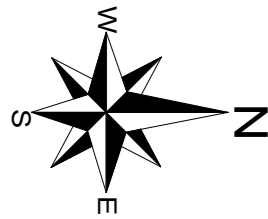


LOT 111

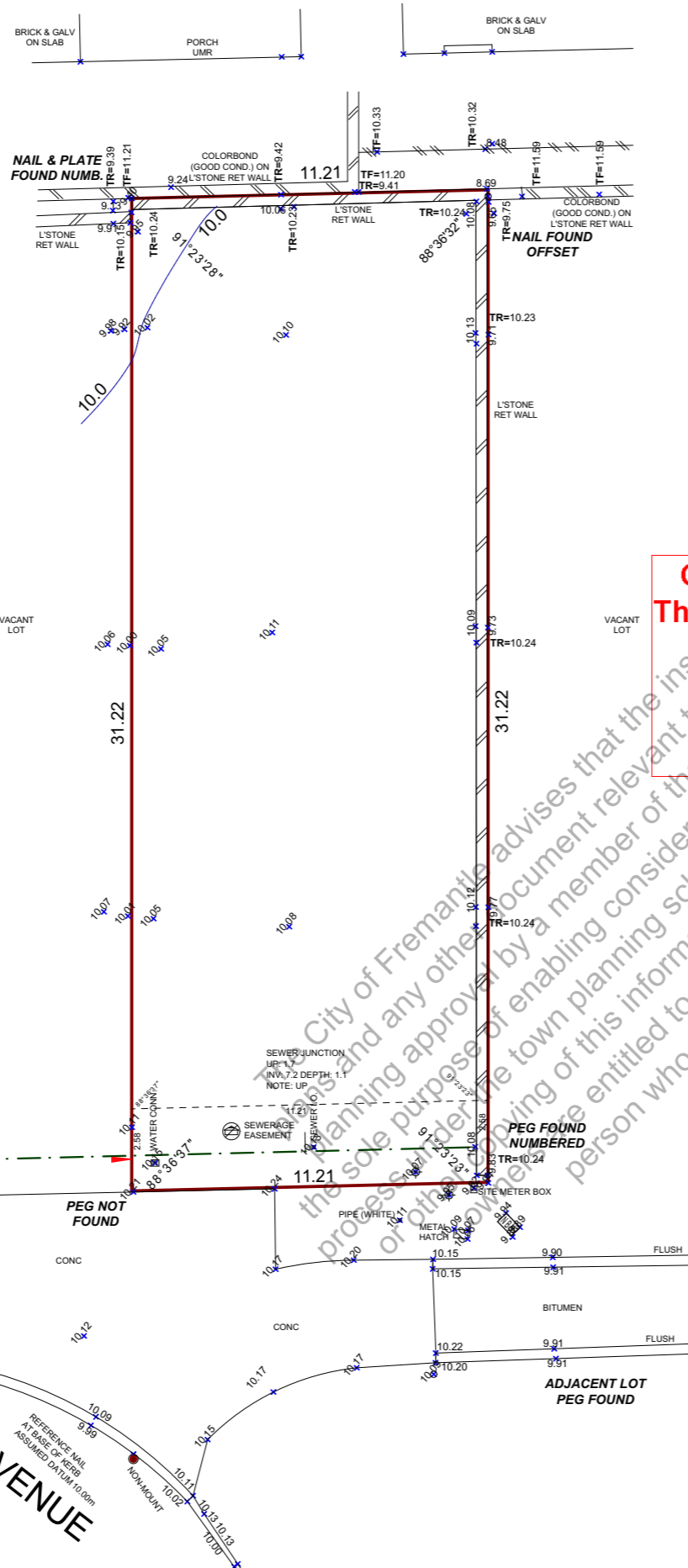


DISCLAIMER:
 Lot boundaries drawn on survey are based on landgate plan only. Survey does not include title search and as such may not show easements or other interests not shown on plan. Title should be checked to verify all lot details and for any easements or other interests which may affect building on the property.

DISCLAIMER:
 Survey does not include verification of cadastral boundaries. All features and levels shown are based on orientation to existing pegs and fences only which may not be on correct cadastral alignment. Any designs based or dependent on the location of existing features should have those features' location verified in relation to the true boundary.

DISCLAIMER:
 Survey shows visible features only and will not show locations of underground pipes or conduits for internal or mains services. Verification of the location of all internal and mains services should be confirmed prior to finalisation of any design work.

DISCLAIMER:
 Cottage & Engineering surveys accept no responsibility for any physical on site changes to the parcel or portion of the parcel of land shown on this survey including any adjoining neighbours levels and features that have occurred after the date on this survey. All Sewer details plotted from information supplied by Water Corporation.



LEGEND

⊕	POWER DOME
⊖	POWER POLE
⊙	PHONE PIT
⊚	WATER CORR.
⊛	TOP PILLAR/POST
⊜	TOP WALL
⊝	TOP RETAINING
⊞	TOP FENCE
⊟	TOP GUTTER

101

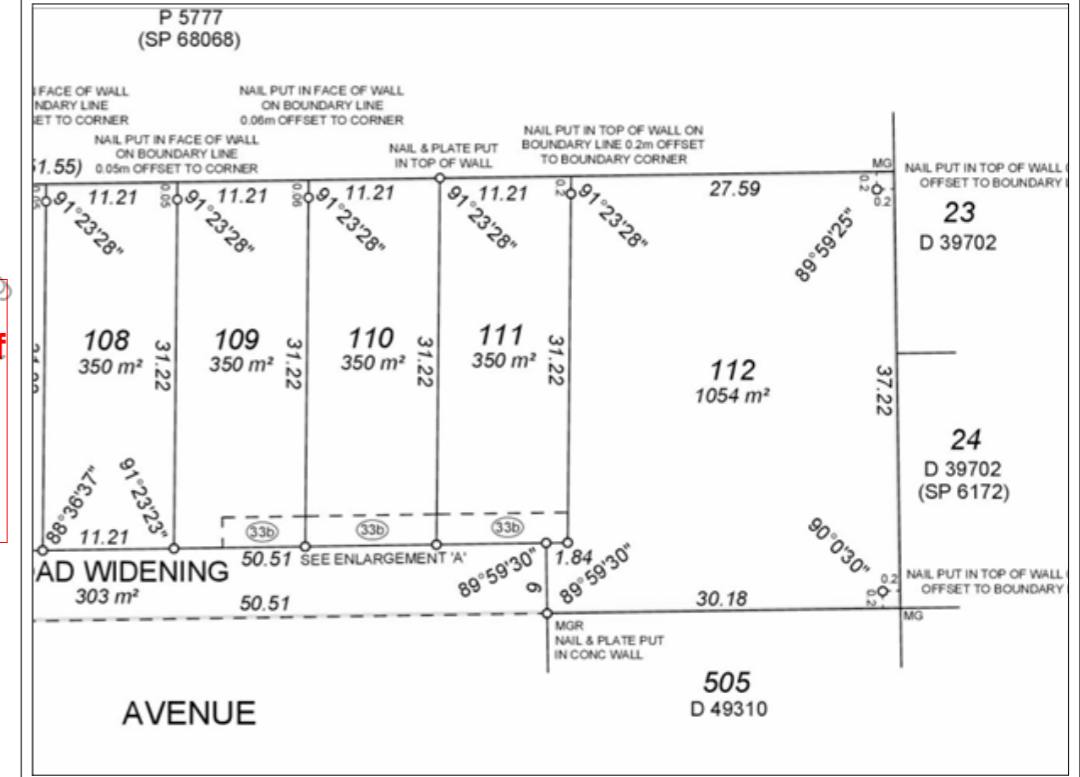
BUILDERS REGISTRATION N° 13521
 9 SANGIORGIO COURT
 OSBORNE PARK WA 6017
 Phone (08) 9208 9100 Fax (08) 9208 9102

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Ref:

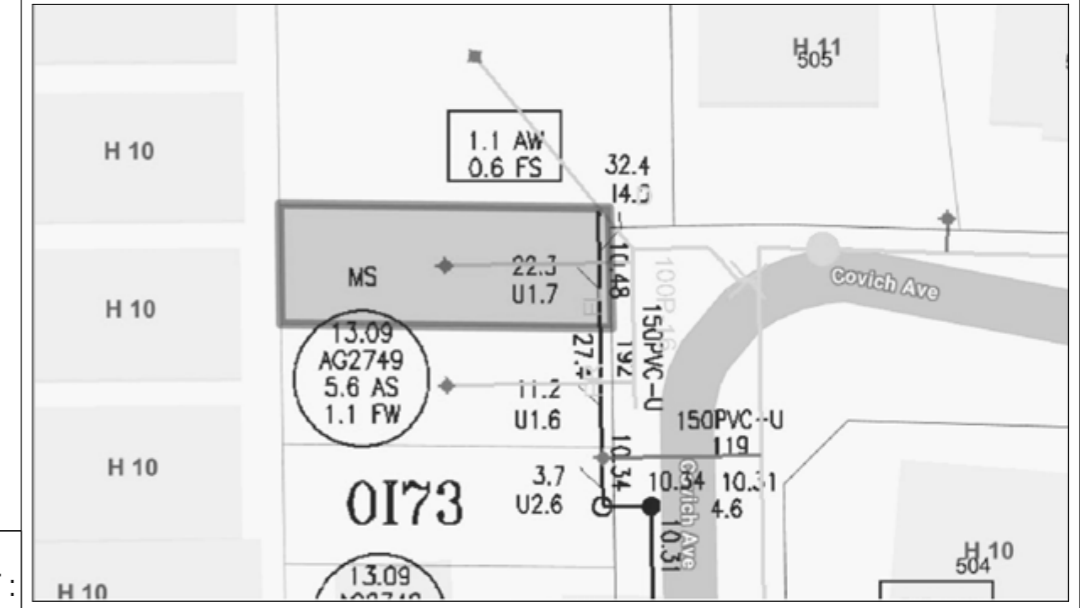
CONTOUR & FEATURE SURVEY

LOT Lot 111 (DP 426913)
 ADDRESS #17 Covich Avenue, Beaconsfield
 LGA CITY OF FREMANTLE
 CLIENT ALLEN
 ORDER # 2504R24R
 GPS Lat: -32.073388 Long: 115.767106
 SSA No AREA 350m² VOL.4076 FOL.540

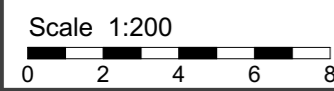


CITY OF FREMANTLE
 These Plans Form Part of
DA0170/26
6 May 2026

ELEC. U/Ground	SEWER Yes	ROADS Bitumen	COASTAL No
GAS Check Alinta	COMMS Yes	PATH Nil	SOIL Sand
WATER Yes	DRAINAGE Good	KERBS See Survey	VEG. Light Grass Cover



LOT MISCLOSE
 0.000m



CUSTOM EXISTING SITE		VARIATIONS:	
DATE: 14/04/2026	SHEET N°: 01 of 21	REV: '1'	DESCRIPTION: CONTRACT DRAWINGS
SCALE: 1:200	REVISION N°: 02	REV: '2'	SURVEY
JOB N°: 2504R24R		INT: CM	DATE: 10.03.2026
		INT: MKK	DATE: 13.04.2026

THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT:

OWNERDATE.....

OWNERDATE.....

BUILDERDATE.....

COTTAGE SURVEYS

87-89 Guthrie St PO Box 1611 Osborne Park WA 6017
 P: (08) 9446 7361
 Osborne Park BC E: perth@cottage.com.au WA 6917
 W: www.cottage.com.au

JOB: 642029 DATE: 27 Mar 26 DRAWN: J. Jee

GF CL @ 30c THRU'OUT
UF CL @ 30c THRU'OUT
ALL UNLESS OTHERWISE NOTED

EXTERNAL WALLS CONSISTS OF 230mm WIDE
CAVITY BRICK CONST., UNLESS NOTED OTHERWISE.
90mm EXTERNAL LEAF & 90mm INTERNAL LEAF.

ALL DIMENSIONS ARE TO PRE-FINISHED WALLS
 (NO PLASTER)
 EXTENT OF RENDER AS MARKED.
 REFER TO ELEVATIONS.

BRICKLAYER NOTE
 RUN KITCHEN BENCHTOP UNDER WINDOW FRAME.
 CUT BWK DOWN TO SUIT BENCHTOP SELECTION.
 TOP OF PIER FTG @ -03c U.N.O
 ALL CAVITY CLOSERS AND STRUCTURAL COLUMNS
 TO BE FLASHED WITH ALCOOR FLASHING AS PER AS

ROOF CARPENTER NOTE
 NOTE: PLANS DETAILED FOR "TRADITIONAL" ROOF
 FRAME CONSTRUCTION
 CONFORMING TO A.S. 1684. U.N.O
 TRIM OUT CEILING JOISTS TO
 550 X 550 AT MANHOLE LOCATION
 ENSURE ROOFING MEMBERS ARE KEPT CLEAR
 OF RANGEHOOD FLUE

PLUMBER NOTE
 DOWNPIPE & FLOOR WASTE LOCATIONS ARE
 INDICATIVE ONLY & MAY CHANGE AT THE
 DISCRETION OF THE PLUMBER.
 COLD WATER TAP FOR DISHWASHER & FR RECESS.

FIXING CARPENTER NOTE
 ALL ROBES TO HAVE 1X SHELF & HANGING RAIL
 450W
 ALL LINENS, BUILT-IN PTYRS, INTERNAL STORES
 TO HAVE 4X SHELVES @ 400 CTS 450W
 BROOM & CLOAK CUPDS TO HAVE 1X SHELF
 ALL TOP SHELVES @ 1750 AFL

FLOOR COVERINGS: REFER TO ADDENDA


OTHER NOTES
 PROVIDE R4.1 INSULATION TO CEILING THRU
 OUT HOUSE AND GARAGE ONLY TO BCA REQ.
 UPPER FLOOR TO BE TIED DOWN TO GROUND
 FLOOR AS PER ENGINEERS SPECIFICATION
 ALL GLAZING TO COMPLY WITH AS2047

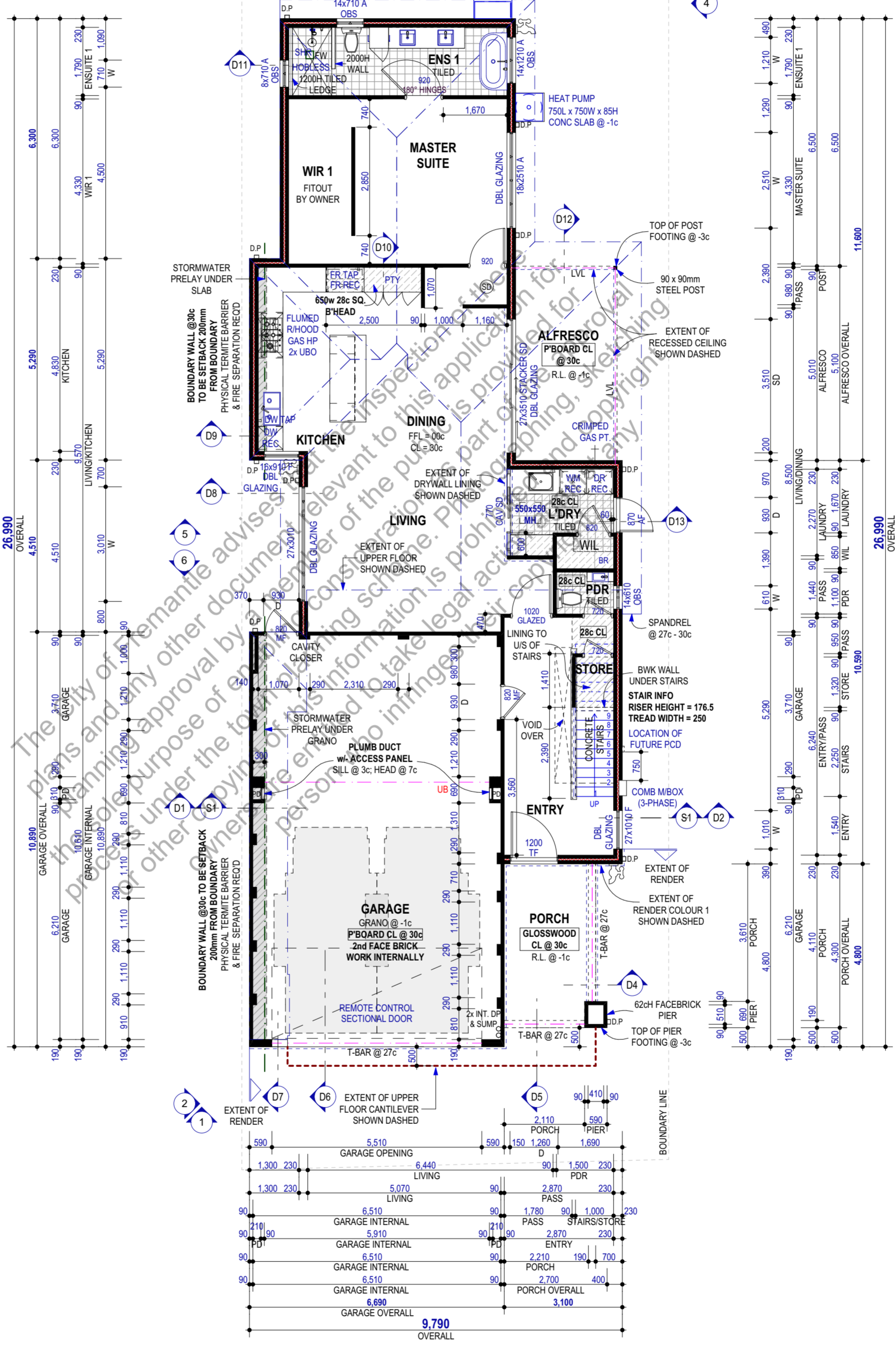
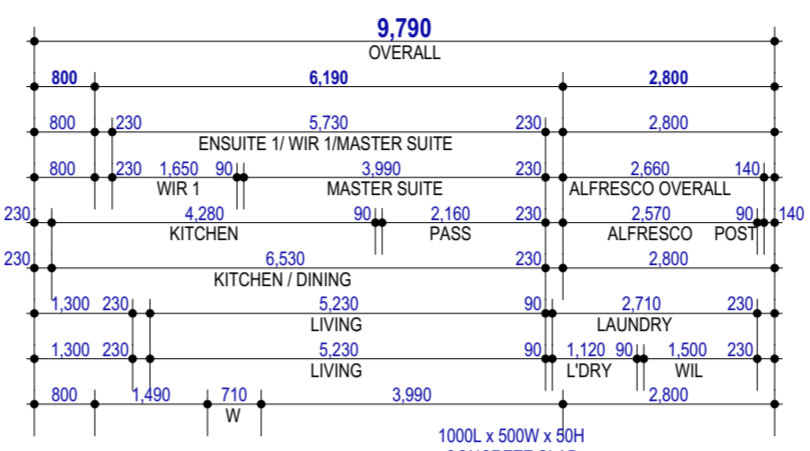
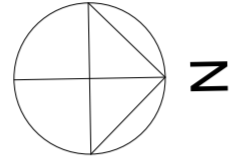
BRICKLAYER NOTE:
 EXTERNAL BRICKS TO BE 290 X
 162 X 90 (1st external course to be 2
 course bricks laid in THIRD BOND)

INTERNAL DOORS NOTE:
 ALL GF INTERNAL DOORS TO BE 2040H (25C) U.N.O

BUILD METHOD: CFBW
 GROUND FLOOR: Double Brick, Slab on Ground
 UPPER FLOOR SLAB: Concrete on Metal Truss
 UPPER FLOOR WALLS: Double Brick
 ROOF TYPE: Colorbond

SITE CLASSIFICATION : A
 FOOTING DETAIL : REF. TO ENG'S
 WIND CATEGORY : N2
 CORROSION CLASS : R3

PBBB THERMAL COMPLIANCE NOTES
 -PROVIDE CAVITY INSULATION TO ALL
 EXTERNAL WALLS AS SHOWN. 
 UPGRADE GLAZING TO STANDARD DOUBLE
 GLAZING - EXCLUDES ENTRY & ALL WET AREAS.
 EXTERNAL WALL COLOURS NO DARKER THAN
 SA <0.70
 ROOF COLOUR NO DARKER THAN SA <0.64






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DA0170/26
6 May 2026

NCC NOTE:
 LIFT OFF HINGES WHERE REQUIRED IN
 ACCORDANCE WITH BCA PART 10.4.2 OF
 HOUSING PROVISIONS

NCC NOTE:
 GUTTERS & DOWNPIPES IN ACCORDANCE
 WITH AS3500.3 & NCC

TERMITE TREATMENT NOTE:
 TERMITE TREATMENT WILL BE CARRIED OUT IN
 ACCORDANCE WITH HOUSING PROVISIONS PART
 3.4 OF THE NCC - BUILDING CODE OF AUSTRALIA
 AND AS3660.1:2014 THROUGH THE USE OF
 TERMITE RESISTANT MATERIALS FOR ALL
 PRIMARY BUILDING ELEMENTS, AS FOLLOWS:
 *CONCRETE SLAB IN ACCORDANCE WITH AS2870
 & AS3600
 *MASONRY IN ACCORDANCE WITH AS3700
 *PRESERVATIVE TREATED TIMBER IN
 ACCORDANCE WITH AS1604 AND APPENDIX D OF
 AS3660.1:2014

RENDER NOTE:
 EXTENT OF RENDER TO FRONT ELEVATION AND
 RETURNS ONLY.

RENDER COLOUR 1: 
 RENDER COLOUR 2: 
 RENDER COLOUR 3: 

EXTENT AS SHOWN ON PLANS.

AREAS		
Name	Area	Perimeter
GROUND FLOOR	134.140	63.960
UPPER FLOOR	95.117	42.560
GARAGE	71.829	35.160
ALFRESCO	13.566	15.520
PORCH	10.320	13.400
BALCONY	9.360	12.600
TOTAL	334.332 m²	

THIS IS ONE OF THE DRAWINGS
 REFERRED TO IN THE CONTRACT :
 OWNERDATE.....
 OWNERDATE.....
 BUILDERDATE.....

101
 BUILDERS REGISTRATION N° 13521
 9 SANGIORGIO COURT
 OSBORNE PARK, WA 6017
 Phone (08) 9208 9100 Fax (08) 9208 9102

VARIATIONS:
 REV. DESCRIPTION:
 CONTRACT DRAWINGS
 SURVEY

INT. DATE:
 CM 10.03.2026
 MKK 13.04.2026

CLIENT:
ALLEN

SITE ADDRESS:
**LOT 111 (#17) COVICH AVENUE
 BEACONSFIELD WA 6162**

SALES: CSM DRAWN: CM CHECKED: KB

CUSTOM
GROUND FLOOR PLAN (A2)

DATE: 14/04/2026 SHEET N°:
 SCALE: 1:100 05 of 21

REVISION N°: 02 JOB N°: 2504R24R

GF CL @ 30c THRU'OUT
UF CL @ 30c THRU'OUT

ALL UNLESS OTHERWISE NOTED

EXTERNAL WALLS CONSISTS OF 230mm WIDE
CAVITY BRICK CONST., UNLESS NOTED OTHERWISE.
90mm EXTERNAL LEAF & 90mm INTERNAL LEAF.

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(NO PLASTER)
EXTENT OF RENDER AS MARKED.
REFER TO ELEVATIONS.

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CUT BWK DOWN TO SUIT BENCHTOP SELECTION.
TOP OF PIER FTG @ -03c U.N.O
ALL CAVITY CLOSERS AND STRUCTURAL COLUMNS
TO BE FLASHED WITH ALCOR FLASHING AS PER A.S

ROOF CARPENTER NOTE

NOTE: PLANS DETAILED FOR "TRADITIONAL" ROOF
FRAME CONSTRUCTION
CONFORMING TO A.S. 1684. U.N.O
TRIM OUT CEILING JOISTS TO
550 X 550 AT MANHOLE LOCATION
ENSURE ROOFING MEMBERS ARE KEPT CLEAR
OF RANGEHOOD FLUE

PLUMBER NOTE

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COLD WATER TAP FOR DISHWASHER & FR RECESS.

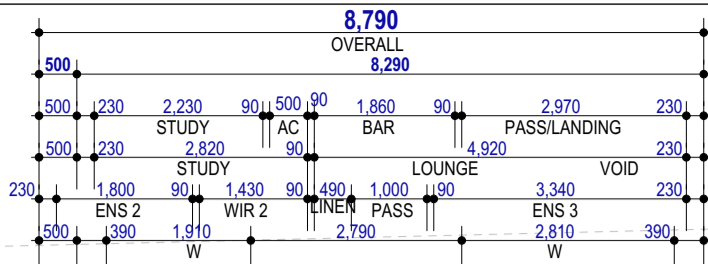
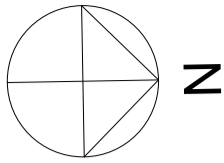
FIXING CARPENTER NOTE

ALL ROBES TO HAVE 1X SHELF & HANGING RAIL
450W
ALL LINENS, BUILT-IN PTRY'S, INTERNAL STORES
TO HAVE 4X SHELVES @ 400 CTS 450W
BROOM & CLOAK CUPDS TO HAVE 1X SHELF
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FLOOR COVERINGS: REFER TO ADDENDA

OTHER NOTES

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FLOOR AS PER ENGINEERS SPECIFICATION
ALL GLAZING TO COMPLY WITH AS2047



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UPPER FLOOR WALLS: Double Brick
ROOF TYPE: Colorbond

SITE CLASSIFICATION : A
FOOTING DETAIL : REF. TO ENG'S
WIND CATEGORY : N2
CORROSION CLASS : R3

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ACCORDANCE WITH BCA PART 10.4.2 OF
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NCC NOTE:

GUTTERS & DOWNPIPES IN ACCORDANCE
WITH AS3500.3 & NCC

UPPER FLOOR GLAZING

UPPER FLOOR WINDOWS TO COMPLY WITH
HOUSING PROVISIONS 11.3.7

RENDER NOTE:

EXTENT OF RENDER TO FRONT ELEVATION AND
RETURNS ONLY.

RENDER COLOUR 1: - - - - -
RENDER COLOUR 2:
RENDER COLOUR 3: - . - . - .

EXTENT AS SHOWN ON PLANS.

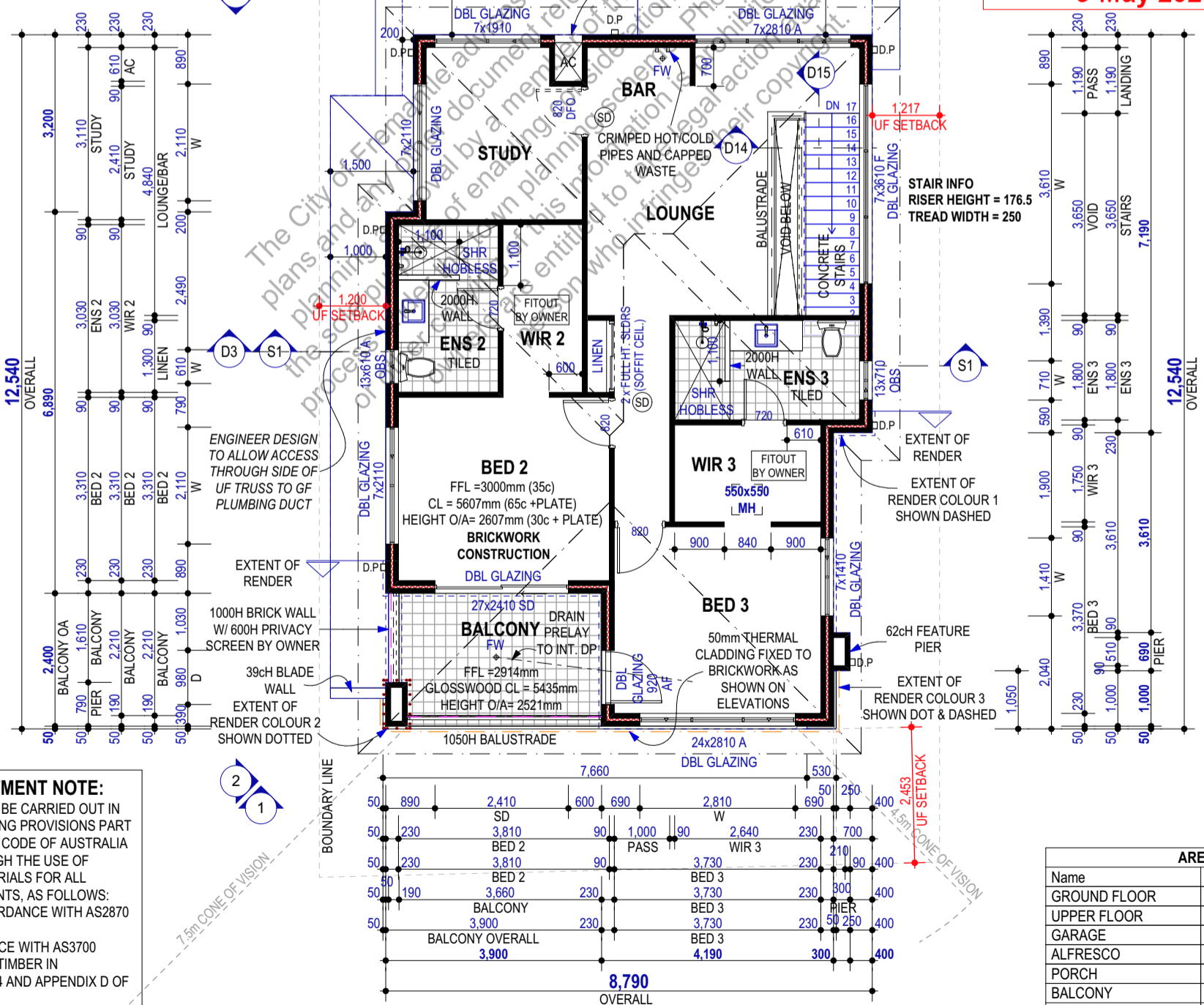
PBDB THERMAL COMPLIANCE NOTES

-PROVIDE CAVITY INSULATION TO ALL
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UPGRADE GLAZING TO STANDARD DOUBLE
GLAZING - EXCLUDES ENTRY & ALL WET AREAS.
EXTERNAL WALL COLOURS NO DARKER THAN
SA <0.70
ROOF COLOUR NO DARKER THAN SA <0.64

CITY OF FREMANTLE
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DA0170/26

6 May 2026



AREAS		
Name	Area	Perimeter
GROUND FLOOR	134.140	63.960
UPPER FLOOR	95.117	42.560
GARAGE	71.829	35.160
ALFRESCO	13.566	15.520
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BALCONY	9.360	12.600
TOTAL	334.332 m²	

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AS3660.1:2014

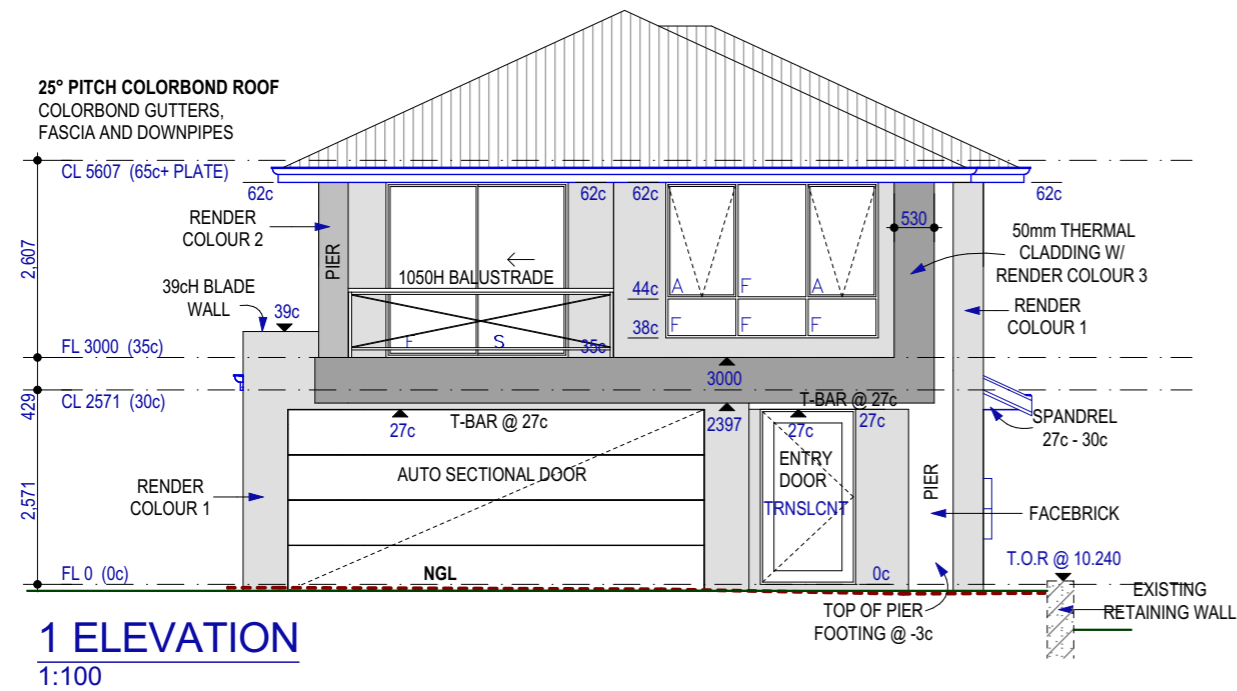
**THIS IS ONE OF THE DRAWINGS
REFERRED TO IN THE CONTRACT :**
OWNERDATE.....
OWNERDATE.....
BUILDERDATE.....

101
BUILDERS REGISTRATION N° 13521
9 SANGIORGIO COURT
OSBORNE PARK WA 6017
Phone (08) 9208 9100 Fax (08) 9208 9102

VARIATIONS:
REV: DESCRIPTION: INT: DATE:
'1' CONTRACT DRAWINGS CM 10.03.2026
'2' SURVEY MKK 13.04.2026

CLIENT: **ALLEN**
SITE ADDRESS:
**LOT 111 (#17) COVICH AVENUE
BEACONSFIELD WA 6162**
SALES: CSM DRAWN: CM CHECKED: KB

CUSTOM
UPPER FLOOR PLAN
DATE: 14/04/2026 SHEET N°:
SCALE: 1:100 06 of 21
REVISION N°: 02 JOB N°: 2504R24R



RENDER NOTE:

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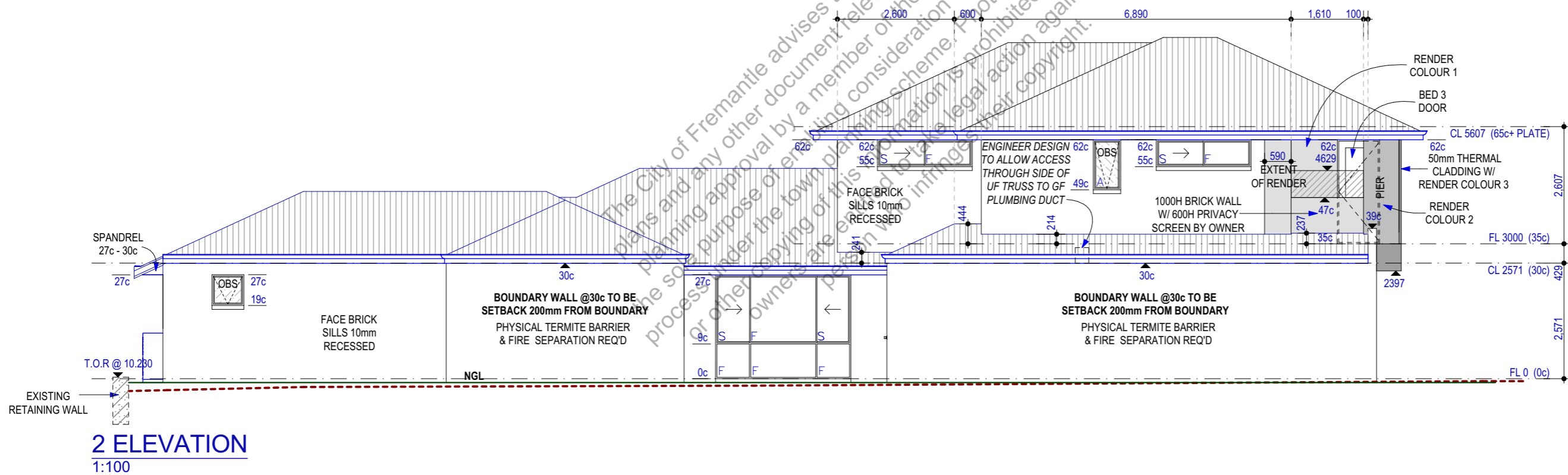
RENDER COLOUR 2:

RENDER COLOUR 3:

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DA0170/26

6 May 2026



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OWNERDATE.....

OWNERDATE.....

BUILDERDATE.....

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OSBORNE PARK WA 6017
Phone (08) 9208 9100 Fax (08) 9208 9102

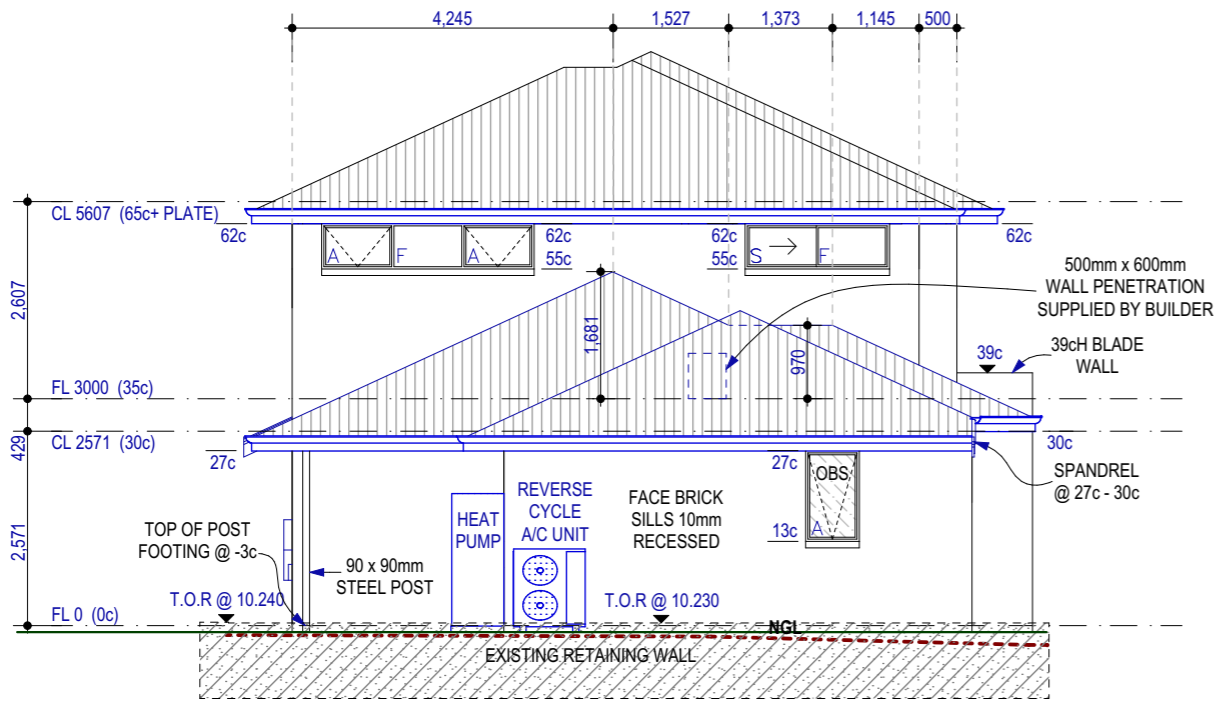
REV.	DESCRIPTION:	INT.	DATE:
1	CONTRACT DRAWINGS	CM	10.03.2026
2	SURVEY	MKK	13.04.2026
3			
4			
5			
6			
7			
8			
9			

CLIENT: **ALLEN**

SITE ADDRESS:
**LOT 111 (#17) COVICH AVENUE
BEACONSFIELD WA 6162**

SALES: CSM DRAWN: CM CHECKED: KB

CUSTOM ELEVATIONS 01	
DATE: 14/04/2026	SHEET N°: 07 of 21
SCALE: 1:100	REVISION N°: 02
JOB N°: 2504R24R	



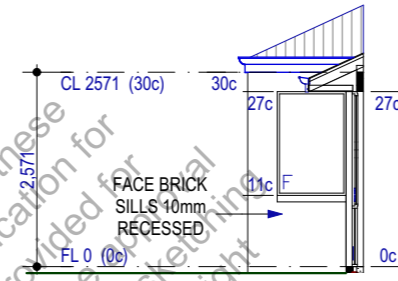
3 ELEVATION
1:100

RENDER NOTE:

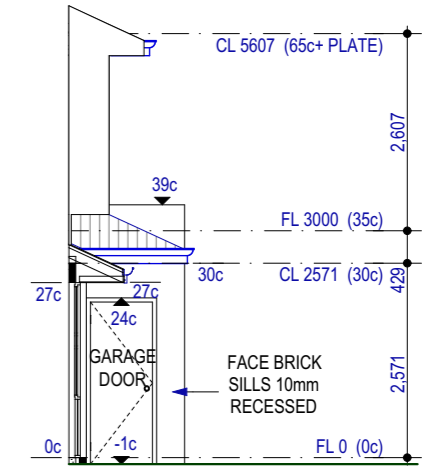
RENDER COLOUR 1:

RENDER COLOUR 2:

RENDER COLOUR 3:



5 ELEVATION
1:100

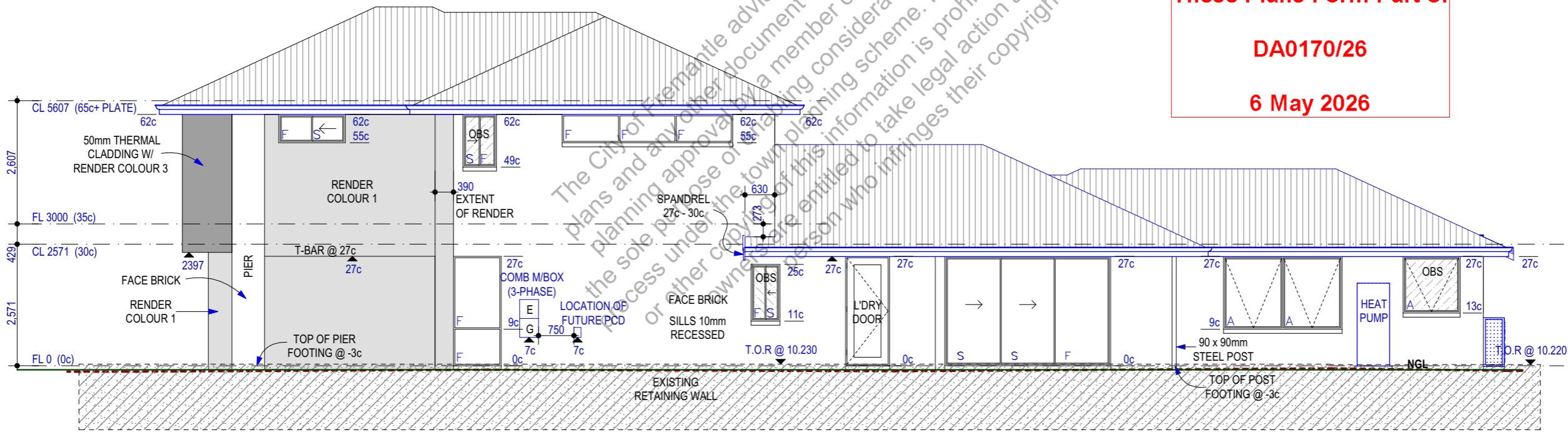


6 ELEVATION
1:100

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DA0170/26

6 May 2026



4 ELEVATION
1:100

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OWNERDATE.....

BUILDERDATE.....

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9 SANGIORGIO COURT
OSBORNE PARK WA 6017
Phone (08) 9208 9100 Fax (08) 9208 9102

REV.	DESCRIPTION:	INT.	DATE:
1	CONTRACT DRAWINGS	CM	10.03.2026
2	SURVEY	MKK	13.04.2026
3			
4			
5			
6			
7			
8			
9			

CLIENT: **ALLEN**

SITE ADDRESS:
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BEACONSFIELD WA 6162**

SALES: CSM DRAWN: CM CHECKED: KB

CUSTOM ELEVATIONS 02	
DATE: 14/04/2026	SHEET N°: 08 of 21
SCALE: 1:100	
REVISION N°: 02	JOB N°: 2504R24R