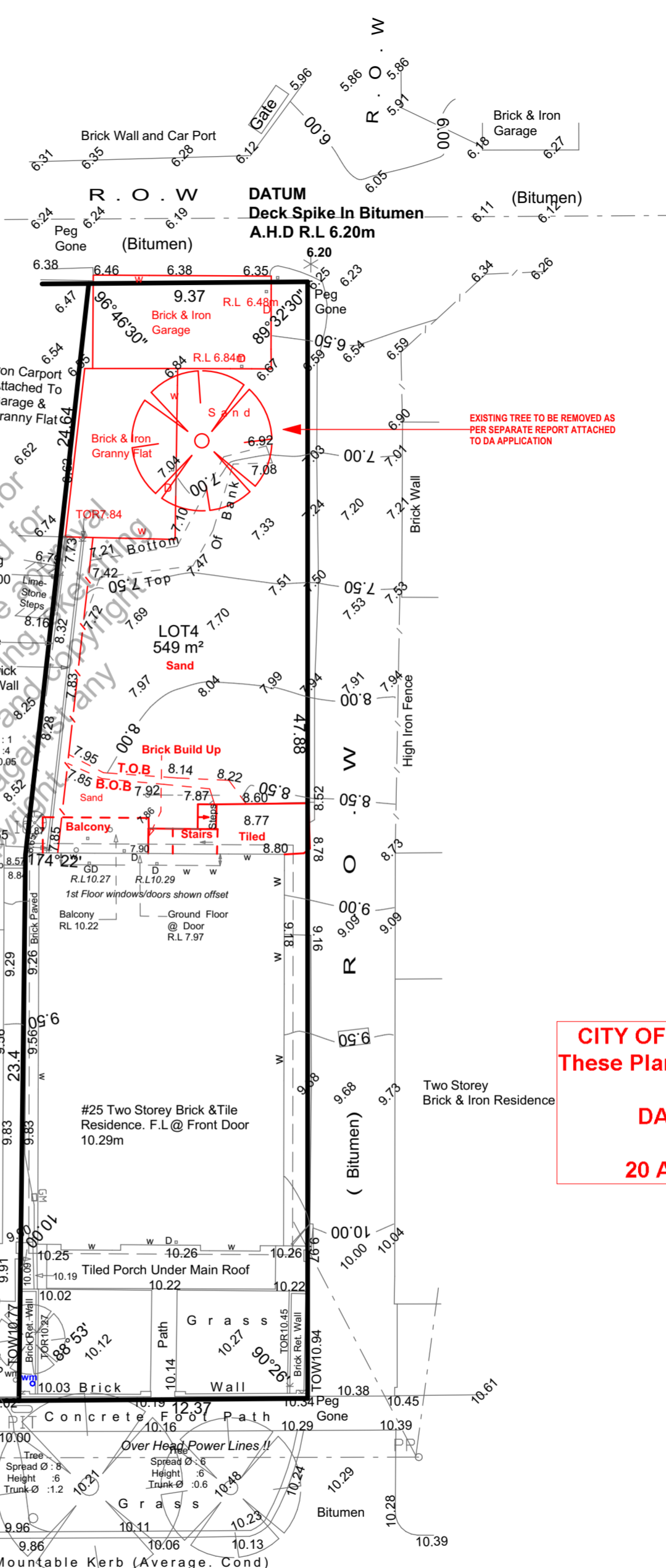
INTRAMAP MAP VIEW

SCALE: NTS

NOTE: SEWER MH No: 0036
 APPROXIMATELY 27.05m FROM DATUM.
 (MEASURED A.H.D. LEVEL: 6.43m)
 (WATER CORP A.H.D.: 5.95m)

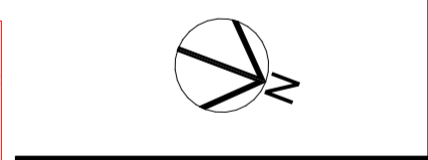
SEWER PROPERTY CONNECTION
 ...APPROXIMATE ONLY...
 NO DATA AVAILABLE.
 CHECK WITH WATER CORP

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1.00	Concept Design	23.01.26
Revision	Description	Date



Client
Galipo

Project Name
Three Storey Dwelling - Renovation

Project Address
#25 Manning Street, Fremantle

Drawing Title: Demolition Site Plan	
Scale: 1:200	Sheet Size: A2
Project No: 0118	Revision Number: 1.00

Drawing No.:
003 of 12



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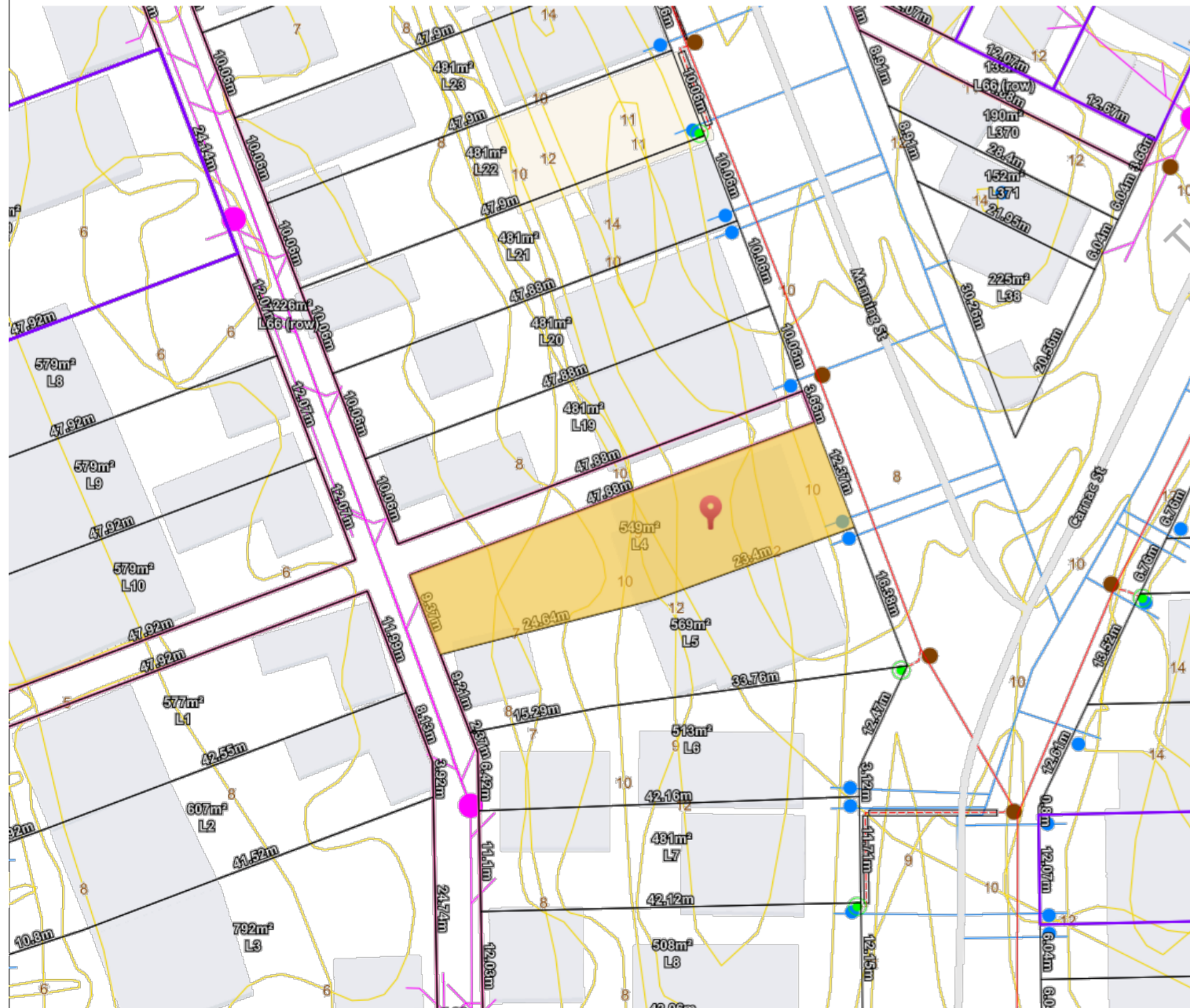
03 DOMILITION PLAN 1:200

MANNING ROAD



INTRAMAP ARIERAL VIEW

SCALE: NTS



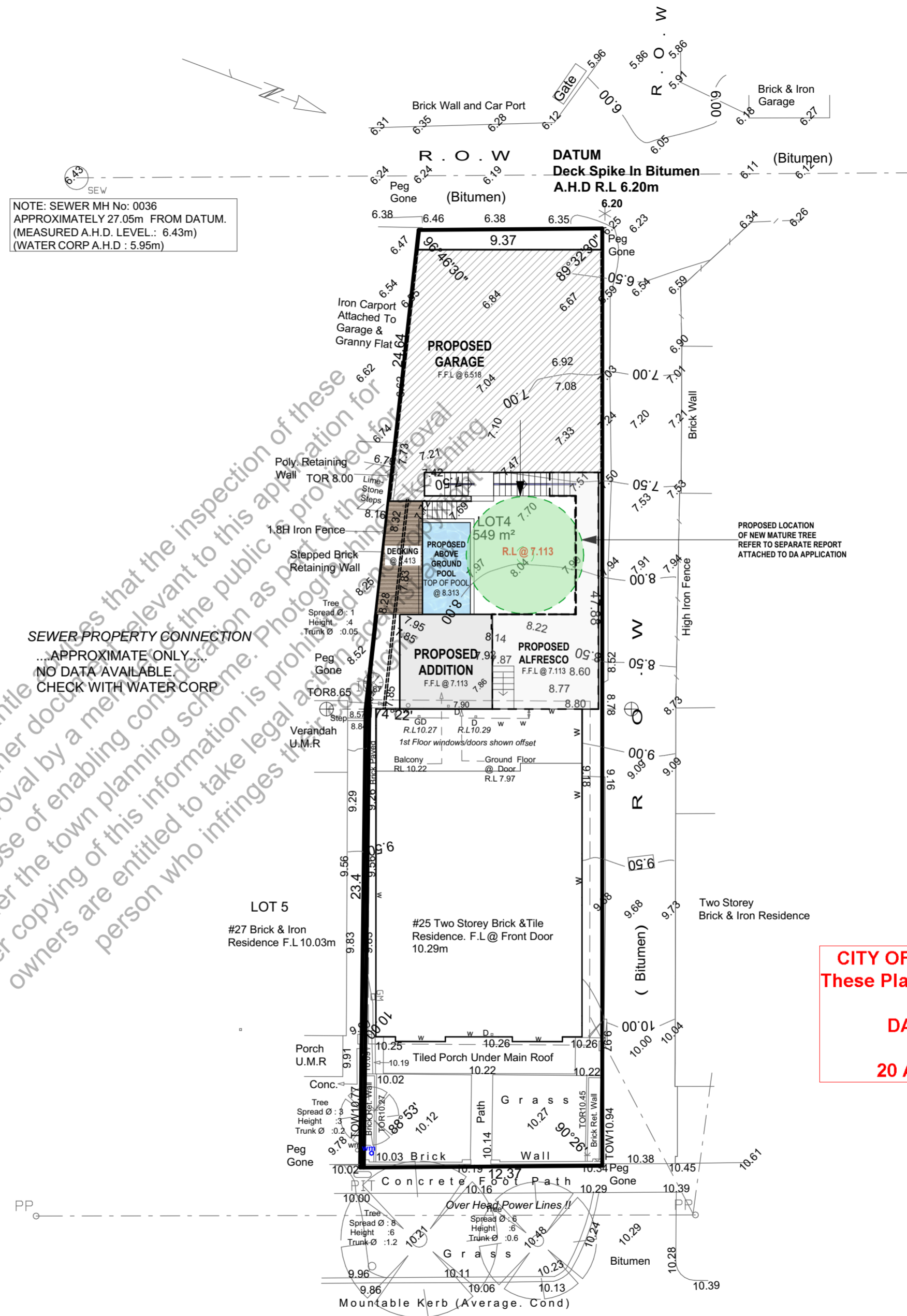
INTRAMAP MAP VIEW

SCALE: NTS

NOTE: SEWER MH No: 0036
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 (MEASURED A.H.D. LEVEL: 6.43m)
 (WATER CORP A.H.D : 5.95m)

SEWER PROPERTY CONNECTION
 ...APPROXIMATE ONLY...
 NO DATA AVAILABLE.
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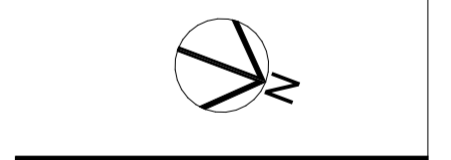
04 PROPOSED SITE SURVEY
 1:200

General Note – Retaining Walls

All proposed retaining walls are to be subject to site inspection prior to construction. The exact location of all retaining walls shall be determined and set out by a licensed surveyor on site. The final height, design, and structural details of each retaining wall shall be determined in consultation with the builder and relevant structural engineer based on actual site conditions prior to commencement of construction. All construction must comply with applicable local, state, and national building codes, standards, and regulations, including but not limited to the National Construction Code (NCC) and relevant Australian Standards. The builder shall inspect and verify all existing infrastructure, services, and retaining structures on site prior to the commencement of any works to ensure compatibility with the proposed works and to prevent any damage or conflict. Any inconsistencies or conflicts must be reported immediately and resolved prior to proceeding. All engineering details and specifications are to be referred to and adhered to as part of the construction process. Any deviations or modifications must be approved in writing by the relevant qualified professional. FRANC DESIGN STUDIO accepts no liability for construction, structural performance, or site-specific conditions relating to the retaining walls or any associated works. It is the responsibility of the builder and associated consultants to ensure all site conditions are reviewed, and that construction is carried out in accordance with all applicable codes, standards, and professional requirements.

Zone	Area
1. GARAGE AREA	115.12
2. GOLF SIM / ALFRESCO	49.97
3. GROUND FLOOR ADDITION AREA	22.89
4. BALCONY AREA	37.11
5. OUTDOOR PLAY AREA	115.06
6. UPPER FLOOR AREA	132.54
	472.69 m²

Revision	Description	Date
1.00	Concept Design	23.01.26



Client
Galipo

Project Name
Three Storey Dwelling - Renovation

Project Address
#25 Manning Street, Fremantle

Drawing Title:
Proposed Site Plan

CITY OF FREMANTLE
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Scale: 1:200, 1:20	Sheet Size: A2
Project No: 0118	Revision Number: 1.00

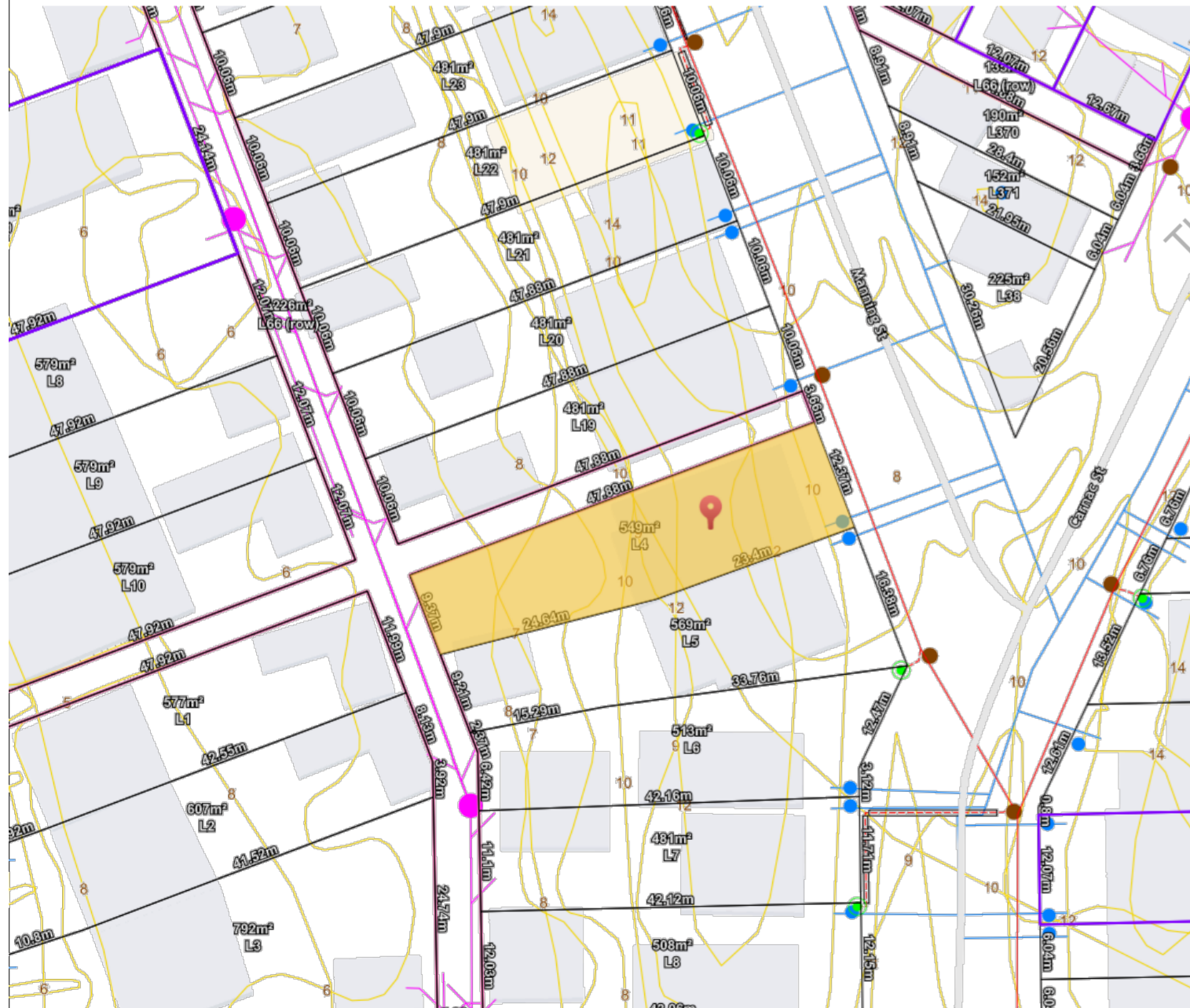
Drawing No.:
004 of 12



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INTRAMAP MAP VIEW
SCALE: NTS

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EXISTING HOME OVERSHADOWING CALCULATION
#27 SITE AREA: 599.00m²
TOTAL EXISTING OVERSHADOWING AREA: 152.06m²
PERCENTAGE OF EXISTING OVERSHADOWING: 26.72%

05 EXISTING DWELLING OVERSHADOWING
1:200

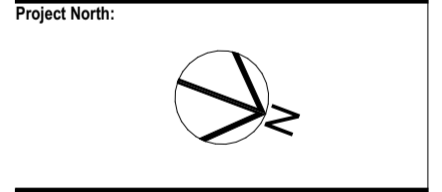
Overshadowing Limits under the Current WA R-Codes (State Planning Policy 7.3)

For development assessed under the Residential Design Codes Volume 1 (the current planning policy), the maximum overshadowing cast by a proposed development onto a neighbouring property (measured at midday on 21 June) is:

Adjoining Property R-Code	Maximum Allowed Shadow (as % of site area)
R25 & lower	25 %
R30 – R35	35 %
R40 – R50	45 %
R60	60 %
R80 or higher	80 %

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Project Name
Three Storey Dwelling - Renovation

Project Address
#25 Manning Street, Fremantle

Drawing Title:
Existing Overshadowing Plan

Scale: 1:200	Sheet Size: A2
Project No: 0118	Revision Number: 1.00

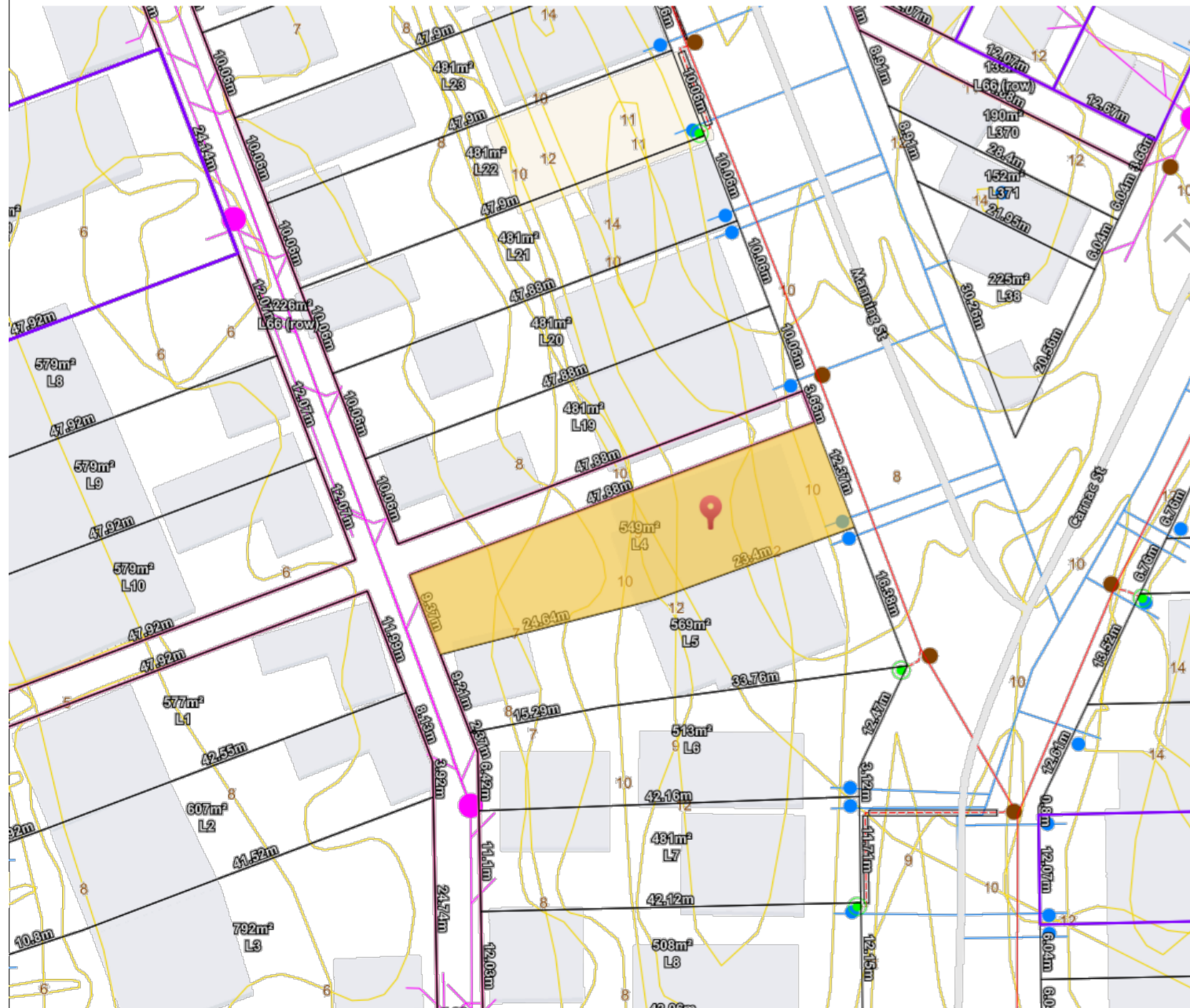
Drawing No.:
005 of 12



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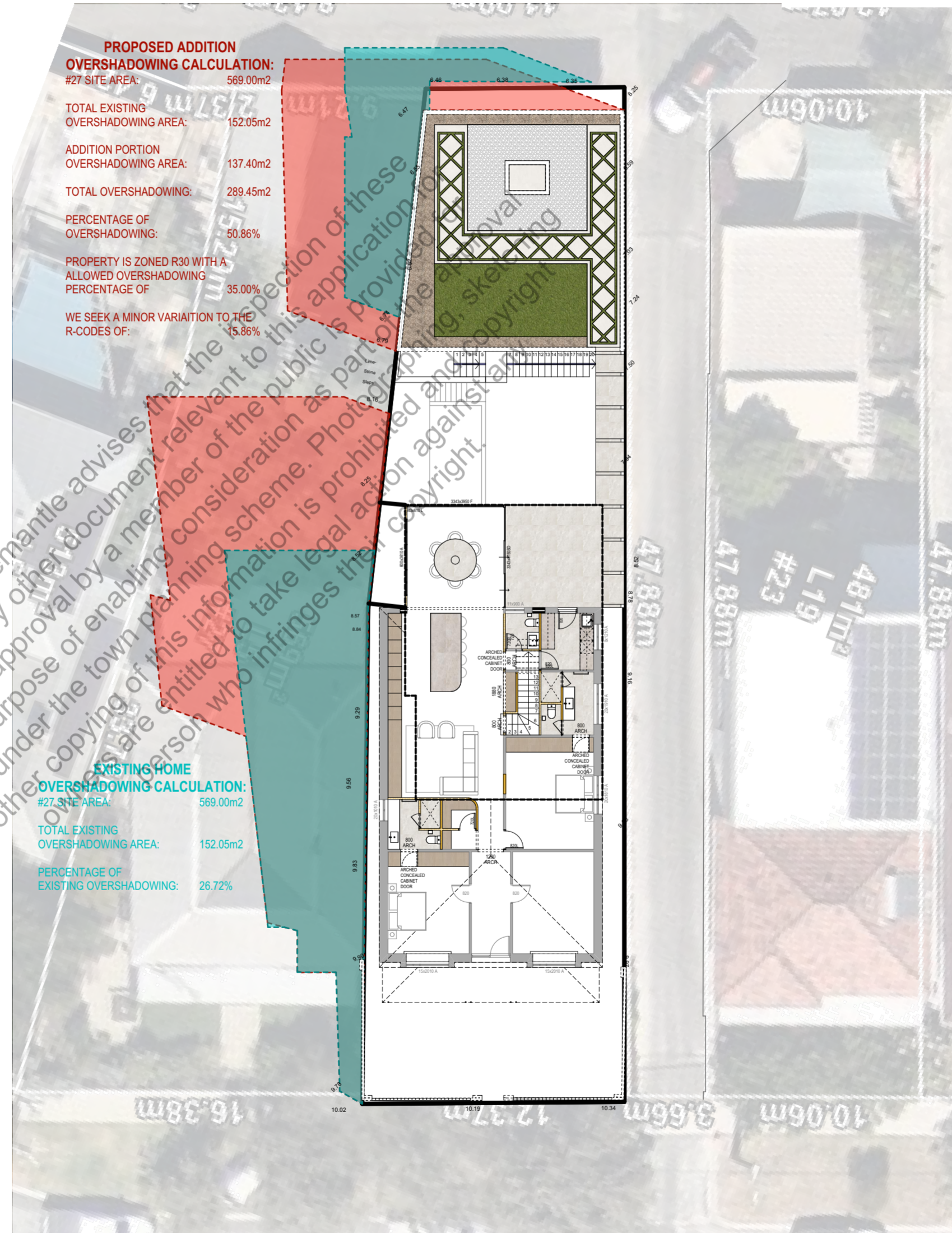


INTRAMAP ARIERAL VIEW
SCALE: NTS



INTRAMAP MAP VIEW
SCALE: NTS

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DA0149/26
20 April 2026



PROPOSED ADDITION OVERSHADOWING CALCULATION:
#27 SITE AREA: 569.00m²
TOTAL EXISTING OVERSHADOWING AREA: 152.05m²
ADDITION PORTION OVERSHADOWING AREA: 137.40m²
TOTAL OVERSHADOWING: 289.45m²
PERCENTAGE OF OVERSHADOWING: 50.86%
PROPERTY IS ZONED R30 WITH A ALLOWED OVERSHADOWING PERCENTAGE OF 35.00%
WE SEEK A MINOR VARIATION TO THE R-CODES OF: 15.86%

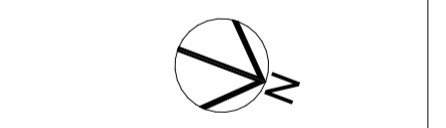
EXISTING HOME OVERSHADOWING CALCULATION:
#27 SITE AREA: 569.00m²
TOTAL EXISTING OVERSHADOWING AREA: 152.05m²
PERCENTAGE OF EXISTING OVERSHADOWING: 26.72%

● Overshadowing Limits under the Current WA R-Codes (State Planning Policy 7.3)

For development assessed under the Residential Design Codes Volume 1 (the current planning policy), the maximum overshadowing cast by a proposed development onto a neighbouring property (measured at midday on 21 June) is:

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Project Name
Three Storey Dwelling - Renovation

Project Address
#25 Manning Street, Fremantle

Drawing Title:
Proposed Overshadowing Plan

Scale: 1:200	Sheet Size: A2
Project No: 0118	Revision Number: 1.00

Drawing No.:
006 of 12



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Zone	AREA
1. GARAGE AREA	115.12
2. GOLF SIM / ALFRESCO	49.97
3. GROUND FLOOR ADDITION AREA	22.89
4. BALCONY AREA	37.11
5. OUTDOOR PLAY AREA	115.06
6. UPPER FLOOR AREA	132.54
	472.69 m²

GENERAL NOTE - FLOOR PLAN

DIMENSIONS
All dimensions are in millimetres and are to be read from brickwork to brickwork, unless noted otherwise. No allowances have been made for wall finishes such as plaster, render, tiles, cladding, or any other applied finishes. Contractors must allow for such finishes where required and verify all dimensions on-site prior to commencing any works or fabrication.

LEVELS & HEIGHTS
All levels are to be verified on site before construction. Floor levels (FFL), ceiling heights (CL), and external levels (including ground level, natural ground level, and finished ground level) must comply with current local authority requirements and be coordinated with site conditions, civil works, and engineering documentation.

STRUCTURAL & ENGINEERING
All structural elements including, but not limited to, footings, slabs, beams, columns, lintels, steelwork, tie-downs, bracing, and load-bearing components shall be constructed strictly in accordance with the relevant engineering drawings, certified structural documentation, and in compliance with the National Construction Code (NCC), Building Code of Australia (BCA), and Australian Standards (AS) applicable to structural design and residential/commercial construction in Western Australia.

CODES, LAWS & REGULATIONS
All works shall comply with:
The National Construction Code (NCC) - Volumes 1 & 2
Relevant Australian Standards (AS/NZS)
WA Building Act 2011 and Building Regulations 2012
Local Planning Schemes and Development Approvals
Requirements of the WA Department of Mines, Industry Regulation and Safety (DMIRS), local Council, and other applicable regulatory authorities.

VERIFICATION & RESPONSIBILITY
The builder and all trades are responsible for verifying all dimensions, site conditions, services, and existing features prior to commencing work. Any discrepancies must be reported immediately to the designer for clarification.

LIABILITY DISCLAIMER
All design documentation has been prepared based on information provided at the time of drafting and is subject to confirmation by relevant consultants, engineers, certifiers, and local authorities. FRANC DESIGN STUDIO accepts no liability for any errors, omissions, discrepancies, or misinterpretations resulting from the use of these drawings for construction purposes without proper verification, certification, or consultation with qualified professionals. It is the responsibility of the builder and all consultants to ensure compliance with all statutory requirements, regulations, and applicable standards.

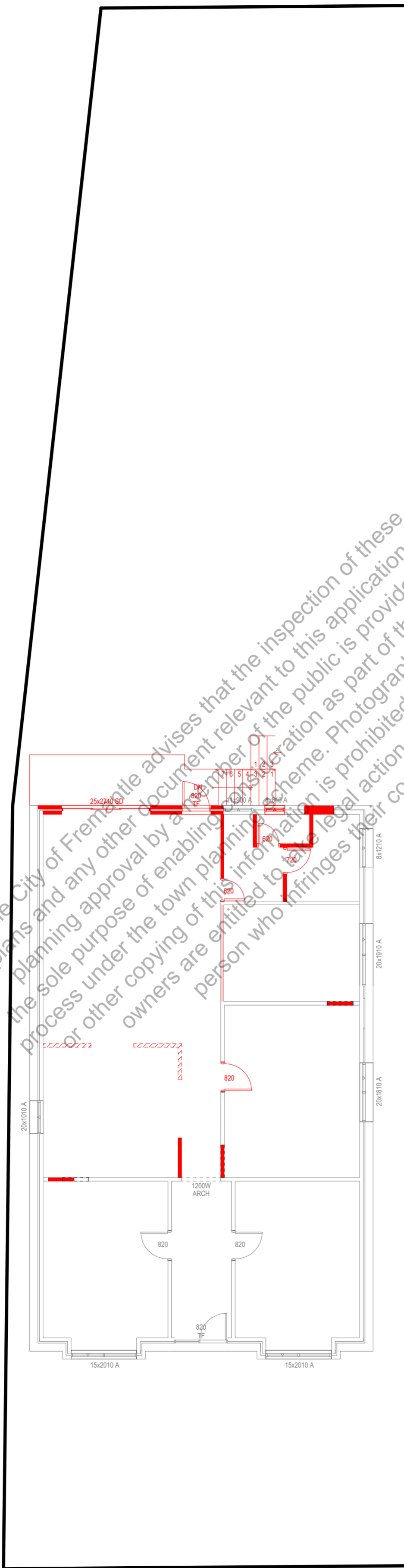
WET AREA NOTE:
All wet areas to comply with either Parts 10.2.1-10.2.6, 10.2.12 and AS 3740-2021 or alternatively comply with Parts 10.2.1-10.2.32. Please note that all floor wastes require a fall of at least 1:80 to Part 10.2.12.

NOTE - MECHANICAL VENTILATION (NCC 2022 COMPLIANCE)
All exhaust systems to bathrooms, ensuites, and WCs to comply with NCC 2022 Volume Two, Part 10.8.2 and relevant Australian Standards (AS 1668.2).
Provide minimum 10-minute run-on timers to exhaust fans in bathrooms, ensuites, and WCs.
Provide compliant make-up air (e.g. door undercut or transfer grille) in accordance with NCC 2022 and AS 1668.2.
Exhaust air to discharge directly to the external atmosphere, not into roof space or cavities.
Final design, sizing, and installation of exhaust systems to be carried out by the builder or mechanical contractor in accordance with statutory requirements and manufacturer's recommendations.

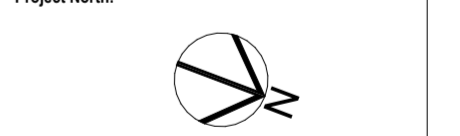
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Client
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Project Name
Three Storey Dwelling - Renovation

Project Address
#25 Manning Street, Fremantle

Drawing Title:
Demolition Plan - Ground Floor

Scale: 1:100	Sheet Size: A2
Project No: 0118	Revision Number: 1.00

Drawing No.:
007 of 12



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	472.69 m²

GENERAL NOTE - FLOOR PLAN

DIMENSIONS
All dimensions are in millimetres and are to be read from brickwork to brickwork, unless noted otherwise. No allowances have been made for wall finishes such as plaster, render, tiles, cladding, or any other applied finishes. Contractors must allow for such finishes where required and verify all dimensions on-site prior to commencing any works or fabrication.

LEVELS & HEIGHTS
All levels are to be verified on site before construction. Floor levels (F.F.L.), ceiling heights (C.L.), and external levels (including ground level, natural ground level, and finished ground level) must comply with current local authority requirements and be coordinated with site conditions, civil works, and engineering documentation.

STRUCTURAL & ENGINEERING
All structural elements including, but not limited to, footings, slabs, beams, columns, lintels, steelwork, tie-downs, bracing, and load-bearing components shall be constructed strictly in accordance with the relevant engineering drawings, certified structural documentation, and in compliance with the National Construction Code (NCC), Building Code of Australia (BCA), and Australian Standards (AS) applicable to structural design and residential/commercial construction in Western Australia.

CODES, LAWS & REGULATIONS
All works shall comply with:
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Relevant Australian Standards (AS/NZS)
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Local Planning Schemes and Development Approvals
Requirements of the WA Department of Mines, Industry Regulation and Safety (DMIRS), local Council, and other applicable regulatory authorities.

VERIFICATION & RESPONSIBILITY
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LIABILITY DISCLAIMER
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WET AREA NOTE:
All wet areas to comply with either Parts 10.2.1-10.2.6, 10.2.12 and AS 3740-2021 or alternatively comply with Parts 10.2.1-10.2.32. Please note that all floor wastes require a fall of at least 1:80 to Part 10.2.12.

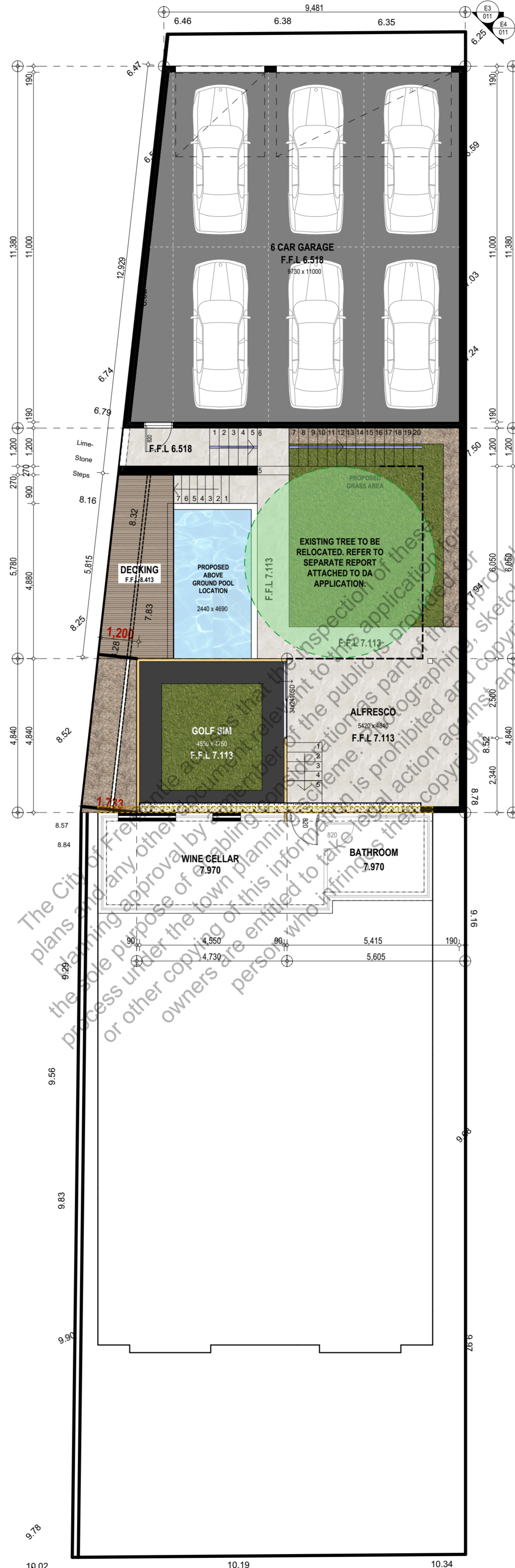
NOTE - MECHANICAL VENTILATION (NCC 2022 COMPLIANCE)
All exhaust systems to bathrooms, ensuites, and WCs to comply with NCC 2022 Volume Two, Part 10.8.2 and relevant Australian Standards (AS 1668.2).

Provide minimum 10-minute run-on timers to exhaust fans in bathrooms, ensuites, and WCs.

Provide compliant make-up air (e.g. door undercut or transfer grille) in accordance with NCC 2022 and AS 1668.2.

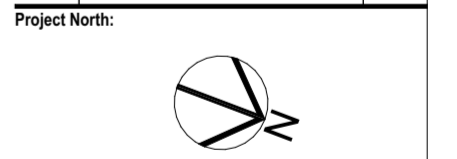
Exhaust air to discharge directly to the external atmosphere, not into roof space or cavities.

Final design, sizing, and installation of exhaust systems to be carried out by the builder or mechanical contractor in accordance with statutory requirements and manufacturer's recommendations.



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Project Address
#25 Manning Street, Fremantle

Drawing Title:
Garage & Cellar Floor Plan

Scale:	Sheet Size:
1:100	A2
Project No:	Revision Number:
0118	1.00

Drawing No.:
008 of 12



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Zone	AREA	
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4.	BALCONY AREA	37.11
5.	OUTDOOR PLAY AREA	115.06
6.	UPPER FLOOR AREA	132.54
		472.69 m²

GENERAL NOTE - FLOOR PLAN

DIMENSIONS
All dimensions are in millimetres and are to be read from brickwork to brickwork, unless noted otherwise. No allowances have been made for wall finishes such as plaster, render, tiles, cladding, or any other applied finishes. Contractors must allow for such finishes where required and verify all dimensions on-site prior to commencing any works or fabrication.

LEVELS & HEIGHTS
All levels are to be verified on site before construction. Floor levels (FFL), ceiling heights (CL), and external levels (including ground level, natural ground level, and finished ground level) must comply with current local authority requirements and be coordinated with site conditions, civil works, and engineering documentation.

STRUCTURAL & ENGINEERING
All structural elements including, but not limited to, footings, slabs, beams, columns, lintels, steelwork, tie-downs, bracing, and load-bearing components shall be constructed strictly in accordance with the relevant engineering drawings, certified structural documentation, and in compliance with the National Construction Code (NCC), Building Code of Australia (BCA), and Australian Standards (AS) applicable to structural design and residential/commercial construction in Western Australia.

CODES, LAWS & REGULATIONS
All works shall comply with:
The National Construction Code (NCC) - Volumes 1 & 2
Relevant Australian Standards (AS/NZS)
WA Building Act 2011 and Building Regulations 2012
Local Planning Schemes and Development Approvals
Requirements of the WA Department of Mines, Industry Regulation and Safety (DMIRS), local Council, and other applicable regulatory authorities.

VERIFICATION & RESPONSIBILITY
The builder and all trades are responsible for verifying all dimensions, site conditions, services, and existing features prior to commencing work. Any discrepancies must be reported immediately to the designer for clarification.

LIABILITY DISCLAIMER
All design documentation has been prepared based on information provided at the time of drafting and is subject to confirmation by relevant consultants, engineers, certifiers, and local authorities. FRANC DESIGN STUDIO accepts no liability for any errors, omissions, discrepancies, or misinterpretations resulting from the use of these drawings for construction purposes without proper verification, certification, or consultation with qualified professionals. It is the responsibility of the builder and all consultants to ensure compliance with all statutory requirements, regulations, and applicable standards.

WET AREA NOTE:
All wet areas to comply with either Parts 10.2.1-10.2.6, 10.2.12 and AS 3740-2021 or alternatively comply with Parts 10.2.1-10.2.32. Please note that all floor wastes require a fall of at least 1:80 to Part 10.2.12.

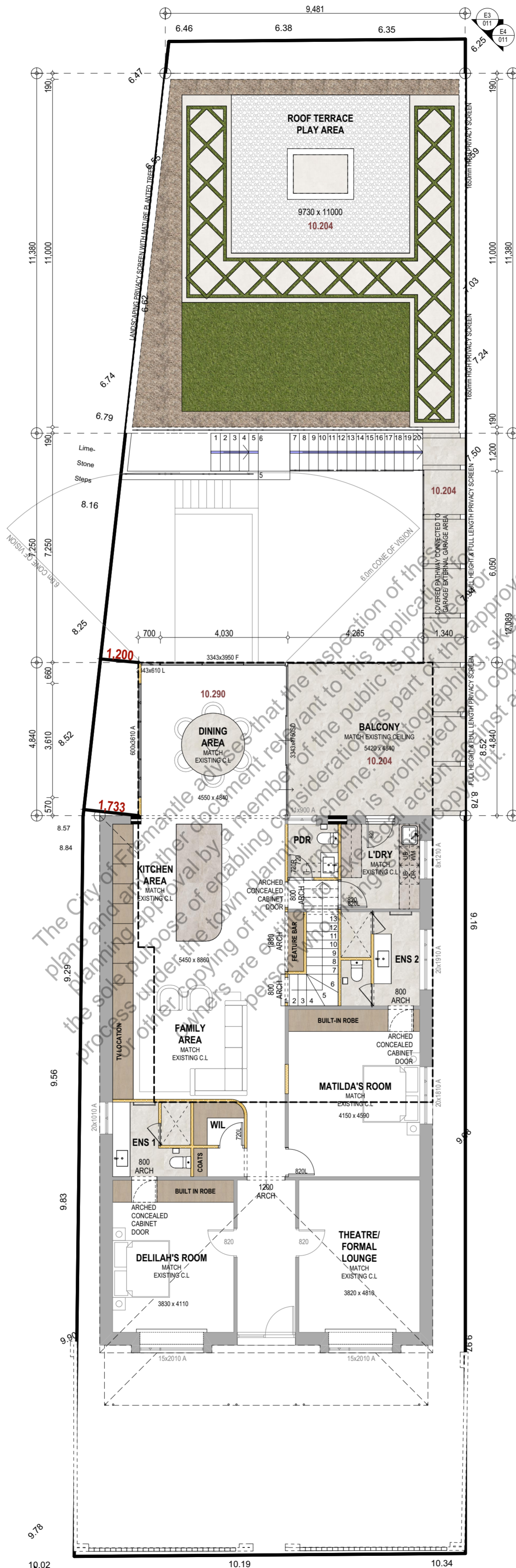
NOTE - MECHANICAL VENTILATION (NCC 2022 COMPLIANCE)
All exhaust systems to bathrooms, ensuites, and WCs to comply with NCC 2022 Volume Two, Part 10.8.2 and relevant Australian Standards (AS 1668.2).

Provide minimum 10-minute run-on timers to exhaust fans in bathrooms, ensuites, and WCs.

Provide compliant make-up air (e.g. door undercut or transfer grille) in accordance with NCC 2022 and AS 1668.2.

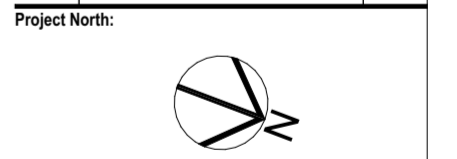
Exhaust air to discharge directly to the external atmosphere, not into roof space or cavities.

Final design, sizing, and installation of exhaust systems to be carried out by the builder or mechanical contractor in accordance with statutory requirements and manufacturer's recommendations.



CITY OF FREMANTLE
These Plans Form Part of
DA0149/26
20 April 2026

Revision	Description	Date
1.00	Concept Design	23.01.26



Client
Galipo

Project Name
Three Storey Dwelling - Renovation

Project Address
#25 Manning Street, Fremantle

Drawing Title:
Ground Floor Plan

Scale: 1:100 **Sheet Size:** A2

Project No: 0118 **Revision Number:** 1.00

Drawing No.: 009 of 12



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Zone	AREA	
1. GARAGE AREA	115.12	
2. GOLF SIM / ALFRESCO	49.97	
3. GROUND FLOOR ADDITION AREA	22.89	
4. BALCONY AREA	37.11	
5. OUTDOOR PLAY AREA	115.06	
6. UPPER FLOOR AREA	132.54	
	472.69 m²	

GENERAL NOTE - FLOOR PLAN

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NOTE - MECHANICAL VENTILATION (NCC 2022 COMPLIANCE)

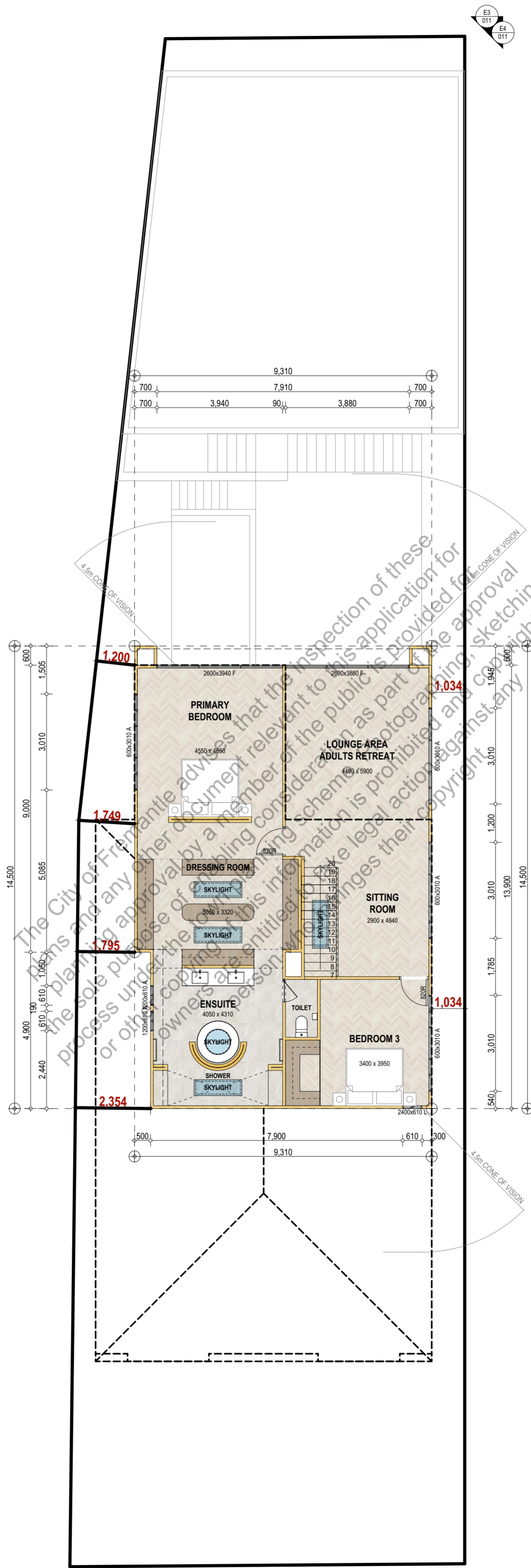
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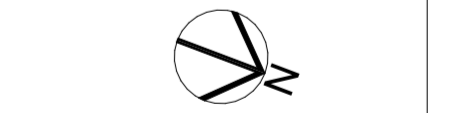
Exhaust air to discharge directly to the external atmosphere, not into roof space or cavities.

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CITY OF FREMANTLE
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DA0149/26
20 April 2026

Revision	Description	Date
1.00	Concept Design	23.01.26



Client
Galipo

Project Name
Three Storey Dwelling - Renovation

Project Address
#25 Manning Street, Fremantle

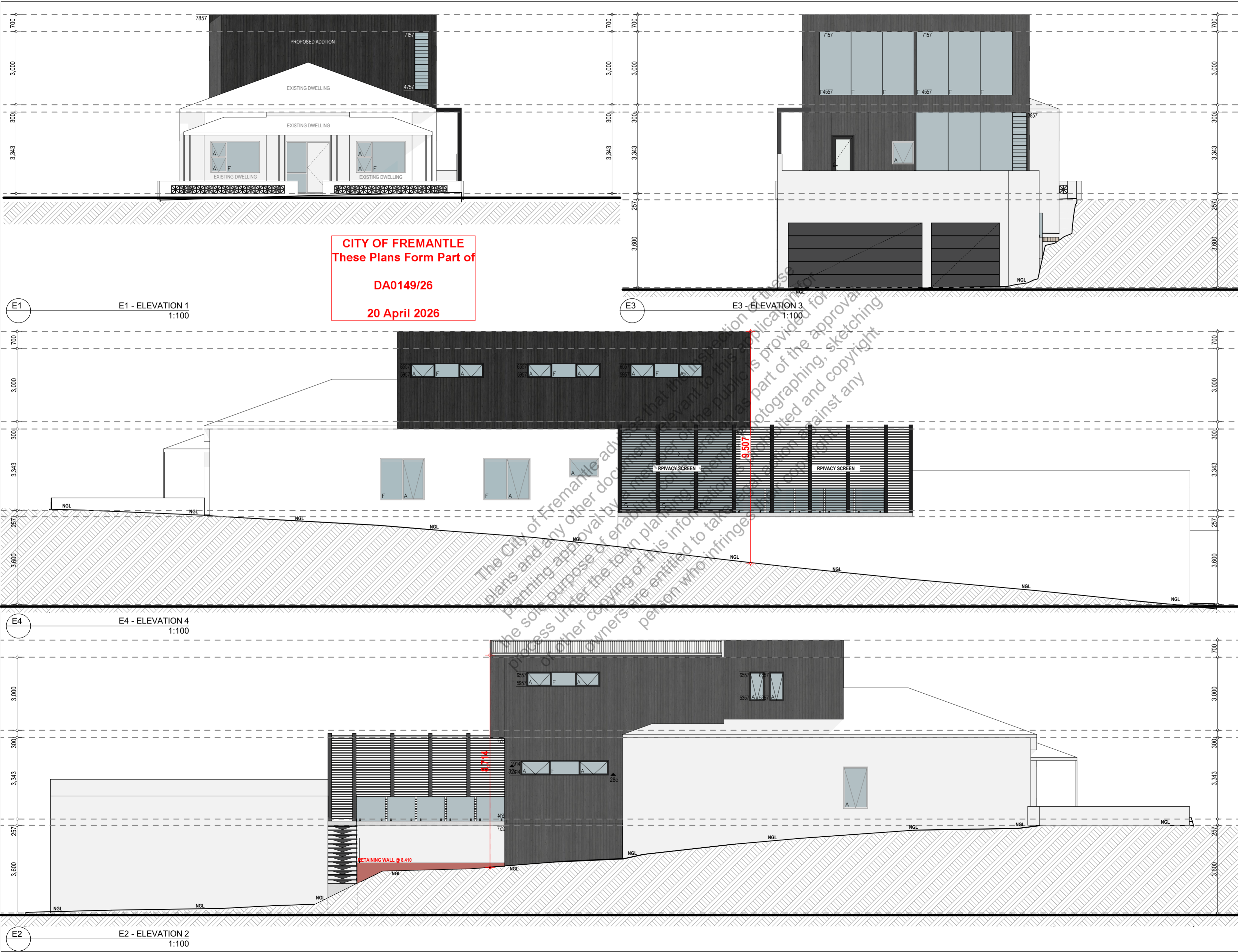
Drawing Title:
Upper Floor Plan

Scale: 1:100	Sheet Size: A2
Project No: 0118	Revision Number: 1.00

Drawing No.:
010 of 12



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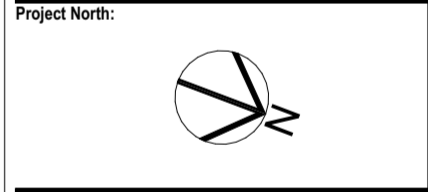
E1 - ELEVATION 1
1:100

E3 - ELEVATION 3
1:100

E4 - ELEVATION 4
1:100

E2 - ELEVATION 2
1:100

Revision	Description	Date
1.00	Concept Design	23.01.26



Client
Galipo

Project Name
Three Storey Dwelling - Renovation

Project Address
#25 Manning Street, Fremantle

Drawing Title:
External Elevations

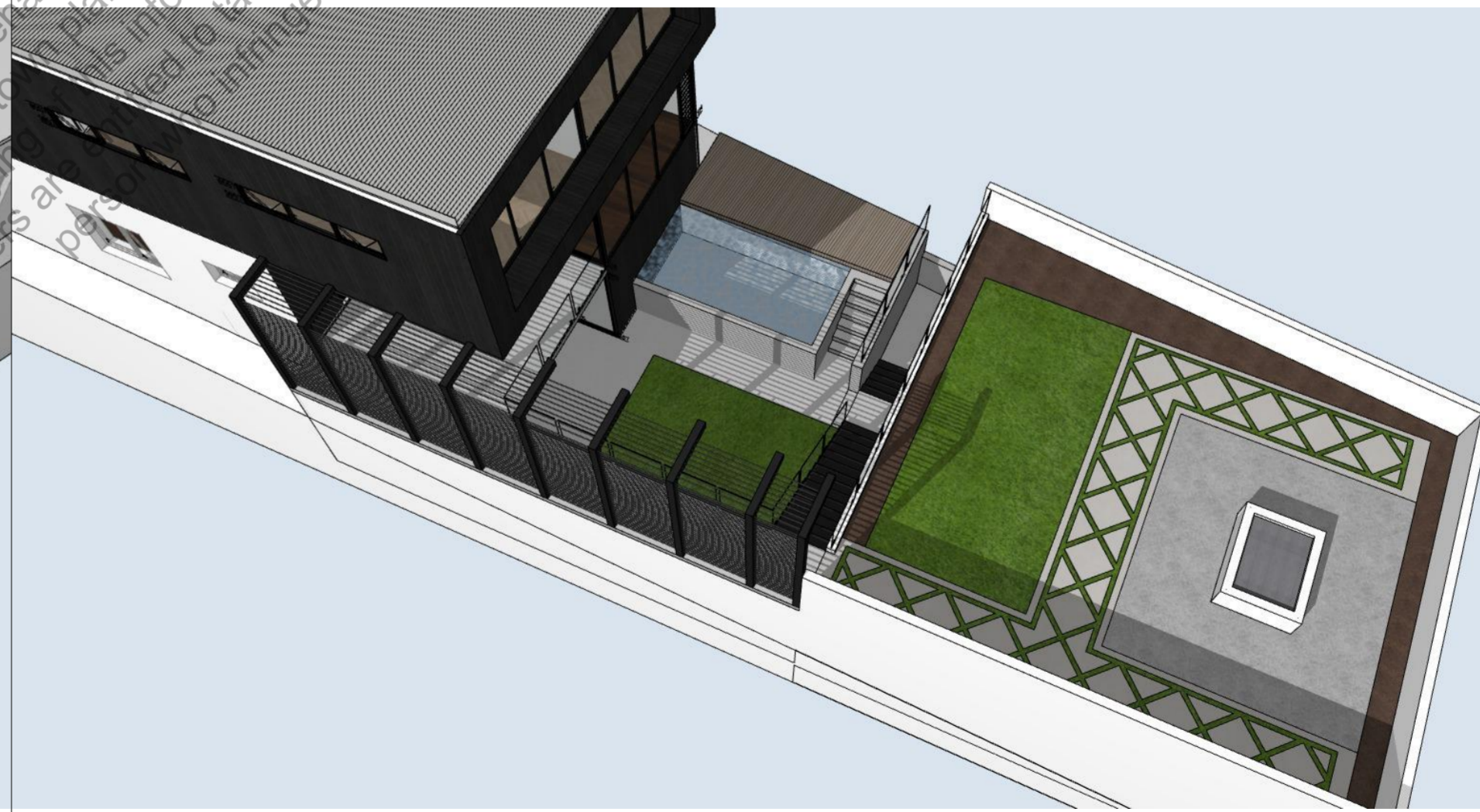
Scale: 1:100	Sheet Size: A2
Project No.: 0118	Revision Number: 1.00

Drawing No.:
011 of 12

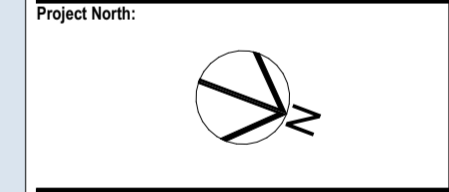


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1.00	Concept Design	23.01.26



Client
Galipo

Project Name
Three Storey Dwelling - Renovation

Project Address
#25 Manning Street, Fremantle

Drawing Title:
3D Rendered Perspective

Scale:	Sheet Size:	A2
Project No:	Revision Number:	1.00

Drawing No.:
012 of 12



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