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VA0014/26

1 May 2026

16th March, 2026

The Chief Executive Officer
City of Fremantle
Walyalup Civic Center
151 High Street
Fremantle WA 6160

Attn: Statutory Planning Services

PROPOSED CHANGES CONTAINED IN AMENDED DEVELOPMENT APPLICATION FOR LOT 1139 (DP 222435), No.120 HOLLAND STREET, FREMANTLE (PREVIOUS APPROVAL RE DA0098 / 24 DATED 29TH MAY, 2024):

PROPOSED NEW SINGLE DWELLING INCLUDING CONSERVATION, ADAPTATION & ADDITIONS TO EXISTING HERITAGE STRUCTURE

The following explanatory information outlines in detail the specific changes contained in the amended development application for the above premises. It is to be read in conjunction with the comprehensive Explanatory Notes prepared in support of the application, to assist Council consideration / determination of the proposed development.

The proposed amendments have been developed in response to both cost considerations and some changes in perceived client requirements. They have also been considered in terms of improving impacts on the subject and neighbouring sites and incidentally on the streetscape, notwithstanding the acceptability of the presently approved development in these terms. The amendments generally simplify the proposal particularly in terms of openings and roof forms, however retaining the clear references to traditional forms and materiality contained in the cottage.

The amended development otherwise remains substantially consistent with the layout and intent of the proposal as previously developed and approved, including retention and conservation of the extant, deteriorated and bastardised 1902 cottage.

The design drawings have also been developed in a CAD format to assist transition to digital Building Permit documentation subsequent to development approval. These directly adopt the site arrangements contained in the previously approved drawings, further to the documented survey of the existing site / cottage arrangement.

Principal Changes to Approved Development; Summary

The following significant amendments are contained in the amended development application;

- The significant north-south building element containing workshop / store and garage has been reduced in scale, with a low set flat roof set over behind a low masonry parapet to the south and east faces. to the west side of the lot in place of a former gable roofed structure.

- The subject tandem garage has been changed to an open carport structure with a flat roof.
- The upper level main bedroom suite, in particular the gable roof has been reorientated east-west from its original north-south arrangement, reducing bulk and scale impacts on neighbours.
- The western balcony to the bedroom, contained behind the former garage roof has been deleted, with a simple gable roof form to the single level living room portion under.
- The rear studio portion has been simplified without external balcony elements.
- The restoration / reconstruction of the cottage has been simplified, minimizing speculative reconstruction and assisting effective adaptation of inside spaces.

Specific Changes

Ground Level; Cottage Portion

- Amended arrangement to bathroom fitout / openings in former kitchen space, including removal of 1950s vintage fireplace brace.
- Minor amendment to width of rear portion of hallway, to match original existing to front portion.
- Minor amendment to openings to new sitting room.
- Simple skillion roof behind framed parapet set over sitting room, reflecting original structure, in place of former pyramidal roof.
- Deletion of formerly proposed speculative fireplace reconstructions.
- Insertion of new vertical windows to sidewalls of front bedrooms.
- Simplified cladding arrangement; timber weatherboards applied throughout.

Ground Level; Middle Portion

- Former gable-roofed structure to garage, including loft storage over removed.
- Garage replaced with open, flat-roofed carport, with gutter-line setback 450mm per RD Codes.
- Carport structure (including nil setback) shortened in length (1.0m).
- Living / kitchen narrowed by 1.5m.
- AI-fresco outdoor living area deepened by additional 1.5m.
- Internal modifications to kitchen / pantry; glazed roof strip set over to east side to improve amenity in corner setting.
- Box window addressing garden space beyond added to dining area to improve amenity.
- Simplified window openings to entry courtyard space.

Ground Level: Rear Portion

- Rearranged internal spaces for storerooms and workshop; simplified openings to garden beyond.
- Increased length of link-piece workshop, including setback from boundary.
- Skillion-roofed structure behind lower-set masonry parapet to workshop, in place of former gable roofed structure.
- Minor amendment to rear stair access to studio set over store area.
- Minor increase in boundary wall length.

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Upper Level: Middle Portion

- Rearrangement of main bedroom, in particular the gable roof element from north-south to east-west orientation; reduced bulk and scale impact and better arrangement for provision of solar panels.
- Bedroom structure including previous boundary wall element moved 1.4m westward; reduced impact on neighbour and natural light access to kitchen under.
- Western balcony deleted; simple gable roof reflecting main gable roof to bedroom set over living area below.
- North-facing balcony to bedroom retained / enhanced, including screening to sides re neighbours' visual privacy.
- Planter bed to dining room area removed; simple skillion roof behind parapet.

Upper Level: Rear Portion

- Simplified studio room arrangement; minor increase in floor area, including ensuite arrangement.
- Simplified / reduced window / openings arrangement.
- Minor increase in boundary wall length.
- Minor increase in wall height (0.5m); pyramidal roof element retained.
- Simplified / compliant rear stair access to studio, further to above.
- Deletion of minor balcony element to south-east corner.

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16th March, 2026

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STATEMENT OF HERITAGE SIGNIFICANCE AND HERITAGE IMPACT STATEMENT; LOT 1139 (DP 222435), No.120 HOLLAND STREET, FREMANTLE:

AMENDED DEVELOPMENT PROPOSAL FOR SINGLE DWELLING INCLUDING CONSERVATION, ADAPTATION & ADDITIONS TO EXISTING HERITAGE STRUCTURE (PREVIOUS APPROVAL RE DA0098 / 24 DATED 29TH MAY, 2024)

An amended Statement of Heritage Significance and Statement of Heritage Impact has been prepared further to the requirements of Council Policy LPP 1.6 - Heritage Assessment and Protection, having regard to the above development application. Part 5 of that policy requires that Heritage Impact Statements be prepared where development applications may have an impact on the heritage significance of the subject place or locality, as means to inform assessment of the amended development proposal. Note that this amended Statement substantially reiterates the content of the previously prepared HIS although otherwise adapted to embrace all the proposed changes, both in themselves and as a whole in relation to the overall proposed dwelling.

The policy specifically refers to "significant modifications" with regard to Level 3 places, and it is acknowledged that while the proposed development fundamentally conserves the heritage cottage in its original form, the overall scale of development to create an essentially new dwelling is extensive and therefore significant in regard to the overall site. Visual impacts from the additions are minimal as seen from the street, being wholly located beyond the heritage cottage and staggered in height. Conversely, the significant restoration works to the front of the dwelling will be highly visible from the street. The proposed development does not fall under any of the exempt development types listed in Part 5 of the Policy.

The subject and adjacent premises are not contained on Council's Heritage List, however are contained within Heritage Area 10 – Forrest and Holland Streets, and subject to the protections and considerations flowing from that under the Regulations 2015 and LPS4. While all other heritage dwellings in this portion of Holland Street are documented on Council's Local Heritage Survey, the subject premises has been previously overlooked, presumably on account of its severely deteriorated condition.

Notwithstanding this exclusion, the place has been subject to considerable heritage scrutiny further to a previous application to demolish the cottage, refused by Council in February 2023. This has included both a detailed Heritage Impact Statement prepared by a heritage professional for the applicants (recommending demolition

approval) and a Council Planning / Heritage Report prepared by Council staff for consideration by Elected Members, recommending refusal of that proposed demolition.

Of most relevance is a Heritage Impact Assessment prepared in relation to the above Officers' Report, as means to guide Council in its consideration of the application to demolish, and to respond to the Applicants' submitted HIS that concluded the place had little or no heritage significance and could therefore be demolished under LPS4. The detailed Council assessment report was clearly professionally prepared, although no authorship is attached to the document, which may have been done consultants for Council or by Council's own heritage officer/s.

The first part of LPP1.6 requires detailed documentation of the background information with regard to the place, a description of the place, documentation of all available historical and physical evidence and preparation of a Statement of Significance and Statement of Heritage Values. This has been fully undertaken within the previous Council Heritage Impact Assessment. Its thorough information is concurred with in all respects. Consequently, it is wholly accepted and referenced as part of the HIS for the present development application, also having regard to the content of the Explanatory Notes attached to this. This HIS will therefore directly address the second part of the LPP1.6 requiring a Statement of Heritage Impact further to the stated criteria, in relation to the present application for conservation of the extant heritage structure and proposed adaptation and additions to create an essentially new dwelling.

The present application reflects the Statement of Significance and Heritage Values in general terms, where the cottage is retained and restored having regard to the physical and documentary evidence.

STATEMENT OF HERITAGE SIGNIFICANCE

As contained in the Council's Heritage Impact Assessment and contained in the planning report prepared for DA0354, dated February, 2022 (discussed above).

STATEMENT OF HERITAGE IMPACT

The level of positive and negative impact that the proposal will have on the heritage significance of the place with regard to the following criteria:

The extent of loss of significant fabric

The proposed development very substantially retains the existing significant fabric of the remnant heritage structure. Only deteriorated fabric unable to be restored or form part of a stable structure will be lost, with fabric necessarily removed to facilitate reconstruction retained and reused in-situ to the fullest possible extent.

The jarrah structures, including stumping, floors, walls and roofs will be retained to the fullest possible extent, with deteriorated elements revealed and replaced seamlessly with compatible new fabric generally to match original detailing.

The full, original building set-out, along with the adapted and extant kitchen space will be retained, with only the highly deteriorated rear verandah lean-to structure formerly

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containing a rudimentary bathroom to be removed. The front verandah will be retained, however its original deck, post and bull-nosed awning roof reconstructed in place of the post WWII modified verandah form.

Internally, the set-out and materiality of all the bedrooms is retained, with only minor adaptation to insert new door openings between the front and rear bedrooms, to create larger bedroom facilities.

The existing fireplace brace and chimney to the former kitchen, of substantially 1950s vintage as part of the development of that facility, will now be removed as part of the adapted bathroom fitout to that room.

All original detailing fabric, including doors, skirtings and architraves will be retained and reused wherever extant and intact, in conjunction with reconstructed elements to match, replacing elements applied during the various post WWII 'modernisations', including front windows to the house.

The extent of conservation work to significant fabric

Where significant fabric having considerable authenticity / integrity will be substantially retained, most of the work to the existing cottage structure is conservation work to establish structural integrity, repair existing deteriorated architectural elements and to reinstate original elements with reconstructed elements in accordance with the physical and historical documentary evidence. This work will be extensive and comprehensive, generally as follows.

- Full removal of deteriorated and substantially non-original asbestos / ply sheet exterior cladding, along with small remnant weatherboard portions to east and north sides below dado. Replacement with timber weatherboards to match original below dado, over restored structural fabric with insulation inserted to cavities.
- Removal of all deteriorated original side windows and non-original front windows. Repair / replacement of original windows and reconstructed casement windows to front façade adopting profile / appearance of likely original double hung sashes, to be inserted in original locations.
- Repair of all integral timber structures to stumps, floors, walls and roofs, with insertion of new matching fabric as required to achieve overall structural integrity of cottage in original form. Recladding with zincalume custom orb roof sheeting, with ogee profile gutters to perimeter.
- Reconstruction of original front verandah structure to historical documentary evidence, including timber decking, scalloped posts and shallow-pitched bullnose awning set independently from main roof. Reuse original post fabric wherever possible.
- Internally, repair all internal floor, wall and ceiling structures / linings to original evidence, retaining original fabric to fullest possible extent.
- Retain / reuse original detailing to rooms including skirtings, architraves, doors and scotias / cornices to fullest possible extent and otherwise reconstruct to match where fabric deteriorated or non-original.
- Insert new minor wall elements for WC and storage to rear portion of cottage as indicated, within existing fabric / setout.
- Paint finishes to be applied throughout to conserved cottage.

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The permanent impact that the proposal is likely to have on the values that contribute to the heritage significance of the place

The conservation / adaptation works and proposed additions are clearly intended to be permanent and will substantially reinstate a reading of the building in its original design form and intent. The 'separation' of the new additions from the main dwelling portion, including retention of a fully open driveway to the west side of the cottage, allows the heritage dwelling form to remain wholly predominant in its streetscape setting, fully retaining the contributory heritage values of the place.

The comprehensive conservation works will significantly add to the Heritage Values of the place, particularly its Aesthetic, Historic and Representative values, also ensuring the long-term structural integrity of the place. While considerable new fabric will be required in light of the present condition and previous 'modernisation' of the dwelling, the cottage as conserved further to the historical physical and documentary evidence will have high Authenticity value.

The impact the proposal will have on the heritage building in terms of its use, siting, bulk, form, scale, character, colour, texture and materials

Cottage Portion

The residential use of the presently deteriorated, non-habitable building structure will be reinstated as an integral part of a new family dwelling to the unsubdivided lot. As a dwelling retaining its full-size, original lot, the proposed development reinforces an understanding of the original sub-division pattern in a now substantially sub-divided residential area.

The original siting of the cottage is wholly retained in relation to the lot and street, contributing to the significance of the place in collective terms. As outlined under the previous criteria, the bulk, form, scale, character, colour, texture and materials adopted in the conserved cottage all have a major positive impact on the heritage building and streetscape.

External adaptive works to the cottage itself includes the insertion of new minor high-set window openings to the front rooms, where these rooms are inherently dark with original windows south facing and set under the front verandah awning. These new windows are readable as contemporary adaptations, however well-proportioned and located in relation to the original building profile. Weatherboard / sheet cladding is applied to the exterior, referencing its likely weatherboard cladding dating from 1902.

Reinstatement of the original front verandah form and detailing will greatly assist an appreciation of the original historic cottage and its continuity with other similarly aged premises in its immediate locality. The present deteriorated fabric and modified form have likely led to its being omitted from Council's Local Heritage Survey, despite its age.

A simple, cantilevered timber pergola attached to the west side of the cottage is proposed, shading the building and dedicated pedestrian path leading from an entrance gate at the streetfront. This structure adds visual interest and highlights the principal pedestrian access to the new building main entry, located in a courtyard inset behind the cottage to the center of the lot. The existing central front door to the cottage is however maintained, in conjunction with the hallway space extending though the

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cottage to the new dwelling portion beyond, for the more private use of occupants in relation to the bedrooms.

Internally, the minor adaptation of the bedrooms to link front and rear rooms will provide more usable bedroom spaces suitable for contemporary living, where the existing single rooms are small in scale. The character of the rooms with their Federation era detailing will be fully maintained and enhanced. Adaptation of the former kitchen into a bathroom for the bedroom wing will retain the general room arrangement, albeit with removal of the 1950s fireplace brace as part of its fitout, while insertion of walls to create a separate visitors' WC and store are kept minimal and within the framework of the original rooms.

The insertion of a new sitting / TV room to the north-west inset corner is essentially separate to the cottage, allowing a clear reading of the extant historic cottage form. The room has a skillio roof proportioned in relation to the front gable roofed portion, generally relative of the original roof structure, however readable as a contemporary architectural insertion with its framed perimeter parapet.

New Dwelling Portion

The overall new dwelling is composed of four 'parts', including the original cottage portion containing the bedrooms, link-piece portion containing the main entry, hallway, stairwell, pantry and laundry facilities at the ground level with study and en-suite bathroom set over, central portion containing the principal living areas with main bedroom and associated deck set over, and western side portion containing tandem carport, storerooms and workshop, with a rear studio set over to the rear north-west corner of the site.

These portions are composed of small-scaled elements adopting the simple, rectilinear and pitched gable roof forms reflective of the cottage, also reflecting the scale of neighbouring single and two-storey dwellings on sub-divided lots. The portions nevertheless form a composite architectural whole, well-distributed over the site and creating large open spaces to contain significant planting and landscaping, usable open spaces and vehicular access to the western side of the lot. The distribution of elements also allows the heritage cottage to remain essentially free-standing and predominant in its traditional streetscape setting.

The low-set height and flat roof form of the two-storey link-piece element remains substantially hidden from the street by the roofline of the cottage, also mediating back to the gable roofed main bedroom / ensuite. This is similarly obscured from the street via the cottage roof and greater setback of the central building portion, in conjunction with the mature street planting to the Holland Street verge and retained jacaranda tree at the center of the site immediately beyond the cottage.

The western boundary portion is single-storey with flat / skillion roofs set generally level with the eaves to the cottage. The carport is set far back from the street and on falling topography, making it visually minor in the streetscape, while the two-storey studio is set so far back as to have virtually no visual impact.

As a consequence of all the above factors, the new dwelling portions will have minimal impact on the heritage cottage in terms of bulk, form and scale, with a compatible contemporary architectural form and character adding to the visual interest and architectural contribution of the dwelling to the street. Materially, the new portion employs a combination of redbrick masonry, slatted timber sheet cladding and glazing

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with vertical emphasis in its framing, with custom orb zincalume roof sheeting on commonly pitched roofs.

The impact the proposal will have on the visual setting and other relationships that contribute to the heritage significance of the place.

The extant heritage dwelling form remains predominant as seen from the street and surrounds. There is a clear logic to the rear setting and arrangement of the proposed additions in relation to both the streetscape and creation of significant and usable landscaped open spaces, also having regard to the siting and amenity of neighboring dwellings. The proposed carport is logically (and essentially) located in relation to the extant western driveway space, with strategic use of boundary wall elements stemming from this arrangement cognizant of the need to minimise impacts on neighbours and creating a net amenity benefit for the immediate locality, including the overall building as seen from the street.

The impact the proposal will have on the streetscape and townscape characteristics of the area in which it stands

As above. The proposed development will fully reinstate the cottage in its historic context and streetscape setting, reestablishing a continuous and aesthetically notable heritage streetscape in this locality. The new dwelling portion, as far as it is obliquely visible from the street and neighbouring premises will add to the architectural interest of the locality, already containing a number of well-considered contemporary infill structures. The proposed development avoids the alternative insertion of a wholly new dwelling in place of the cottage, as formerly considered by the applicants with their previous demolition application.

The impact the proposal will have on important public views and spaces, vistas, landmarks and landscape features

As for the previous above points. This portion of Holland Street forms an important and visually pleasing heritage vista, reinforced by its notable mature eucalypt verge planting. The proposed restoration of the cottage will assist the continuity and completeness of that vista.

Conclusions

The proposed development will both conserve the heritage cottage and create a substantial new dwelling, retaining the single residential use of the site in a highly sustainable and architecturally appropriate way. The simple forms applied throughout the new dwelling portion reinforce and reflect the scale and character of the original cottage form and respond to its siting, in conjunction with an overall site arrangement to create significant and usable landscaped open spaces, including retention and provision for major tree planting.

The comprehensive conservation works proposed to the cottage will fully reinstate its original form, character and detailing, both externally and internally, with minor adaptive works greatly improving its livability as a dedicated bedroom wing and assisting its meaningful integration with the new dwelling portion to create a large family home on this original unsubdivided lot.

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EXPLANATORY NOTES AND SUBMISSION IN SUPPORT OF AMENDED DEVELOPMENT APPLICATION FOR LOT 1139 (DP 222435), No.120 HOLLAND STREET, FREMANTLE (PREVIOUS APPROVAL DA0098 / 24 DATED 29TH MAY, 2024):

PROPOSED NEW SINGLE DWELLING INCLUDING CONSERVATION, ADAPTATION & ADDITIONS TO EXISTING HERITAGE STRUCTURE

The following explanatory information is provided to assist Council in its consideration of an amended development application for conservation, adaptation and additions to the above residential premises, with reference to all relevant statutory / policy compliance. An extant Development Approval for the substantial residence as previously approved in May, 2024 remains in place with a further 2 years of currency.

While the intent of the proposed residence and its general setout remain consistent with the previously approved development, there are some relatively significant changes that do require consideration in their own right and in relation to the development as a whole. In this context, a summary of the proposed changes is provided below, to be followed by a comprehensive assessment of the overall development. This generally follows the format of the original planning submission, however has been prepared and provided as a stand-alone document, where Council considers the amended development application in its entirety, notwithstanding the content and basis of the previous approval.

An amended Heritage Impact Statement has similarly been prepared for the amended development application.

Principal Changes to Approved Development; Summary

The following significant amendments are contained in the amended development application;

- The significant north-south building element containing workshop / store and garage has been reduced in scale, with a low set flat roof behind a low masonry parapet to the south and east faces to the west side of the lot in place of a former gable roofed structure.
- The subject tandem garage has been changed to an open carport structure with a flat roof.
- The upper level main bedroom suite, in particular the gable roof has been reorientated east-west from its original north-south arrangement, reducing bulk and scale impacts on neighbours.

- The western balcony to the bedroom, contained behind the former garage roof has been deleted, with a simple gable roof form to the single level living room portion under.
- The rear studio portion has been simplified without external balcony/ies.
- The restoration / reconstruction of the cottage has been simplified, minimizing speculative reconstruction and assisting effective adaptation of inside spaces.

Overview

The subject premises is a large, unsubdivided urban residential lot within the Holland / Forrest Street Heritage Area (Area10), containing an uninhabitable and deteriorated timber-framed cottage structure dating from 1903. The place has been vacant and allowed to deteriorate over previous decades, however has been recently purchased with the intention of providing a new owner-occupied family residence on the substantially vacant site, also conserving and incorporating the heritage structure. The new owners have been owner-occupiers of a nearby heritage dwelling in Holland Street for many years, however contained on a sub-divided lot with limited building and open space areas.

The lot was originally acquired for the purpose of obtaining a full-sized lot in this area, to facilitate the construction of a wholly new dwelling without retaining / incorporating the heritage structure. Further to obtaining heritage advice an application to demolish the existing dwelling was made in December 2022, however refused by Council on account of the potential contribution made by the cottage to the notable heritage streetscape in which it was located. The approved development responded proactively to this decision, fully conserving the heritage dwelling portion to be integrated within a new dwelling to the site beyond.

The proposal as now amended has been further developed responsive to both the extant dwelling structure and all surrounding premises, including significant vegetation. The application reflects all the relevant Scheme, RD Code and Policy requirements, addressed as part of these Explanatory Notes and has been developed to substantially meet deemed-to-comply standards throughout.

Background; Site / Heritage Structures

Site

The original site remains unsubdivided, comprising some 762m², with a 15 metre frontage to Holland Street, reflecting the original sub-division pattern for the area. These lots were established at the turn of the twentieth century to streets set out following the pattern of the 'tent city' established during the 1890s Goldrush period. They generally comprised large lots with 15m frontages and 50m depth, representing an intermediate stage between 1/8 acre lots from the 1890s and 1/4 acre lots from the 1910s onwards. Despite this larger lot size, most early dwellings were rudimentary timber framed cottages with simple pitched and skillion roof forms over simple floor plans, located to the front of the lots and commonly with side 'driveway' access to the rear.

As a consequence, the lots suited battle-axe sub-division while still allowing retention of the original cottages, undertaken throughout the 1990s and early 2000s further to the provisions of Council's 'Density Bonus Scheme' under TPS3. This provided for a higher density coding dependent on retention and conservation of the original dwellings as part of an overall sub-division / redevelopment, ensuring both the retention of the heritage values of the area and a relatively high standard of compatible new / additional development. As a result, few full-size

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lots now remain in the area, particularly containing unrestored original dwellings. The subject lot is one of these.

The subject streetblock bounded by Onslow, Forrest, Chudleigh (formerly Congdon) and Holland Streets has been substantially conserved and further developed in this manner, with the immediate Holland Street streetscape possessing considerable aesthetic value with both restored cottages and significant mature street planting. The cottages are varied in form though generally consistent in scale, relative detail and setback from the street. In this context, retention of the subject cottage structure in spite of its derelict condition is considered desirable and necessary in preserving the integrity of the street.

The site is surrounded by subdivided lots already substantially developed with conserved / adapted heritage dwellings to the front portions and single or two-storey new dwellings to the rear lot portions. The amenity of all these dwellings has benefited from the undeveloped nature of the subject site to date, however have been generally well considered to provide for their own environmental amenity in their design and site arrangement. Adjacent lots to the north and north-west fronting Forrest Street remain unsubdivided, with large open yards and rear shed structures in proximity to the northern boundary.

The site rises from west to east proceeding up Holland Street, and falls away from the street north towards the rear of the property. These falls are visually appreciable and impact the setting of the dwelling.

Extant Dwelling Structure

The subject dwelling is an uninhabitable, timber-framed cottage setback some 4 meters from the street to the front verandah. The verge is a further 6.4m wide to the street containing a pair of mature, gnarled eucalypts, partly deformed by former pruning to facilitate powerlines (now removed) but having considerable impact on the streetscape setting of the dwelling.

The cottage is of simple, four room square construction, with a further attached rear kitchen facility. The front rooms are gable-roofed and the rear rooms are skillion-roofed, with an adapted hipped roof fitted over the modified kitchen space and carried up to the cross-ridge. The verandah is roofed continuous with the main gable roof, however with a slightly flatter pitch. This verandah structure has been modified with half height masonry piers and grano decking. No chimneys are extant to the front building portion, however a low red brick chimney structure of likely 1950s vintage is extant to the east side of the kitchen.

The visual condition of the cottage structure is poor, both in terms of maintenance and non-originality of form, details and materials. Plywood / asbestos cladding predominates, with original side windows substantially rotted and all other windows non-original, horizontally orientated elements. This condition is superficially reflected internally, however the basic structure of the cottage appears reasonably integral and intact. Despite a two year period since the previous Development, the premises has been locked and remains in substantially the same condition as it was at that time.

The house is located towards the eastern high side of the site, providing a 4.5m wide vehicular accessway to the rear of the lot. This site arrangement is found consistently throughout the streetblock and greater precinct. The arrangement generally dictates the form of additional / new development, whether in the form of a separate single dwelling to a battleaxe subdivision or as additions to a single dwelling incorporating the extant cottage structure/s.

The subject site also contains a significant jacaranda tree located midway down the lot immediately behind the extant dwelling. Other vegetation has been previously cleared, while a rudimentary, non-original iron / timber framed shed is located to the rear north-west corner

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of the site. A rudimentary, non-original metal framed structure contains an outside toilet further beyond the cottage.

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Site / Zoning / Land Use

The site is contained within a "Residential" zone, with a split density coding of R25 / 30 under LPS4. Provision of development standards relating to the higher density coding R30 are sought for the application further to the requirements of Cl.4.3.4 of LPS4 and related Council policy LPP2.2, specifically in regard to the conservation of a place of Cultural Heritage Significance.

The site is also contained within Local Planning Area 2 – Fremantle per Schedule 7 of LPS4, and within Heritage Area 10 – Holland and Forrest Street Heritage Area, applied further to the Planning and Development Regulations 2015, LPS4 and the specific requirements of LPP3.6 – Heritage Areas.

The application has been developed responding to all these parameters, ensuring a scale and form of residential development physically compatible with surrounding residential development while providing an extensive family dwelling on a remnant full-size lot.

Conservation, Adaptation and Additions to Heritage Cottage Structure: Scope of Proposed Works

Overall Planning Arrangement

The proposed new dwelling is spread across the lot, with the conserved cottage structure to be adapted to serve as bedrooms and associated open spaces, with a bathroom facility inserted to the former kitchen space. A new sitting / TV room is set into the rear north-west corner indent to the building form.

To the rear of this conserved portion a new linking structure is provided, containing the main dwelling entry, stairs and storage facilities, extending back to the main new building portion containing the kitchen, living and dining areas. These open out to a large rear garden space extending back to the rear northern boundary.

Above this living area the main bedroom suite is located under a simple transverse gable roofed arrangement, with an attached deck to the north side fronting the rear yard space. An en-suite is contained under a north-south gable roof portion abutting the main east-west roof. A study room is set forward of the bedroom over the link between the old and new building portions, within a simple, flat roofed box-form structure.

To the western side of the lot, a tandem single-width carport is provided, accessed directly from the driveway necessarily located to the western side of the site adjacent to the heritage cottage. The single level, skillion roofed building beyond the carport extends down the west side of the lot, containing storage and workshop spaces. A small upper-level studio with en-suite bathroom facility is set over into the north-western corner of the site.

The 'compartmentalisation' of the development allows for functionally discrete zones that are nevertheless directly connected with each other, also creating a continuous building form made up of smaller-scaled room / roof elements somewhat reflective of the original cottage form. This can allow for a staged construction approach as desired. The overall plan arrangement maximises open spaces to the site, allowing for both the retention and further

addition of significant vegetation and major garden spaces. These large open spaces also serve to retain and enhance the amenity of neighbouring premises, particularly where this has been facilitated to date through the relative absence of development on the subject site.

Existing Heritage Cottage Structure

The works proposed to the existing heritage structure are fundamentally conservation based, where the dwelling retains its basic four-room plus kitchen setout and structure. The works will see all these rooms retained as integral spaces, however adapted to provide well-proportioned and arranged bedroom facilities. The small-scaled east side rooms will be 'twinned', while the western bedrooms will be retained as existing.

The former kitchen will be adapted to contain a new bathroom, incorporating a WC and storage. The original central hallway will be generally retained, though widened where it presently narrows and has partially collapsed, providing both internal circulation and access to the front yard space for the occupants.

All original structural fabric will be retained to the fullest possible extent, where the jarrah framing appears to have been originally well executed. Original / interpretative window and door openings will be restored / reconstructed as required and original skirtings and architraves restored throughout, where fragmentary evidence of these remains. Timber floors and ceilings will also be retained / restored wherever possible, with severely damaged portions replaced.

The dwelling appears to have been subject to at least two stages of 'modernisation' over its lifetime, including the insertion of new windows and at least partial relining of internal walls, with a mish-mash of skirting, cornice and architrave detailing. This was done in conjunction with the adaptation / extension of the original kitchen and insertion of a rudimentary bathroom to the rear verandah space, no longer extant.

Historical photographic evidence clearly shows the cottage having a twinned chimney (and hence fireplace) to the western side and a single chimney to the east side. It was originally proposed to investigate the reconstruction of these elements, using simple masonry detailing to reflect these structures, however both the cost and adverse impact on the resulting internal spaces has seen this option removed from the present amended application.

Previous adaptation works were done in conjunction with the reconstruction of the original bullnose verandah into a straight-pitched skillion form set continuous with the main roof. Original and somewhat unusually profiled timber posts appear to have been halved and reapplied within masonry piers as part of this work. This has fundamentally altered the appearance of the building in the street. It is proposed to reconstruct the original verandah form as evidenced in the historical photograph.

External cladding will require wholesale replacement, also allowing for full insulation / weather-proofing of the structure. It is likely that the original cottage was fully weatherboard clad, and it is now proposed to reapply this material finish, rather than an interpretative multi-cladding approach contained in the presently approved development. It is also proposed to insert new simple, vertically proportioned casement windows to the side of the dwelling, where the bedrooms are inherently dark with only south facing openings set under the verandah awning. This approach is clearly readable as a new architectural insertion to provide necessary natural light to these rooms, rather than by inserting sash windows to match the original openings to the rear rooms. These windows are also set to provide privacy in relation to the side pathway access from the street to the main building entry at the centre of the site, extending down the

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driveway adjacent to the cottage. This is covered with a simple, cantilevered pergola from an entry gateway at the streetfront.

While essentially a new structure, a skillion-roofed sitting / TV area for the front bedrooms is inserted to the rear north-west corner of the cottage. This replicates the existing roof form however contained behind a framed parapet that provides a visual link between the old and new building portions beyond. The room opens out visually to the central courtyard garden adjacent to the main building entry containing the extant mature jacaranda.

New Structures

The new structures are divided into three parts, with a link element beyond the cottage / bedroom wing, a new main living area with master bedroom suite set over, and a carport / storage and workshop area set beyond this to the western side of the site.

The link element contains the main entry to the dwelling, also maintaining the central passageway arrangement from the front cottage. Laundry, stair and pantry facilities are set off from this accessway, generally following the line of the original cottage however with a laundry courtyard inserted. Above this element is located a study facility accessed from the main bedroom suite and stairwell. This has a simple rectilinear flat roof form, mediating between the single-storey cottage form and main two-storey living / bedroom element beyond. The link extends the house along the site, setting back the main two-storey element to further preserve the integrity and streetscape presence of the original cottage.

The main living area contains kitchen, dining and living spaces in an essentially open plan arrangement, spread across the lot and abutting the carport to the west side. This provides living areas that face significant open landscaped spaces to both north and south sides, including entry courtyard and al-fresco areas well integrated with the main living area. The east-west arrangement, in conjunction with a slightly reduced room width maximises the volume and space of the rear garden, allowing for significant planting and usable outdoor areas.

The main bedroom suite is located above this, incorporating a bed space under a simple raked gable roof, now set east-west rather than north-south, adjacent en-suite bathroom and walk in robe facilities, and a small rear facing balcony to the north side in place of the large open deck space tucked in between the room and gable roof to the former garage, contained in the current approved development.

The western element extends from the centre of the lot to the rear boundary, containing a tandem single-width carport, workshop, storage rooms and garden shed, opening out to the rear garden space. This is now skillion-roofed incorporating a partial masonry parapet surround, with a pyramid roofed upper level studio located to the rearmost portion. The studio is accessed via an external stair to the rear façade and includes a small en-suite bathroom facility.

The new building structures are composed of distinct, small scaled rectilinear elements, reflecting the forms of the original cottage, however arranged together to create an homogenous and now simplified overall building form. This segmented building form in part reflects the multi-building arrangement of surrounding, higher density residential development, with a form not dissimilar to what would otherwise result from an alternative subdivision approach to development of the site.

The design arrangement maximises open spaces provided to the site, necessarily to the west side having regard to driveway / vehicular access and optimally to the northern end of the lot

beyond the main living areas, protected from the late western sun by the western building element. This also enhances the amenity of the main outside spaces to the rear eastern neighbour. The development maintains the setback of the original cottage with regard to the front dwelling. These desirable arrangements are achieved through concentration of the main two-storey building portion to the central part of the lot, necessarily employing a relatively short boundary wall element in this least impacting location.

*

Local Planning Scheme / Policy / RD Code Compliance

Density Coding

The site is located in an area having a split density coding of R25/30 under LPS4. The split coding likely reflects the former application of the "Density Bonus" scheme, particularly relevant within this area and which provided a higher density coding permitting sub-division of large parent lots (720-760m²) where conservation of an existing dwelling of cultural heritage significance was made. The area has been substantially sub-divided as a consequence, with many heritage dwellings fronting streets and new dwellings of generally higher architectural standard located behind these.

Application of development standards relating to the higher density coding of R30 is sought in relation to the proposed development. Cl.4.3.4 of LPS4 provides for this, where... *"the following specific requirements are addressed to the satisfaction of Council – (a) a building of cultural heritage significance is retained on the lot."*

Conservation of the 1903 cottage, identified by Council in its previous decision to refuse demolition of the place despite its not being contained on the Local Heritage Survey, clearly meets this criteria and reflects the general outcome desired by Council. The particular circumstances of the subject dwelling and site should be further considered, where it is proposed to retain and conserve the historic cottage in its entirety, well beyond the limited manner otherwise considered reasonable in previous discussions with Council staff. This represents a substantial commitment by the applicants given the bastardised form and derelict condition of the extant non-habitable structure. It necessitates both the setting back of the main new dwelling portion to the middle / rear portion of lot and vehicular access down a considerable length of the western side, in turn allowing a clear reading of the historic cottage from the street.

As a consequence of these heritage setting constraints and the desire to achieve a significant open rear garden space able to contain / retain significant mature vegetation (to the benefit of the applicants and all surrounding neighbours), the development necessarily incorporates boundary wall elements to its east and west sides, particularly across the middle portion of the site. These have been considered having regard to the deemed-to-comply RD Code provisions for boundary walls in areas coded R30, also having regard to the amenity of surrounding neighbours, and further to the associated Design Principles. The higher R30 density coding also reflects that applied to surrounding sites as already developed.

Council policy LPP2.2- 'Split Density Codes and Energy Efficiency and Sustainability Schedule' provides direction in application of the split density provision of LPS4. In particular, in its Policy Statement (1)-Retention of a building of cultural heritage significance, Cl.1.1 defines eligible buildings being contained on the State Register of Heritage Places or the City's Heritage List. The subject dwelling, like almost all historic dwellings in this precinct is not contained on the Heritage List, however is contained within Local Heritage Area 10 adopted under LPS4 (and therefore afforded the same protections under the Regulations and Scheme as a listed building). Further to Council's own heritage assessment in response to the

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previous demolition application (refused), the place is considered to have some cultural heritage significance in both its own right and as part of a collective. In this context, the place can be considered to meet the discretionary requirement of Cl.1.1(a), with the landowner happy to see the place entered on the Heritage List if required.

Further to Cl.1.2 and in support of the application for the higher density coding, a comprehensive schedule of conservation works has been prepared as part of the development application, also contained in the application drawings. Cl.1.3 notes that the higher density coding for retention of a building of Cultural Heritage Significance can be provided for either sub-division or development of land purposes. The subject application relates to development of land rather than subdivision.

These conservation requirements inherently contradict the Application provision of LPP2.2 providing for only higher densities for new dwelling development and notionally excluding renovations and or additions to existing buildings. The requisite conservation works must constitute renovations to an existing structure, however the derelict state of the extant cottage renders the proposed development an essentially new dwelling in its entirety. This is reflected in the higher density sub-division of the neighbouring lots, applied with regard to both the well-conserved, renovated and extended heritage dwellings and rear new dwellings located to both sides.

Boundary Walls / Setbacks / Wall Heights

The proposed development has been designed in close conformity with the deemed-to-comply provisions of Cl.5.1.3 C3.1 and 3.2 - Lot Boundary Setbacks, further to consideration of an R30 density coding applied to the site (discussed above). Where otherwise requiring exercise of discretion, reference is made to Cl.5.3.1 P3.1 and 3.2 as appropriate. Elements where discretionary approval is sought are minor in scale and impact.

In general terms, the setout of proposed development responds to the setbacks of the extant heritage cottage, to be fully retained in appropriately conserving heritage values of the site and requirements of Cl.4.3.4 Split Density Coding of LPS4. This particularly relates to the setting back of significant additions beyond the cottage, preservation of a large rear open space through consolidation of these additions to the central lot portion, and location of a tandem garage necessarily aligned with the driveway to the west side of the site.

Western Side

Ground level boundary wall to carport / storerooms, measured as two lengths (separated by 5.2m length to workshop); 9.1m and 7.5m L, 16.6m L total at 2.0.- 3.3m H. 2/3 (66%) of boundary length beyond front setback (4.0m) allowed per Cl.5.1.3 C3.2(iii); (46.5m L), 16.6m (36%) provided, therefore compliant.

Further to Council's requirement to provide a better measure of natural light to the extant windows of the adjacent neighbouring residence, set close to the common boundary, the previously approved development included a 1.0m wide, open-roofed portion to the approved gable-roofed garage. The amended proposal respects and responds to this concern, principally with a flat roofed structure in contrast to the former significant gable roof form, but also with a roof set back 450mm from the boundary, above minimal open posts to the boundary with a masonry screen wall set between these.

This arrangement is also in near conformity with Cl.5.1.3 C3.1 (ii), allowing a nil setback to such carport arrangements, however with a minor height increase (0.5m max) beyond the

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2.7m allowed under the clause, principally on account of the natural slope of the site. The previously cited boundary wall deemed to comply arrangement is nevertheless applicable.

Side wall to workshop; 5.2m L, however 21.8 m L (per Fig.4(c)) at 3.6m H with no major openings (NMO). 1.5m required, 1.5m provided (to visible upper portion), therefore compliant.

Upper level wall to studio; 6.8m L at 5.9m H with NMO. 1.2m required, 0.15m provided, therefore discretion required per Cl.5.1.3 P3.2, justified as follows.

The amended subject wall portion is a relatively minor building element, of minimal height under the continuous main roof form, to contain a storage area within the studio and therefore making best use of available space. It is materially differentiated from the ground level masonry wall with light-weight timber cladding. It is located to the very rear corner of the neighbouring site behind a boundary wall element to a garage/store to that dwelling and visually obscured by a mid-sized tree. It has minimal visual or environmental amenity as a result. An alternative deemed-to-comply inset wall would effectively increase the wall height / gutter-line, with arguably increased visual impact as a result.

A similar wall element forms part of the presently approved development.

Upper level side wall portion to studio en-suite; 1.8m L (per Fig.4) at 6.2m max.H with NMO. 1.2m required, 1.3m provided, therefore compliant.

Ground level sidewall to living room, 10.2m L at 4.0m max H with NMO, 1.5m required, 4.0m provided therefore compliant.

Upper level gable wall to living room: 6.0m L at 4.0m-6.0m max H, with NMO; 1.2m required, 4.0m provided therefore compliant.

Western end to upper level deck to north side of main bedroom; 1.8m L at 6.4m H (per C3.1(iii) providing nominal wall height of 2.4m above the deck level), with major openings (WMO). 3.0m required, 5.4m provided, therefore compliant.

Ground / upper level to link building and main bedroom; 14.0m L (per Fig 4.) at 6.4m H WMO. 4.0m required, 6.8m / 8.2m provided, therefore compliant.

Ground level wall to existing cottage and sitting room addition; 13.7m L at 4.2m max H, WMO. 3.0m required, 4.5m provided, therefore compliant.

Eastern Side

Ground level to cottage and link beyond laundry containing stair and pantry; 21.8m L (per Fig.4c) at 3.7m max H, with NMO (all set below fence line or otherwise obscure glazed / screened to stairwell). 1.5m required, 1.4m provided, therefore discretion required per Cl.5.1.3P3.1, justified as follows.

The 100mm relaxation to the additions portion (the cottage is existing / to be retained) is extremely minor, with the subject wall line to the additions following that to the existing, wholly retained heritage cottage, with the wall of such nominal length consequent to this retention. It is of low height, well-articulated formally and materially and physically broken up by the inset courtyard space to the laundry, to accommodate a mid-sized tree. The structure is also substantially screened via the boundary fence. The subject wall has no impact on light and ventilation further to the otherwise compliant upper level wall portions above and the existing cottage structure.

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Upper level bathroom; 8.7m L at 5.9m H with NMO (obscure glazing in conjunction with horizontal screening to sills). 1.2m required, 1.4m provided, therefore compliant.

Upper level studio; 5.5m L (8.7m L incl. bathroom per Fig.4) at 5.9m H with NMO. 1.2m provided, 3.7m provided, therefore compliant.

Ground level boundary wall to kitchen / dining; 9.0m L at 3.5-3.9m H (relative to boundary FGL of eastern neighbours) with NMO. 2/3 of boundary length beyond front setback allowed per Cl.5.1.3 C3.2(iii), (46.5m L); 9.0m = 19.4% provided, therefore compliant re length however 0.0 - 0.4m above 3.5m deemed-to-comply height, therefore discretion required per Cl.5.1.3P3.2, justified as follows.

The sliver of additional wall height to the boundary wall is very minor, with no appreciable additional visual or bulk impacts. The wall height is set having regard in part to the existing floor level to the retained heritage cottage and the natural ground level of the site. The wall aligns generally with the height of the adjacent ground level wall portion to the rear eastern neighbouring dwelling, has no impact on major openings to that wall (set beyond the subject boundary wall, and is of significantly shorter length than otherwise allowable as an alternative approach, with greater impacts on neighbours. Conversely, the subject boundary wall (through consolidation of the main additions to the central portion of the lot) facilitates a large open rear yard to the development, with substantial and direct amenity benefit to the rear eastern neighbour.

The wall is substantially the same as contained in the present approved development, while the effect is further mitigated by the significantly increased setback to the upper level wall above, as discussed below.

Upper level wall to WIR to main bedroom; 5.9m L at 7.4m max H to gable with NMO. 1.3m required, 1.4m provided therefore compliant. Note that this wall equivalent, as previously approved was located substantially on the boundary. The new proposal significantly improves this impact.

Northern Side (Rear)

Upper level to studio stair; 5.2m L at 5.2m max H, with NMO. 1.2m required, 0.15m provided, therefore discretion required per Cl.5.1.3P3.2, justified as follows.

The subject 'wall' is a privacy screen applied to the rear face of an external stair accessing the studio, set above the boundary fence. It is an extremely minor element contained under a skillion roof covering, provided to protect the amenity of the northern neighbour. It has been considered having regard to an existing light-weight gazebo structure and proposed future development to that site.

Upper level wall to studio (beyond stair); 5.8m L at 5.9m H with NMO. 1.2m required, 1.5m provided, therefore compliant.

All north facing elements to central living spaces clearly compliant.

Visual Privacy

The proposed development includes open deck areas at the upper level, appropriately contained towards the center of the site and therefore well separated from boundaries to limit

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overlooking impacts. Obscure glazing and / or appropriate screening has otherwise been applied to these and all upper level openings where required to meet the deemed-to-comply requirements of Cl.5.4.1C1.1 & C1.2, further to Fig.10 of the RD Codes, outlined as follows.

Deck to north side of main bedroom: This small deck portion provides a useable outside area for the bedroom, primarily overlooking the garden space to the rear. This is provided with perforated mesh screening at the eastern end set above the western sidewall to the dining room under (to its full length), to effect visual privacy in accordance with C1.1(ii). A similar end screen is provided to the western end of the deck, also to effect visual privacy in accordance with C1.1(ii). Cone of vision distances in relation to the deck are provided on the amended drawings.

Upper level en-suite bathroom windows: The east facing window is obscure glazed, while a horizontal screen is provided at the sill level to east and south facing windows to effect visual privacy in accordance with Cl.5.4.1 C1.1(ii).

Glazed stairwell: The glazed stairwell structure is wholly fitted with obscure glazing / perforated metal screening, in accordance with C1.2.

Upper level study window and walkway: The window is set back 8.1m from the western boundary, where 4.5 / 6.0m is required per C1.1(i).

Studio window (east facing); The window is located / sized to effect a 45 degree cone of vision distance to the northern boundary of 4.5m and is compliant.

Studio stair; The external stair access to the studio located adjacent to the rear northern boundary is fitted with visual screening in accordance with C1.2, further to the setback provisions of Cl.5.1.3P1.2.

Building / Wall Height

The proposed development is predominantly single-storey, with the height of additions generally aligned with that of the retained heritage cottage. Two-storey portions are primarily located to the central portion of the site, small in scale with simple flat or pitched roof forms reflecting the original cottage and of limited height as a result.

The building has maximum wall height of 6.0m to the main bedroom and a maximum building height of 7.9m (also to the main bedroom) relative to NGL, per Fig. Series 7, and is therefore compliant with Cl.5.1.6 C6 and Table 3, further to the specific requirements at Cl.2.2 for LPA 2 'Fremantle' per Schedule 7 of LPS4, with heights well under the maximums otherwise permitted and consistent with the single and two-storey scale of development to surrounding sites and the precinct generally.

Open Space / Outdoor Living Area

The proposed development has been specifically designed to provide large, amenable and usable open spaces, able to accommodate significant planting / landscaping, functional outdoor living areas, pedestrian / vehicular access relative to the retained heritage cottage and an appropriate traditional streetscape setting for that structure. The particular building form and arrangement creating these spaces will also serve to provide a level of environmental protection to them



The arrangement of open spaces has been further considered to enhance and protect the amenity of neighbouring dwellings, where this has been previously effected by the largely vacant subject site.

The amended development has a total building footprint of some 338m² over a site area of 762m², providing ground level open space of 424m², with a further 30m² of verandah and accessible roof deck space, providing a total open space of 454m² further to the RD Code definitions. This provides an open space ratio of 59.6%, far in excess of the 45% required per Cl.5.1.4 C4 - Open Space and Table 1 for R30 single dwelling development.

An enlarged and defined, pergola-covered outdoor living area of 28m² with a minimum dimension of 5.1m is attached directly to and accessible from the main living area, also located to the north side of the dwelling with good resulting amenity. This is in accordance with the requirements of Cl.5.3.1 C1.1 and Table B for a minimum area of 24m²

Application of the development standards of the higher R30 density coding is sought having particular regard to the amenity benefits for the subject and neighbouring lots stemming from this significant open space provision and dependent in part from well considered use of boundary walls as already discussed.

Overshadowing

The north-south orientation of the lot ensures that no overshadowing impact is created by the proposed development, relative to Cl.5.4.3 C2.1 – Solar access for adjoining sites.

Notwithstanding this Code compliance, the proposed development has been considered to limit both bulk and scale and oblique shadowing impacts on all neighbouring sites, with a predominant single-storey scale of development across the site and two-storey elements restricted in scale and contained primarily to the central site portion.

The particular building form / arrangement (including provision of open spaces able to accommodate significant planting) also provides a level of self-shadowing to the proposed development having regard to harsh afternoon western sun.

Carparking / Vehicular Access

Cl.5.3.3 C3.1 of the RD Codes requires 1 car bay to be provided for the proposed residence as a two + bedroom dwelling, where the site is within Location A (located less than 250m from a high frequency bus route on Marmion Street). The proposed residential development is therefore compliant having regard to the proposed carport and associated driveway behind the front setback line that can effectively accommodate up to 6 cars in a single file configuration.

Where the dwelling is intended as an owner – occupier family dwelling (including adult children), the provision of two enclosed parking bays is considered essential. This will be accommodated in a tandem carport arrangement necessarily located to the western side of the subject site in response to the form and location of the retained heritage cottage. This in turn requires the use of a boundary wall to the western side of the site for this facility, to otherwise limit adverse impacts on the building / site arrangement and provision of open space.

Additional parking can be accommodated within the driveway area, set beyond the street setback and also on Holland Street in front of the dwelling.

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Vehicular access is provided in accordance with Cl.5.3.5 C5.1-3. Specifically, the driveway is nominally 3.0m wide per C5.2, setback 0.5m from the west side boundary per C5.3 and 1.0m from the side of the heritage cottage. This also provides for practical crossover clearance to the mature eucalypt street tree (one of a pair to the street frontage), located some 3.5m from the side boundary and clearly desired to be retained.

Cl.5.3.5 C5.4 provides for two-way access to allow vehicles to enter the street in forward gear, where the distance from an on-site parking space to the street is 15m or more. The subject garage is necessarily setback sufficiently beyond the heritage cottage, to be retained, to effect access and amenity to the new dwelling additions (including pedestrian entry). This provides a driveway longer than 15m, however discretion is sought to allow this without a reversing / turning area for cars existing the garage, where this would otherwise substantially compromise the setting out of the new dwelling, including appropriate connection to the heritage cottage and provision of maximum usable open space. Retention of a mature jacaranda tree to the middle of the site beyond the heritage cottage also precludes practical insertion of a manoeuvring space in front of the garage.

Discretion is sought relative to Cl.5.3.5 P5.1 having regard to the above, where alternative provision of a turning area for vehicles exiting the garage would necessarily occupy almost the entire width of the site, precluding a meaningful connection between heritage and new building portions, retention of the jacaranda, pushing back the main additions and significantly compromising the rear backyard space as a result.

The garage facility will only be for the use of occupants of the dwelling and generally for longer term parking, where the forward driveway space will commonly accommodate on-site parking. Reversing down the driveway greater than 15m will be further restricted to occupants of the dwelling familiar with the particular requirements of this reversing manoeuvre. The driveway is also of considerable practical width, avoiding likely impacts with buildings or fence structures. In this context, relative to the criteria of Cl.5.3.5 P5.1, vehicle egress safety from the garage will be achieved for those using the facility, the access is clearly legible given the 4.5m max width, pedestrian safety is achieved through a dedicated pathway to the side of the house, and the avoidance of a turning space to the center of the lot will allow for both retention of the mature jacaranda tree and maximized rear open space for mature planting and high quality landscaping.

Pedestrian Access

Dedicated pedestrian access is provided to the dwelling via an entry gate and pathway down the side of the existing cottage, thereafter to the main entry to the new dwelling portion at the center of the lot, in accordance with Cl.5.3.6 P6. This allows for primary / visitor access to the dwelling without entering the heritage cottage where this is dedicated to private bedroom spaces in the proposed development. Note that the original front door entry addressing the street and passageway through the cottage to the main dwelling portion beyond is maintained for private use and traditional visual connection to the street.

The pathway surface will be differentiated from the driveway surface and further demarcated with a cantilevered open pergola set over and extending from the entry gateway. Visual privacy to the front bedrooms is achieved via higher-set windows set into the sidewalls of the cottage, 1.6m above the pathway and therefore above eye-height, in accordance with Cl.5.3.6 C6.3.

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Residential Streetscape Policy: LPP2.9

The proposed development is fully compliant with relevant requirements of Council's Residential Streetscape Policy LPP2.9, generally as follows.

Cl.1.2 (i); The proposed development, fully retaining the heritage cottage is setback consistently with buildings of comparable height / age in the prevailing streetscape. All new building portions are located far back beyond the extant cottage.

Cl.2.1; The tandem carport structure is set far back beyond the heritage cottage, with minimal impact on the prevailing streetscape.

Cl.2.4; The significant carport setback protects the visual integrity and predominance of the heritage cottage as seen directly and obliquely from the street. It also assists retention of a mature jacaranda tree immediately behind the cottage. Consequent to this, the tandem carport is necessarily located on the western lot boundary with a single-storey boundary wall, consistent with the development standards relating to R30 density coding available where a building of cultural heritage significance is retained and conserved.

C3.1; The dwelling retains its parallel traditional setting with the front boundary, including doors and windows to the heritage cottage addressing the street.

Cl.4.1; The building and wall heights are consistent with Category B requirements of the RD Codes. Additionally, the building is significantly lower than the maximum allowable heights, is predominantly single-storey and consistent with single and two-storey adjacent dwellings and development in the immediate area.

C5.1(i) & (ii); Second storey additions are set completely beyond the heritage cottage and graded in scale to minimise visibility and impacts on the predominant single-storey heritage streetscape. The impression of a single-storey house is strongly maintained as a result, while oblique views of the upper level additions are both subservient and architecturally compatible.

Cl.6.1-3; Vehicular access is provided via a 3.0m nominal driveway, set 0.5m from the side boundary and with an additional 1.0m dedicated pedestrian walkway to the eastern side adjacent to the heritage cottage. The existing crossover will serve the development, also allowing retention of the significant eucalypt street tree immediately adjacent.

Heritage Areas Policy: LPP3.6

The subject site and dwelling is located within Heritage Area 10 – Holland and Forrest Streets, and therefore subject to the provisions of the Council's LPP 3.8 - Heritage Areas Policy. This is consistent with the requirements of LPP2.9 – Residential Streetscape Policy, discussed above. The policy is detailed and comprehensive in its requirements, also providing guidance in all areas of statutory assessment and determination.

Where the existing 1903 cottage has been identified by Council in its previous refusal for demolition of the place as having some heritage significance (both in its own right and as part of a streetscape collective), the place is defined as 'Contributory' under the Policy.

The proposed development has been designed to be wholly consistent with the intent and specific requirements of LPP3.6, discussed as follows.

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3. Development Assessment

The proposed development maintains and enhances the heritage significance of the area as follows;

- It fully retains and conserves the heritage fabric of the cottage, allowing it to remain predominant on the lot and streetfront while fully integrating it into a new, contemporary family dwelling as a continuing, traditionally appropriate use.
- It retains and embraces a traditional pattern of development as a single dwelling. Additionally, the 'compartmentalised' form of the proposed additions reflects the form of subdivided single house development to surrounding sites and the heritage area generally.
- It fully reflects the prevailing building character creating the traditional streetscape, through use of consistent roof forms, verandahs, porches and awnings, vertically orientated openings, chimney, materials, colours and detailing, across both existing and new dwelling portions. The collective use of smaller-scaled building elements assists integration of old and new portions, where the scale of the heritage cottages is generally small.

3.1. Conservation

Full conservation of the cottage structure is embraced by the proposed development. This includes both restoration works and minor adaptive works, including insertion of a bathroom to the 1950s kitchen space and additional window openings to otherwise dark front bedrooms.

Policy Design Guidance at 3.1.2 is addressed as follows;

- (i) All aspects of cultural and natural significance have been embraced, with full retention of the heritage cottage and surrounding vegetation, and a clear setting maintained with additions located to the rear of the site.
- (ii) As much original structural timber fabric will be retained as possible, with additional / supporting fabric designed to integrate seamlessly with this. Traditional materials will be used for all reconstruction to exteriors, interiors and verandah, with timber framed windows applied throughout.
- (iii) As above. Original detailing to the verandah, internal detailing and window and door openings is known and will be reconstructed as required in conjunction with preservation of original fabric wherever possible.
- (iv) As above; physical and documentary evidence provides sufficient guidance for appropriate restoration.
- (v) As above; reconstruction will be wholly evidence based and as necessary to enhance the cultural heritage significance of the 1902 cottage, which has been extensively 'modernised' and allowed to physically deteriorate over decades.
- (vi) New works are confined to some additional fitout to the interior of the cottage, primarily the 1950s kitchen space but also within the bedrooms, to link these small spaces. New minor side window openings are provided to both front bedrooms where these are very dark, with main windows south facing and set under the verandah awning. These various works are readily identifiable as contemporary, however are compatible with the existing form and fabric, with the original building form and spaces clearly legible. Alternative insertion of matching double hung windows to the sidewalls of the front bedrooms has been avoided where this would obscure an understanding of the original detailing to the cottage.
- (xii) The significant jacaranda tree immediately behind the cottage to be retained (also affecting setting out of the new dwelling portion, (including tandem carport / one-way driveway).

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3.4 Demolition

The heritage cottage is to be retained / reinstated in its entirety, however requiring demolition of wholly deteriorated and non-original elements, particularly the bastardised front verandah and horizontally orientated 1950s replacement windows.

Further to 3.4.2 Design Guidance (iii), the existing deteriorated asbestos and ply sheet cladding to the cottage will be replaced with appropriately profiled weatherboards reflecting the likely original timber weatherboard cladding to the 1903 cottage. Lower weatherboards will be replaced with timber boards to match.

3.5 Additions and Alterations

Alterations to the heritage cottage portion are minimal, as discussed in relation to 'Conservation' above. Extensive new building to create a large family dwelling is contained to the rear of the site beyond the cottage portion and connected via a linkpiece, with only a new sitting room added directly to the cottage itself, within the void space beyond the western rear bedroom. (partially occupied by a former bathroom facility, similarly under a skillion roofed structure). This reflects the scale of the front gable-roofed portion while maintaining a clear reading of the original cottage form.

Relevant specific Design Guidance at 3.5.2 is addressed as follows;

General

Per (i), the proposed additions are composed of smaller elements reflecting the scale, form and materiality of surrounding heritage and more recent premises. The composite form of the overall dwelling additions will reflect the scale of surrounding sub-divided sites containing single dwellings.

Per (iii), the proposed development involves full retention, conservation, rear additions and internal adaptations, in line with the preferred form of development within heritage areas. This retains intact the heritage streetscape while allowing change to meet modern living standards and expectations.

Per (iv), restoration of the cottage to its substantially original form and removing later modernisations / fabric is proposed. This restoration / reconstruction is soundly based on physical and historical documentary evidence.

Siting and Scale

Per (i), the only forward element is the reconstructed original verandah element to the cottage, wholly consistent with historical documentary and physical evidence and the prevailing streetscape / setback.

Per (ii) and (iii), the only element of new construction integrated into the form of the cottage is the proposed sitting room, tucked into the void space behind the rear western bedroom and existing kitchen addition. This has a simple skillion roofed form contained behind a parapet, that allows a clear reading of the original cottage form.

Per (iv), no additions are applied to the sides of the heritage cottage, allowing its full visual appreciation from obliquely from the street. Note that this in turn prescribes the setout of the

garage beyond the cottage and link-piece, also necessitating a western boundary wall element.

Per (v), The two-storey portion of the additions is fully compliant with this design guideline as follows;

- They are located well beyond the heritage cottage.
- They are small scaled, simple flat and gable roofed elements set parallel or perpendicular to the street and minimizing visual impacts as a result.
- They are physically separate and have no impact the original building roofline, which is retained in its entirety,
- Further to all the above, they are not visible from the street, in accordance with the relevant attached Policy diagram/s as seen from the opposite side of the street, other than a minor triangulated top portion to the gable roof over the en-suite bathroom. This is set far back from the street with visibility substantially obscured on account of mature eucalypt street trees and jacaranda tree on site. Support for this 'technical' variation is sought in this regard, as allowed for by the policy guideline.
- The two-storey additions are connected via a link-piece inset from the cottage and of differentiated materiality

Form

The proposed development has a design form carefully considered to fit the architectural character of the immediate precinct and heritage area, addressing the Design Guideline criteria as follows;

Per (i) & (ii), the additions adopt the simple rectilinear forms of the heritage dwellings in a composite manner, however clearly understood as contemporary architecture. This reflects the general character of development to neighbouring sites and as otherwise found in the locality.

Per (iii), the proposed additions are composite in form and arrangement, avoiding excessive bulk and scale while still providing for a significant family dwelling. The composite building elements have simple and traditional roof forms / pitches, materiality and proportions, vertical orientation of openings / framing and insertion of traditional elements such as verandahs, awnings and chimneys. The scale and appearance of the new dwelling reflects that of surrounding single and two-storey premises, with significant open spaces to permit landscaping and significant tree planting as found throughout the precinct.

Per (iv), the development incorporates symmetries reflective of the heritage cottage.

Per (v), as for all the above points, the proposed additions interpret and respond to the scale, form and articulation of surrounding dwellings, as appropriate. The new dwelling is highly innovative and sympathetic in its architectural response to site.

Per (vi), the proposed development is certainly not 'mock-historic' in its visual effect, however strongly sympathetic in form and functionally well integrated with the existing cottage.

Other Elements

Roofs

Further to adopting traditional roof forms and pitch, the height arrangement of the additions has been correlated with that to the heritage cottage, as evidenced in the drawings. In

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particular the parapet line of the single-storey additions is set level with the underside of the cottage eaves, with plate and wall heights also correlated between existing and new building portions. This is reflected in the substantial RD Code deemed compliance of the development.

A flat roof element is contained to the link-piece between existing and main new building portions, assisting the differentiation of parts and minimizing visual impacts on the streetscape.

Pitched roofs are of consistent pitch, also reflecting the traditional roof forms and pitches found in the immediate locality.

Verandahs / Porches / Awnings

The original bullnose verandah form and detailing will be restored to the heritage cottage, fully in accordance with physical and documentary evidence.

Awnings and verandah elements have been applied across the new building portion, reflecting the character of the area and also assisting the environmental performance of the dwelling. These semi-open spaces provide outdoor living areas, well connected with adjacent internal rooms and functions.

Doors and Windows

Original profile, vertically emphasized timber framed windows will be restored to the front bedrooms under the verandah awning, replacing the 1950s horizontal twinned windows presently fitted. For functionality and security, these are proposed to be casements, however adopting proportions and patterns visually reflective of double hung sash windows as would likely have originally existed. Note that these window elements are necessarily speculative where no front elevation / photograph of the dwelling in its original form exists.

Smaller, vertically orientated windows are applied to the sidewalls of the front bedrooms, greatly assisting access to natural light and ventilation. They are clear contemporary insertions, well-proportioned and arranged in relation to the form and profile of the cottage, adding architectural interest and referencing the adaptation of the building over 120 years.

Chimneys

A pair of chimneys can be identified in a blurred historical photograph (c.1922) in relation to the front rooms of the heritage cottage. Consideration was given to the reconstruction of these elements, where they have obviously been removed as part of previous 'modernisation' of the dwelling and where these elements will greatly assist the identification of the era of development of the original cottage.

It is acknowledged that the chimneys could provide significant architectural articulation to the streetfront presence of the cottage, in conjunction with the reconstruction of its original hip-roofed bullnose verandah. However, the cost and functional impacts of reinserting these speculative reconstructed elements have led to their being excised from the amended application.

Similarly the existing chimney and associated fireplace brace to the former kitchen is now proposed to be removed to better facilitate the insertion of a contemporary bathroom facility to the cottage. Note that this fireplace is predominantly of 1950s vintage and not an original cottage structure.

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Materials, Colours and Detailing

Comprehensive conservation of extant original fabric will be undertaken wherever possible in works to the heritage cottage portion, as discussed throughout these notes. Reconstruction of original detailing will be applied throughout, where this can be generally identified from remnant building elements and historic documentary evidence.

Intrusive detailing, fitout and opening elements, generally related to the 1950s 'modernisations' will be removed and replaced, along with all physically deteriorated elements unable to be reused, to be replaced appropriately.

An appropriate colour scheme will be developed for the cottage and new additions adopting traditional tonal relationships to accentuate their form and detailing.

Face brickwork will be applied to masonry walls throughout, reflecting that visible to the heritage cottage and also responding to the predominant red face brickwork to surrounding dwellings. Vertical timber board cladding will be applied to the link-piece and upper level building portions to the main bedroom and rear studio, loosely referencing though clearly differentiated from the timber weatherboard cladding to the cottage, while corrugated metal roof sheeting will be used for all visible pitched roofs.

3.7 Garages and Carports

The heritage dwelling originally had a rear stable structure to the north-west rear corner of the site, later replaced with the present open shed / garage structure and accessed via an open 'driveway' space past the cottage, to be demolished. The proposed development incorporates a new tandem carport to the west side of the lot, set well back from the original cottage portion and beyond the link-piece to the new main living area portion of the dwelling. This allows for a clear reading of the cottage, no disruption to the streetscape and a landscaped courtyard entry to the new dwelling, also accessed via a dedicated pathway to the side of the cottage.

The location of the main living area spread across the central portion of the lot, in conjunction with the west side driveway access, necessitates locating the garage as far to the west of the site as possible and incorporating a low-set boundary wall to that structure. This in turn allows for a maximized rear garden space enhancing the amenity of the subject site and all surrounding premises. The location also facilitates the retention of a mature jacaranda tree beyond the cottage (in turn practically precluding a turning space for vehicles, addressed under the car-parking heading re RD Code compliance).

The proposed carport fully embraces the Intent and Design Guidance provisions of the Policy, where it is single in frontage, setback well beyond the historic cottage and below the level of the street frontage. The structure is single-storey with a simple flat roof and is visually unobtrusive from the street, per Cl.3.7.2(i).

The driveway access is existing and further designed to retain both the mature eucalypt street tree immediately adjacent to the crossover and the jacaranda tree behind the cottage in proximity to the garage. The existing space between the cottage and the western boundary allows for a dedicated pedestrian pathway, 3.0m width vehicular driveway and 0.5m space to the fence allowing for further landscaping, per Cl.3.7.2(vi).

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3.8. Ancillary Structures

Ancillary structures including water tanks, meter boxes and solar panels can all be contained discretely on site given its size and composite building arrangement. In particular, solar panels will not be visible from the street where the forward facing elements of the cottage roof are all south facing, and where new roofs are set far back from the street behind the cottage, in accordance with Cl.3.8.2(i) & (iii).

Considerable north facing roof surfaces have been intentionally created to facilitate the effective application of environmentally sustainable fixtures and fittings.

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3.9. Street Fencing

A traditional timber post and wire fence structure is contained as part of the proposed development, per Cl.3.9.2(i). This is shown indicatively in the drawings and arranged proportionally with regard to the cottage façade and associated spaces to west and east sides. The fencing arrangement encloses the front garden area to the cottage, to be used in conjunction with the reconstructed verandah. It also incorporates a dedicated pedestrian gateway with a traditional lych gate, thereafter covered with a cantilevered timber pergola awning to the west side of the cottage and leading visitors to the main entry to the new dwelling to the central portion of the site. The extant front door to the cottage is retained for use by occupants of the dwelling in relation to the dedicated bedroom wing located in this restored building portion.

Twinned gates to the driveway, reflecting the structure of the fence are provided, completing the front fence arrangement. The structure has a nominal height of 1.2m, in accordance with Cl.3.9.2(ii)(b), stepped to accommodate the noticeable topographic fall across the front of the site.

Conclusion

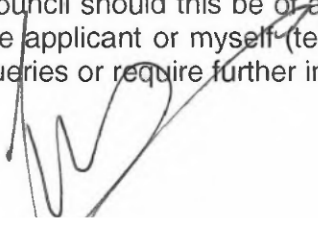
The proposed amended development application has been carefully considered against all relevant statutory requirements and the intent of Council's policies, and remains closely related to the setout and form of the existing heritage cottage on a large unsub-divided lot. The overall development will provide a highly livable and attractive family residence of reasonable scale, taking particular advantage of the lot's long north-south orientation, substantial potential open space and northern light exposure.

The proposed form of development has been adopted further to the decision of Council to refuse demolition of the derelict and considerably adapted former cottage, with a deliberate approach to wholly conserve this structure despite the extent of work involved in this approach. The design seeks to fully incorporate the cottage into the overall dwelling, avoiding token retention of streetscape elements and providing a strong physical relationship between old and new portions of the dwelling. At the same time, the cottage remains wholly readable as an historic structure, with minor adaptive elements to indicate its evolution as a dwelling over 120 years.

Strong consideration has been given to the impact of the dwelling on the streetscape and neighbouring premises, with maximization of open spaces to facilitate significant planting and compartmentalization of the overall dwelling to reduce bulk and scale impacts and achieve compatibility in form and scale with surrounding heritage and infill dwellings. The proposed design changes contained in the amended application will further reduce any inevitable

impacts of a significant development on this site, previously containing only a diminutive cottage, as already recognized in the presently approved development.

Council support for the amended development proposal is sought in this compatible and respectful context. We are happy to discuss any aspect of the proposed development with Council should this be of assistance in its consideration and determination. Please contact the applicant or myself (tel _____) should you have any queries or require further information.



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+	XX all	= Height Of Sill Above Floor Level
+	XX c	= Height Of Ceiling Above Floor Level
+	XX h	= Height Of Window or Door Above Floor Level
B/G	= Bottom of Gable	
B/T	= Bottom of Timber	
F/P	= Fire Pit	
○	POWER DOME	
○	POWER POLE	
□	PHONE PIT	
○	WATER CONN.	
○	TOP PILLAR/POST	
○	TOP WALL	
○	TOP RETAINING	
○	TOP FENCE	

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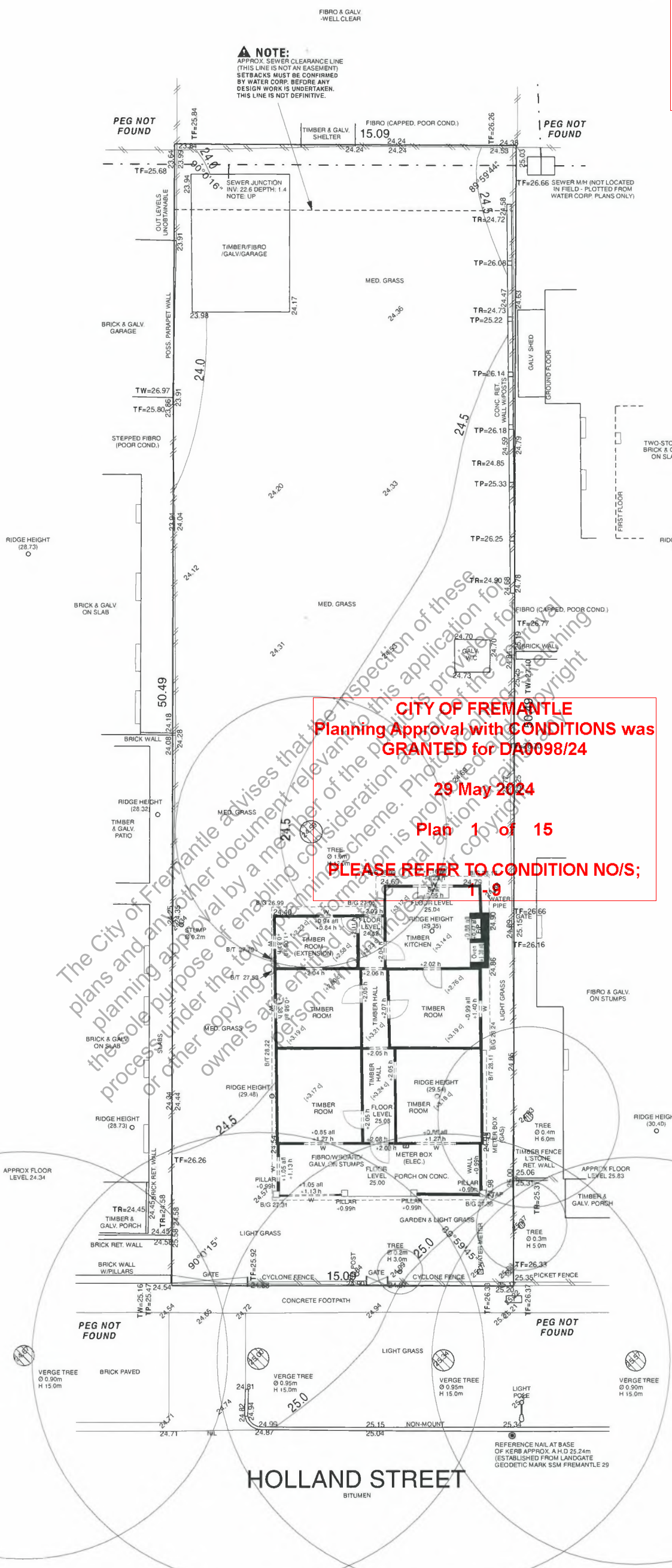
DISCLAIMER:
 Accuracy of internal
 linework is +/- 25mm
 due to survey methodology.
 26 Mar 2024

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LOT MISCLOSE
0.002 m

- DISCLAIMER:**
 Lot boundaries drawn on survey are based on landgate plan only. Survey does not include title search and as such may not show easements or other interests not shown on plan. Title should be checked to verify all lot details and for any easements or other interests which may affect building on the property.
- DISCLAIMER:**
 Survey does not include verification of cadastral boundaries. All features and levels shown are based on orientation to existing pegs and fences only which may not be on correct cadastral alignment. Any designs based or dependent on the location of existing features should have those features' location verified in relation to the true boundary.
- DISCLAIMER:**
 Survey shows visible features only and will not show locations of underground pipes or conduits for internal or mains services. Verification of the location of all internal and mains services should be confirmed prior to finalisation of any design work.
- DISCLAIMER:**
 Cottage & Engineering surveys accept no responsibility for any physical on site changes to the parcel or portion of the parcel of land shown on this survey including any adjoining neighbours levels and features that have occurred after the date on this survey. All Sewer details plotted from information supplied by Water Corporation.



	87-89 Guthrie Street Osborne Park, WA 6017	JOB # 548137	GPS Lat: -32.049268 Long: 115.768862	ROADS Bitumen	ELEC. U/Ground
	PO Box 1611 Osborne Park Business Centre WA 6917	CLIENT Hopper, Belinda Judith & Michael John	LOT Lot 1139 (DP 222435)	KERBS Non-Mount	COMMS. Yes
	P: (08) 9446 7361 E: perth@cottage.com.au W: www.cottage.com.au	ADDRESS #120 Holland Street	AREA 759m ² VOL. 1207 FOL. 110	FOOTPATH Concrete	WATER Yes
	LGA CITY OF FREMANTLE	SUBURB Fremantle	DATE 08 Jun 23 SSA No	SOIL Sand	GAS Check Alinta
DRAWN C. Weightman			DRAINAGE Good	SEWER Yes	
			VEGETATION Refer to Survey	COASTAL No	(Approximate Only Confirm VRS Shire)

DA0098/24

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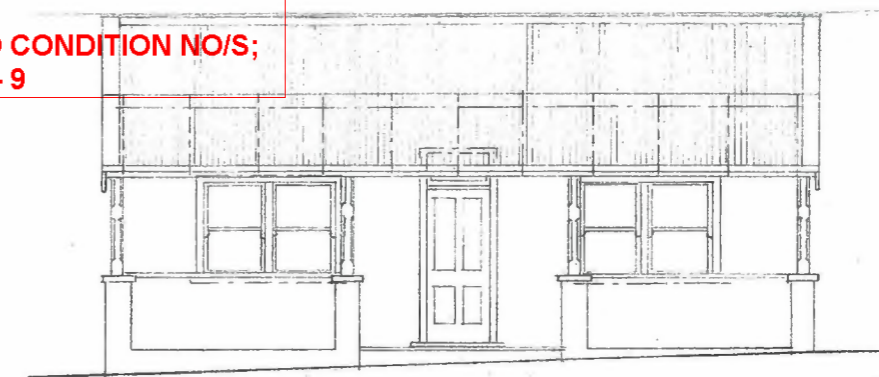
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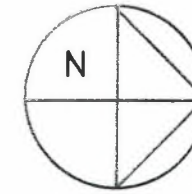
Hopper Dwelling

No.120 Holland Street, Fremantle

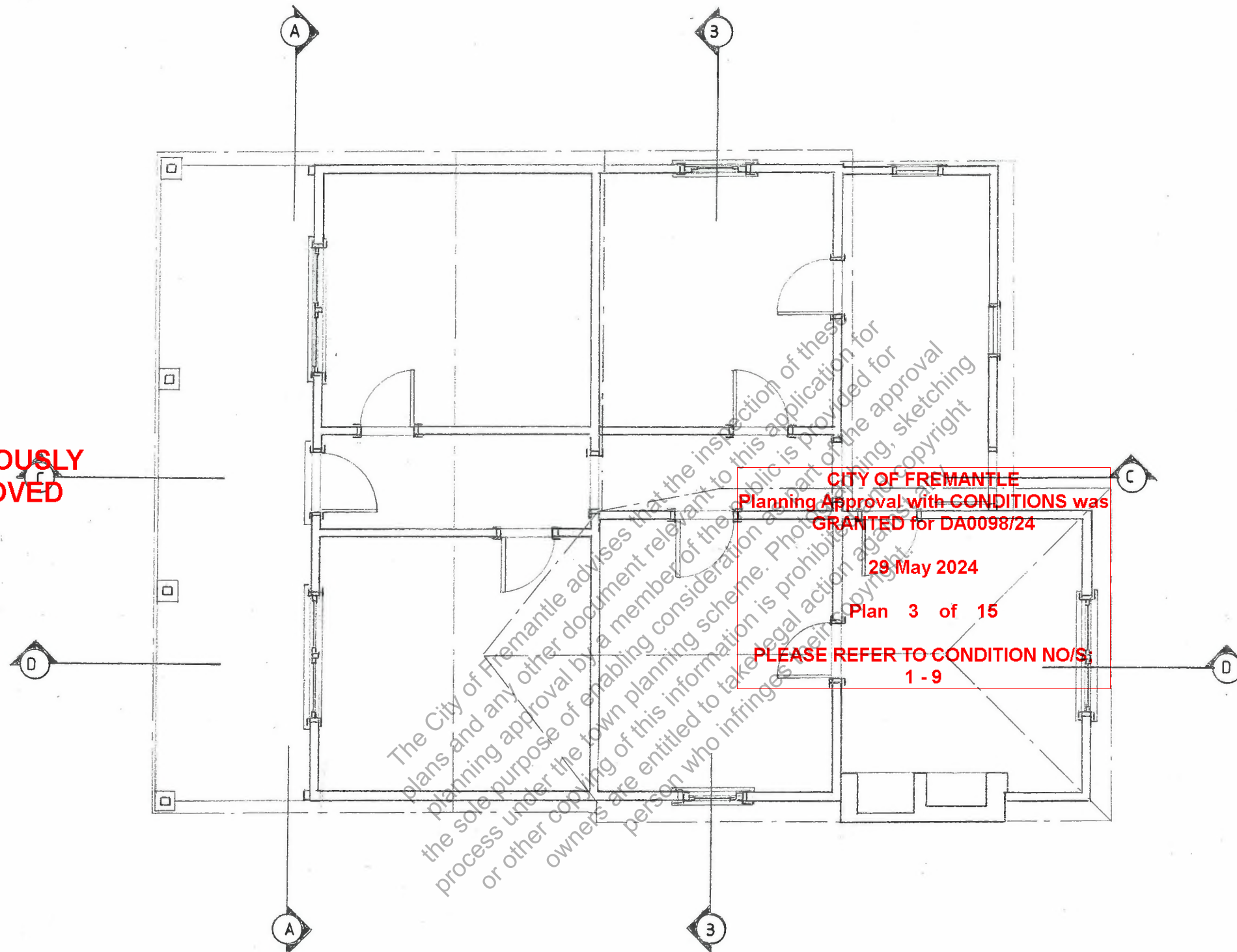
'As Existing'

February, 2024

John W Kirkness B.A., B.Arch.



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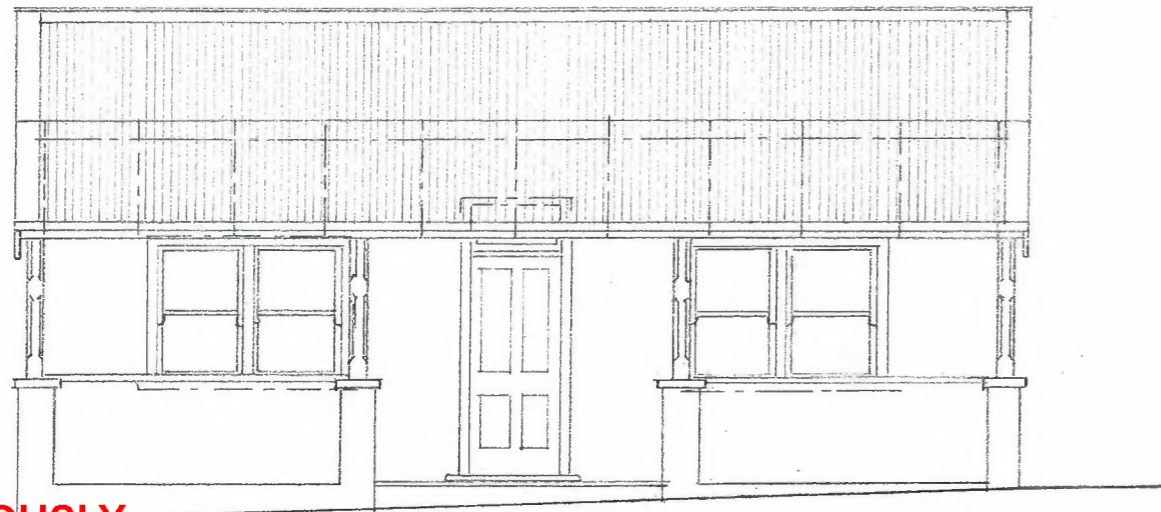
Floor Plan

Hopper Dwelling

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SCALE 1:50 aA2	DRAWING TITLE As Existing Plans	DRAWING NO AE1.
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Front (South) Elevation



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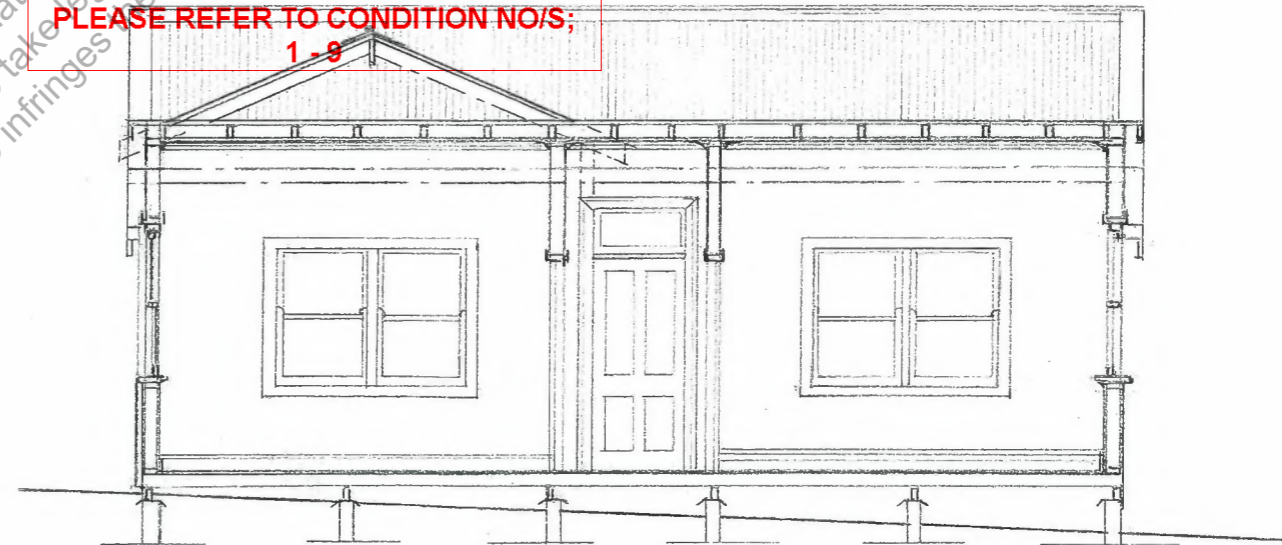
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Section AA

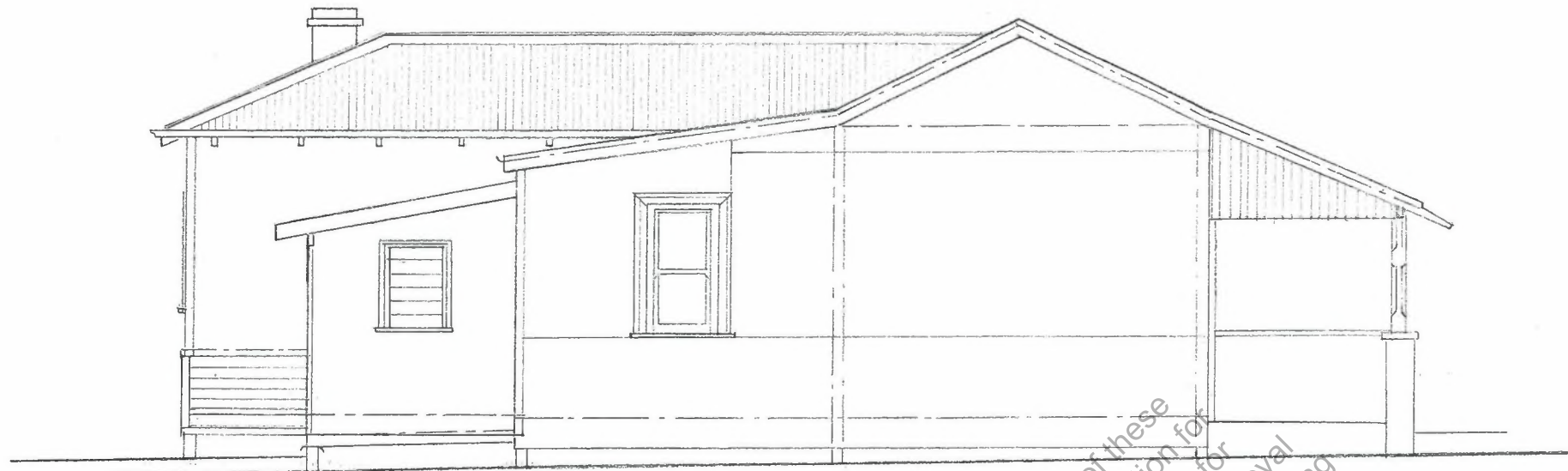


Section BB

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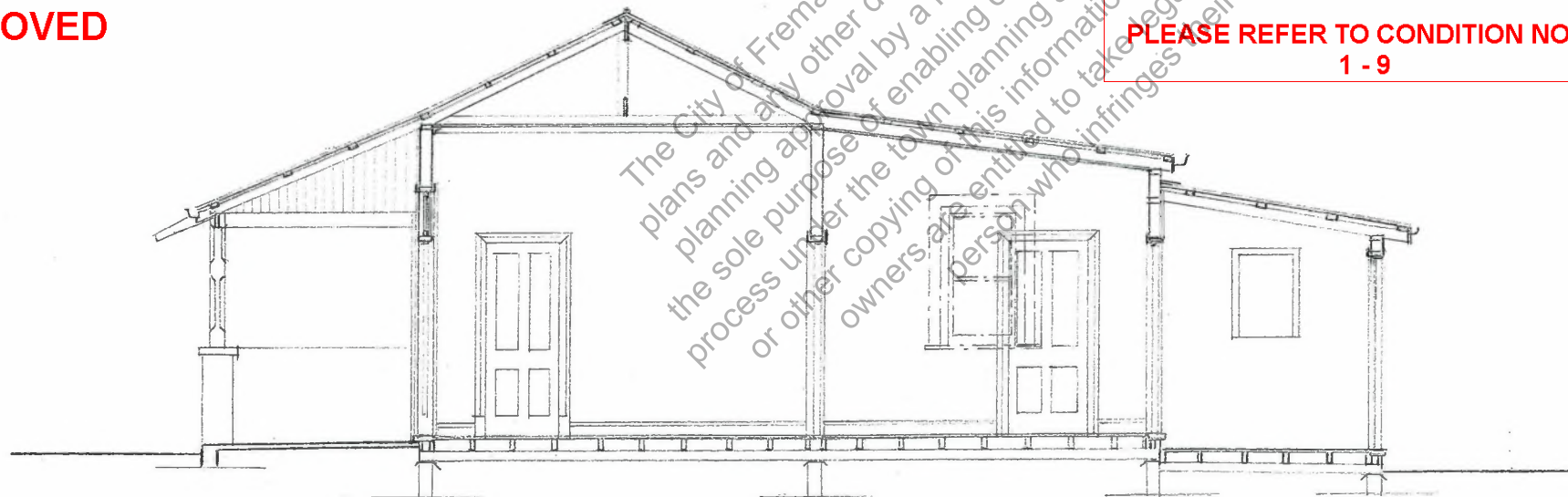
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Side (West) Elevation

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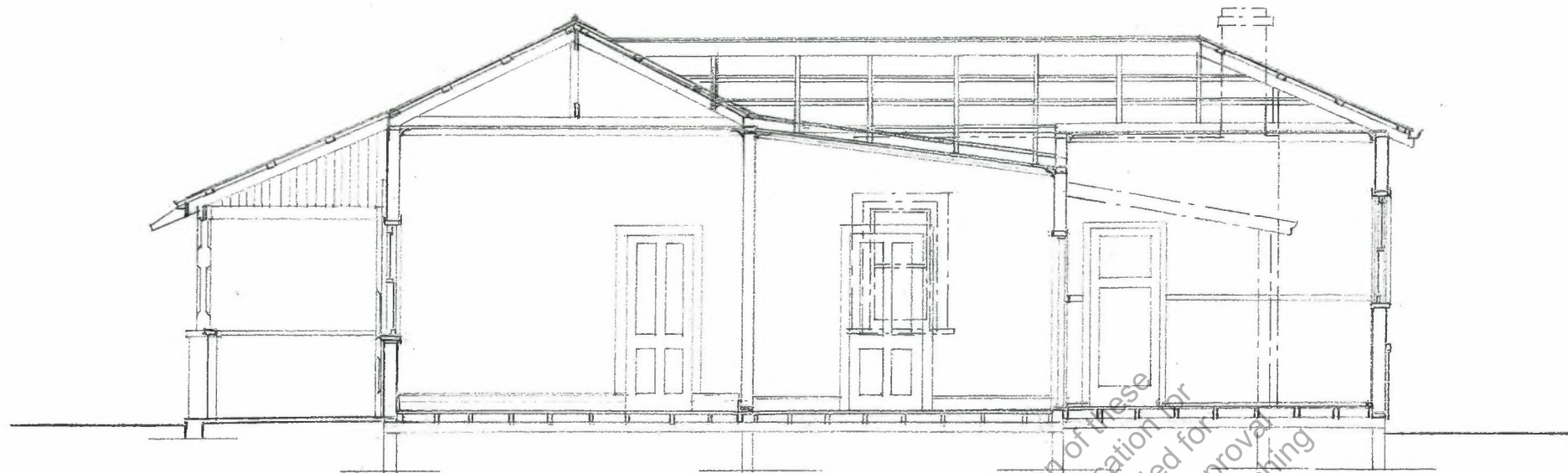
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Hopper Dwelling

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Section DD

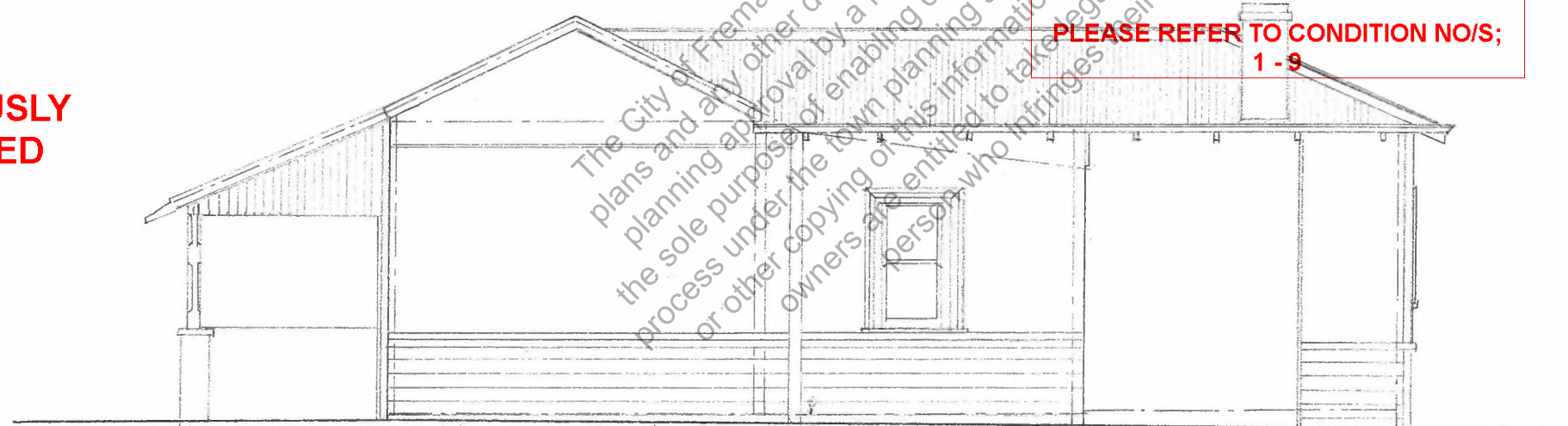
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Side (East) Elevation

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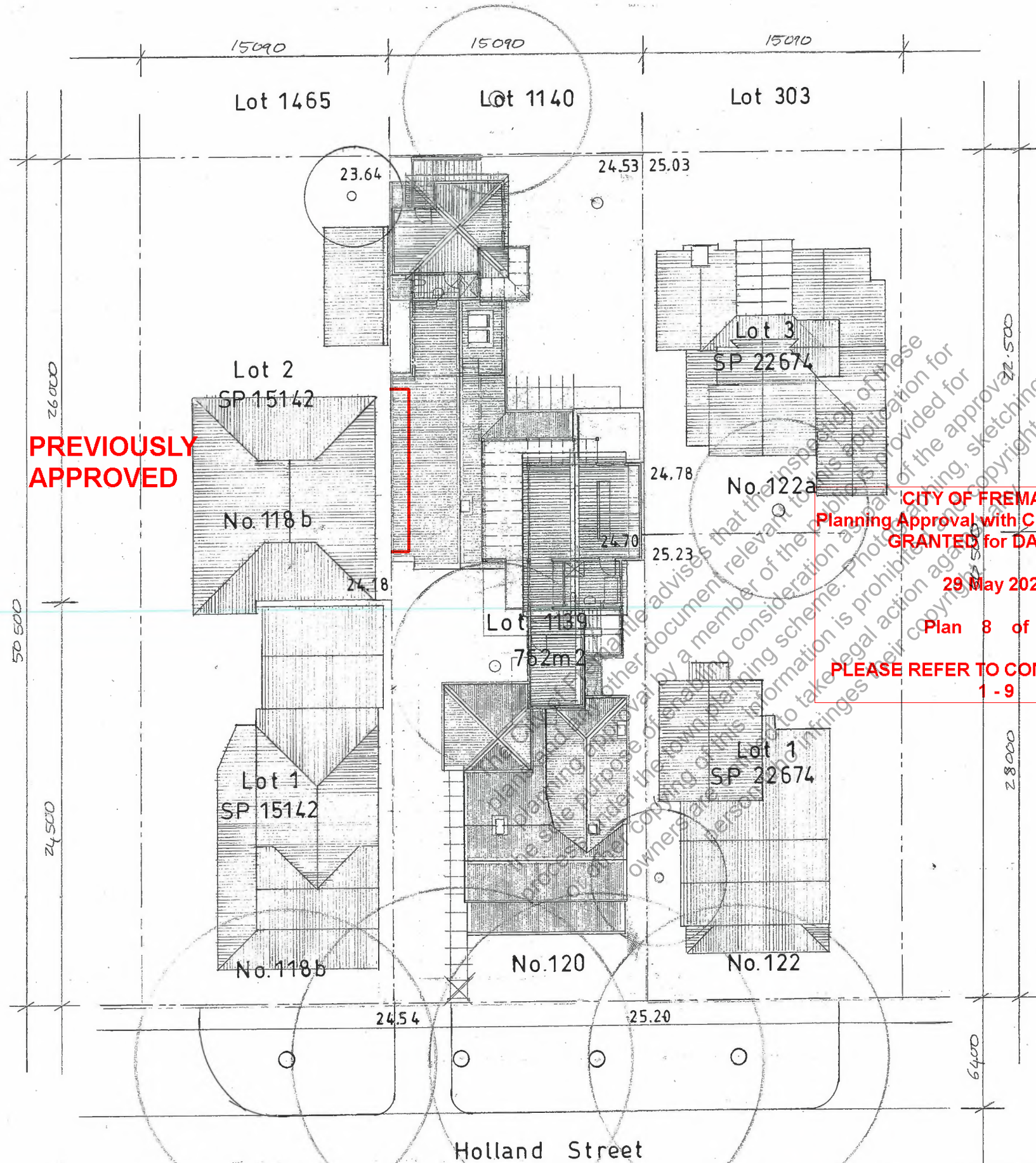
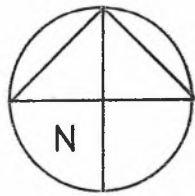
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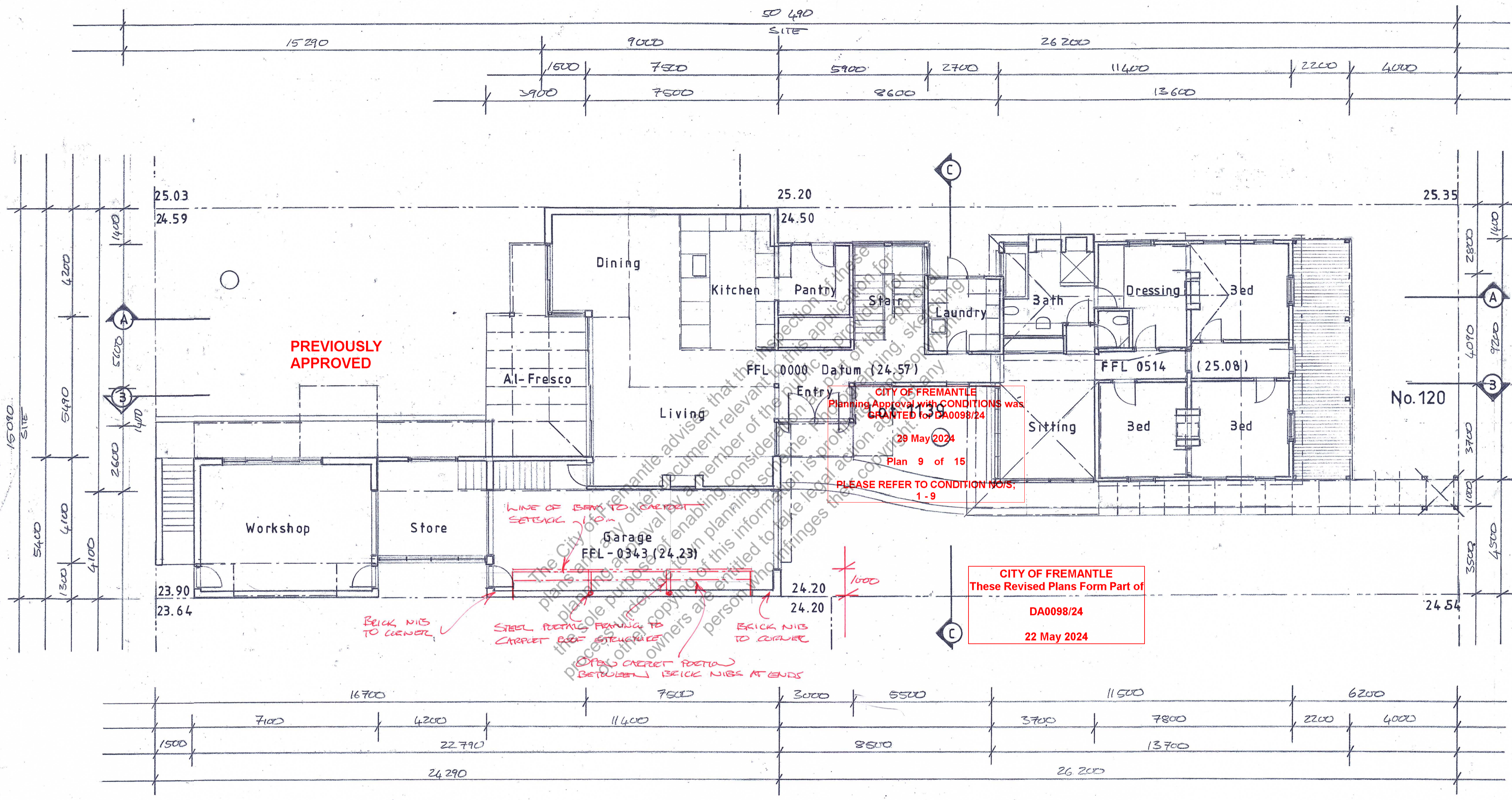
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Site / Location Plan

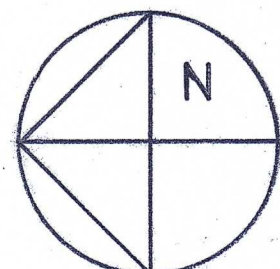
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Ground Level Plan



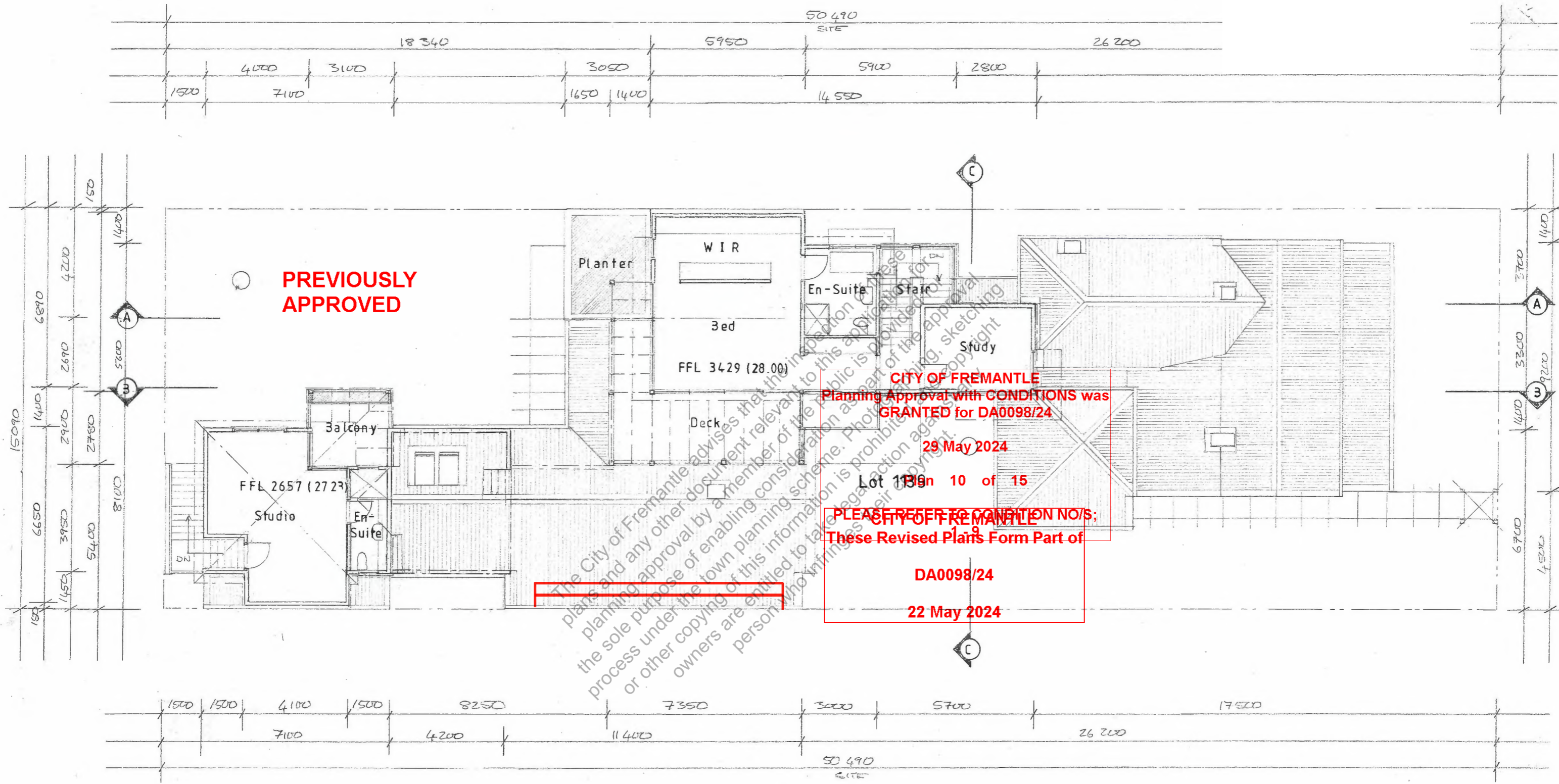
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Hopper Dwelling

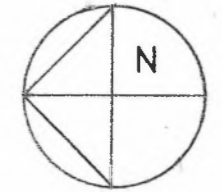
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Upper Level Plan



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Hopper Dwelling

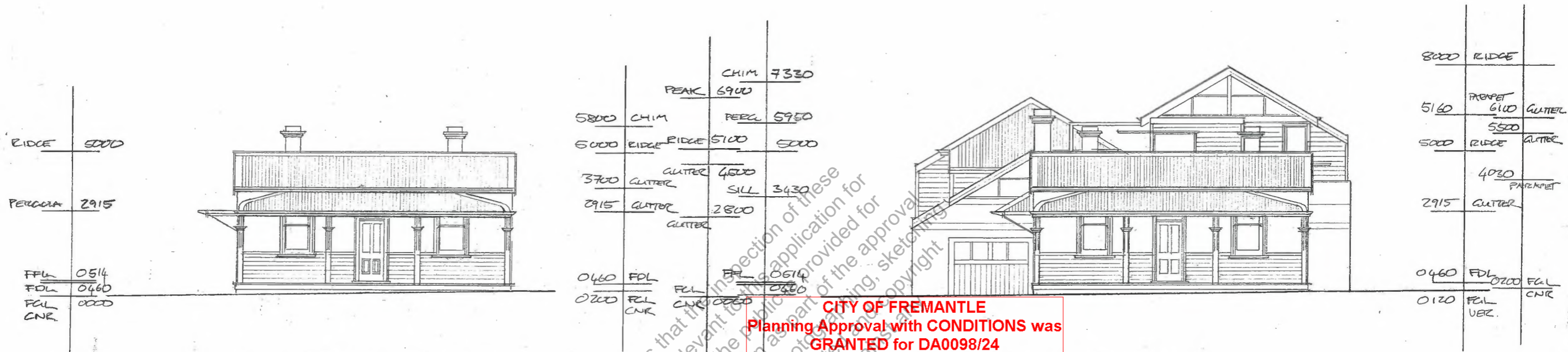
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South (Front) Elevation
 Cottage Portion

South (Front) Elevation

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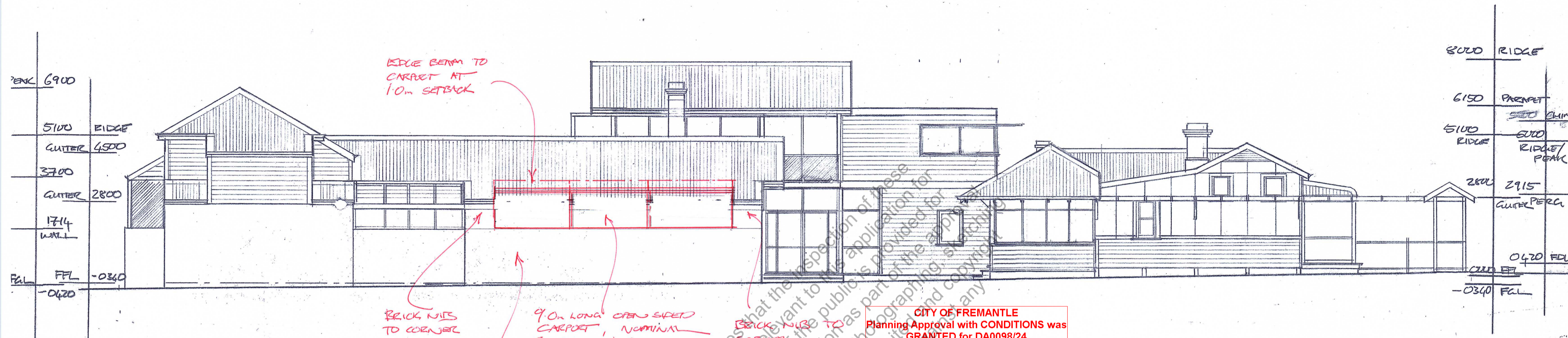
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South Streetfront Elevation
 Holland Street

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West (Side) Elevation

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BOUNDARY FENCE CONT. WITH REST OF BUILDING

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	CHIM	7330
PEAK	6900	
	PEAK	5950
GUTTER	5100	
RIDGE		
GUTTER	4500	
	SILL	3430
GUTTER	2800	
	PLATE	3172
	2600	
	CARAGE	2040
	FFL	0000
FGL	-0340	

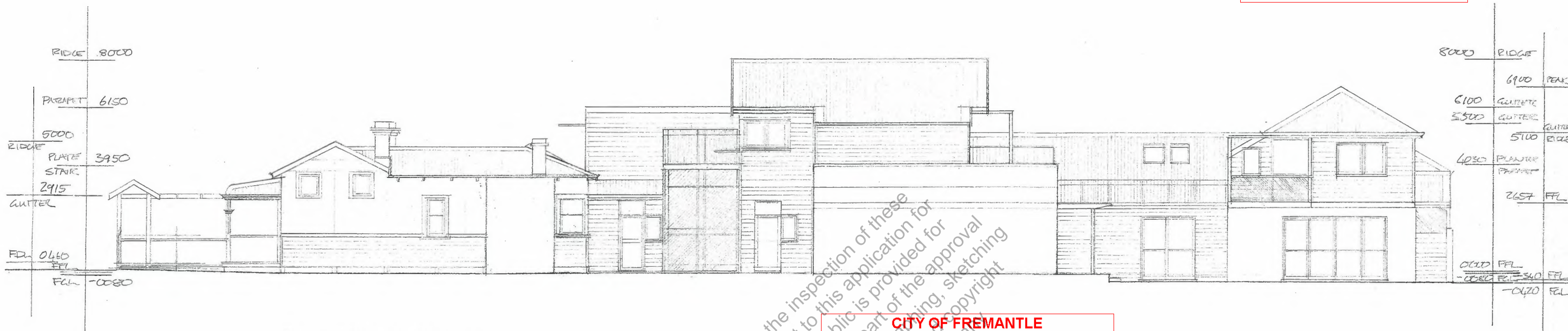


South Elevation / Section CC

		8000	RIDGE
		6150	PARAPET
		6100	GUTTER
		5300	GUTTER
			STRUC APEX
		4030	PARAPET
BALC.	3430	FFL	
3172	CELL		
		2915	GUTTER
		0000	FFL
		-0340	FGL

SCALE 1:100	DRAWING TITLE Elevations & Sections AS AMENDED MAY 2024	DRAWING NO A5.
DATE FEB 24		

All drawings shall be verified before commencing fabrication / works.
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East (Side) Elevation

CITY OF FREMANTLE
Planning Approval with CONDITIONS was
GRANTED for DA0098/24
29 May 2024
Plan 13 of 15
PLEASE REFER TO CONDITION NO/S;
1 - 9

PREVIOUSLY
APPROVED



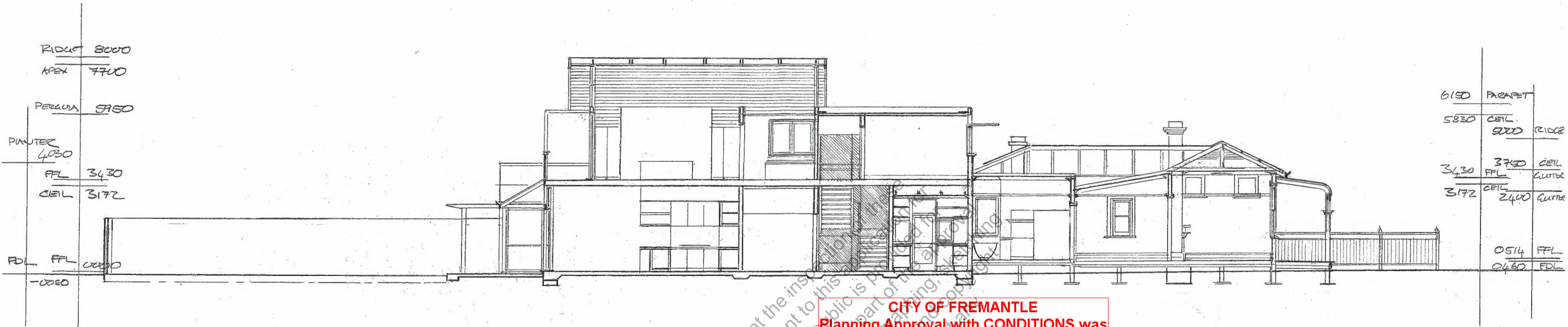
North (Rear) Elevation

Hopper Dwelling
Conservation, Adaptation & Additions
No.120 Holland Street, Fremantle

SCALE 1:100	DRAWING TITLE Elevations	DRAWING NO A6.
DATE FEB 24		

DA0098/24

26 Mar 2024



Section AA

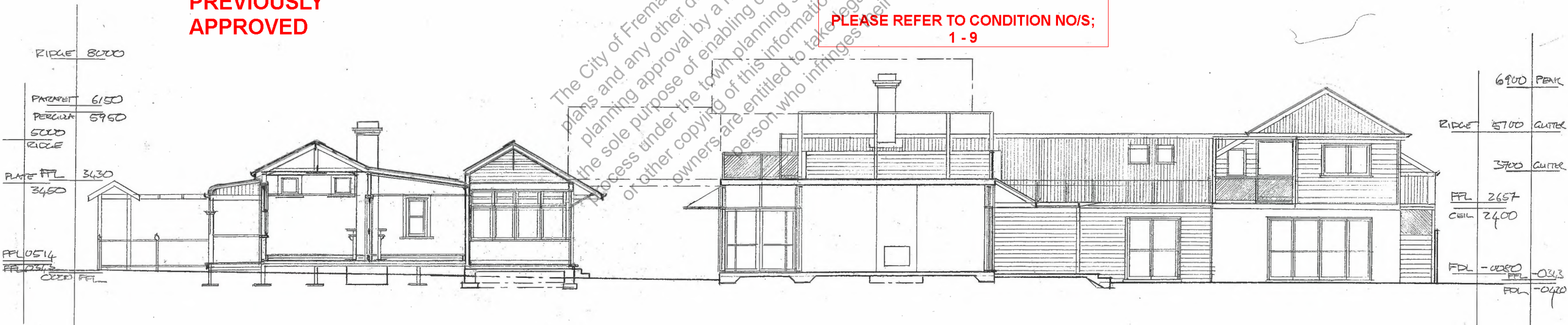
CITY OF FREMANTLE
Planning Approval with CONDITIONS was
GRANTED for DA0098/24

29 May 2024

Plan 14 of 15

PLEASE REFER TO CONDITION NO/S;
1 - 9

PREVIOUSLY
APPROVED



Section BB

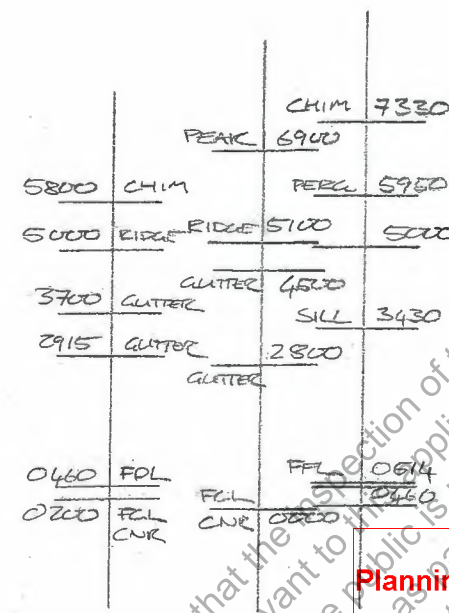
Hopper Dwelling
Conservation, Adaptation & Additions
 No.120 Holland Street, Fremantle

SCALE: 1:100	DRAWING TITLE Sections	DRAWING NO A7.
DATE FEB 24		



South (Front) Elevation
Cottage Portion

**PREVIOUSLY
APPROVED**



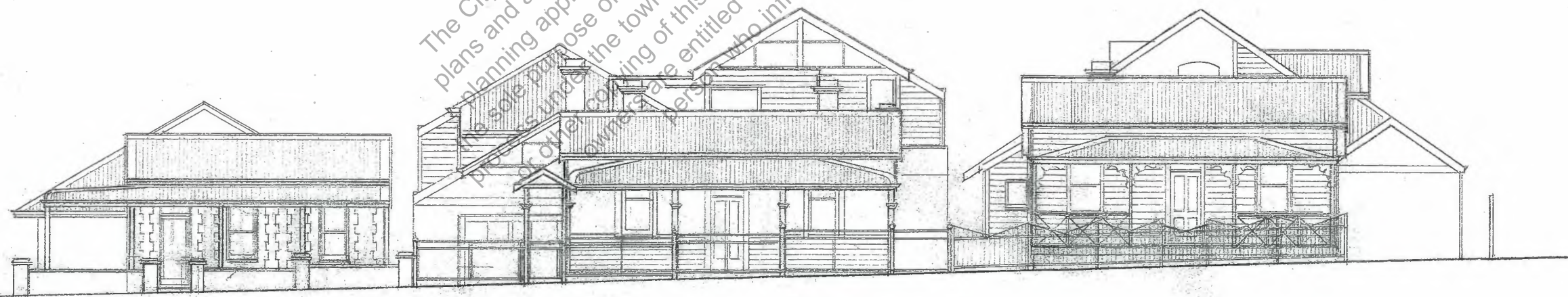
South (Front) Elevation

**CITY OF FREMANTLE
Planning Approval with CONDITIONS was
GRANTED for DA0098/24**

29 May 2024

Plan 15 of 15

**PLEASE REFER TO CONDITION NO/S;
1 - 9**



South Streetfront Elevation
Holland Street

Hopper Dwelling

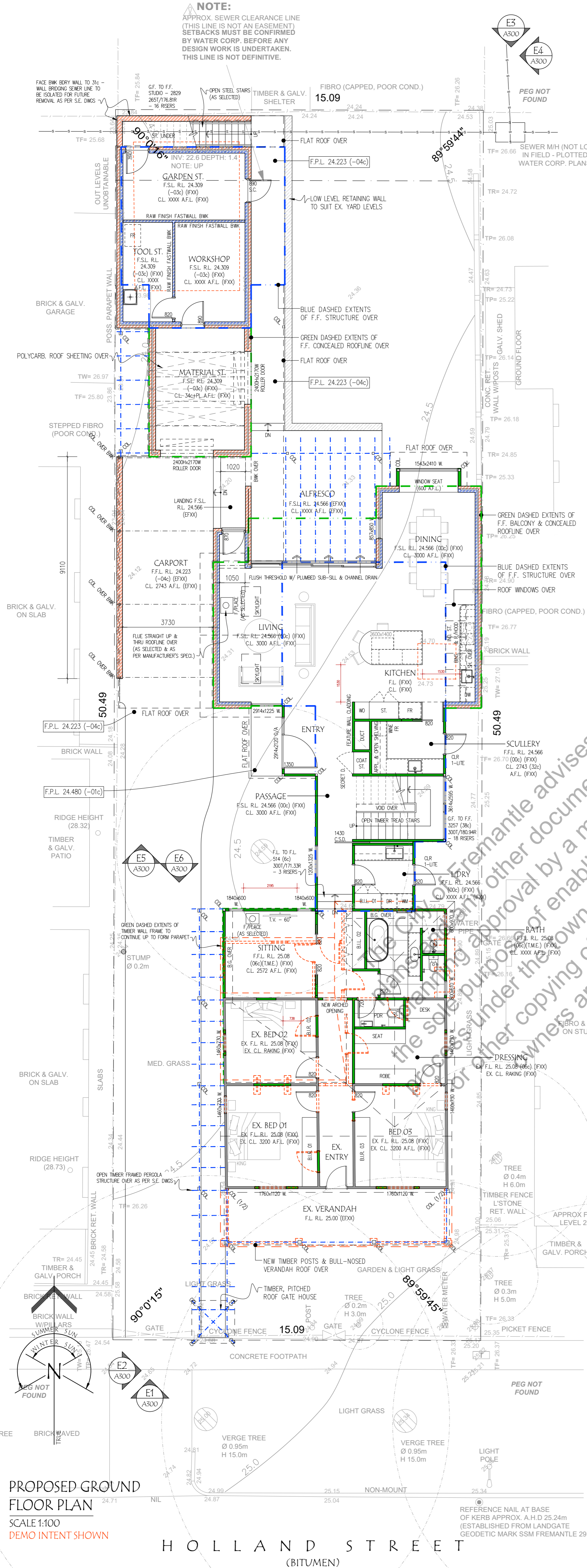
Conservation, Adaptation & Additions
No.120 Holland Street, Fremantle

SCALE 1:100	DRAWING TITLE Elevations	DRAWING NO. A4v.
DATE FEB 24		

AMENDED PLANS

LEGEND

- NEW RECYCLED RED FACE 270mm CAVITY BRICKWORK, 230mm DOUBLE LEAF BRICKWORK & 110mm SINGLE LEAF BRICKWORK, AS PER S.E. DWGS, A.S. 3700, & BCA REQ'S.
 - NEW RECYCLED RED FACE BRICKWORK, EXTERNAL LEAF, & 90mm INTERNAL / SINGLE LEAF BRICKWORK, AS PER S.E. DWGS, A.S. 3700, & BCA REQ'S.
 - NEW 90mm TIMBER STUD FRAMING AS PER S.E. DWGS, A.S. 1684 & 1720.1, & BCA REQ'S.
 - EXISTING TIMBER STUD WALL FRAMING
 - EXISTING CAVITY BRICKWORK
 - EXISTING WALLS TO BE REMOVED
 - NEW OBSCURE GLAZED WINDOWS
 - NEW CLEAR GLAZED WINDOWS / DOORS
 - SMOKE ALARMS HARDWIRED & INTERLINKED IN ACCORDANCE W/ A.S. 3786
- T.B.R. = TO BE REMOVED
 T.M.E. = TO MATCH EXISTING
 G.F.L. = GROUND FLOOR LEVEL
 F.F.L. = FINISHED FLOOR LEVEL
 F.S.L. = FINISHED SLAB LEVEL
 A.F.L. = ABOVE FLOOR LEVEL
 C.O.S. = CHECK/CONFIRM ON SITE
 M.R. = MAIN RESIDENCE (ORIGINAL PART OF HOUSE)
 W.I. = WALK IN ROBES - AS SPECIFIED.
 W.P. = WALK IN PANTRY - AS SPECIFIED.
 S/D = SLIDING DOOR
 C.S.D. = CAVITY SLIDING DOOR
 W. = WINDOW
 D. = DOOR
 C.A. = CARPET
 B/F = BI-FOLD DOOR
 A.W. = AIRING WINDOW
 S.W. = SLIDING WINDOW
 C.W. = CASEMENT WINDOW
 H.L. = HIGHLIGHT WINDOW
 D.H. = DOUBLE HUNG WINDOW
 A.N. = ANGLE
 S.H. = BI-FOLD SHUTTERS AS SHOWN
 F. = FIXED GLAZING
 D.P. = 100x50 COLORBOND DOWN PIPE
 S.P. = 100x50 COLORBOND DOWN PIPE & SPREADER
 P.F. = PAINT FINISH



PROPOSED GROUND FLOOR PLAN
 SCALE 1:100
 DEMO INTENT SHOWN

HOLLAND STREET (BITUMEN)



UNIT 3 / #86 FORSYTH STREET | O'CONNOR | W.A. | 6163
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John W. Kirkness B.A., B. Arch.

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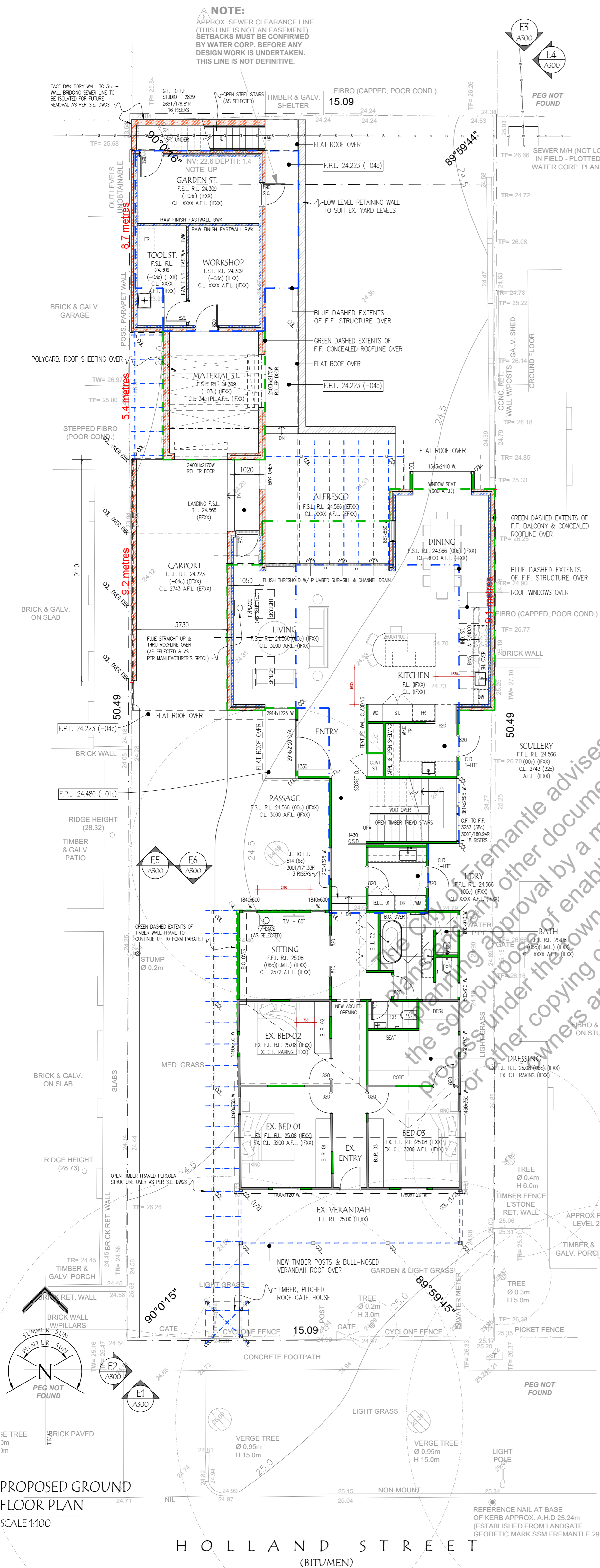
CONCEPT ONLY

REV	DATE	DESCRIPTION
I	29/04/26	REVISED # RE-ISSUED FOR AMENDED PLANNING APPROVAL
H	31/03/26	REVISED # RE-ISSUED FOR AMENDED PLANNING APPROVAL
G	05/02/26	REVISED # DEVELOPED CONCEPT ISSUED FOR COMMENT

PROJECT : TWO-STOREY RESIDENTIAL ADDITION
 AT : 120 HOLLAND STREET
 FREMANTLE W.A. 6160
 TITLE : PROPOSED GROUND FLOOR
 PLAN w/ DEMO SHOWN

DATE :	29/04/26	SCALE :	1:100	PAGE SIZE :	A1	DRAWING No. :	REV. :
CLIENT :	MR & MRS HOPPER	JN : 24.037 HOPPER					

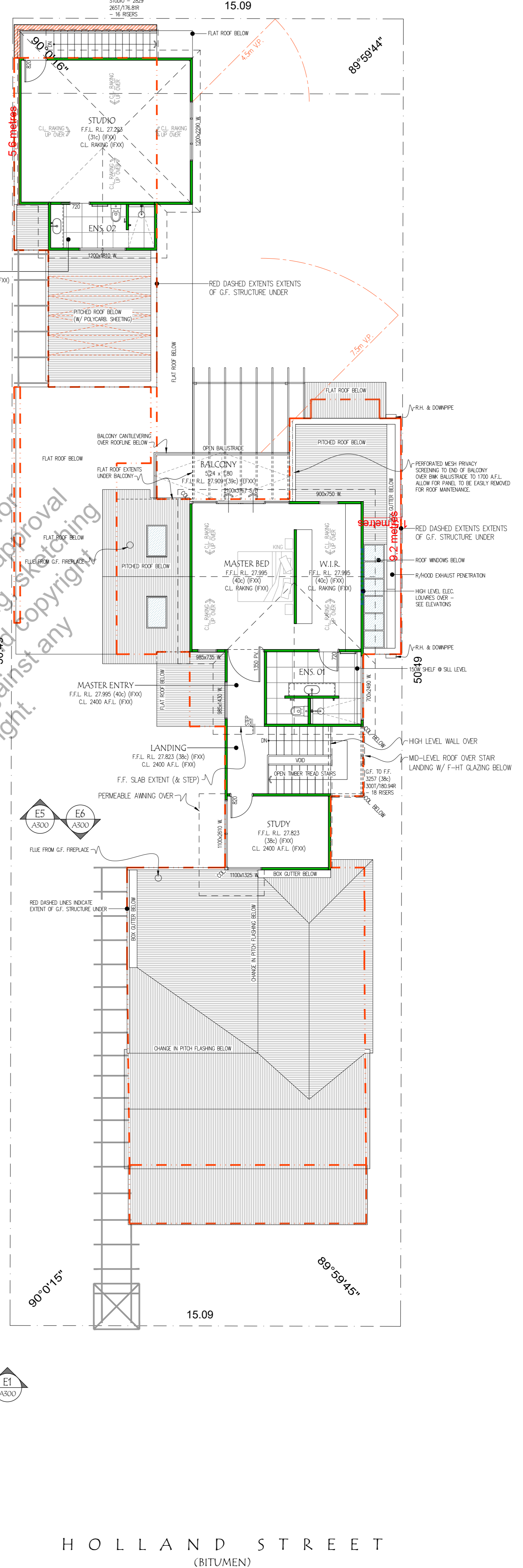
AMENDED PLANS



PROPOSED GROUND FLOOR PLAN
SCALE 1:100

PROPOSED FIRST FLOOR PLAN
SCALE 1:100

- ### LEGEND
- NEW RECYCLED RED FACE 270mm CAVITY BRICKWORK, 230mm DOUBLE LEAF BRICKWORK & 110mm SINGLE LEAF BRICKWORK, AS PER S.E. DWGS, A.S. 3700, & BCA REQ'S.
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A.N. = ANGLE
S.H. = SH-ROOF SHUTTERS AS SHOWN
F. = FIXED GLAZING
D.P. = 100x50 COLORBOND DOWN PIPE & SPREADER
P.F. = PAINT FINISH



PROPOSED FIRST FLOOR PLAN
SCALE 1:100

Sandtracks
DESIGN

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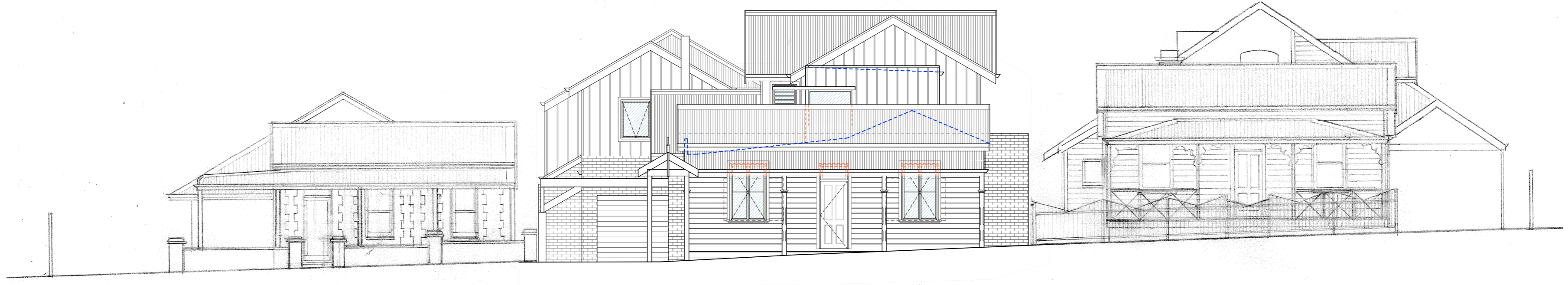
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CONCEPT ONLY

I	29/04/26	REVISED # RE-ISSUED FOR AMENDED PLANNING APPROVAL
H	31/03/26	REVISED # RE-ISSUED FOR AMENDED PLANNING APPROVAL
G	05/02/26	REVISED # DEVELOPED CONCEPT ISSUED FOR COMMENT
REV	DATE	DESCRIPTION

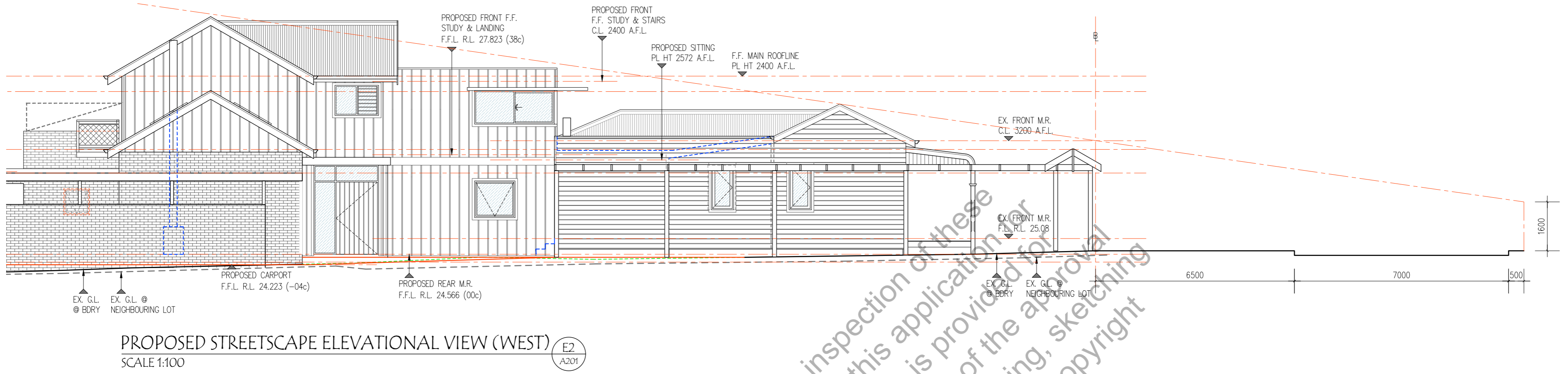
PROJECT: TWO-STORY RESIDENTIAL ADDITION
AT: 120 HOLLAND STREET
FREMANTLE W.A. 6160
TITLE: PROPOSED GROUND & FIRST FLOOR PLAN

DATE:	29/04/26
CLIENT:	MR & MRS HOPPER
JN:	24.037 HOPPER
SCALE:	1:100
PAGE SIZE:	A1
DRAWING No.:	A201
REV.:	1



South Streetfront Elevation
Holland Street

AMENDED PLANS



PROPOSED STREETSCAPE ELEVATIONAL VIEW (WEST)
SCALE 1:100

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REV	DATE	DESCRIPTION
1	29/04/26	REVISED & RE-ISSUED FOR AMENDED PLANNING APPROVAL

PROJECT : TWO-STOUREY RESIDENTIAL ADDITION
AT : 120 HOLLAND STREET
FREMANTLE W.A. 6160
TITLE : PLANNING ELEVATIONS

DATE : 29/04/26
CLIENT : MR & MRS HOPPER
JN : 24.037 HOPPER

SCALE : 1:100
PAGE SIZE : A1

DRAWING No. : A301 | REV. : 1