

**SERVICE LEGEND**

POWER	
CONSUMER POLE	○ CP
POWER POLE	○ PP
LIGHT POLE	○ LP
STAY POLE	○ SP
S. WIRE ANCHOR	○ SWA
UNI PILLAR	⊗
EXPOSED CABLES	○ EC
GAS	
PRE-LAID CONN.	○ GPL
METER	□ GM
SEWERAGE	
MANHOLE	○ SMH
INSPECT. SHAFT	○ IS
INSPECT. OPENING	○ IO
HOUSE CONNECTION	○ HC
HOUSE CONN. INDICATOR	○ HCI
INSPECT. SHAFT CONNECTION	○ ISC
TELE.	
PIT	□ TEL
PRE-LAID CONN.	○ TPL
DRAINAGE	
MANHOLE	○ DMH
GULLY PIT	▤
LOT PIT	○ LDP
HOUSE CONN.	○ DHC
SIDE ENTRY PIT	▤
COMBINATION ENTRY PIT	▤
WATER	
STOP VALVE	○ WSV
HYDRANT	○ HY
FLUSH POINT	○ FP
WATER TAP	⊕ WTP
WATER METER	⊕ M
PRE-LAID CONN.	○ WPL
SURVEY	
DATUM NAIL	◆
PEG FOUND	○ PF
PEG DISTURBED	○ PD
PEG GONE	PG
STAKE FOUND	○ STF

**LOT RECORDS**

LOT SERVICE	STATUS			
	LOCATED	AVAILABLE	NO SERVICE	CONFIRM
WATER	✓			
SEWERAGE		✓		✓
GAS		✓		✓
TELE.	✓			
DRAINAGE				✓
POWER U/G				✓
O/H			✓	

AREA: ESTAB 12/2025  
 COASTAL DISTANCE 1.5-10km  
 LOT: 3  
 AREA: 351 m²  
 APPROX. AHD + 23.37m

**SITE - EXISTING PLAN**

1:200

**GROUND COVER**

SANDY / WEED

SERVICES MARKED CONFIRM REQUIRE BUILDER / CLIENT TO CONFIRM POSITION & / OR AVAILABILITY ON SITE. APPROXIMATE AHD CONNECTION ONLY. HEIGHT RESTRICTIONS REQUIRE ACCURATE GEODETIC CONNECTION.

SEWER CONNECTION POSITION APPROXIMATE ONLY  
 SEWER INVERT LEVEL N/A  
 SEWER BROUGHT UP N/A  
 DEPTH TO CONNECTION N/A

TITLE : FEATURE SURVEY

LOT : 3 No. 7/B LOIS LANE	
SUBURB : WHITE GUM VALLEY	SSP : 89377
AUTHORITY : CITY OF FREMANTLE	C/T : 4086/859
UBD REF : 326 J 12	GPS : S 32.06060° E 115.77607°
SHEET 1 of 16	BUILDER'S REF 3LOI
SURVEYED 12/03/26	SCALE @ A3 1:200
DWG No 56251-01-100	REV A



**CLIENT NOTE:**  
ALL DIMENSIONS STATED ON THIS DRAWING RELATE TO BRICKWORK SETOUT ONLY. NO ALLOWANCE IS MADE FOR THE ADDITIONS OF PLASTER OR WALL FINISH WHERE THESE APPLY. CARE SHOULD BE TAKEN TO INCLUDE SUCH ALLOWANCE IN CALCULATION OF CLEARANCE REQUIRED FOR FUTURE FITTINGS RWP MAY BE RELOCATED OR ADDITIONAL PIPES ADDED ON SITE TO SUIT CURRENT STATUTORY REQUIREMENTS

**TERMITE MANAGEMENT NOTE:**  
PRIMARY BUILDING ELEMENTS NOT SUBJECT TO TERMITE ATTACK AS PER PART 3.4 ABCB HOUSING PROVISIONS STANDARD 2022

**BRICKLAYER NOTE:**  
HOLDING DOWN STRAP AND ROD REQUIREMENTS REFER TO ENGINEERS NOTES & DETAILS  
230mm CAVITY BWK, 1/3 BOND 2c  
HIGH FACE BWK EXTERNALLY (U.N.O.)  
"LOH" INDICATES LIFT OFF HINGES

**FIXING CARPENTER NOTE:**  
450mm WIDE SHELF & RAIL 1450mm HIGH TO BUILT IN ROBES  
450mm WIDE SHELF & RAIL 1800mm HIGH TO WALK IN ROBES  
4 SHELVES - 450mm WIDE SHELF @ 1850, 1400, 950 & 500  
TOWEL RAIL HEIGHTS AS NOTED ON ROOM LAYOUTS  
TOILET ROLL HOLDER TO BE FIXED AT 700mm ABOVE FL UNLESS OTHERWISE NOTED  
PROVIDE 20mm CLEARANCE TO ALL INTERNAL DOORS

**ROOF CARPENTER NOTE:**  
BOXOUT REQUIRED FOR STANDARD MANHOLE SIZE 800mm x 800mm (NOMINAL) EAVES 500mm WIDE BOXED AND LINED UNLESS OTHERWISE NOTED

**ROOF PLUMBER NOTE:**  
ANY RAINWATER PIPE LOCATION CHANGES PROPOSED BY ROOF PLUMBER TO BE CONFIRMED WITH SUPERVISOR/BUILDER PRIOR TO ANY COMMENCEMENT OF WORKS

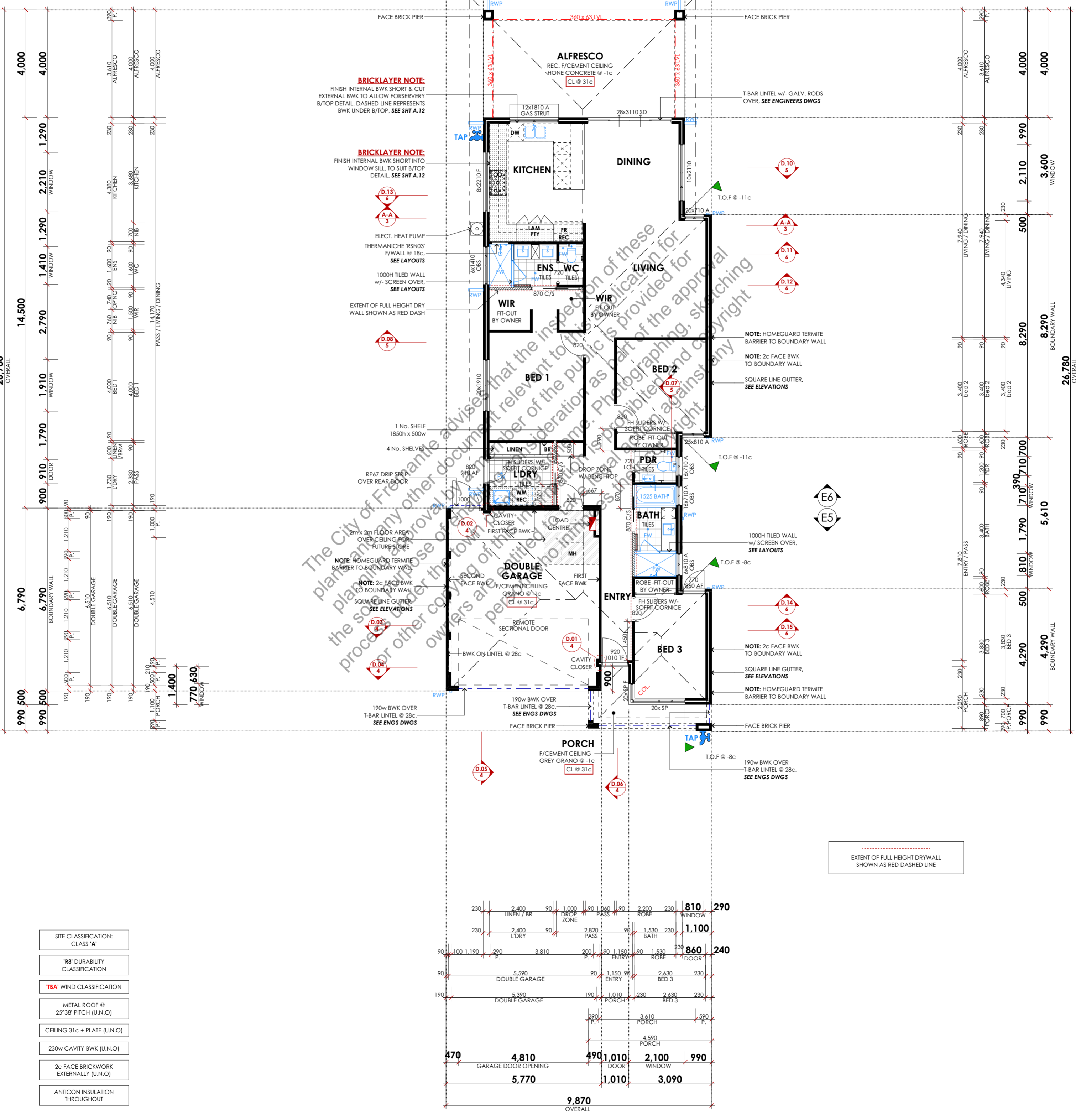
**ENERGY EFFICIENCY NOTE:**  
R5.0 BATT INSULATION TO CEILING (NOT INCLUDING ALFRESCO & PORCH)  
WEATHER SEALS TO EXTERNAL DOORS REFER TO ENERGY REPORT  
ANTICON THROUGHOUT ENTIRE ROOF

AREAS		
	AREA	PERIMETER
GROUND FLOOR	142.88	63.36
GARAGE	38.32	25.12
ALFRESCO	29.96	22.98
PORCH	1.72	5.44
	<b>212.88 m²</b>	
ROOF AREA		
	228.95	74.92

**DO NOT SCALE FROM DRAWING.**  
DIMENSIONS SHOWN ARE TO BE FOLLOWED & MUST BE CHECKED ON SITE

**EXHAUST FAN NOTE:**  
EXHAUST FANS AND RANGEHOOD TO BE FLUMED TO OUTSIDE AIR

(S) DENOTES SMOKE DETECTOR

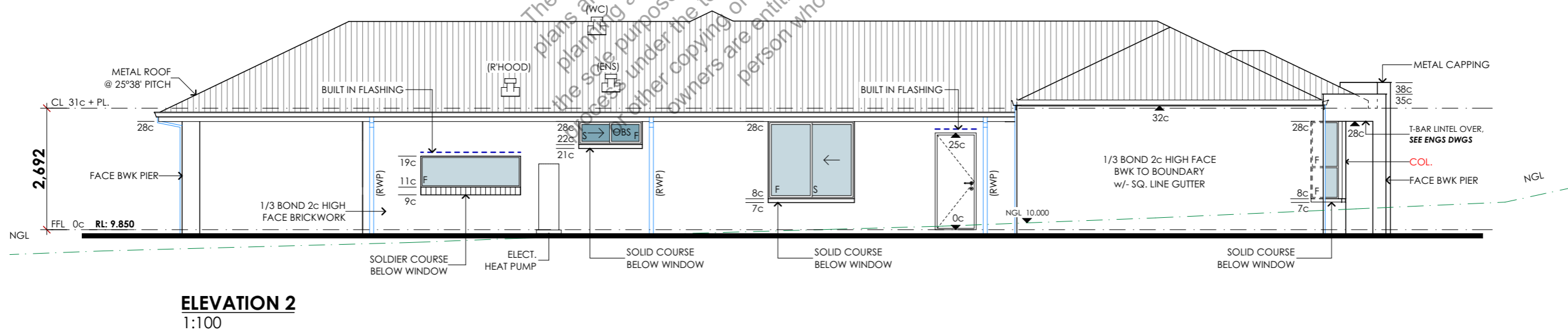
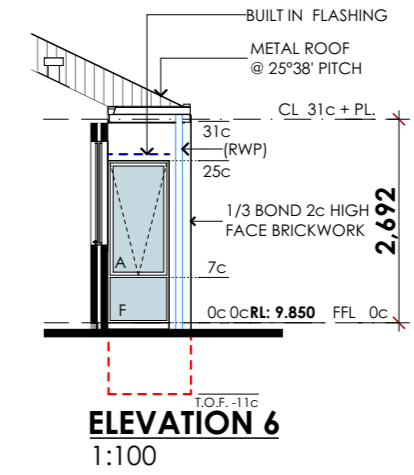
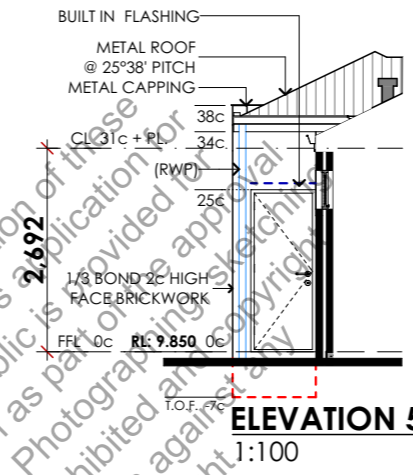
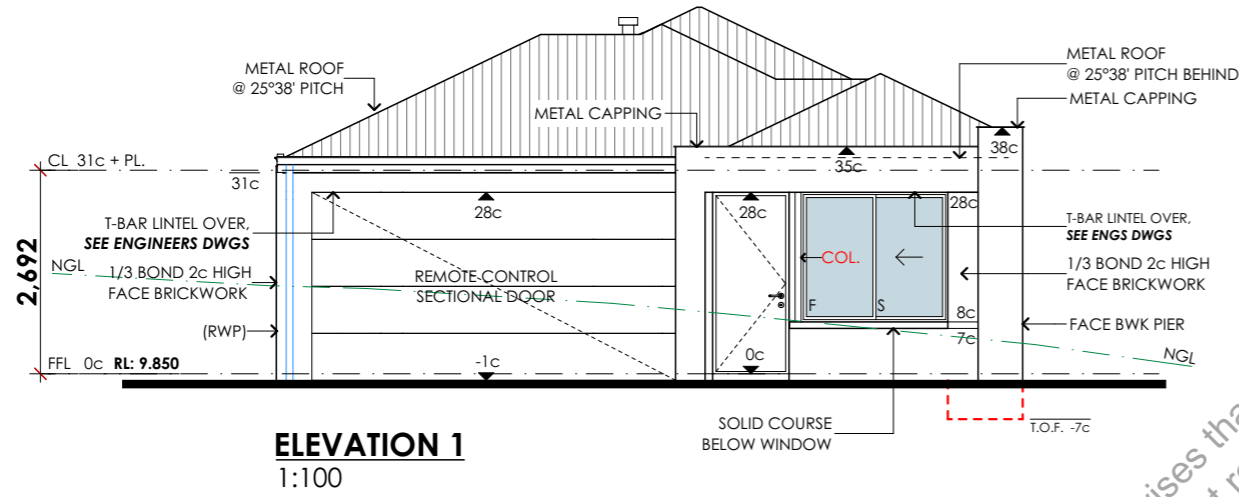


- SITE CLASSIFICATION: CLASS 'A'
- 'R3' DURABILITY CLASSIFICATION
- 'TBA' WIND CLASSIFICATION
- METAL ROOF @ 25°/38° PITCH (U.N.O.)
- CEILING 31c + PLATE (U.N.O.)
- 230w CAVITY BWK (U.N.O.)
- 2c FACE BRICKWORK EXTERNALLY (U.N.O.)
- ANTICON INSULATION THROUGHOUT

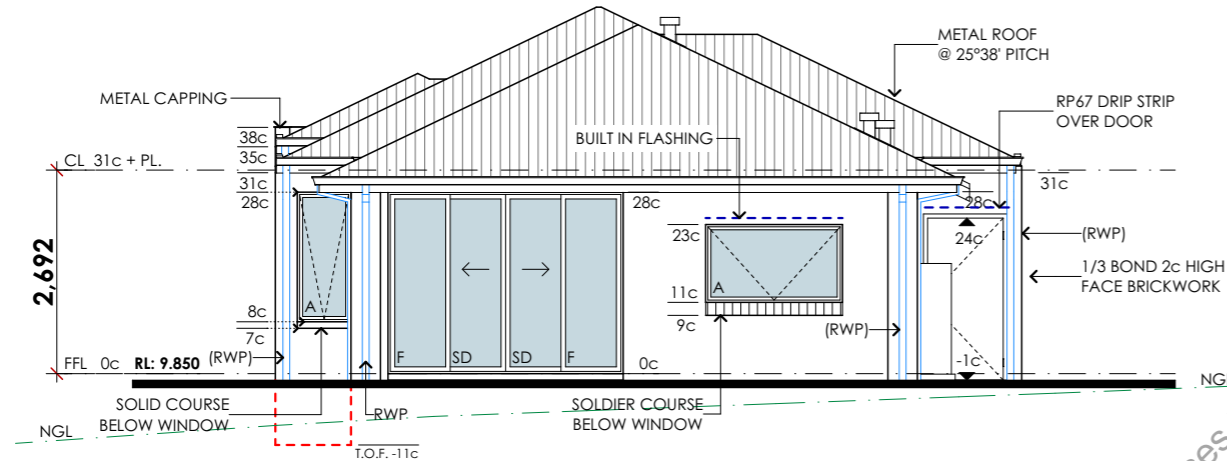
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EXTENT OF FULL HEIGHT DRYWALL SHOWN AS RED DASHED LINE

GLAZING LEGEND

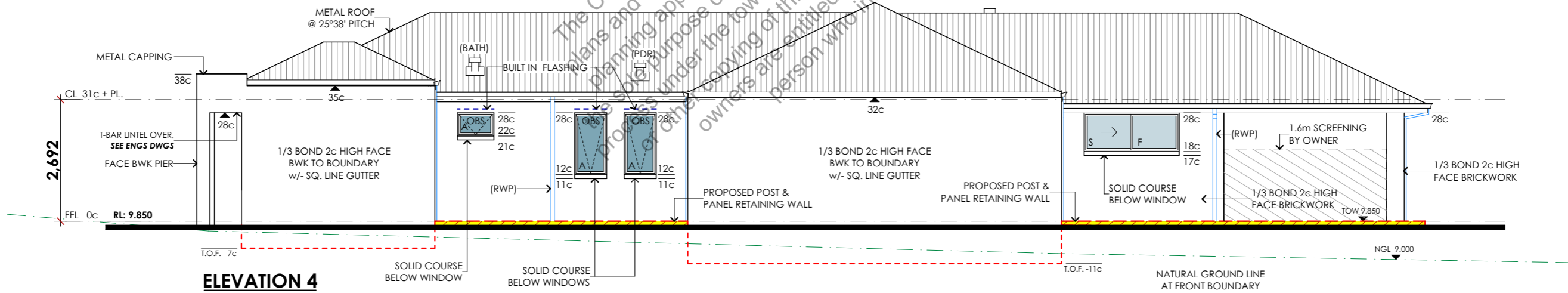
- STANDARD GLAZING
- OBSCURE GLAZING



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**ELEVATION 3**  
1:100



**ELEVATION 4**  
1:100

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