



Local Planning Policy 3.3

Local Planning Areas (East)

White Gum Valley, Samson & Beaconsfield

Local Planning Areas (East)

Statutory background

This is a Local Planning Policy prepared under Schedule 2 of the *Planning and Development (Local Planning Schemes) Regulations 2015* (the Regulations). This policy may be cited as Local Planning Policy 3.3 – Local Planning Areas (East) (LPP 3.3).

Introduction

The purpose of this policy is to encourage development that reinforces and enhances the character of the local areas, support the resilience of the local areas in responding to changing climatic and economic conditions, preserve established development interfaces, and promote activation of the public realm.

Objective

The objective of this policy is to:

- Encourage the development of vibrant, safe streetscapes that respect the existing unique character of each Local Planning Area while supporting their resilience to social, environment and economic challenges.

Application of this Policy

This policy applies to Local Planning Areas contained within the former Kim Beazley school site within White Gum Valley, the Local Centre zone in Samson, and the Lefroy Road Neighbourhood Centre of Beaconsfield. It does not supersede any relevant Local Planning Scheme No.4 (LPS4) provisions or applicable local planning policies, inclusive of heritage requirements.

Developments and other planning proposals seeking to vary the policy criteria are to demonstrate compliance with the objective of this policy, LPS4, and the relevant design principles of the Residential Design Codes (R-Codes). This policy is to be read in conjunction with Schedule 7 – Local Planning Areas (Development Requirements) of LPS4.

Where this policy is inconsistent with the Scheme or an adopted structure plan or local development plan, that instrument shall prevail to the extent of any inconsistency. Where this policy is inconsistent with a more general local planning policy, this policy shall prevail to the extent of any inconsistency.

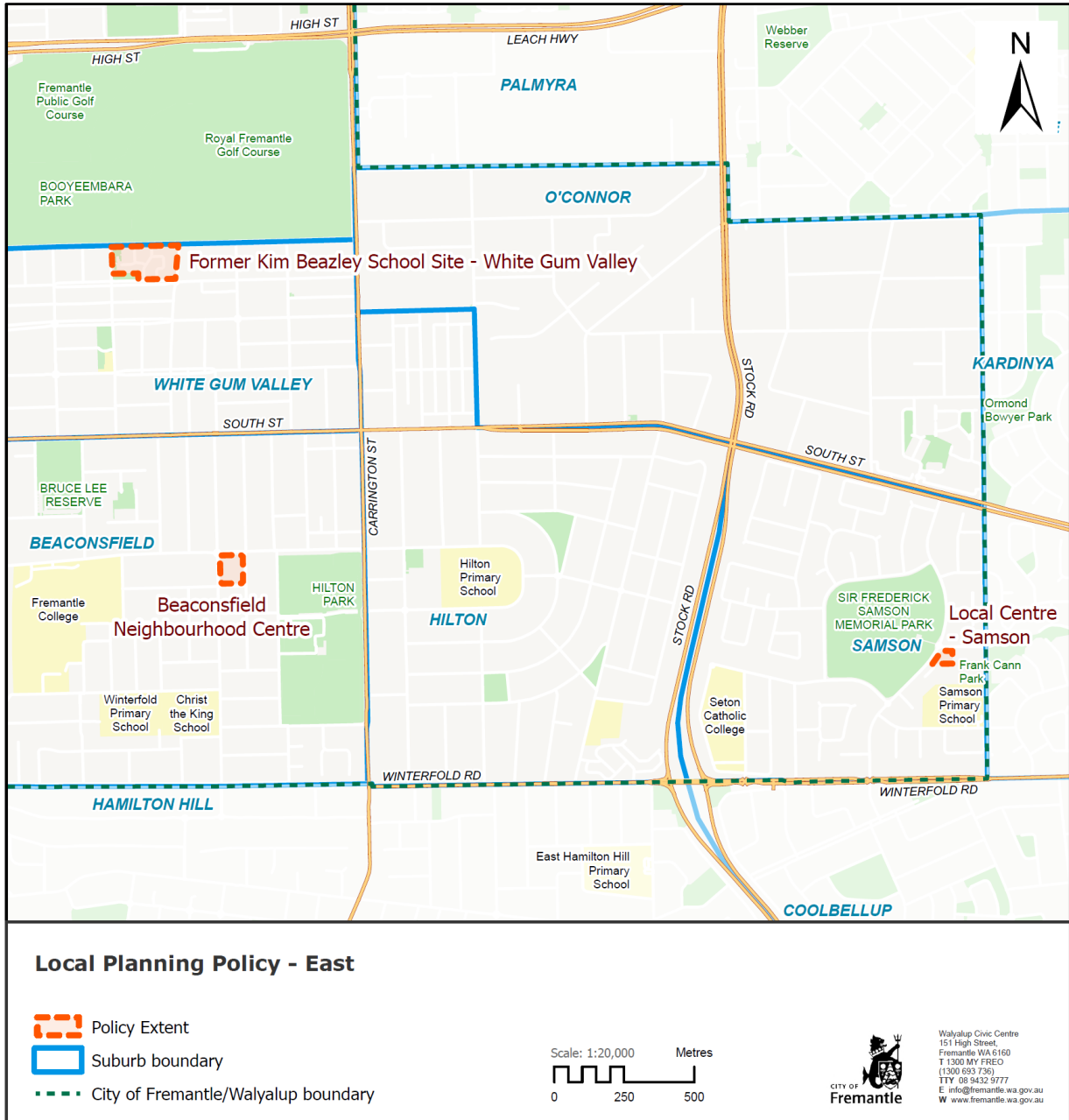


Figure 1: Policy extent within White Gum Valley, Samson, and Beaconsfield

Policy Provisions

1.0 White Gum Valley



Figure 2 – Former Kim Beazley School Site

This sub-policy addresses the remaining undeveloped portions of land, namely:

- Lots 2 and 11 - R60 density coding

Those deemed-to-comply provisions of the Residential Design Codes ("R-Codes") Volume 1 Part C that are varied or replaced by this policy are as follows:

- 1.3 – Communal open space
- 3.2 – Building height
- 3.3 – Street boundary setbacks

Development proposals within Lot 11 are further subject to the requirements of Local Development Plan – Lot 11 Mouquet Vista - White Gum Valley, adopted by the City on 4 June 2019.

The provisions of this policy apply to residential development assessed under Part C of the Residential Design Codes ("R-Codes").

1.1 Street Setbacks

Lots 2 and 11 (R60)

1.1.1 Dwellings shall be setback from the primary street and secondary street(s) in accordance with Figure 3.

1.2 Communal Open Space – Lot 2

1.2.1 A minimum of 20% of Lot 2 shall be set aside for communal open space purposes for the exclusive use of residents.

1.2.2 Variations to the requirements of clause 1.2.1 above may be considered subject to the proposed development meeting the following criterion to the satisfaction of the City:

- i. The requirement for communal open space may be reduced by up to 5% if recreational facilities (i.e. fixed BBQ, seating and shade structures) and soft landscaping demonstrating tree retention, increased tree canopy, and Water Sensitive Urban Design principles inclusive of endemic plantings and permeable surfacing, are provided within the designated communal open space.

1.3 Building Priority Zones

1.3.1 Developments shall provide a contiguous and activated built form frontage to the boundaries identified as "Building Priority Zones" on Figure 3.

1.3.2 Design responses may include but are not limited to, the orientation of dwellings to the street, habitable rooms adjacent and overlooking the public realm and location of primary vehicle and pedestrian entrances for the streets.

1.3.3 No open car parking (carports or open at-grade car parking) is permitted within this zone.



Figure 3: Lots 2 & 11

2.0 Samson

2.1 Local Centre building requirements

Note: Where development includes a residential component assessed under the R-Codes and the below criteria conflicts with the R-Codes, the R-Codes prevail to the extent of any inconsistency unless the criteria is within LPS4.

Item	Provision
a) Wall height	Maximum 6m as per Schedule 7 of LPS4.
b) Setbacks	Nil setbacks, except where the site abuts a residential lot in which instance the setbacks are to align with the Residential Design Codes of the affected lot.
c) Site coverage	50% May be increased where a development incorporates a land use or element that serves the public including but not limited to a hospitality or community purpose use.
d) Landscaping	10% of total lot area. May be reduced to 7% where a Regulated Tree is retained (refer to the City's Tree Retention Local Planning Policy).
e) Trees	1 per 4 car bays provided.
f) Crossovers	Maximum 1 per street frontage, designed to avoid conflict with street trees.
g) Car parking	In accordance with Table 2 of LPS4.

2.1.1 Landscaping should demonstrate waterwise planting principles and tree species appropriate to the environment.

2.2 Matters to be considered

In addition to the *Deemed provisions* within the Regulations, the City shall have regard to:

- The design of vehicle ingress / egress to enable the provision of parking, delivery bays, access and manoeuvrability and to minimise traffic impacts including intrusion of commercial vehicles into adjoining residential streets;
- High standard of landscaping demonstrating water sensitive urban design principles inclusive of permeable surfacing and porous ground covers, species endemic to the Fremantle locality, retention and provision of shade trees sited to avoid conflict with development and trafficable surfaces, and controlled lighting that minimises light spill onto adjoining parkland or other natural reserves and residential areas;
- Materials and finishes to enhance the visual amenity of the area, which can include clay or limestone brick, galvanised steel, and timber. Concrete facades and rendered brick should not be used unless it features articulation, inclusive of windows and patterned scoring, and varying colour to prevent large expanses of blank frontages.

3.0 Beaconsfield

3.1 Neighbourhood Centre (cnr Lefroy Road & York Street Centre) building requirements

This policy does not apply to the South Street Beaconsfield Neighbourhood Centre which is addressed separately under Schedule 7 of LPS4 (Sub-Area 5.3.1)

Note: Where development includes a residential component assessed under the R-Codes and the below criteria conflicts with the R-Codes, the R-Codes prevail to the extent of any inconsistency unless the criteria is within LPS4.

Item	Provision
a) Wall height	Maximum 5.5m as per Schedule 7 of LPS4.
b) Setbacks	Nil setbacks, except where the site abuts a residential lot in which instance the setbacks are to align with the R-Codes of the affected lot.
c) Site coverage	75%
d) Landscaping	10% of total lot area. May be reduced to 7% where a Regulated Tree is retained (refer to the City's Tree Retention Local Planning Policy).
e) Shade Trees	1 per 4 car bays provided.
f) Crossovers	Maximum 1 per street frontage, designed to avoid conflict with street trees. <i>Note: Crossovers to South Street will require Main Roads approval.</i>
g) Car parking	In accordance with Table 2 of LPS4.

3.1.1 Variations to d) and e) may be considered where redevelopment of the existing building is not substantial.

3.1.2 Landscaping should demonstrate waterwise planting principles and tree species appropriate to the environment.

3.2 Matters to be considered

In addition to the *Deemed provisions* within the Regulations, the City shall have regard to:

- The design of vehicle ingress / egress to enable the provision of parking, delivery bays, access and manoeuvrability and to minimise traffic impacts including intrusion of commercial vehicles into adjoining residential streets;
- High standard of landscaping demonstrating water sensitive urban design principles inclusive of permeable surfacing and porous ground covers, species endemic to the Fremantle locality, retention and provision of shade trees sited to avoid conflict with development and trafficable surfaces, and controlled lighting that minimises light spill onto adjoining parkland or other natural reserves and residential areas;
- Materials and finishes to enhance the visual amenity of the area, which can include clay or limestone brick, galvanised steel, and timber. Concrete facades and rendered brick should not be used unless it features articulation, inclusive of windows and patterned scoring, and varying colour to prevent large expanses of blank frontages.

Responsibility and review information

Responsible officer:

Manager City Planning

OFFICIAL

Document adoption/approval details	13/05/2026 – C2605-9
Document amendment details	TBD
Next review date	13/05/2030 (maximum of four years from last review)