

# PROPOSED RESIDENTIAL ALTERATIONS + ADDITIONS

(LOT 1) No 34A ATTFIELD ST

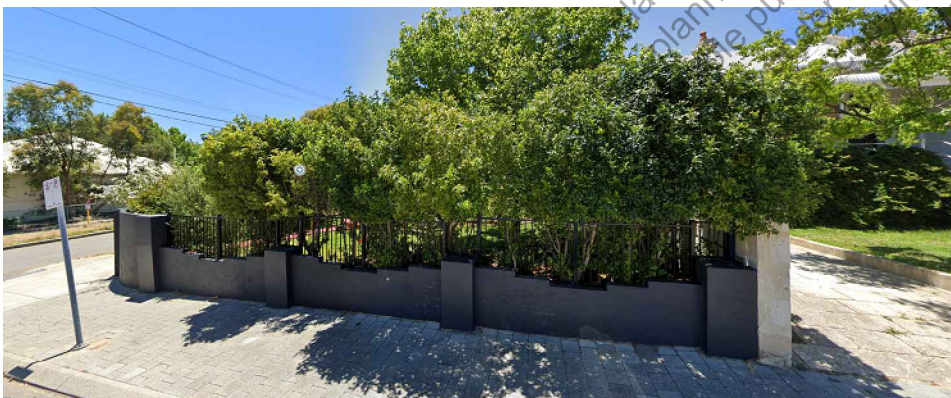
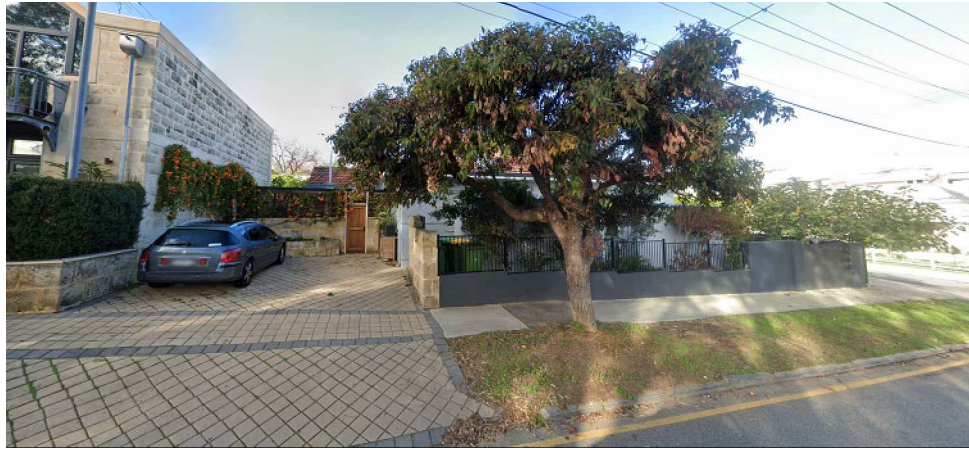
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FREMANTLE

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WA 6160

## SITE PHOTOS



## ARCHITECTURAL STAGES & DRAWING TITLES

### STAGE 01

**DESIGN DOCUMENTS - FOR PRELIM COSTING (BUDGET ANALYSIS) & COUNCIL DEVELOPMENT APPROVAL**

STAGE 01 - A. ARCHITECTURAL CONCEPT DESIGN DRAWINGS (INC EXISTING HOUSE DRAWINGS)

STAGE 01 - B. ARCHITECTURAL DESIGN DEVELOPMENT DRAWINGS

STAGE 01 - C. ARCHITECTURAL DEVELOPMENT APPROVAL 'DA' DWG'S FOR COUNCILS 'DA'

STAGE 01 - D. ARCHITECTURAL 3D VISUALISATION

SEPARATE PDF ARCHITECTURAL ADDENDA  
 SEPARATE PDF CONTOUR AND FEATURE SURVEY  
 SEPARATE PDF COUNCIL COVER LETTER AND JUSTIFICATION FOR CODE VARIATIONS  
 SEPARATE PDF CERT OF TITLE AND SURVEY PLAN  
 SEPARATE PDF COUNCILS PLANNING APPROVAL AND COUNCIL CONDITIONS

### STAGE 02

**DETAILED DOCUMENTS - FOR FINAL COSTING/CONTRACT & COUNCIL BUILDING LICENCE APPROVAL**

STAGE 02 - A. ARCHITECTURAL WORKING DRAWINGS

STAGE 02 - B. ARCHITECTURAL CONSTRUCTION DWG'S FOR CERTIFICATION/COUNCILS BUILD PERMIT

STAGE 02 - C. DETAILED ROOM LAYOUTS + ELEVATIONS (CABINET DESIGN/DRAWINGS)

SEPARATE PDF SITE CLASSIFICATION  
 SEPARATE PDF STRUCTURAL DRAWINGS  
 SEPARATE PDF ENERGY ASSESSMENT REPORT  
 SEPARATE PDF GENERAL HOUSING SPECIFICATION BOOK  
 SEPARATE PDF BUILDING SURVEYORS CDC STAMPED DOCS  
 SEPARATE PDF COUNCILS BUILDING LICENCE PERMIT AND COUNCIL CONDITIONS  
 SEPARATE PDF COUNCIL CROSSOVER SPECIFICATIONS AND STANDARD DRAWINGS  
 SEPARATE PDF LANDSCAPING DRAWINGS IF APPLICABLE  
 SEPARATE PDF INTERIOR DESIGNERS DOCUMENTS IF APPLICABLE

### STAGE 03

**DURING CONSTRUCTION DOCS - SITE REVISIONS & DETAILED ROOM LAYOUTS / CABINET DRAWINGS**

STAGE 03 - B. DURING CONSTRUCTION REVISIONS

## PROJECT TEAM

### BUILDING DESIGN AND DOCUMENTATION

MODERN ARK PROJECTS  
 Mladen 'Mal' - 0401 062 718  
 mal@modernarkprojects.com.au

### LAND SURVEYOR

TBA

### STRUCTURAL ENGINEER

TBA

### ENERGY ASSESSOR

TBA

### BUILDING SURVEYOR / ASSESSOR

TBA

### INTERIOR DESIGN CONSULTANT

TBA

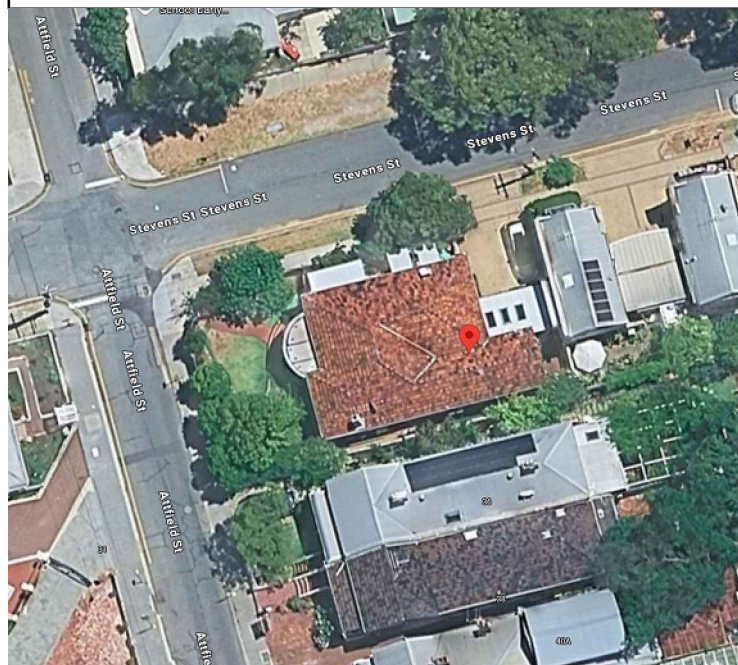
### LANDSCAPE DESIGN CONSULTANT

TBA

## ABBREVIATIONS

00c	ZERO BRICK COURSE LEVEL
AFL	ABOVE FLOOR LEVEL
BWK	BRICKWORK
CFC	FIBRE CEMENT SHEET
CL	CEILING LEVEL
CJ	CONTROL JOINT
CON	CONCRETE
COL	COLUMN
CP	CARPET
C/SL	CAVITY SLIDER
DP	DOWN PIPE (E.) EXISTING (N.) NEW
DW	DISHWASHER
DWG	DRAWINGS
ENG	ENGINEER
EQ	EQUAL
E.	EXISTING
FFL	FINISHED FLOOR LEVEL
FP	FIREPLACE
FR	FRIDGE
FW	FLOOR WASTE
GPO	GENERAL PURPOSE OUTLET
HP	HOT PLATE
HC	HOSECOCK/WATER TAP
HWP	HARD WALL PLASTER
HWU	HOT WATER UNIT
MBOX	METER BOX
MAX	MAXIMUM
MW	MICROWAVE
N.	NEW
NTS	NOT TO SCALE
OV	OVEN
O/H	OVER HEAD
RH	RANGE HOOD
RL	RELATIVE LEVEL
REN	RENDER
RWH	RAIN WATER HEAD
SB	SWITCH BOARD
SHR	SHOWER
SK	SINK
SL	SKYLIGHT
SPEC	SPECIFICATION
SP	DOWN PIPE SPREADER
SS	STAINLESS STEEL
SW	SOAK WELL
TIM	TIMBER
TEL	TELEPHONE
TOW	TOP OF WALL
TYP	TYPICAL
UBO	UNDER BENCH OVEN
UNO	UNLESS NOTED OTHERWISE
U/S	UNDERSIDE
WC	WATER CLOSET

## STREETSCAPE PLAN



**CITY OF FREMANTLE**  
 These Plans Form Part of

**DA0116/26**

**25 Mar 2026**

SHEET: **A01** COVER PAGE / STREETSCAPE  
 PROJECT ADDRESS: LOT 1 NO 34A ATTFIELD ST, FREMANTLE, WA 6160

REVISION: **R01** STAGE: **ST01-B/C**  
 P.TYPE: **PROPOSED RESIDENTIAL ALTERATIONS + ADDITIONS**

REV NO	DATE	AMENDMENT
03		
02		
01	10.07.2025	STAGE 01-B/C ISSUED TO CLIENT FOR REVIEW + BUILDER FOR PRELIM COSTING
00	08.06.2025	STAGE 01-A/B/C ISSUED TO CLIENT FOR REVIEW

CLIENT:	PLAN: SP 30549	LOT AREA: 419m <sup>2</sup>	SURVEY DATE: 20/03/25
BUILDER: MODERN ARK PROJECTS	C/T Vol: 2070 Fol: 201	MAP REFERENCE:	
BUILDER JOB #	HEIGHT DATUM: AHD	COASTAL ZONE: >1KM	
AUTHORITY: CITY OF FREMANTLE	HEIGHT CORRECTION TO AHD: NO	SEWER INFORMATION: NO	

## FEATURE SYMBOL LEGEND

NOTES  
(1) FOR CLARITY, TREE SPREADS ARE NOT SHOWN TO SCALE

POWER	
CABLE DOME	POWER POLE
CABLE BOX	CONSUMER POLE
POWER MARKER	EXPOSED CABLES
LIGHT POLE	STAYWIRE ANCHOR

WATER	
WATER METER / TAP	FIRE HYDRANT
TAP	STOP VALVE
FLUSHING POINT	RETIC VALVE
BORE	WATER MARKER

SEWERAGE	
SEWER M/H (SQUARE LID)	SEWER M/H (ROUND LID)
INSPECTION SHAFT	INSPECTION OPENING
HOUSE CONNECTION	

TELSTRA	
TELSTRA PIT	TELSTRA MANHOLE
TELSTRA MARKER	TELSTRA PILLAR

DRAINAGE	
DRAIN M/H (SQUARE LID)	DRAIN M/H (ROUND LID)
SIDE ENTRY PIT	DRAINAGE GRATE
COMBINED ENTRY PIT	DRAINAGE MARKER

GAS	
GAS METER	GAS VALVE
GAS MARKER	

SURVEY MARKS	
PEG FOUND	PEG GONE
DRILL HOLE	BENCH MARK
PEN MARK	NAIL & PLATE
	NAIL

MISCELLANEOUS INFO.	
STREET SIGN	SPOT HEIGHT
UNKNOWN SERVICE MARKER	BOLLARD
OVERHEAD POWER LINE	SEWER LINE
FENCE LINE	WINDOW / OPENING

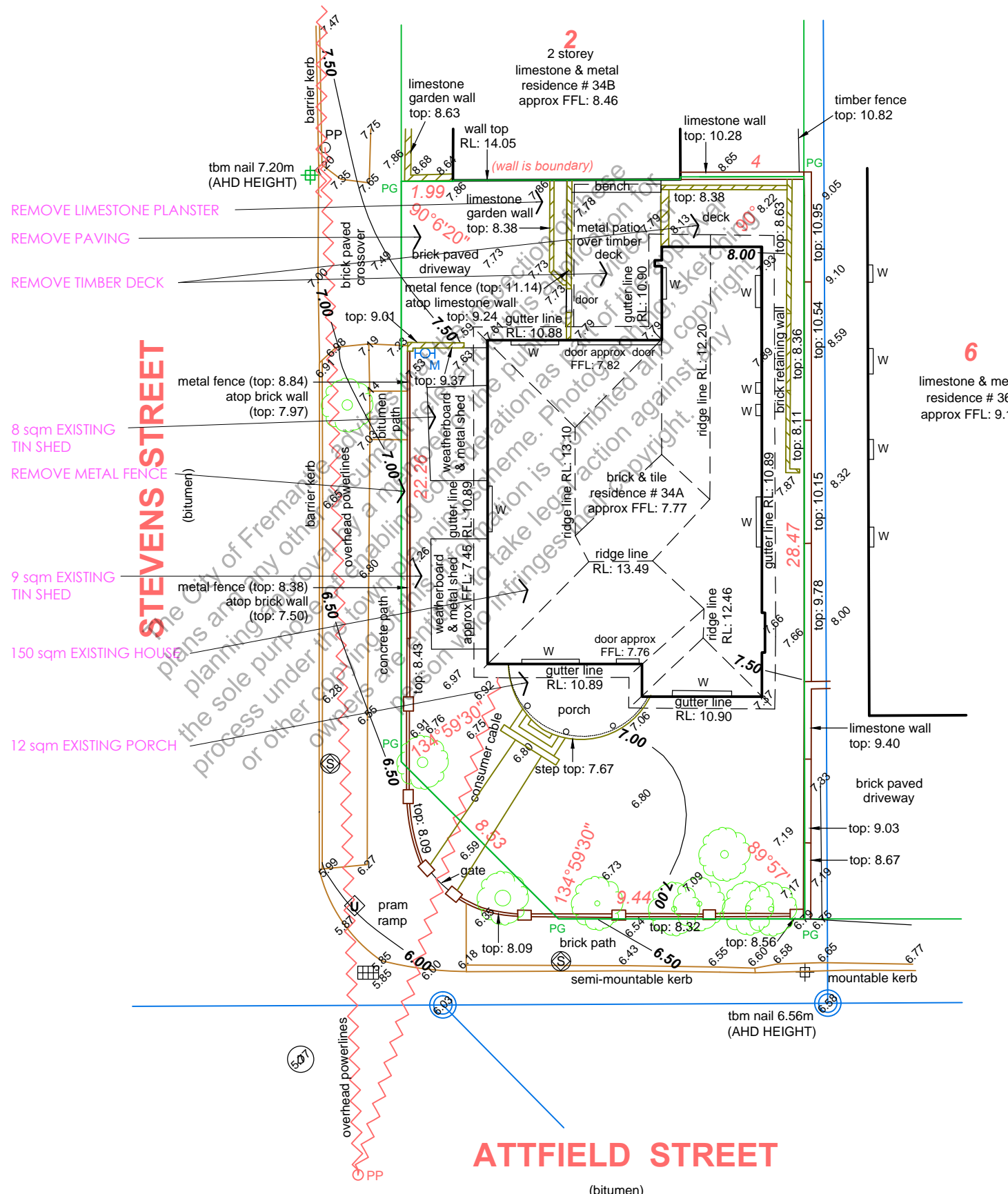
SERVICE DETAILS	
WATER: L	OVERHEAD POWER: L
U/G POWER: NS	TELSTRA: A, TBC
GAS: A, TBC	SEWER: A, TBC

SEWER JUNCTION DETAILS	
HOUSE CONNECTION (HC) IL:	N/A
UP DISTANCE:	N/A
DEPTH TO CONNECTION:	N/A

EXISTING HOUSE AREA: (INCLUDING WALLS)	
EXISTING HOUSE	150.00 m <sup>2</sup>
EXISTING PORCH	12.00 m <sup>2</sup>
EXISTING SHED	8.00 m <sup>2</sup>
EXISTING SHED	9.00 m <sup>2</sup>
<b>TOTAL</b>	<b>179.00 m<sup>2</sup></b>

EXISTING PLANNING INFO:	
LOT AREA	420.00 m <sup>2</sup>
ZONING	R30 REQUIRE 260/300sqm Av, 410sqm min, 45% MIN OPEN SPACE, 24 m <sup>2</sup> OUTDOOR LIVING, 4m SETBACK
BUILDING AREA/ SITE COVER	167.00 m <sup>2</sup> / 420.00 m <sup>2</sup> X 100 = 39.70% SITE COVER
OPEN SPACE	253.00 m <sup>2</sup> / 420.00 m <sup>2</sup> X 100 = 60.30% OPEN SPACE

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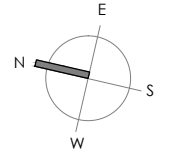
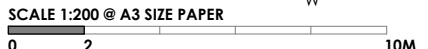
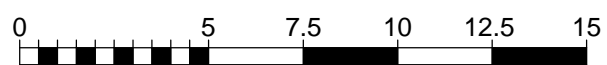


SHEET: **A02**

**EXISTING SITE PLAN - DEMOLITION NOTES**

REVISION: **R01** STAGE: **ST01-B/C**

SCALE 1:200 AT A3 SIZE



### IMPORTANT FEATURE SURVEY NOTES

- The boundary information on this site plan is approximate only. The boundary has been positioned using a best-fit of available survey marks and fence lines. A repeg / bdy identification survey is recommended if an accurate position of features / improvements relative to the boundary is required.
- The sewer junction on this plan has been plotted using information provided by the Water Corporation. A site inspection is required by the builder / developer in order to verify the position and depth of the sewer connection.
- The lot dimensions shown on this feature survey plan have been taken from L.T.O survey plans. The final repegged dimensions may vary due to adjustments made during field survey.
- All service information shown of this plan should be verified with the relevant authorities. 5. Pro West Surveying does not accept liability for any loss or damage caused by the use of this feature survey plan for any purpose.

CLIENT:	PLAN: SP 30549	LOT AREA: 419m <sup>2</sup>	SURVEY DATE: 20/03/25
BUILDER: MODERN ARK PROJECTS	C/T Vol: 2070 Fol: 201		MAP REFERENCE:
BUILDER JOB #	HEIGHT DATUM: AHD	COASTAL ZONE: >1KM	
AUTHORITY: CITY OF FREMANTLE	HEIGHT CORRECTION TO AHD: NO	SEWER INFORMATION: NO	

## FEATURE SYMBOL LEGEND

NOTES  
 (1) FOR CLARITY, TREE SPREADS ARE NOT SHOWN TO SCALE

**EXISTING + PROPOSED HOUSE AREA:**  
 (INCLUDING WALLS)

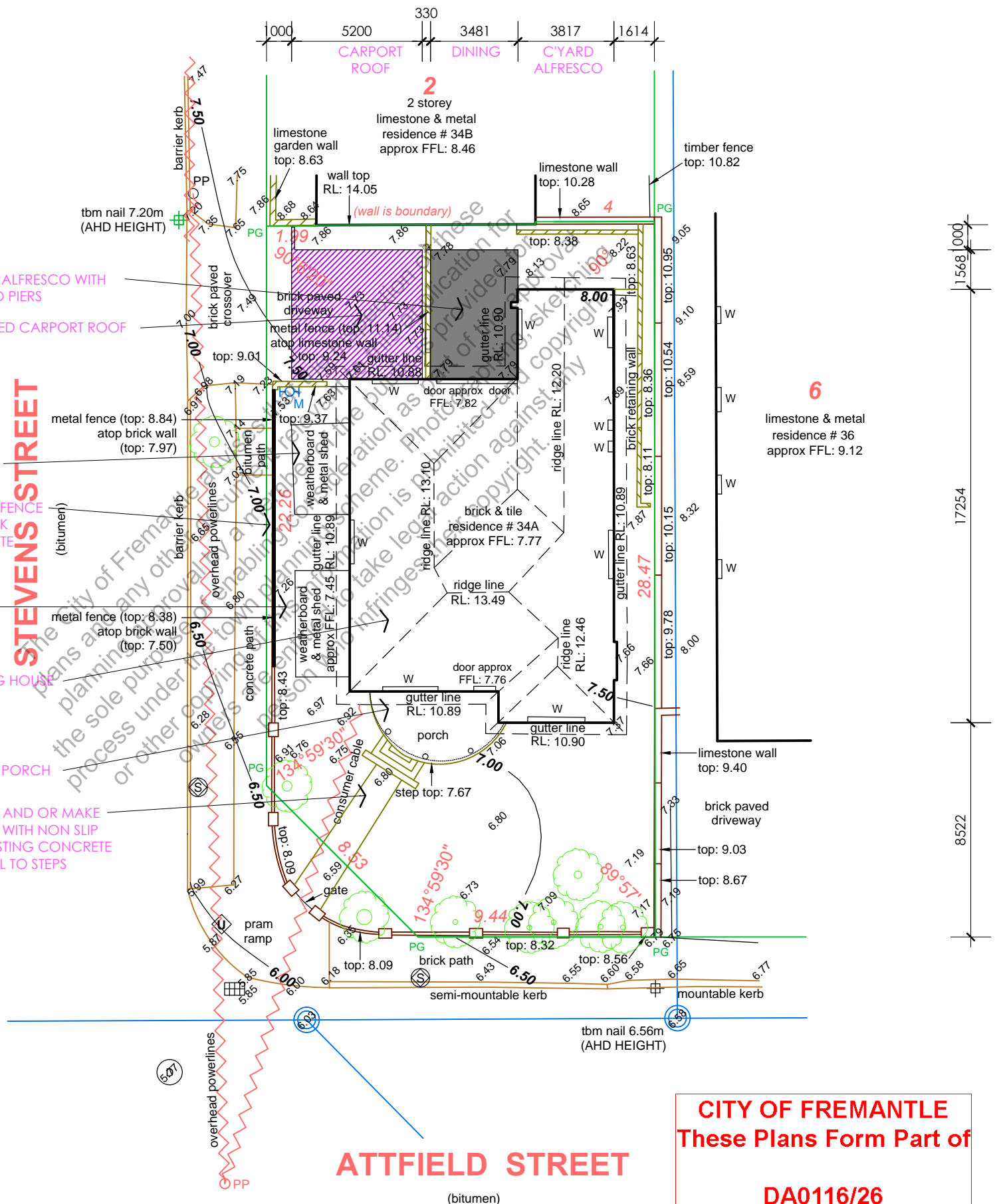
EXISTING HOUSE	150.00 m <sup>2</sup>
EXISTING PORCH	12.00 m <sup>2</sup>
EXISTING SHED	8.00 m <sup>2</sup>
EXISTING SHED	9.00 m <sup>2</sup>
PROPOSED CARPORT	27.00 m <sup>2</sup>
EXISTING ALFRESCO MODS	18.00 m <sup>2</sup>
<b>TOTAL</b>	<b>189.00 m<sup>2</sup></b>

**EXISTING + PROPOSED PLANNING INFO:**

LOT AREA	420.00 m <sup>2</sup>
ZONING	R30 REQUIRE 260/300sqm Av, 410sqm min, 45% MIN OPEN SPACE, 24 m <sup>2</sup> OUTDOOR LIVING, 4m SETBACK
BUILDING AREA/ SITE COVER	212.00 m <sup>2</sup> / 420.00 m <sup>2</sup> X 100 = 50.50% SITE COVER
OPEN SPACE	208.00 m <sup>2</sup> / 420.00 m <sup>2</sup> X 100 = 49.50% OPEN SPACE

**PROPOSED OVERSHADOW:**  
 CARPORT ROOF PROPOSED ON THE NORTH END DINING ROOM IS EXISTING ALSO ON THE NORTH THEREFORE NO ADDITIONAL OVERSHADOW TO ADJOINING NEIGHBOUR

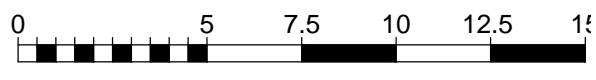
POWER	
CABLE DOME	POWER POLE
CABLE BOX	CONSUMER POLE
POWER MARKER	EXPOSED CABLES
LIGHT POLE	STAYWIRE ANCHOR
WATER	
WATER METER / TAP	FIRE HYDRANT
TAP	STOP VALVE
FLUSHING POINT	RETIC VALVE
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SEWERAGE	
SEWER M/H (SQUARE LID)	SEWER M/H (ROUND LID)
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GAS	
GAS METER	GAS VALVE
GAS MARKER	
SURVEY MARKS	
PEG FOUND	PEG GONE
DRILL HOLE	BENCH MARK
PEN MARK	NAIL & PLATE
	NAIL
MISCELLANEOUS INFO.	
STREET SIGN	SPOT HEIGHT
UNKNOWN SERVICE MARKER	BOLLARD
OVERHEAD POWER LINE	SEWER LINE
FENCE LINE	WINDOW / OPENING
SERVICE DETAILS	
WATER: L	OVERHEAD POWER: L
U/G POWER: NS	TELSTRA: A, TBC
GAS: A, TBC	SEWER: A, TBC
SERVICE NOTES	
L: LOCATED	NS: NO SERVICE
A: AVAILABLE BUT NOT LOCATED	TBC: LOCATION TO BE CONFIRMED
SEWER JUNCTION DETAILS	
HOUSE CONNECTION (HC) IL:	N/A
UP DISTANCE:	N/A
DEPTH TO CONNECTION:	N/A



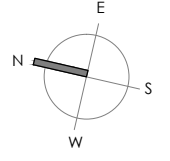
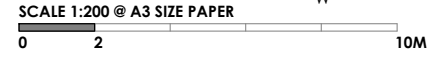
**CITY OF FREMANTLE**  
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**DA0116/26**  
**25 Mar 2026**

SHEET: **A03** PROPOSED SITE PLAN

SCALE 1:200 AT A3 SIZE

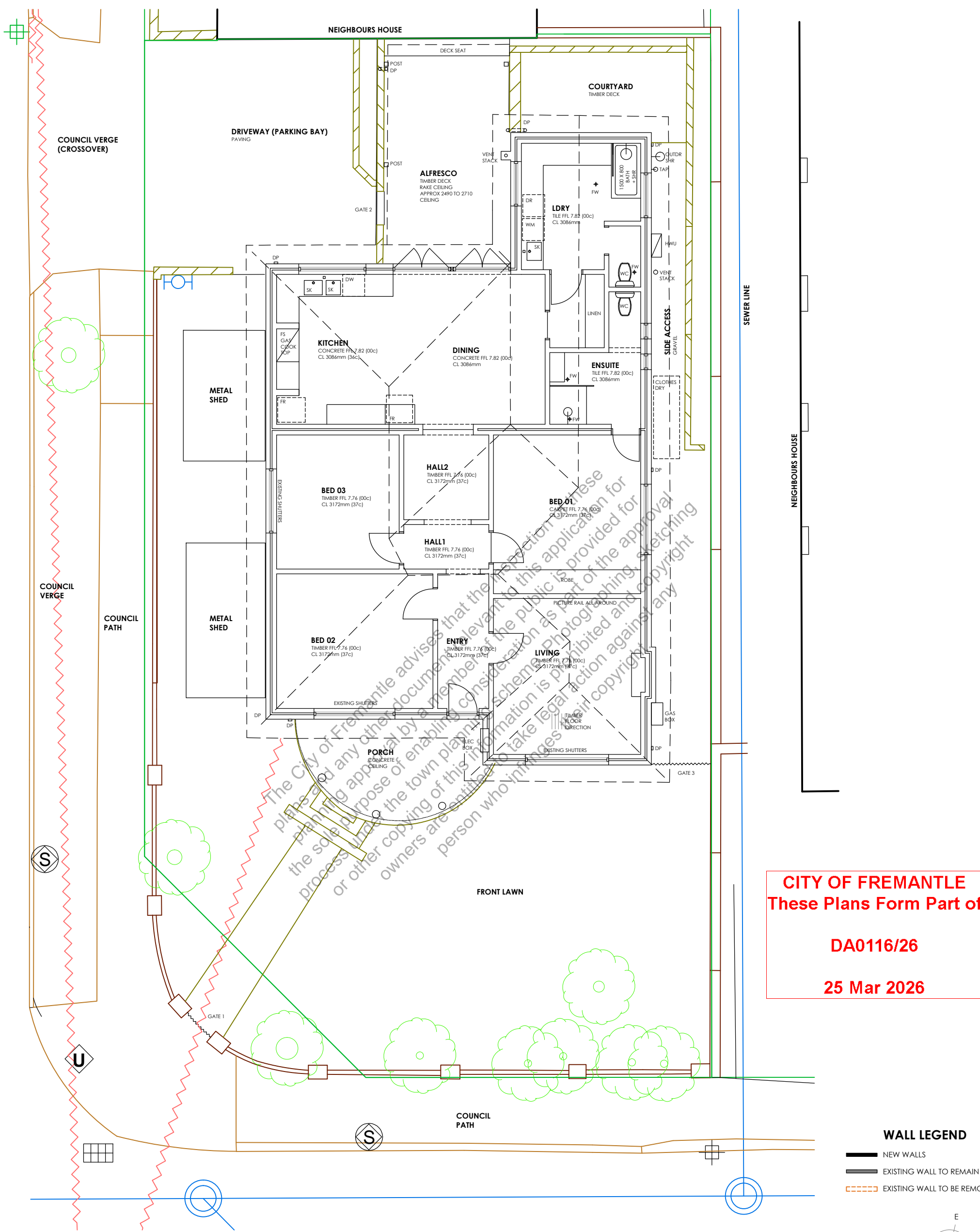


REVISION: **R01** STAGE: **ST01-B/C**



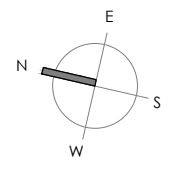
**IMPORTANT FEATURE SURVEY NOTES**

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**25 Mar 2026**

**WALL LEGEND**  
 — NEW WALLS  
 — EXISTING WALL TO REMAIN  
 - - - EXISTING WALL TO BE REMOVED

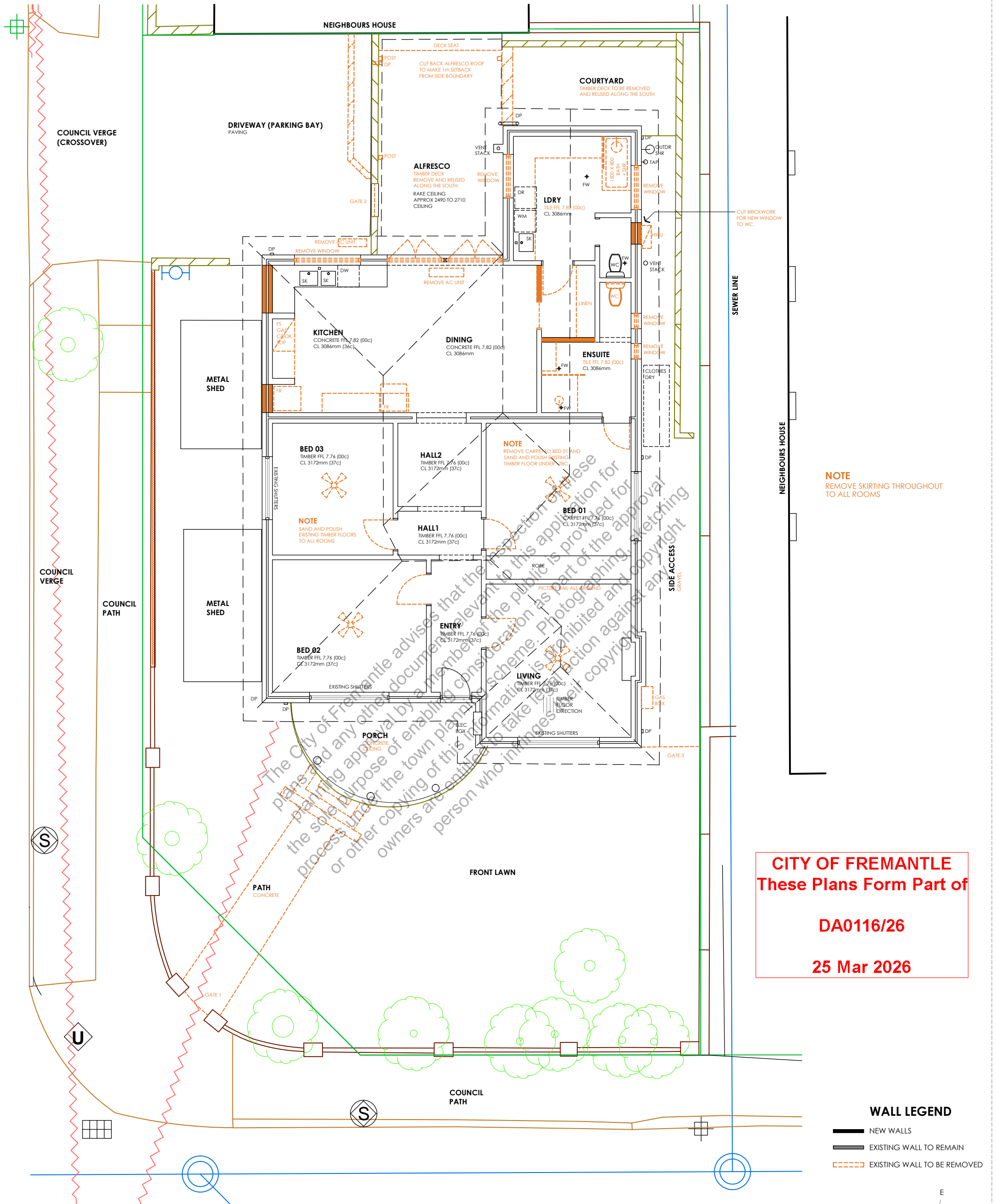


SCALE 1:100 @ A3 SIZE PAPER  
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SHEET: **A04** **EXISTING FLOOR PLAN**  
 PROJECT ADDRESS: **LOT 1 NO 34A ATTFIELD ST, FREMANTLE, WA 6160**

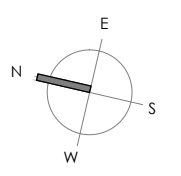
REVISION: **R01** STAGE: **ST01-B/C**  
 P.TYPE: **PROPOSED RESIDENTIAL ALTERATIONS + ADDITIONS**

REV NO	DATE	AMENDMENT
03		
02		
01	10.07.2025	STAGE 01-B/C ISSUED TO CLIENT FOR REVIEW + BUILDER FOR PRELIM COSTING
00	08.06.2025	STAGE 01-A/B/C ISSUED TO CLIENT FOR REVIEW



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**25 Mar 2026**

**WALL LEGEND**  
 — NEW WALLS  
 — EXISTING WALL TO REMAIN  
 - - - EXISTING WALL TO BE REMOVED

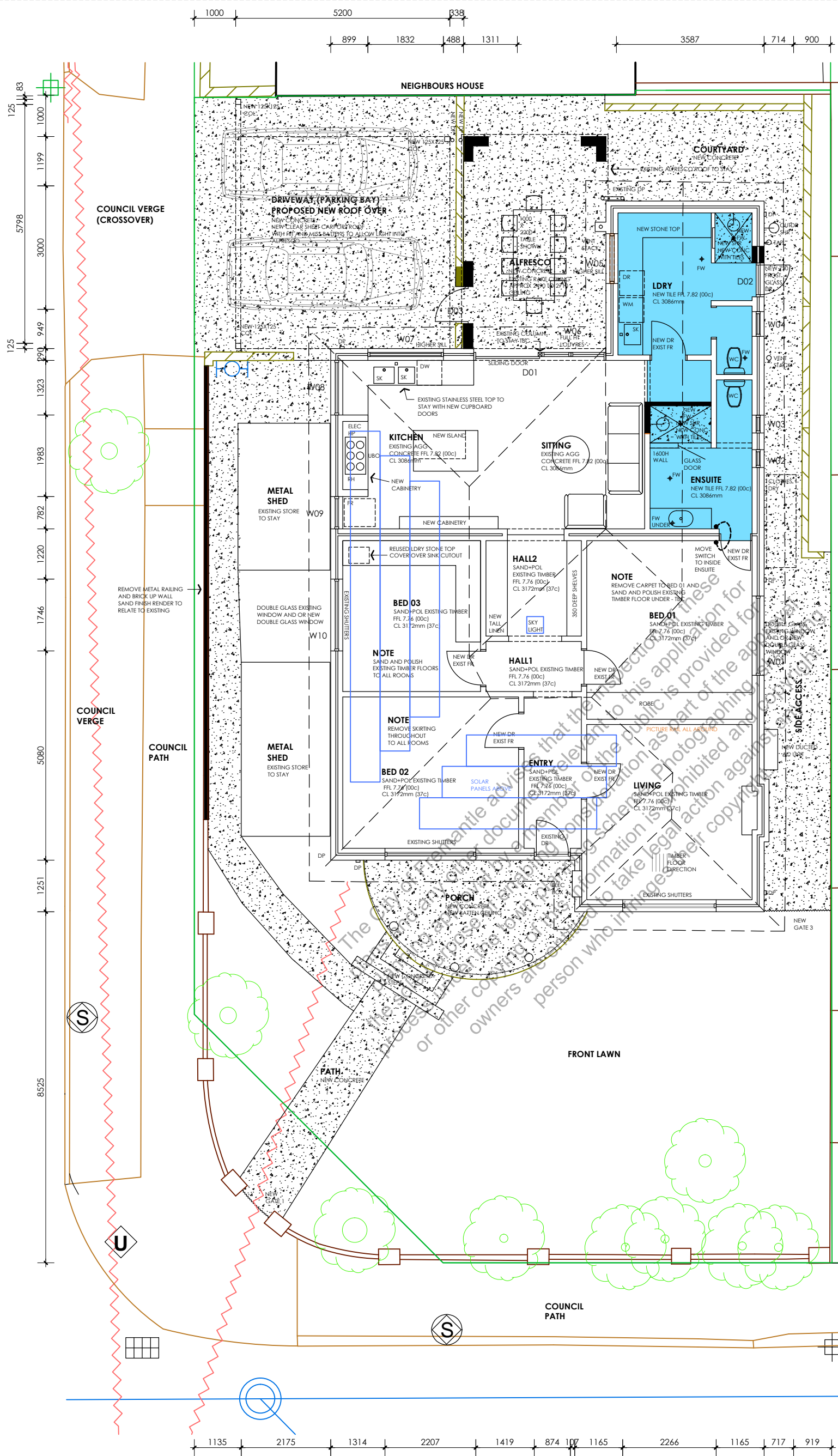


SCALE 1:100 @ A3 SIZE PAPER  
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SHEET: **A05** **DEMO FLOOR PLAN**  
 PROJECT ADDRESS: **LOT 1 NO 34A ATTFIELD ST, FREMANTLE, WA 6160**

REVISION: **R01** STAGE: **ST01-B/C**  
 P.TYPE: **PROPOSED RESIDENTIAL ALTERATIONS + ADDITIONS**

REV NO	DATE	AMENDMENT
03		
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**GENERAL: EXTERNAL**

- NEW CARPORT ROOF STEEL FRAME WITH POLYCARB AND HIT AND MISS BATTENS TO ALLOW LIGHT TO ALF
- NEW CONCRETE TO CARPORT AND DOWN SIDE OF HOUSE
- NEW ALFRESCO PIERS WITH CUT BACK ALFRESCO ROOF (EXISTING ROOF OVER TO BE MODIFIED)
- REPAIR / REBUILD PORCH AND PATH CONCRETE WITH NEW STEPS (NON SLIP)
- NEW HANDRAIL TO FRONT PORCH STEPS
- NEW BATTEN CEILING TO PORCH
- REPAIR EAVES
- REMOVE GAS
- NEW PAINTWORK EXTERNALLY
- NEW CONC TO THE EAST / COURTYARD SHOWN SHADED
- NEW CONC TO THE SOUTH SHOWN SHADED
- NEW SOLAR PANELS OVER EXISTING TILES
- REVERSE CYCLE AIR CON THROUGHOUT
- ALLOW FOR NEW SECURITY
- NEW DOOR BELL FRONT AND BACK
- REPLACE 3X GATES
- NEW SHED CONCRETE PAD
- PERIMETER WALL - TAKE OUT BARS AND BRICK IN AND RENDER

**GENERAL: INTERNAL**

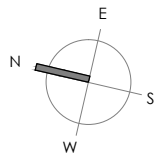
- SAND AND POLISH EXISTING TIMBER FLOORS
- NEW SKIRTING BOARDS THROUGHOUT
- NEW ELECTRICAL POINTS THROUGHOUT
- NEW CEILING INSULATION THROUGHOUT MIN R5.0
- REMOVE CEILING FANS AND REPLACE WITH NEW LIGHT FIXTURE

**ADDITIONALLY PER ROOM**

- LIVING ROOM:**
- REMOVE PICTURE RAIL
  - BLOCK CHIMNEY
  - NEW FIREPLACE MANTLE WOOD/GRANITE
- BED 2**
- BUILT IN SHELVES
- HALLWAY**
- BUILT IN LINEN
  - BUILT IN SHELVEING
  - SKYLIGHT TYPE TBC BUILDER TO MAKE ALLOWANCE
- BED 3**
- SHELVING AND DESK (RECYCLED STONE TOP FROM LAUNDRY)
  - DOUBLE GLASS TO EXISTING WINDOW AND OR NEW DOUBLE GLASS WINDOW
- KITCHEN**
- LEAVE EXISTING BENCHTOPS / CARCAS
  - NEW CUPBOARD DOORS AND KICH BOARDS
  - NEW TAPWARE
  - NEW WATER FILTER
  - NEW LIGHTING
  - REMOVE OVERHEAD CUPBOARDS/SHELVING + FRIDGE SHELL + OVEN/STOVE + CUPBOARDS IN RECESS + SPLASHBACK
  - NEW SPLASHBACK
  - NEW DRAWERS/BENCH TOP FOR INDUCTION HOTPLATE
  - CONVECTION MICROWAVE
  - NEW WINDOWS
- LAUNDRY / BATHROOM / WC**
- REMOVE BATH TUB/SHR
  - NEW FLOOR AND WALL TILES
  - NEW CONCRETE TO NEW SHOWER (TILED WITH NEW WASTE PIPE)
  - REMOVE BENCH TOP TO BE REUSED FOR BED 3
  - NEW STONE TOP
  - NEW FIXTURES AND FITTINGS
  - NEW DOOR
  - NEW WINDOWS TO NORTH AND SOUTH WC WINDOW
- ENSUITE**
- NEW SHOWER CONCRETE (TILED WITH NEW WASTE)
  - NEW FLOOR AND WALL TILES
  - NEW FIXTURES AND FITTINGS
  - NEW WINDOWS
  - LOWER CEILING TO BE CONFIRMED ????????????
  - MOVE LIGHT SWITCH TO INSIDE OF ENSUITE

**WALL LEGEND**

- NEW WALLS
- EXISTING WALL TO REMAIN
- - - EXISTING WALL TO BE REMOVED



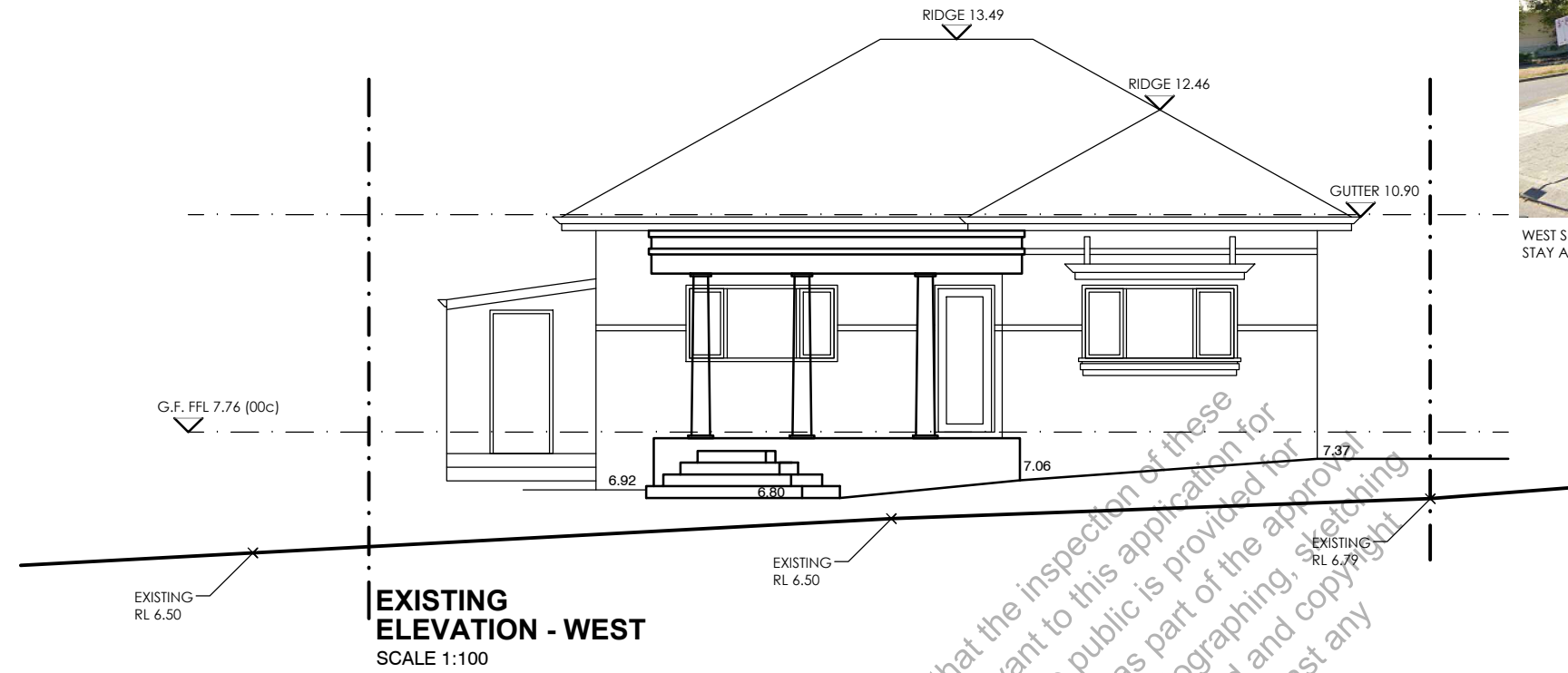
SCALE 1:100 @ A3 SIZE PAPER

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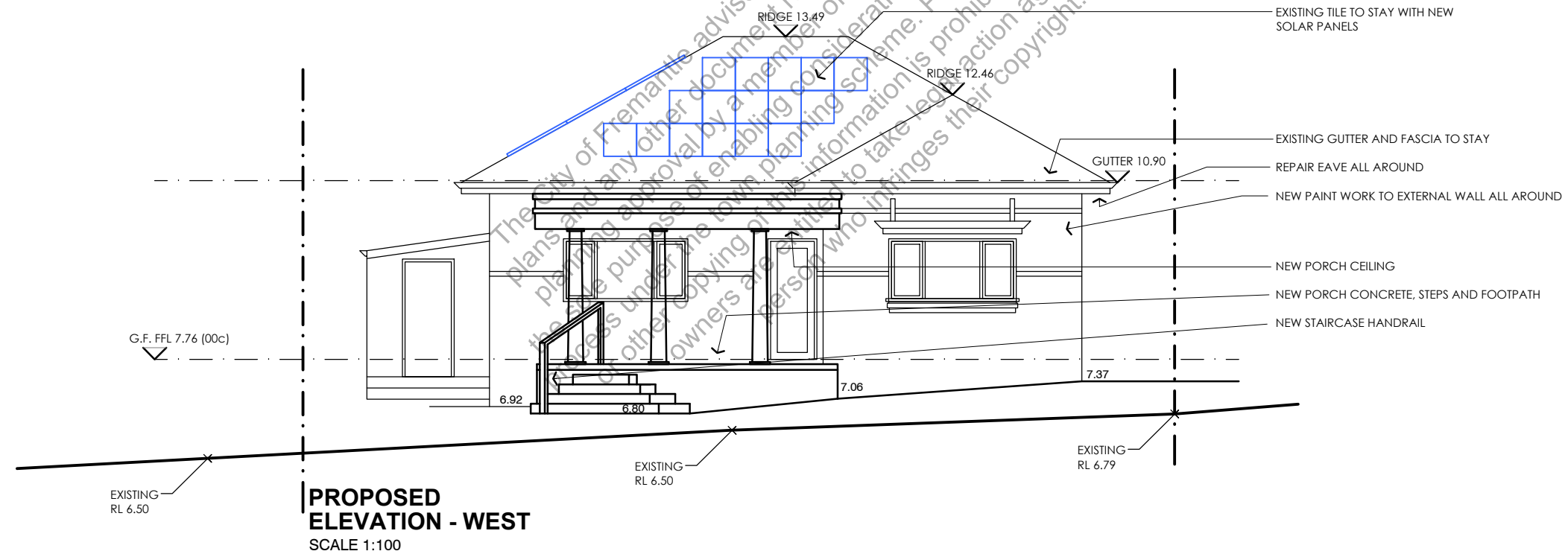
SHEET: **A06** **PROPOSED FLOOR PLAN**  
 PROJECT ADDRESS: LOT 1 NO 34A ATTFIELD ST, FREMANTLE, WA 6160

REVISION: **R01** STAGE: **ST01-B/C**  
 P.TYPE: **PROPOSED RESIDENTIAL ALTERATIONS + ADDITIONS**

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WEST SITE OPEN SLAT FENCE TO STAY AS IS



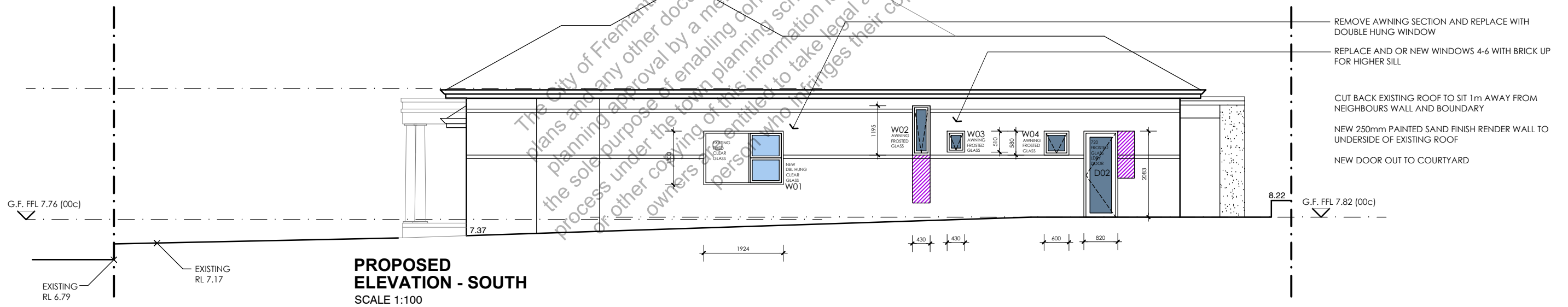
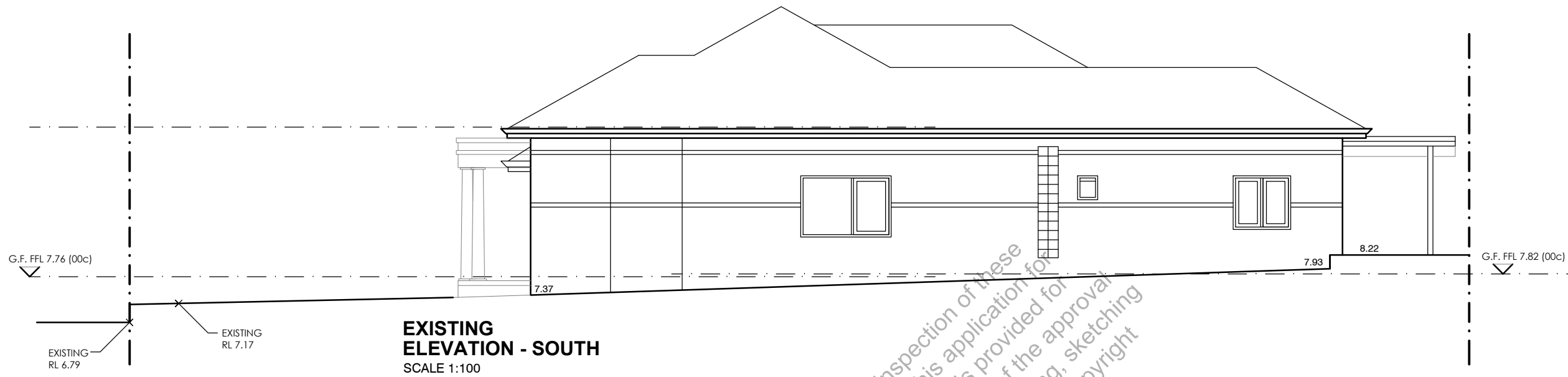
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SHEET: **A07** **EXISTING + PROPOSED ELEVATIONS**  
PROJECT ADDRESS: LOT 1 NO 34A ATTFIELD ST, FREMANTLE, WA 6160

REVISION: **R01** STAGE: **ST01-B/C**  
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SCALE 1:100 @ A3 SIZE PAPER  
0 1 5M



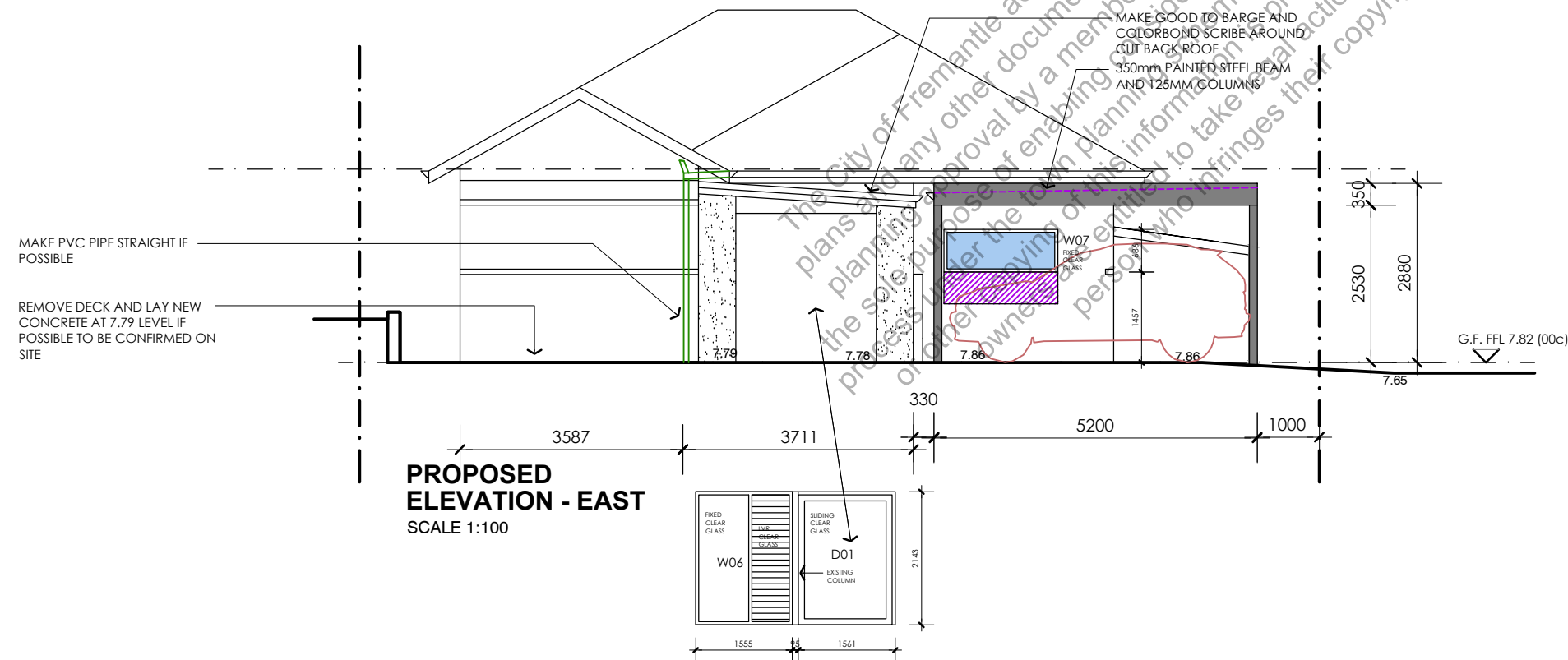
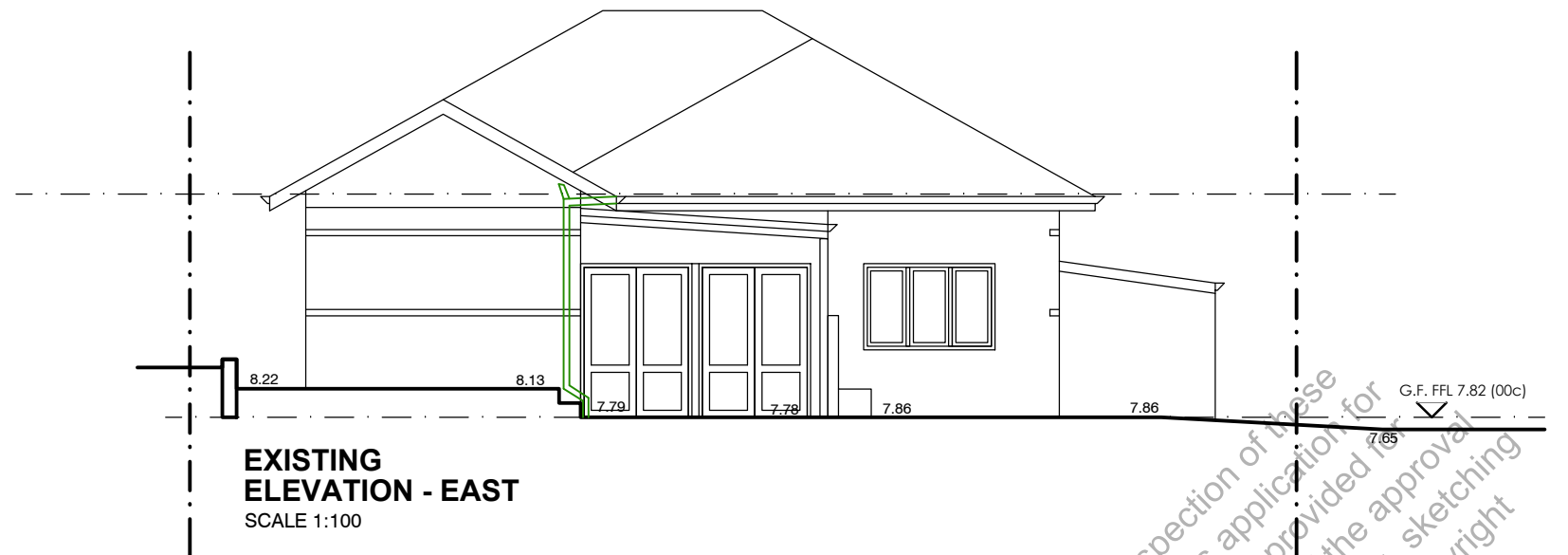
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**25 Mar 2026**

SHEET: **A08** **EXISTING + PROPOSED ELEVATIONS**  
 PROJECT ADDRESS: **LOT 1 NO 34A ATTFIELD ST, FREMANTLE, WA 6160**

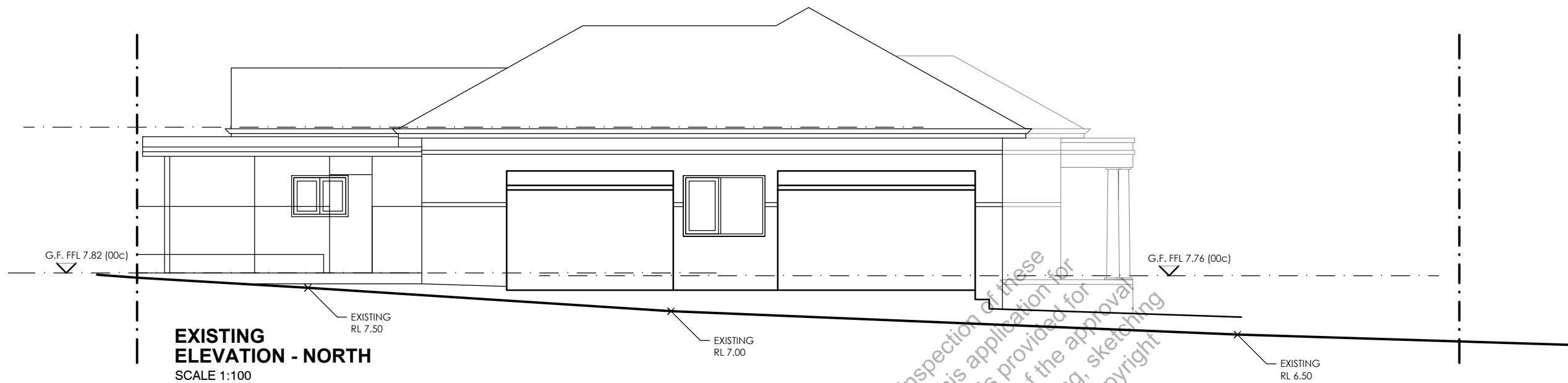
REVISION: **R01** STAGE: **ST01-B/C**  
 P.TYPE: **PROPOSED RESIDENTIAL ALTERATIONS + ADDITIONS**

REV NO	DATE	AMENDMENT
03		
02		
01	10.07.2025	STAGE 01-B/C ISSUED TO CLIENT FOR REVIEW + BUILDER FOR PRELIM COSTING
00	08.06.2025	STAGE 01-A/B/C ISSUED TO CLIENT FOR REVIEW

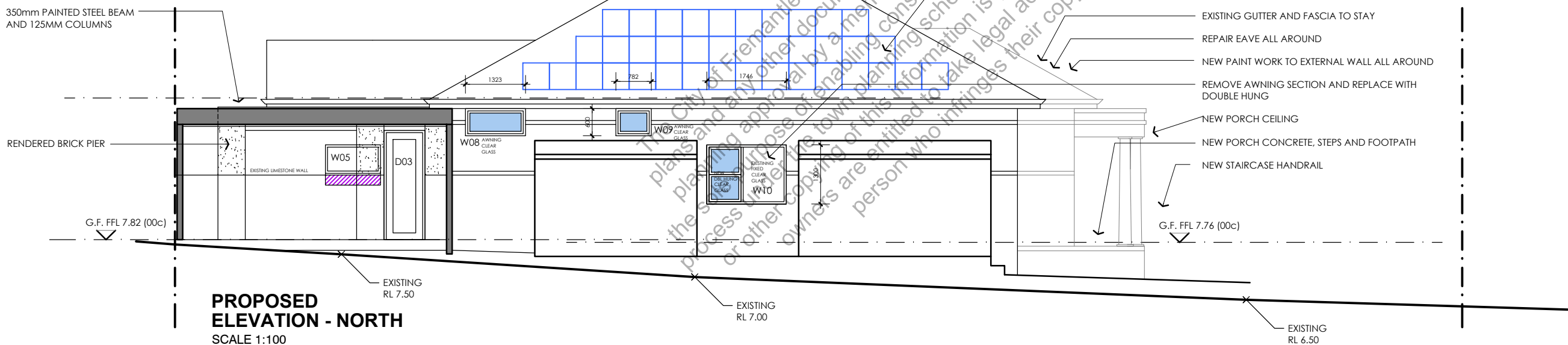
SCALE 1:100 @ A3 SIZE PAPER  
 0 1 5M



REV NO	DATE	AMENDMENT
03		
02		
01	10.07.2025	STAGE 01-B/C ISSUED TO CLIENT FOR REVIEW + BUILDER FOR PRELIM COSTING
00	08.06.2025	STAGE 01-A/B/C ISSUED TO CLIENT FOR REVIEW



**EXISTING ELEVATION - NORTH**  
SCALE 1:100



**PROPOSED ELEVATION - NORTH**  
SCALE 1:100

**CITY OF FREMANTLE**  
**These Plans Form Part of**  
  
**DA0116/26**  
  
**25 Mar 2026**

SHEET: **A10**    **EXISTING + PROPOSED ELEVATIONS**  
PROJECT ADDRESS: **LOT 1 NO 34A ATTFIELD ST, FREMANTLE, WA 6160**

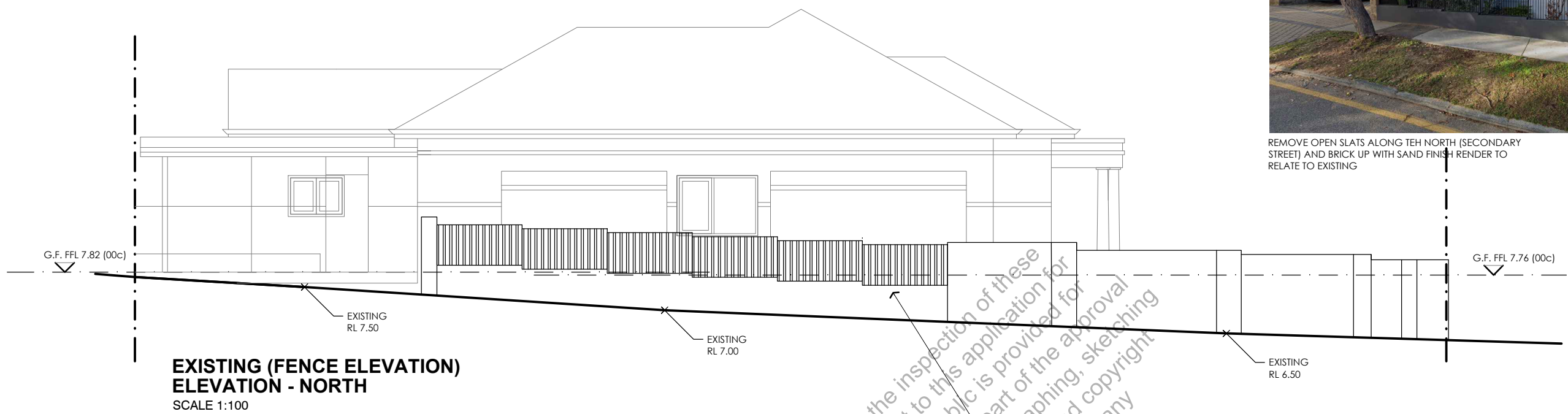
REVISION: **R01**    STAGE: **ST01-B/C**  
P.TYPE: **PROPOSED RESIDENTIAL ALTERATIONS + ADDITIONS**

REV NO	DATE	AMENDMENT
03		
02		
01	10.07.2025	STAGE 01-B/C ISSUED TO CLIENT FOR REVIEW + BUILDER FOR PRELIM COSTING
00	08.06.2025	STAGE 01-A/B/C ISSUED TO CLIENT FOR REVIEW

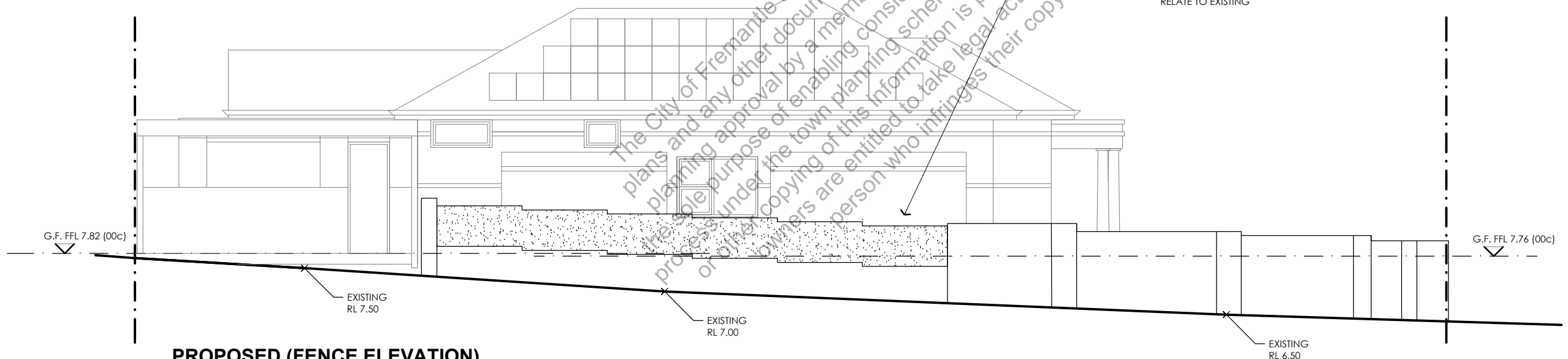
SCALE 1:100 @ A3 SIZE PAPER  
0 1 5M



REMOVE OPEN SLATS ALONG TEH NORTH (SECONDARY STREET) AND BRICK UP WITH SAND FINISH RENDER TO RELATE TO EXISTING



**EXISTING (FENCE ELEVATION)  
ELEVATION - NORTH**  
SCALE 1:100



**PROPOSED (FENCE ELEVATION)  
ELEVATION - NORTH**  
SCALE 1:100

**CITY OF FREMANTLE**  
**These Plans Form Part of**  
  
**DA0116/26**  
  
**25 Mar 2026**

SHEET: **A11** **EXISTING + PROPOSED ELEVATIONS**  
PROJECT ADDRESS: **LOT 1 NO 34A ATTFIELD ST, FREMANTLE, WA 6160**

REVISION: **R01** STAGE: **ST01-B/C**  
P.TYPE: **PROPOSED RESIDENTIAL ALTERATIONS + ADDITIONS**

REV NO	DATE	AMENDMENT
03		
02		
01	10.07.2025	STAGE 01-B/C ISSUED TO CLIENT FOR REVIEW + BUILDER FOR PRELIM COSTING
00	08.06.2025	STAGE 01-A/B/C ISSUED TO CLIENT FOR REVIEW

SCALE 1:100 @ A3 SIZE PAPER  
0 1 5M