

SERVICE LEGEND

DRAINAGE

SIDE ENTRY PIT

STORM WATER MANHOLE

DRAINAGE PIPE

ELECTRICITY

POWER DOME

POWER PIT

POWER POLE

LIGHT POLE

STEEL WIRE ANCHOR

STAY POLE

POWER LINE

GAS

GAS MANHOLE

GAS MARKER

GAS METER

GAS VALVE

GAS LINE

SEWER

SEWER MANHOLE

SEWER INSPECTION OPENING

SEWER LINE

COMMUNICATIONS

COMMUNICATIONS PIT

COMMUNICATIONS MARKER

COMMUNICATIONS LINE

WATER

FIRE HYDRANT

STOP VALVE

WATER TAP

WATER MARKER

WATER METER

WATER PIPE

UNDEFINED

UNDEFINED SERVICE MARKER

UNDEFINED MANHOLE

UNDEFINED SERVICE

SURVEY

DATUM

PEG FOUND

PHOTO LOCATION

STRUCTURES

MAJOR BUILDING

MINOR BUILDING

RETAINING WALL

ROOF LINE

ROOF LINE (DERIVED FROM AERIAL)

WINDOW (GROUND LEVEL)

WINDOW (MID / SUB LEVEL)

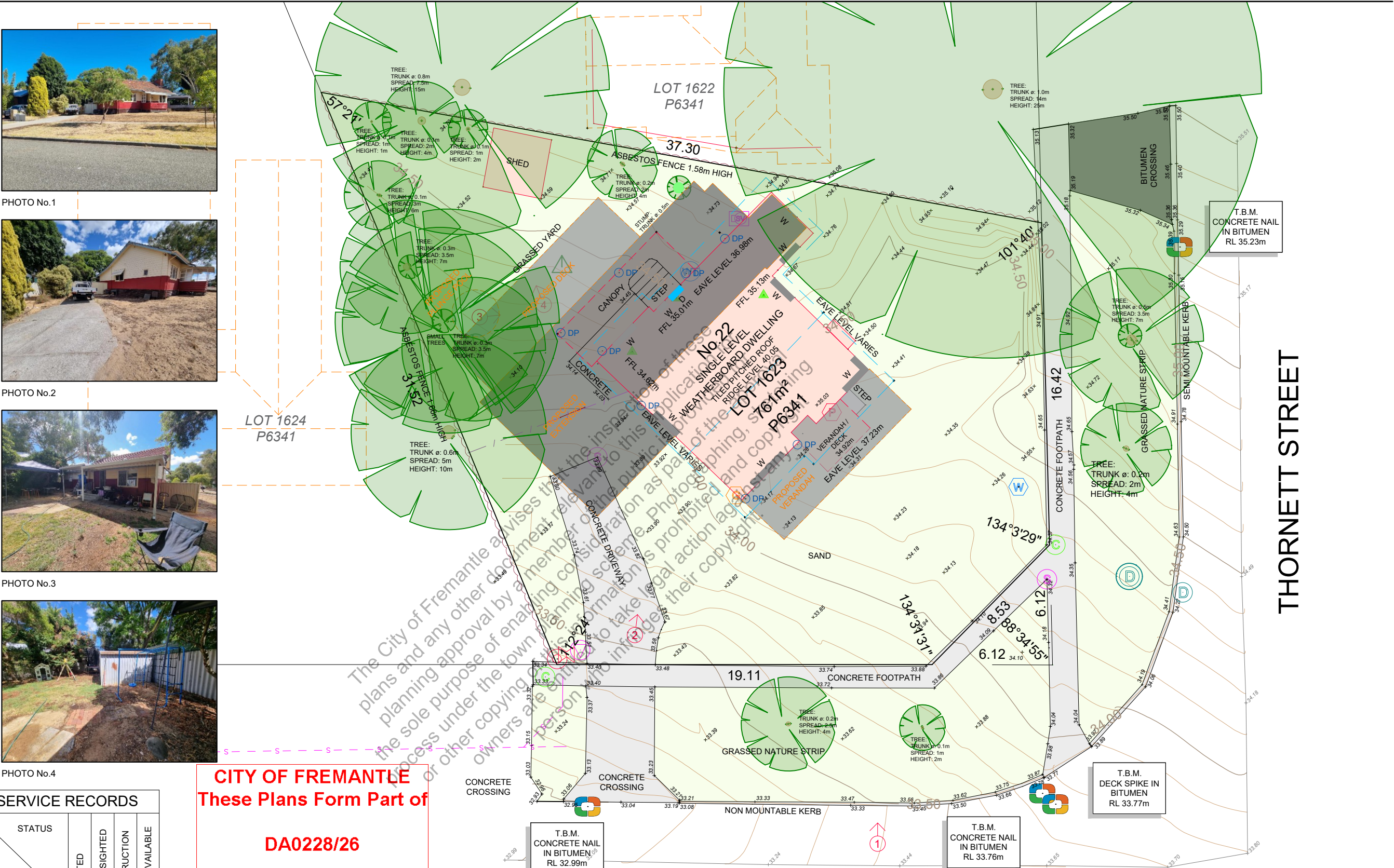
WINDOW (TOP LEVEL)

ROAD CENTRE LINE

VEGETATION

TREE

SHRUB



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NOTE:
LOT GREATER THAN 1km TO THE COAST.

WARNING!
BOUNDARY RE-ESTABLISHMENT SURVEY
REQUIRED TO CONFIRM LOT BOUNDARY
POSITION AND DIMENSIONS

SERVICE RECORDS				
STATUS	SERVICE	LOCATED	ONLY SIGHTED	OBSTRUCTION
	WATER		✓	
	SEWER		✓	
	GAS		✓	
	TEL/COMM		✓	
	POWER	U/G	✓	
	O/H			✓

HARWOOD STREET

SITE SURVEY ONLY.

The information shown on this drawing is current at the date of survey. Boundary information, Easements ETC. to be verified from the Certificate of Title, Plan/Diagram or a boundary Repeg Boundary position approximate only. Location of boundary pegs or fences in relation to the boundary lines are not guaranteed. Sewer, drainage may vary from the schematic representation, clearances to be checked on site. Service information to be confirmed with the relevant authorities. For underground services ring "DIAL BEFORE YOU DIG" for confirmation.

NOTE:
LEVELS ARE TO AHD
ORIGIN OF LEVELS:
SEWER MANHOLE: w8772
LID RL: 32.65m
*VALUE ADOPTED FROM WATER CORP RECORDS



REV	DATE	BY	DESCRIPTION
A	03/02/2026	RP	ISSUE FOR REVIEW
0	03/02/2026	RH	ISSUE FOR USE
1	07/05/2026	RH	ADDITIONAL TREES & PROPOSED STRUCTURES

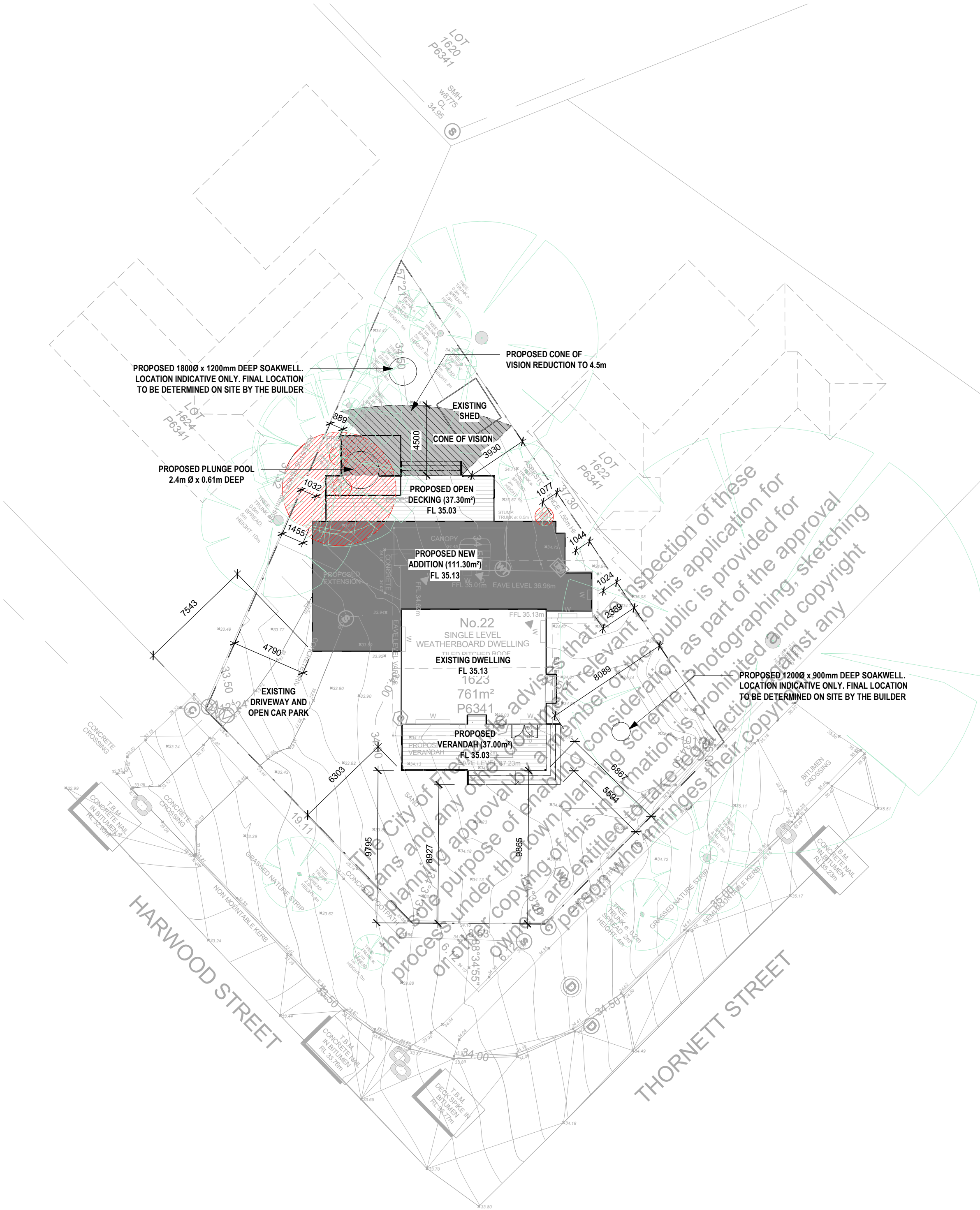
SCALE @ A3: 1:200

0 2 4 6 8 10 20

DOCUMENT NUMBER
260127-260008b-JS-FS-2

SURVEYED	DATE	DRAFTED	DATE	REVIEWED	DATE
JS	27/01/2026	JS/RP	03/02/2026	RH	03/02/2026

BUILDER REF: N/A	ADDRESS 22 HARWOOD STREET HILTON
VERT. DATUM: AHD (WATER CORP)	BUILDER ANNIE ZITO
LOT NUMBER 1623	
PLAN/DIA P6341	
CERT/TITLE 1590/390	



SURFACE WATER IS TO BE GRADED AWAY FROM THE PROPOSED BUILDING BY CREATING A SLOPE OF NOT LESS THAN 50mm OVER THE FIRST 1m.

DWELLING SLAB LEVEL TO BE A MINIMUM OF 150mm ABOVE THE FINISHED NATURAL GROUND LEVELS.

NOTE:
DOWNPIPES QUANTITIES AND LOCATION TO BE CONFIRMED BY ROOF PLUMBER. ALL DOWNPIPES TO CONNECT TO SOAKWELL WITH STORMWATER PIPES TO PLUMBER'S REQUIREMENT.

STORMWATER DISPOSAL TO COUNCIL REQUIREMENTS. SOAKWELL TO HAVE TRAFFICABLE LIDS AND ARE POSITIONED AT THE PLUMBER'S DISCRETION.

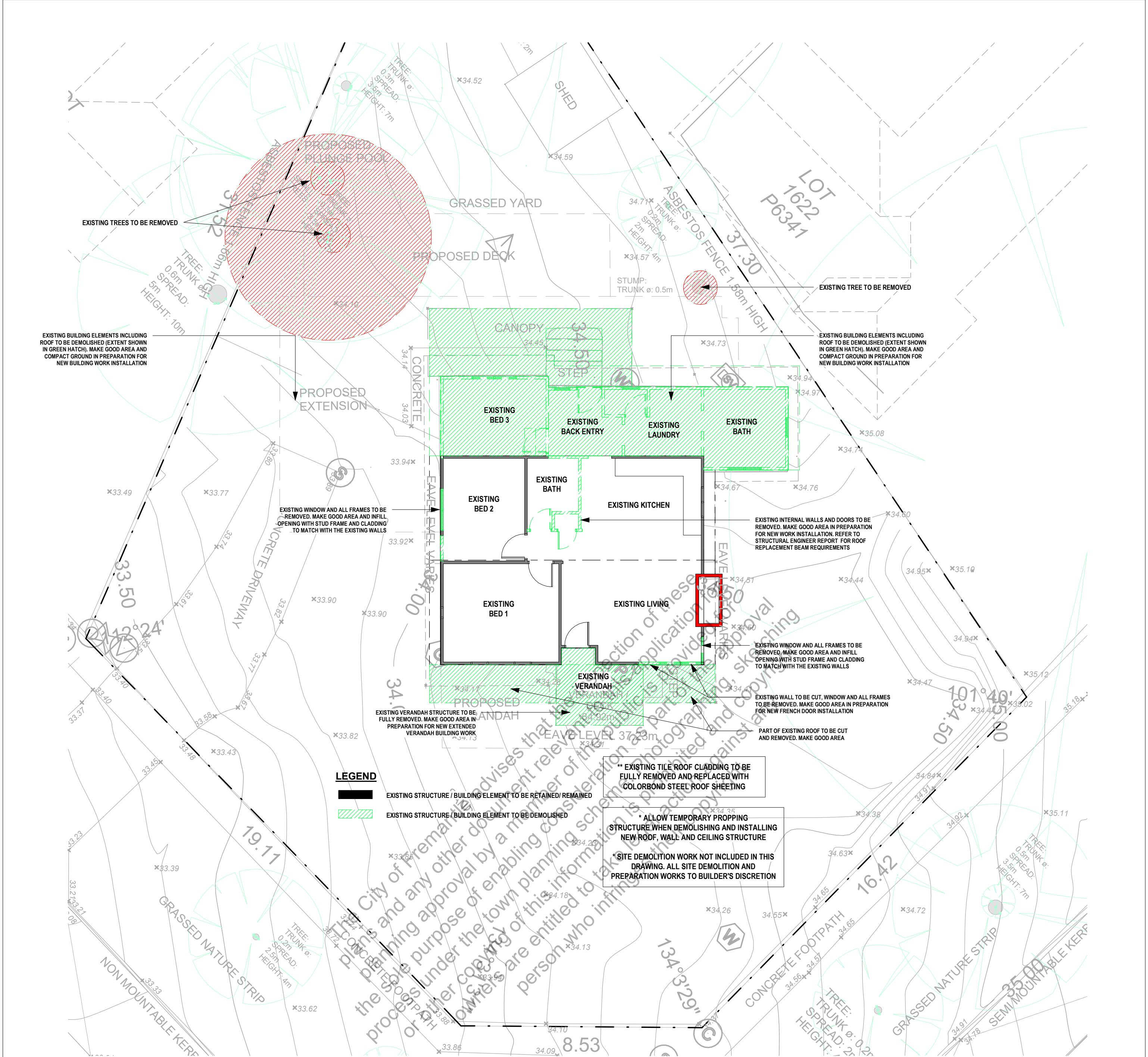
- GENERAL NOTES**
1. VENTILATION IN ACCORD WITH THE LATEST SEWERAGE, LIGHTING, VENTILATION, & CONSTRUCTION REGULATIONS 1971 & AS1668.
 2. IT IS THE BUILDER'S RESPONSIBILITY TO COMPLY WITH ALL STATUTORY AUTHORITY REGULATIONS AND REQUIREMENTS WHICH IN THE EVENT OF ANY DISCREPANCY SHALL TAKE PRECEDENCE OVER THESE DRAWINGS
 3. BUILDER TO CHECK DRAWINGS PRIOR TO COMMENCEMENT OF ANY WORK.
 4. BUILDER MUST CHECK CONFIRM ON SITE ALL DIMENSIONS IN ACCORDANCE WITH THESE PLANS . DO NOT SCALE FROM DRAWINGS.
 5. ALL DRAWINGS MUST BE READ IN CONJUNCTION WITH THE STRUCTURAL ENGINEER DRAWINGS, ENERGY ASSESSMENT REPORT, MANUFACTURER'S SPECIFICATIONS/DETAILS & ANY OTHER DOCUMENTATION FORMING PART OF THE PROJECT.
 6. ALL FLASHING AND DAMP-PROOF-COURSES FIXING TO BUILDER'S DETAIL, TO PREVENT RAINWATER ENTERING THE WORKS ON COMPLETION.
 7. ALL BUILDING & OTHER WORKS TO BE CARRIED OUT IN ACCORDANCE WITH NATIONAL CONSTRUCTION CODE (NCC) & OTHER RELEVANT STANDARDS, REGULATIONS, BY-LAWS & LOCAL LAWS OF ALL STATUTORY AUTHORITIES.
 8. DRAINAGE REQUIREMENTS (SUBSOIL, SOAKWELLS, RUNOFF AND STORMWATER) ARE TO BE DETERMINED ON SITE. ENSURE THERE IS NO DISCHARGE OR POOLING OF WATER AGAINST THE SLAB AND / OR FOOTINGS.
 9. ANY DISCREPANCIES TO BE NOTIFIED TO STRUCTURAL ENGINEER PRIOR TO WORK COMMENCING.

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								SITE PLAN 	SHEET SIZE: A2	PROJECT TITLE		
									PROPOSED NEW ADDITION TO EXISTING DWELLING			
									SITE ADDRESS			
												LOT 1623 (#22) HARDWOOD STREET, HILTON WA 6163



DEMOLITION NOTES

- DISCREPANCIES IN REGARDS TO EXISTING STRUCTURE NEEDING TO BE DEMOLISHED WHICH ARE NOT MARKED ON THE PLAN, PLEASE CONTACT THE ENGINEER/ DRAFTPERSON BEFORE COMMENCING DEMOLITION.
- CAP OFF EXISTING PLUMBING AND ELECTRICAL WORKS AS NECESSARY BY CERTIFIED TRADESPERSON.
- ALLOW TEMPORARY PROPPING STRUCTURE WHEN DEMOLISHING AND INSTALLING NEW ROOF, WALL AND CEILING STRUCTURE.
- MODIFIED BRICKWORK TO BE TOOTHED INTO EXISTING WHERE APPLICABLE AND CAVITY TO REMAIN CONTINUOUS AT ALL TIMES.
- EXISTING MATERIALS TO BE REUSED TO OWNERS DETAIL.
- INVESTIGATION SHOULD BE UNDERTAKEN BEFORE ALL WORKS THAT REQUIRES EXCAVATION.
- MAKE GOOD AREAS WHERE WORK IS BEING CARRIED OUT.
- ALLOW FOR THE REMOVAL AND DISPOSAL OF REMOVED, DEMOLISHED OR EXCESS MATERIALS.
- SITE TO BE CLEANED & MADE GOOD AT CONCLUSION OF WORKS. ALL DEBRIS TO BE REMOVED IN TOTAL FROM SITE AND AREA TO BE LEFT WITH CLEAN SOIL GROUND FINISH ALL READY FOR NEW SCOPE OF WORKS.
- MATERIALS REMOVED FROM SITE MUST BE DISPOSED OF AS PER COUNCIL REGULATIONS.

DEFINITIONS

- MATCH EXISTING - MATCH EXISTING MEANS USE MATERIALS, PRODUCTS AND METHODS TO CLOSELY MATCH ALL VISUAL AND PHYSICAL CHARACTERISTICS AND FEATURES OF THE EXISTING WORK, WITH JOINTS BETWEEN EXISTING AND NEW WORK AS INCONSPICUOUS AS POSSIBLE.
- MAKE GOOD - MAKE GOOD MEANS CARRY OUT LOCAL REMEDIAL WORK TO AND AROUND AREAS SO DESCRIBED INCLUDING THE REMOVAL AND REPLACEMENT OF DEFECTIVE MATERIALS AND PRODUCTS, PATCHING, DRESSING DOWN, EXTENDING EXISTING FINISHES, MAKING MINOR REPAIRS AND ADJUSTMENTS AND RE-DECORATING.
- RETAIN/ RETAIN - RETAIN MEANS KEEP ITEM IN THE PRESENT POSITION
- REMOVE/ DEMOLISH - REMOVE / DEMOLISH MEANS TO TAKE AWAY FROM PRESENT POSITION BY DEMOLISHING & DISPOSING OF ITEM.

*IMPORTANT NOTES AND DISCLAIMER

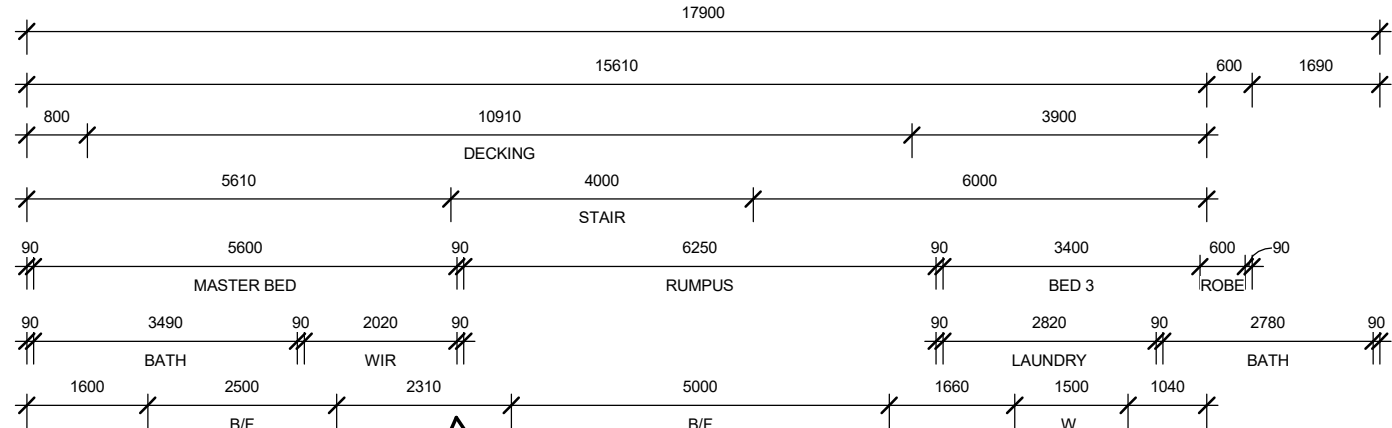
- ALL EXISTING INFORMATION, BUILDING ELEMENTS AND DIMENSIONS SHOWN ON THIS DRAWINGS ARE APPROXIMATE ONLY, AND ARE BASED ON THE INFORMATION OBTAINED FROM THE ORIGINAL SURVEY PLAN AND HOUSE DRAWINGS PROVIDED BY THE CLIENT. ALL INFORMATION AND DETAILS SHOWN ARE PURELY DIAGRAMMATIC AND INTENDED FOR REPRESENTATION PURPOSE ONLY; ACTUAL BUILDING ELEMENTS AND CONDITION MAY VARY.
- THE DRAFTSPERSON ACCEPTS NO LIABILITY OR RESPONSIBILITY FOR ANY INACCURACIES OR MISINFORMATION IN THE DRAWING.

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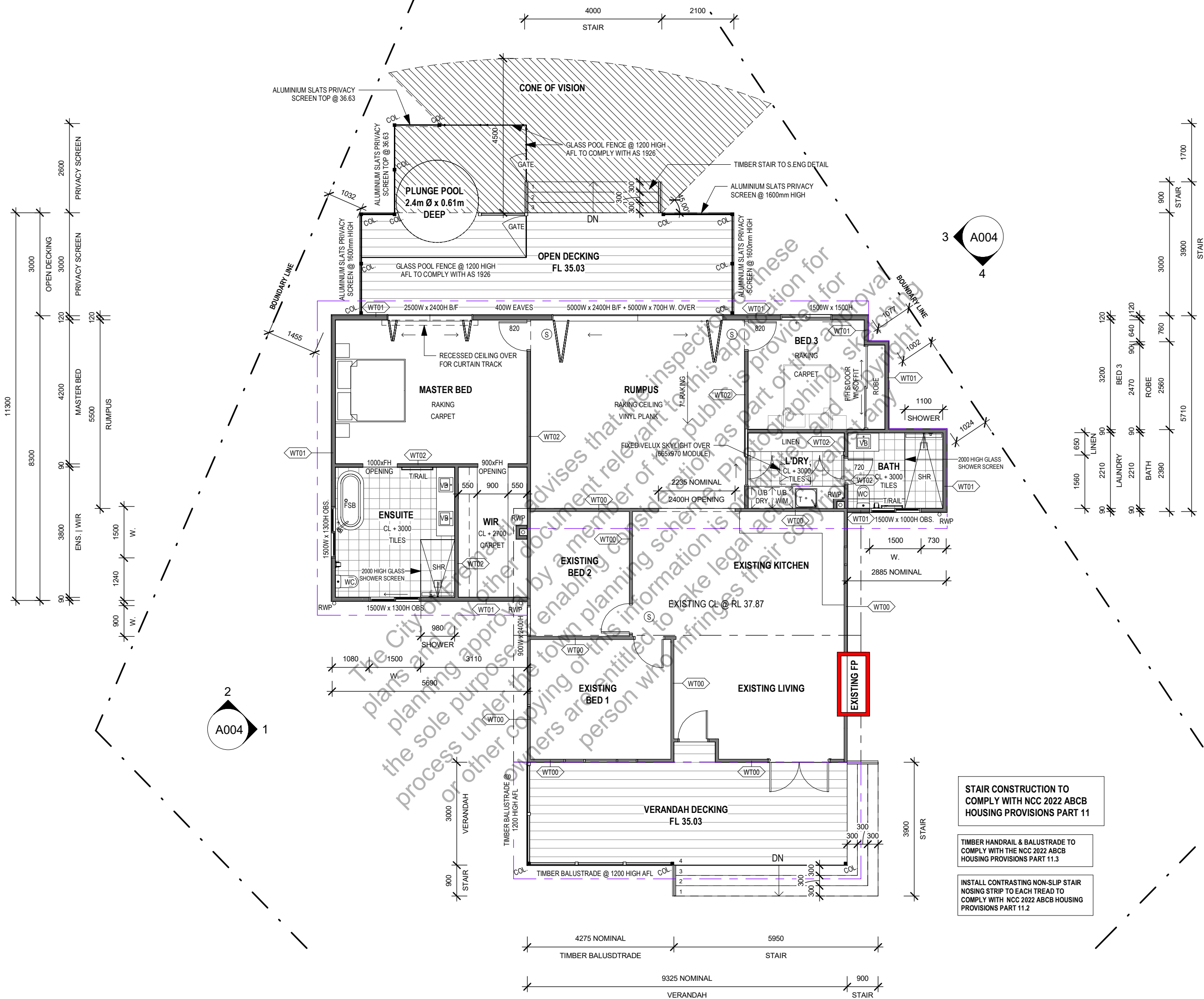
COPYRIGHT This drawing / plan and all information contained in this document are the copyright of SPD DRAFTING SERVICES. Use or copying of this document in whole or part without the written permission of SPD DRAFTING SERVICES constitutes an infringement of copyright.	F E D C B A No.	ISSUE FOR DA APPLICATION ISSUE FOR DTCC AMENDED DRAFT AMENDED DRAFT FIRST DRAFT DRAWINGS	13/05/2026 07/04/2026 30/03/2026 24/03/2026 07/03/2026 26/02/2026	CLIENT / OWNER SIGNATURE			*DISCLAIMER This drawing is strictly for council application purpose only and does not form part of construction drawings. Project owners (clients) hold full responsibilities & liabilities for supervision & coordination to all construction related works & details, including but not limited to, project management, materials and finishes selection, compliance with Australian Standards, building regulations and latest NCC, safety, and any unforeseen issues arising during construction. The Draftsperson's services are strictly limited to drafting work only and is not liable or responsible for any aspects of the project management and construction process/activities after building permit approval, or any direct or indirect consequences, damages, or losses stemming from the work performed.	DRAWING TITLE EXISTING AND DEMOLITION PLAN	SCALE: 1 : 100 SHEET SIZE: A2	REV No. F DRAWING No. A002 JOB No. 261020
				NAME:	SIGNATURE	DATE				



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RAINWATER GUTTER AND DOWNPIPE NOTES

RAINWATER GUTTER AND DOWNPIPES TO COMPLY WITH NCC 2022 PART 7.4. DOWNPIPES LOCATION AND QUANTITIES SHOWN ON THIS DRAWING ARE INDICATIVE ONLY AND MUST BE VERIFIED, CONFIRMED AND SIGN OFF BY A QUALIFIED ROOF PLUMBER. ALL RAINWATER GUTTERS AND DOWNPIPES ARE TO BE SPECIFIED BY THE ROOF PLUMBER, AND MUST BE SELECTED TO SUIT THE SPECIFIC ROOF DESIGN, PITCH, AND DRAINAGE REQUIREMENTS OF THE BUILDING. THE SPECIFIED RAINWATER GUTTER AND DOWNPIPE SYSTEM MUST BE ADEQUATELY LAYOUT TO ENSURE ADEQUATE WATER RUNOFF MANAGEMENT AND COMPLY WITH ALL LATEST RELEVANT BUILDING CODES AND AUSTRALIAN STANDARDS, INCLUDING APPROPRIATE MATERIALS, SIZES, AND INSTALLATION METHODS TO HANDLE EXPECTED RAINFALL INTENSITIES FOR THE REGION.

GENERAL NOTES:

- ALL WORK MUST BE COMPLETED IN ACCORDANCE WITH THE NATIONAL CONSTRUCTION CODE 2022 (LATEST AMENDMENT), ABCB HOUSING PROVISIONS AND THE LATEST RELEVANT AUSTRALIAN STANDARDS BY A FULLY LICENCED / REGISTERED BUILDER.
- IT IS THE BUILDERS RESPONSIBILITY TO ENSURE ALL CONSTRUCTION WORKS COMPLY WITH THE NCC 2022 (LATEST AMENDMENT), LATEST AUSTRALIAN STANDARDS AND ALL OTHER STATUTORY AUTHORITY REGULATIONS AND REQUIREMENTS WHICH IN THE EVENT OF ANY DISCREPANCY SHALL TAKE PRECEDENCE OVER THESE DRAWINGS.
- ALL DIMENSIONS AND LEVELS SHOWN ON THESE DRAWINGS MUST BE CHECKED AND CONFIRMED ON SITE BY BUILDER PRIOR TO ANY CONSTRUCTION WORK COMMENCING. DRAFTSPERSON ACCEPTS NO LIABILITY OR RESPONSIBILITY FOR ANY INACCURACIES IN DIMENSIONS. DO NOT SCALE FROM DRAWINGS.
- ALL DRAWINGS MUST BE READ IN CONJUNCTION WITH STRUCTURAL ENGINEER DRAWINGS, ENERGY EFFICIENCY REPORT AND ANY OTHER RELEVANT CONSULTANTS DRAWINGS.
- DRAINAGE REQUIREMENTS (SUBSOIL, SOAKWELLS, RUNOFF AND STORMWATER) ARE TO BE DETERMINED ON SITE. ENSURE THERE IS NO DISCHARGE OR POOLING OF WATER AGAINST THE SLAB AND / OR FOOTINGS.

DIMENSION NOTE:

- WALL DIMENSIONS SHOWN ON DRAWING ARE TO STRUCTURAL SIZES, NOT FINISHES SIZES, DUE TO DIFFERENCE IN MATERIAL/ FINISHES THICKNESSES AND TOLERANCES.

INSULATION NOTE:

- INSTALL BATTS INSULATION THROUGHOUT / CEILING SPACE IN ACCORDANCE WITH NCC 2022 (LATEST AMENDMENT) AND ENERGY EFFICIENCY REQUIREMENTS.
- INSTALL WALL BATTS INSULATION IN ACCORDANCE WITH ENERGY EFFICIENCY REQUIREMENTS.

WET AREA NOTES:

- WET AREAS WATERPROOFING TO COMPLY WITH THE LATEST AS 3740 AND NCC 2022 ABCB HOUSING PROVISIONS PART 10.2.
- TILED UPTURN MIN. 300mm ABOVE FINISH FLOOR LEVEL TO WET AREAS. 1200mm TILED UPTURN ABOVE FINISH FLOOR LEVEL TO BATHROOM AND ENSUITE WALLS. SHOWER WALL TILES TO BE FULL HEIGHT.
- LOCATION OF FLOOR WASTES TO WET AREAS TO BE DETERMINED BY A QUALIFIED PLUMBER.
- ALL PLUMBING PENETRATIONS TO BE FULLY WATERPROOF SEALED TO PLUMBER'S DETAIL.

③ DENOTES HARD WIRED INTERCONNECTED SMOKE DETECTOR TO THE LATEST A.S. 3786

* ALL CAPPINGS, GUTTER, DOWNPIPE, DRIP RAILS, FLASHING, POP-INS & CLIPS FITTED TO BUILDER'S DETAIL

ROOF CONSTRUCTION NOTE:

- TIMBER ROOF STRUCTURES TO BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST AS 1684, NCC 2022 (LATEST AMENDMENT), ABCB HOUSING PROVISIONS AND S/ENG DESIGN AND DETAILS
- ROOF TO BE FULLY SARKED
- ROOF SHEETING TO BE COLORBOND STEEL

FITOUTS AND FURNITURE NOTES:

- ALL FURNITURE AND FITOUTS SHOWN ON THIS DRAWING ARE INDICATIVE ONLY. FINAL CONFIGURATIONS TO OWNER'S REQUIREMENTS.

GLAZING NOTES:

- ALL GLAZING TO COMPLY WITH THE LATEST AS 2047, AS 1288, AND NCC 2022 ABCB HOUSING PROVISIONS PART 8.
- REFER TO ENERGY ASSESSMENT REPORT FOR GLAZING TYPE. ALL GLAZING FRAMING TO BE ALUMINIUM, INSTALL IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS.
- ALL EXTERNAL GLAZED WINDOWS AND DOORS TO BE FITTED WITH FLYSCREEN
- ALL WINDOWS AND DOORS TO BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S DETAILS AND SPECIFICATIONS.
- INSTALL FLASHING AROUND FRAMES TO PREVENT MOISTURE PENETRATION TO INTERNAL AREAS.

TIMBER NOTES:

- All timber work to be in accordance with the latest:-
 - a) AS 1684 - timber framing code
 - b) AS 1720 - Timber structural code
- Roof to be tied down to resist uplift as required in AS 1684 - timber framing code

All timber to be protected against fungal and termite attack in accordance with AS 3660 and AS 1604. Internal timber above ground not exposed to weather to be treated to hazard grade H2. Timber above ground exposed to weather to be treated to hazard grade H3. Timber in contact with ground to be treated to hazard level H4. Termite treatment to be termite resistant materials in accordance with AS 3660.1

POOL FENCE NOTES:

- POOL FENCE / SAFETY BARRIER & GATE TO COMPLY WITH NCC 2022 (LATEST AMENDMENT) & AUSTRALIAN STANDARDS:-
 - AS 1926.1 - PART 1: FENCING FOR SWIMMING POOLS
 - AS 1926.1 - PART 1: SAFETY BARRIERS FOR SWIMMING POOLS
 - AS 1926.2 - PART 2: LOCATION OF SAFETY BARRIERS FOR SWIMMING POOLS
- POOL COVER TO COMPLY WITH AS 5348 AND NCC 2022 (LATEST AMENDMENT)
- AND ALL CURRENT SAFETY REGULATIONS

GATE TO THE POOL FENCE MUST BE FITTED WITH FASTENINGS TO PERMANENTLY CLOSE THE DOOR (TO BE ADVISED BY THE POOL CONTRACTOR)

* POOL FENCE TO BE INSTALLED IN ACCORDANCE WITH THE INSTALLER/ MANUFACTURER SPECIFICATION AND DETAILS. IN STRICT COMPLIANCE WITH AS 1926.1.

WALL TYPE LEGEND

CODE	DESCRIPTION
WT00	EXISTING TIMBER STUD FRAME WALL
WT01	EXTERNAL WALL. 90x45 TIMBER STUD FRAME TO STRUCTURAL ENGINEER DESIGN AND DETAIL. HARDIEWRAP VAPOUR BARRIER. HARDIE CAVITY BATTENS TO COMPLY WITH THE LATEST AUSTRALIAN STANDARDS AND NCC 2022. SELECTED JAMES HARDIE EXTERNAL COMPRESSED FIBRE CEMENT WALL CLADDING, 10mm GYPROCK PLASTERBOARD INTERNAL WALL LINING (MOISTURE RESISTANT PLASTERBOARD WALL LINING TO WET AREAS). BATTS INSULATION AS PER ENERGY EFFICIENCY REQUIREMENT.
WT02	INTERNAL WALL. 90x45 TIMBER STUD FRAME TO STRUCTURAL ENGINEER DESIGN AND DETAIL. 10mm GYPROCK PLASTERBOARD INTERNAL WALL LINING TO EACH SIDE (MOISTURE RESISTANT PLASTERBOARD WALL LINING TO WET AREAS). BATTS INSULATION AS PER ENERGY EFFICIENCY REQUIREMENT.

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No.	Description	Date
F	ISSUE FOR DA APPLICATION	13/05/2026
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D	AMENDED DRAFT	30/03/2026
C	AMENDED DRAFT	24/03/2026
B	AMENDED DRAFT	07/03/2026
A	FIRST DRAFT DRAWINGS	26/02/2026

CLIENT / OWNER SIGNATURE

NAME: SIGNATURE: DATE:

NAME: SIGNATURE: DATE:

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DRAWING TITLE

GROUND FLOOR PLAN

SCALE: 1 : 100

SHEET SIZE: A2

REV No. F

DRAWING No. A003

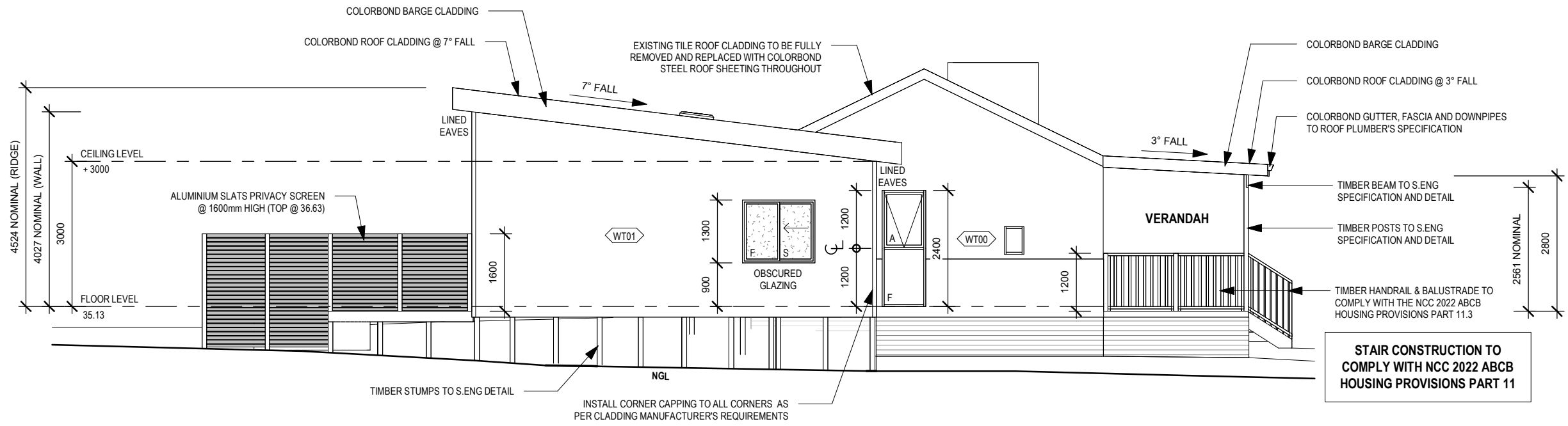
JOB No. 261020

PROJECT TITLE

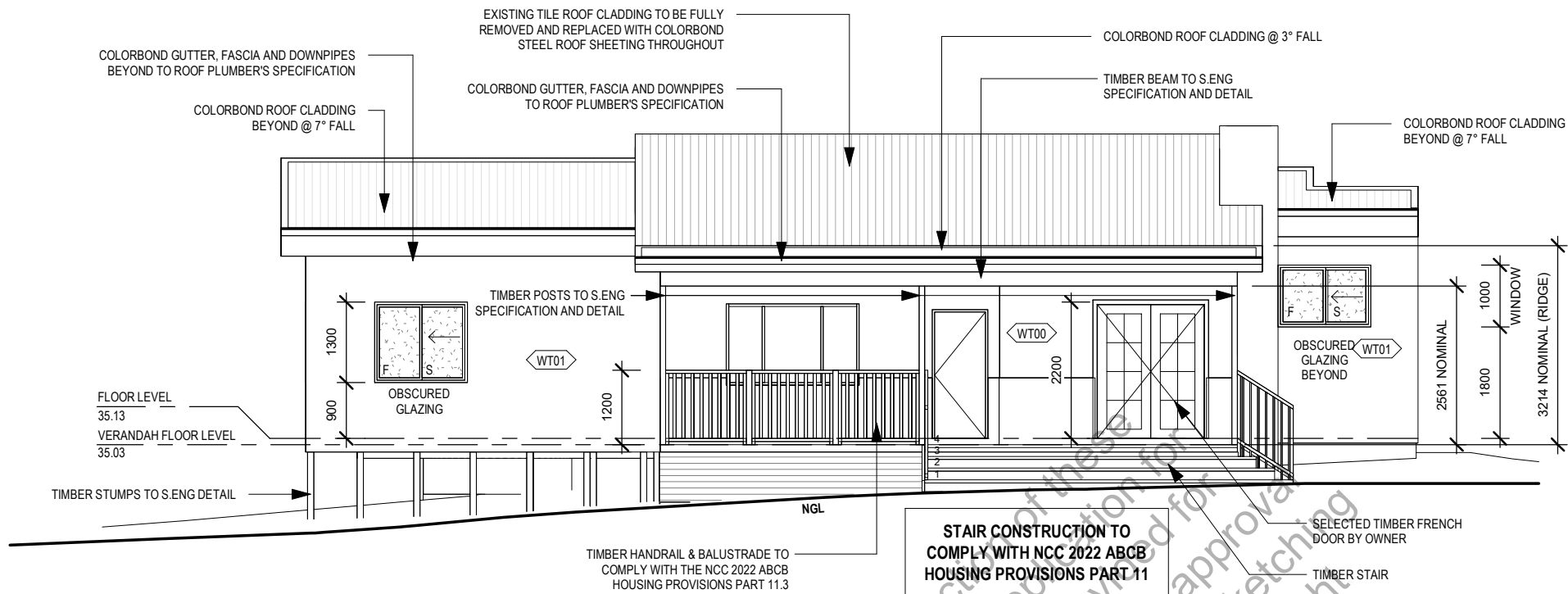
PROPOSED NEW ADDITION TO EXISTING DWELLING

SITE ADDRESS

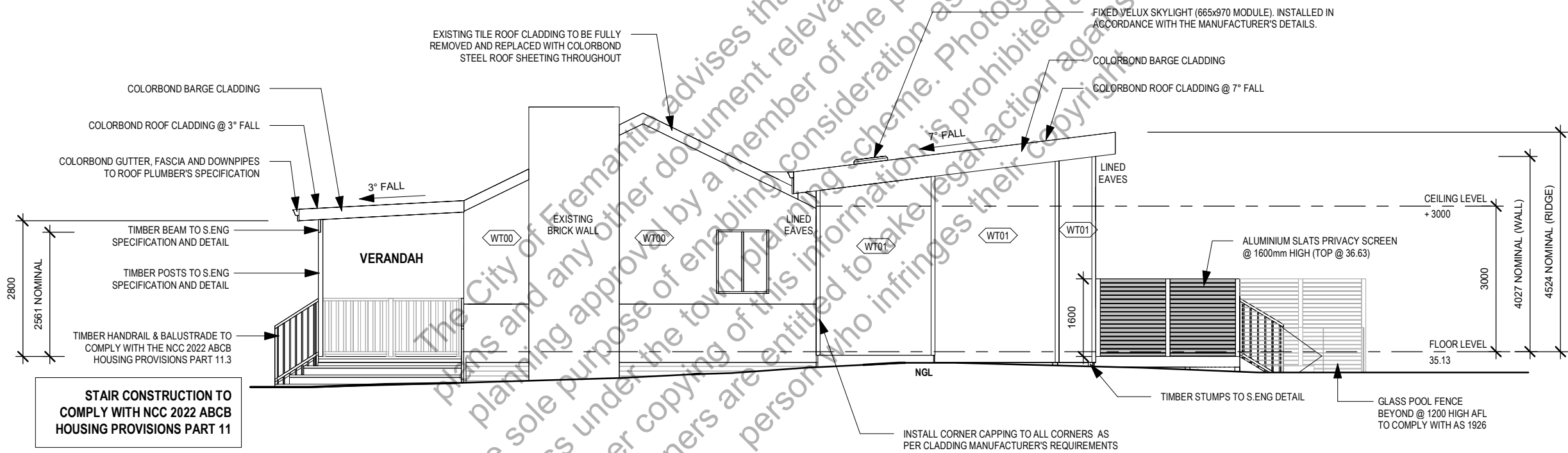
LOT 1623 (#22) HARDWOOD STREET, HILTON WA 6163



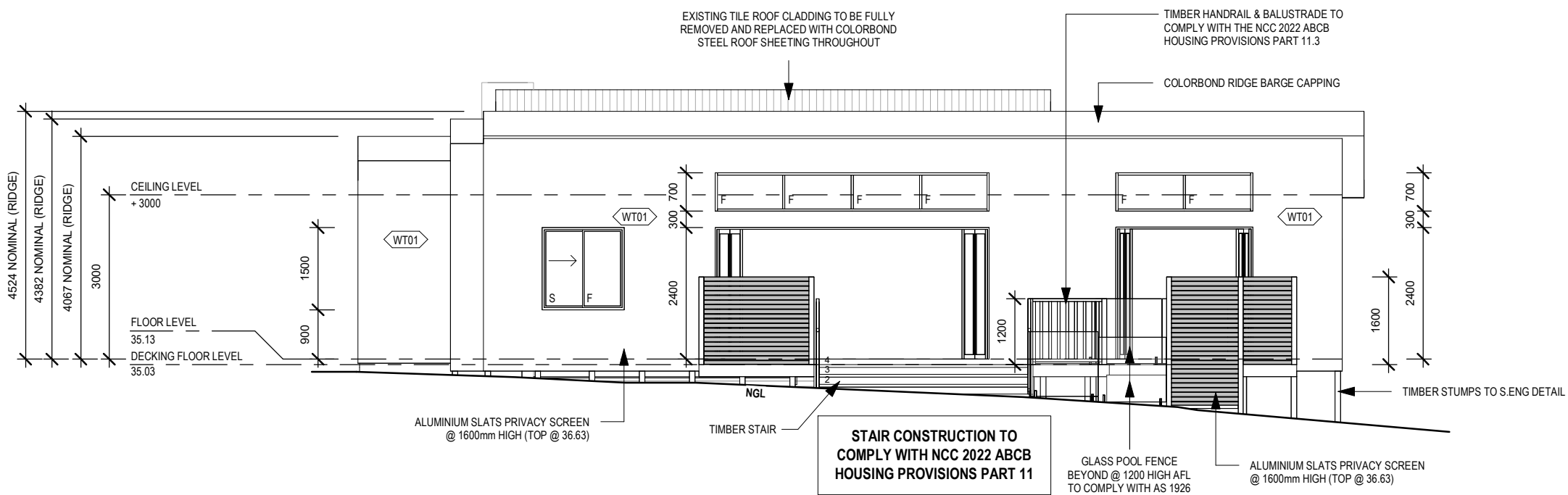
1 SOUTH WEST ELEVATION
1 : 100



2 SOUTH EAST ELEVATION
1 : 100



3 NORTH EAST ELEVATION
1 : 100



4 NORTH WEST ELEVATION
1 : 100

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DRAWING TITLE
ELEVATIONS

SCALE:
1 : 100
SHEET SIZE:
A2

REV No.	F	DRAWING No.	A004	JOB No.	261020
PROJECT TITLE PROPOSED NEW ADDITION TO EXISTING DWELLING					
SITE ADDRESS LOT 1623 (#22) HARDWOOD STREET, HILTON WA 6163					