

LOT 303

⚠ DISCLAIMER:
Lot boundaries drawn on survey are based on landgate plan only. Survey does not include title search and as such may not show easements or other interests not shown on plan. Title should be checked to verify all lot details and for any easements or other interests which may affect building on the property.

⚠ DISCLAIMER:
Survey does not include verification of cadastral boundaries. All features and levels shown are based on orientation to existing pegs and fences only which may not be on correct cadastral alignment. Any designs based or dependent on the location of existing features should have those features' location verified in relation to the true boundary.

⚠ DISCLAIMER:
Survey shows visible features only and will not show locations of underground pipes or conduits for internal or mains services. Verification of the location of all internal and mains services should be confirmed prior to finalisation of any design work.

⚠ DISCLAIMER:
Cottage & Engineering surveys accept no responsibility for any physical on site changes to the parcel or portion of the parcel of land shown on this survey including any adjoining neighbours levels and features that have occurred after the date on this survey. All Sewer details plotted from information supplied by Water Corporation.

CITY OF FREMANTLE
These Plans Form Part of

DA0225/26

11 June 2026

LOCALITY PLAN



LEGEND		POWER DOME
		POWER POLE
		PHONE PITS
		WATER CONN.
		TP=10.00 TOP PILLAR/POST
		TW=10.00 TOP WALL
		TR=10.00 TOP RETAINING
		TF=10.00 TOP FENCE
		TG=10.00 TOP GUTTER

! WARNING !
PLAN NOT YET APPROVED BY TITLES OFFICE.
VERIFY LOT DIMENSIONS & ANGLES WITH TITLE.

CONTOUR & FEATURE SURVEY

LOT Lot 303 (Diag. 99766)

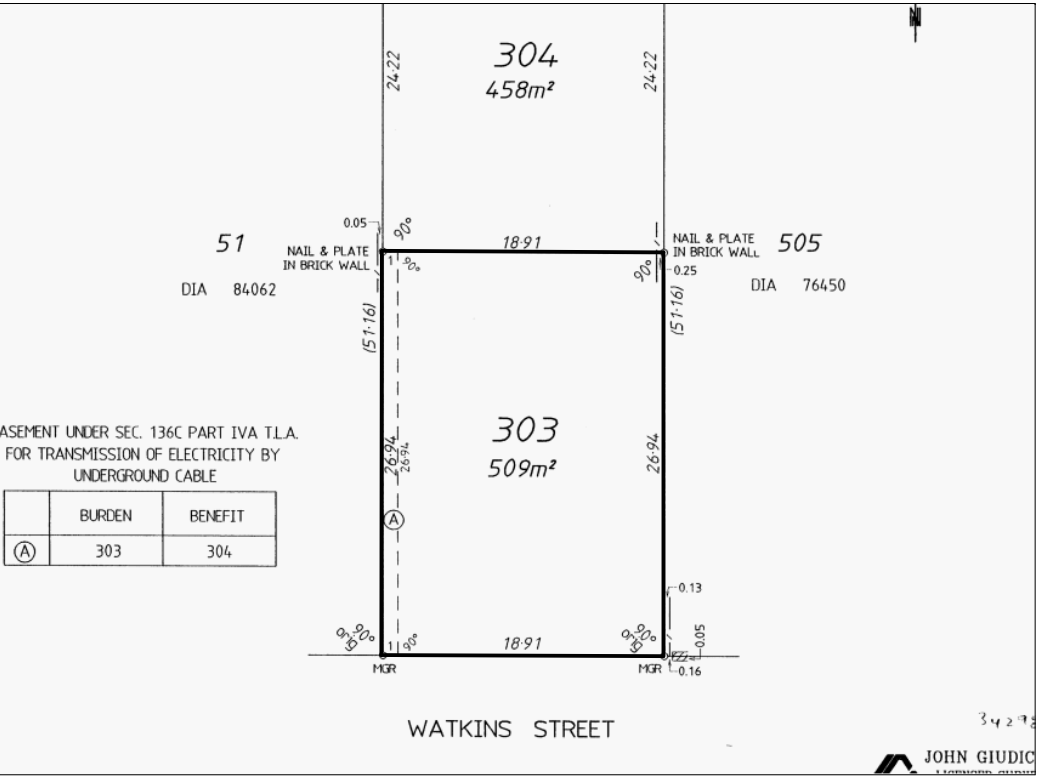
ADDRESS #74 Watkins Street, White Gum Valley

LGA CITY OF FREMANTLE

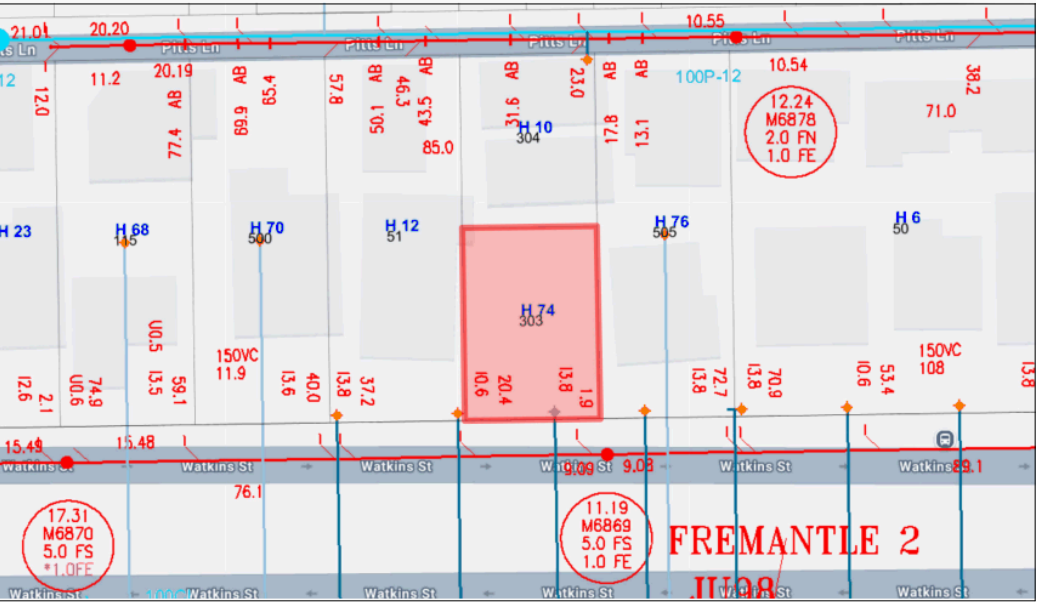
ORDER # 500070

GPS Lat: -32.059451 Long: 115.769237

SSA No AREA 509m² VOL. 2189 FOL. 288



ELEC.	U/Ground / O/Head	SEWER	Yes	ROADS	Bitumen	COASTAL	No
							(Approx. Only - Confirm With Shire)
GAS	Check Alinta	COMMS	Yes	PATH	Concrete	SOIL	Sand
WATER	Yes	DRAINAGE	Good	KERBS	Mountable / Non-Mount	VEG.	Light Grass Cover



CUSTOM CONTEMPORARY E & OE

TYPE: 2c BRICK

LUXE SPECIFICATION MODEL N°

© COPYRIGHT A3

REV	VO #	DRN	DATE	CHK
1	Engineers	PC	27/05/26	PC
2	Energy	PC	27/05/26	PC

Sub-contractors to verify all dimensions on site.

WORKING DRAWINGS
THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT.

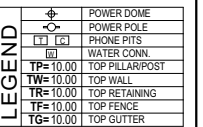
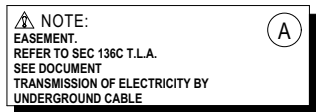
DATED:...../...../.....

OWNER	WITNESS
OWNER	WITNESS
BUILDER	WITNESS

SHEET N° 1 OF 10 + 6 ANC

JOB N° 500070

REVISION 2 DATE 27/05/26

[illegible]

DENOTES EXTENT OF
AREA RESERVED FOR
LANDSCAPING

ROADS	Bitumen	ELEC.	U/Ground / O/Head
KERBS	Mountable / Non-Mount	COMMS.	Yes
FOOTPATH	Concrete	WATER	Yes
SOIL	Sand	GAS	Check Alinta
DRAINAGE	Good	SEWER	Yes
VEGETATION	Light Grass Cover	COASTAL	No (Approximate Only Conform With Sign)

OWNER NOTE:

- DUE TO ONGOING CHANGES TO STATUTORY REQUIREMENTS AND BUILDING METHODS, SOME ASPECTS OF THIS BUILDING MAY BE AT VARIANCE TO THE ORIGINAL DISPLAY VERSION (IF APPLICABLE).
- WHERE PRELIMINARY DRAWINGS ARE PROVIDED BY THE OWNER OR THE OWNER'S AGENT, THE BUILDER RESERVES THE RIGHT TO MODIFY THE OWNERS DRAWINGS TO SUIT THE BUILDER'S CURRENT CONSTRUCTION METHOD.

FIXING CARPENTER NOTE:

- PROVIDE SHELF & RAIL AT 1650 AFL TO ALL ROBES NOTED S & R.
- PROVIDE 4 SHELVES TO LINEN & PTY WHERE NOTED 4 x SH. TOP SHELF AT 1650. BOTTOM SHELF AT 450 WITH 400 SPACING TO REMAINDER OF SHELVING.
- PROVIDE SHELF SUPPORT WHEN SPAN EXCEEDS 1800mm U.N.O.
- PROVIDE 20mm GAP UNDER DOORS TO ROOMS WITH CEILING EXHAUST FANS FITTED WITH RUN-ON TIMERS IN ACCORDANCE WITH NCC REQUIREMENTS.

SUPERVISOR / TRADES NOTE:

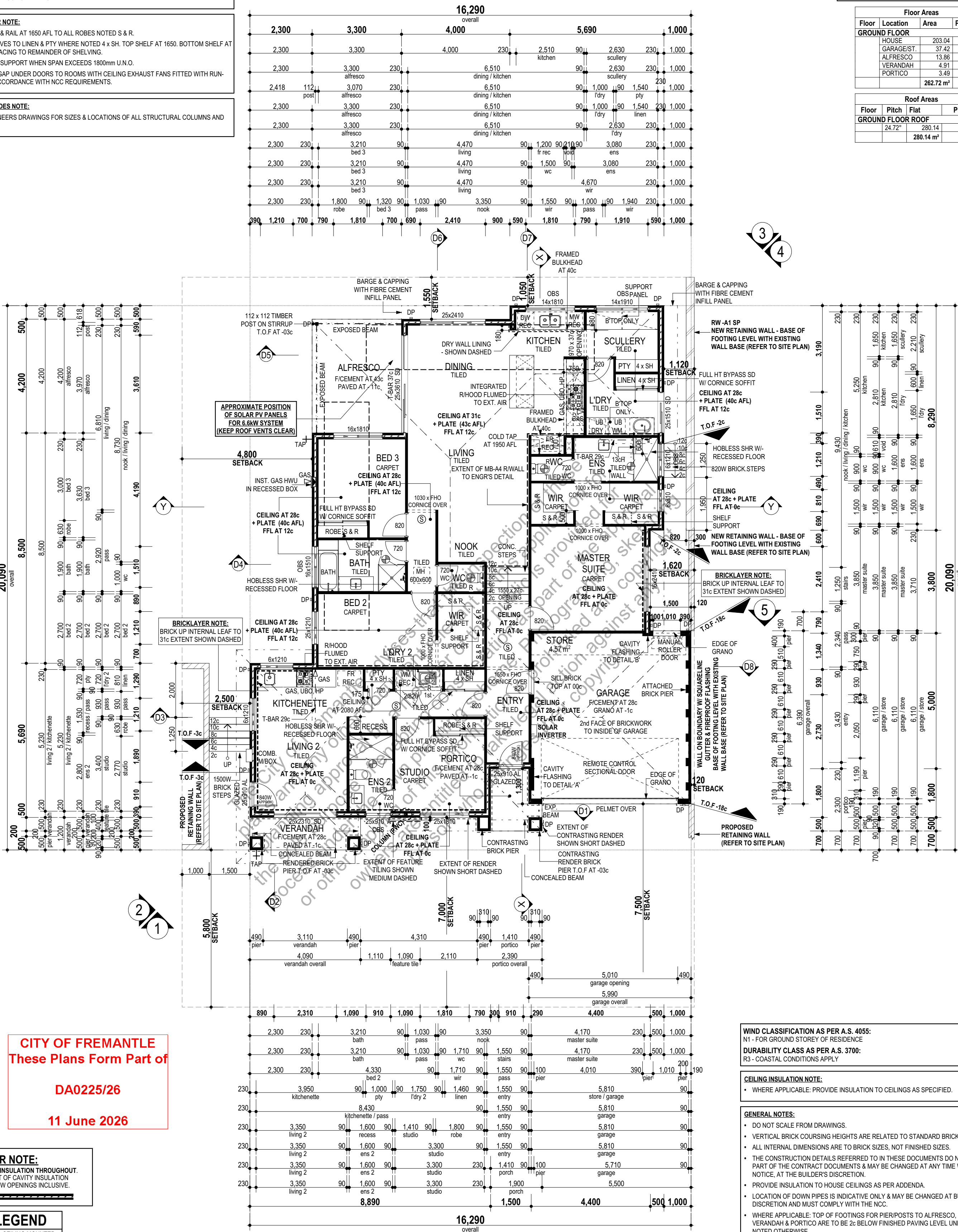
- REFER TO ENGINEERS DRAWINGS FOR SIZES & LOCATIONS OF ALL STRUCTURAL COLUMNS AND BEAMS.

CEILING NOTE:

- CEILINGS AT 28c + PLATE UNLESS NOTED OTHERWISE.
- CEILINGS AT 2080mm AFL TO ALL ROBES & LINENS EXCLUDING WALK IN & WITH SLIDING DOORS UNLESS OTHERWISE NOTED.

Floor Areas			
Floor	Location	Area	Perimeter
GROUND FLOOR			
	HOUSE	203.04	68.36
	GARAGE/ST.	37.42	24.76
	ALFRESCO	13.86	15.00
	VERANDAH	4.91	10.58
	PORTRICO	3.49	8.40
		262.72 m²	

Roof Areas		
Floor	Pitch	Flat
GROUND FLOOR ROOF		
	24.72°	280.14
		308.41
		280.14 m²
		308.41 m²



BRICKLAYER NOTE:

- PROVIDE CAVITY INSULATION THROUGHOUT.
- DENOTES EXTENT OF CAVITY INSULATION ABOVE AND BELOW OPENINGS INCLUSIVE.

PLAN LEGEND

- ⊕ EXHAUST FAN - CEILING MOUNTED (FLUMED TO EXTERNAL AIR)
- R EXHAUST FAN - CEILING MOUNTED (FLUMED TO EXTERNAL AIR) - WITH RUN-ON TIMER
- ⊙ DIRECT WIRE INTERCONNECTED SMOKE DETECTOR TO A.S. 3786.2014

FLOOR PLAN

1:100

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DATED: 27/05/26

OWNER: WITNESS

OWNER: WITNESS

BUILDER: WITNESS

CLIENT:
WATKIN

ADDRESS:
LOT 303 (#74)
WATKINS STREET
WHITE GUM VALLEY

CUSTOM CONTEMPORARY
E & OE

TYPE: 2c BRICK
LUXE SPECIFICATION

MODEL N°

© COPYRIGHT

SHEET N°

3 OF 10

JOB N°

500070

REVISION
2

DATE
27/05/26

A2

+ 6 ANC

500070

- CEILINGS AT 28c + PLATE UNLESS NOTED OTHERWISE.

N1 - FOR GROUND STOREY OF RESIDENCE

[illegible]

ELEVATION 2

1:100

COLORBOND ROOF AT 24° 43' PITCH
EXPOSED BEAM
BARGE & CAPPING W/ FIBRE CEMENT INFILL
CL 43c + PLATE
FL 12c
2692

APPROXIMATE POSITION OF 6.6kW SOLAR PV PANELS (KEEP ROOF VENTS CLEAR)

FLASHING
43c
37c
42c
DP
PAVED AT 11c
2c
112 x 112 TIMBER POST ON STIRRUPS W/ T.O.F AT -03c

FLASHING
32c
1733
2c FACE BRICK
INST. GAS HWU IN RECESSED BOX

GLAZING AS SPECIFIED
37c
21c
19c
12c
NGL

FLASHING
25c
19c
BRICK STEPS
COMB. M/BOX
7c
750
1,300
DP
CONTRASTING RENDER
CL 28c + PLATE
28c RENDERED BRICK PIER WITH T.O.F AT -03c
CONTRASTING RENDER BRICK PIER
FL 0c
2435

NEW RETAINING WALL
3c
PAVED

CL 43c + PLATE
FL 12c

2692

KITCHEN/IN/LIVING /ALFRESCO

2435

SCULLERY

CL 40c + PLATE
FL 12c

MANUAL ROLLER DOOR
28c

DP

NEW RETAINING WALL (REFER TO SITE PLAN)

COLORBOND ROOF AT 24° 43' PITCH

BARGE & CAPPING W/ FIBRE CEMENT INFILL

APPROXIMATE POSITION OF 6.6kW SOLAR PV PANELS (KEEP ROOF VENTS CLEAR)

FLASHING

37c

23c

2c FACE BRICK

GLAZING AS SPECIFIED

DP

19c

12c

40c

37c

21c

DP

112 x 112 TIMBER POST ON STIRRUPS W/ T.O.F AT -03c

EXPOSED BEAM

NEW RETAINING WALL (REFER TO SITE PLAN)

FLASHING

42c

PAVED AT .11c

25c

19c

28c

CL 28c + PLATE
FL 0c

2435

DROPPED FOOTING AT -3c

EXTENT OF RENDER

TILED AT -1c

FEATURE WALL

ELEVATION 3

1:100

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CL 28c + PLATE 28c
2c FACE
BRICK 28c

2435

FL 0c

NEW RETAINING WALL
(REFER TO SITE PLAN)

MANUAL
ROLLER
DOOR

DP

1c

2

6

ELEVATION 5

1:100

CITY OF FREMANTLE
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DA0225/26

11 June 2026

		DRN	DATE	CHK
REV	VO #	RX-SF		
1	Engineers	PC	27/05/26	PC
2	Energy	PC	27/05/26	PC

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OWNER _____ WITNESS _____

BUILDER
WITNESS

CLIENT:
WATKIN

ADDRESS:
LOT 303 (#74)
WATKINS STREET
WHITE GUM VALLEY

CUSTOM
CONTEMPORARY E & OB

TYPE: 2c BRICK
LUXE SPECIFICATION

MODEL N°

© COPYRIGHT

SHEET N° 4 OF 10

JOB N° 500070

REVISION	2
----------	---

DATE
27/05/26



Sub-contractors to verify all dimensions on site.

- CEILINGS AT 28c + PLATE UNLESS NOTED OTHERWISE.

N1 - FOR GROUND STOREY OF RESIDENCE

ELEVATION 4
1:100

COLORBOND ROOF AT 24° 43' PITCH

CL 28c + PLATE

2435

FL 0c

28c

27c

29c

28c

25c

19c

37c

390

37c

CL 40c + PLATE

2435

FL 12c

SCULLERY/DRY

CONTRASTING RENDER BRICK PIER WITH T.O.F AT -03c

RENDERED BRICK PIER WITH T.O.F AT -03c

DP

3.363

EXPOSED BEAM

WALL ON BOUNDARY W/ SQUARELINE GUTTER ON TOP & FIREPROOF FLASHING

2.916

2c FACE BRICK

BRICK STEPS

DP

12c

2c FACE BRICK

DP

3c

DROPPED FOOTING AT -3c

11.56

18c

14.36

NEW RETAINING WALL - BASE OF FOOTING LEVEL WITH EXISTING WALL BASE (REFER TO SITE PLAN)

RW-A3 RWALL - BASE OF FOOTING LEVEL WITH EXISTING WALL BASE (REFER TO SITE PLAN)

RW-A1 SP R-WALL - BASE OF FOOTING LEVEL WITH EXISTING WALL BASE (REFER TO SITE PLAN)

DROPPED FOOTING AT -18c

DROPPED FOOTING AT -3c

the

ELEVATION 4

1:100

SECTION X-X
1:100

COLORBOND ROOF AT 24°43' PITCH (460 RISE/1000 RUN) ROOF CONSTRUCTION TO ENGINEERS REQUIREMENTS

CL 43c + PLATE

40c

37c

37c

BULKHEAD AT 40c

KITCHEN

LIVING & NOOK

INSULATION AS SPECIFIED

43c

27c

INSULATION AS SPECIFIED

28c

CL 28c + PLATE

EXPOSED BEAM RENDER CONTRASTING RENDERED BRICK PIER WITH T.O.F AT -03c

PORTICO

PAVED AT -01c

0c

FL 12c

2692

REINFORCED CONCRETE SLAB AND FOOTING TO ENG. DETAILS

CONCRETE STEPS

12c

10c

8c

6c

4c

2c

2.141

ENTRY

REINFORCED CONCRETE SLAB AND FOOTING TO ENG. DETAILS

FL 0c

2435

SECTION X-X

1.100

SECTION Y-Y
1:100

Architectural section Y-Y of a house. The section shows a cross-section of the building with the following details:

- Roof:** COLORBOND ROOF AT 24°43' PITCH (460 RISE/1000 RUN). ROOF CONSTRUCTION TO ENGINEERS REQUIREMENTS. TIMBER ROOF FRAME TO NCC REQUIREMENTS (A.S.1684).
- Walls:** INSULATION AS SPECIFIED. MB-A4 R/WALL TO ENG DETAILS.
- Floors:** REINFORCED CONCRETE SLAB AND FOOTING TO ENG. DETAILS.
- Rooms:** BED 3, LIVING (DINING BEYOND), and two WIR (Wardrobe) rooms.
- Stairs:** BRICK STEPS. RW-A1 SP R-WALL (REFER TO SITE PLAN).
- Levels:** CL 43c + PLATE, CL 40c + PLATE, CL 28c + PLATE, FL 12c, FL 0c.
- Dimensions:** 2692, 2435, 820.
- Other Labels:** FLASHING, INSULATION AS SPECIFIED, OPENING, MB-A4 R/WALL TO ENG DETAILS, REINFORCED CONCRETE SLAB AND FOOTING TO ENG. DETAILS.

SECTION Y-Y

1.100

		DRN	DATE	CHK
REV	VO #	RX-SF		PC
1	Engineers	PC	27/05/26	PC
2	Energy	PC	27/05/26	PC

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OWNER _____ WITNESS _____

OWNER _____ WITNESS _____

BUILDER
WITNESS

CLIENT:
WATKIN

ADDRESS:
LOT 303 (#74)
WATKINS STREET
WHITE GUM VALLEY

CUSTOM
CONTEMPORARY E & OE

TYPE: 2c BRICK

MODEL N°

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SHEET N° 5 OF 10

JOB N° 500070

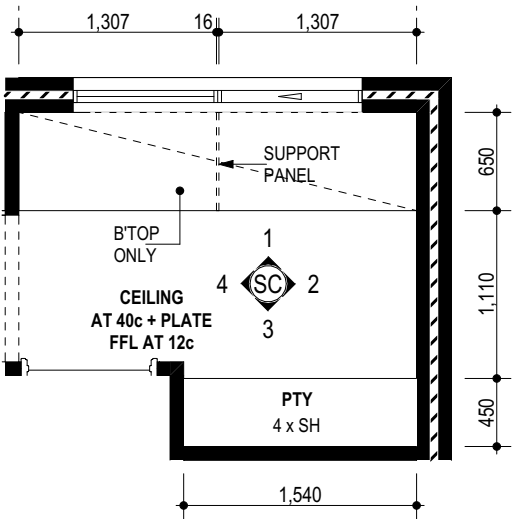
REVISION

2

DATE	27/05/26
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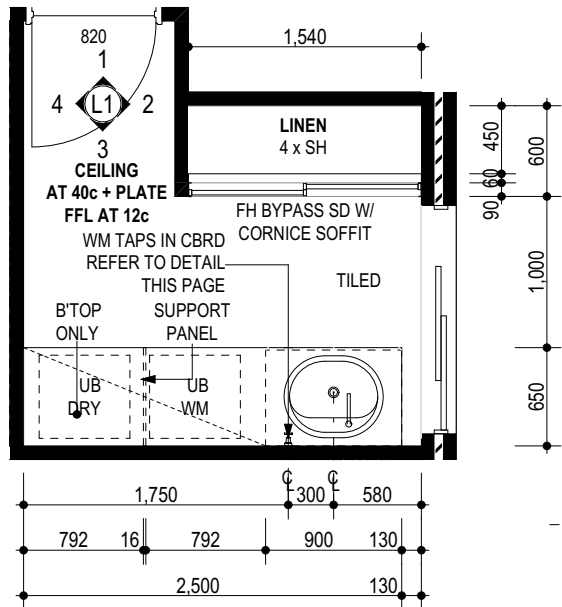


Sub-contractors to verify all dimensions on site



SCULLERY

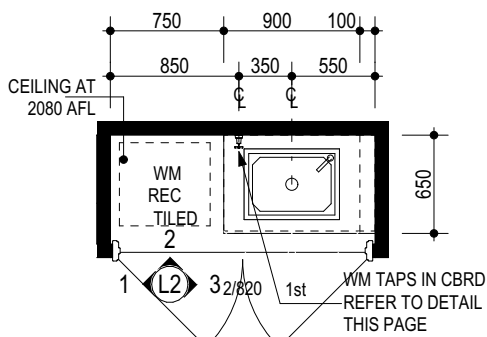
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LAUNDRY 1

1:50

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These Plans Form Part of
DA0225/26
11 June 2026



LAUNDRY 2

1:50

TILER NOTE:

- PROVIDE MITRED EDGE TO TILING THROUGHOUT, WHERE PRACTICAL.
- FLOOR TILES IN SHOWER RECESSES TO BE INSTALLED WITH A MINIMUM CONTINUOUS FALL OF 1:80 TOWARDS THE FLOOR WASTE AS PER BCA & AS 3740-2021.

APPLIANCE RECESS SIZE NOTE:

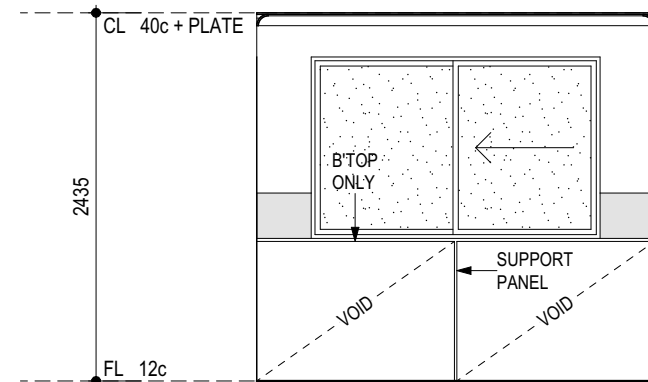
- IT IS THE RESPONSIBILITY OF THE OWNER TO ENSURE THAT THE APPLIANCE RECESS SIZES AS INDICATED ON THESE PLANS FOR ALL OWNER SUPPLIED APPLIANCES ARE OF ADEQUATE SIZE TO SUIT THEIR APPLIANCE.
- IF THE SIZES ARE NOT SUITABLE THE BUILDER MUST BE NOTIFIED PRIOR TO CONSTRUCTION, OTHERWISE NO RESPONSIBILITY CAN BE ACCEPTED FOR INCORRECT SIZES.

CABINETMAKER NOTE:

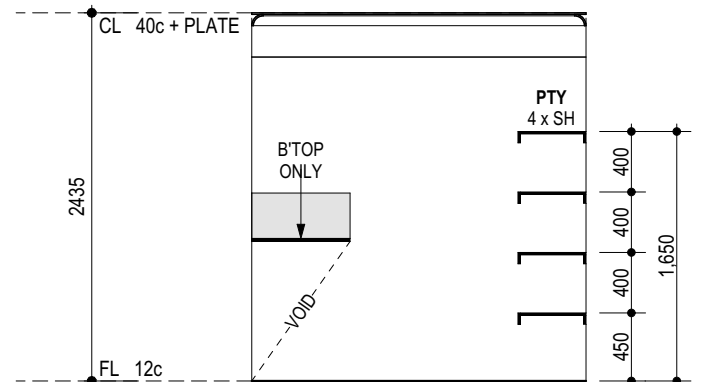
- ANY DISCREPANCIES IN DOCUMENTATION ARE TO BE REFERRED BACK TO THE SUPERVISOR FOR RESOLUTION PRIOR TO MANUFACTURE OR INSTALLATION OF CABINETS.
- WHERE CUPBOARDS ABUT A WALL, A SCRIBED FILLET WILL BE FIXED BETWEEN THE WALL FACE AND THE END OF THE CUPBOARD.
- ALL DIMENSIONS ARE NOMINAL ONLY.
- REFER TO ADDENDA FOR MANUFACTURERS INSTALLATION MANUALS & CUT-OUT SIZES.
- CABINETS AND BENCHTOPS AS PER ADDENDA.

HOLE CUT-OUT POSITIONS FOR WM CONNECTION

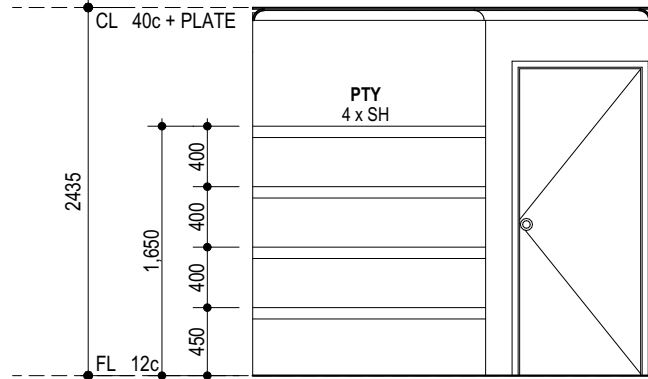
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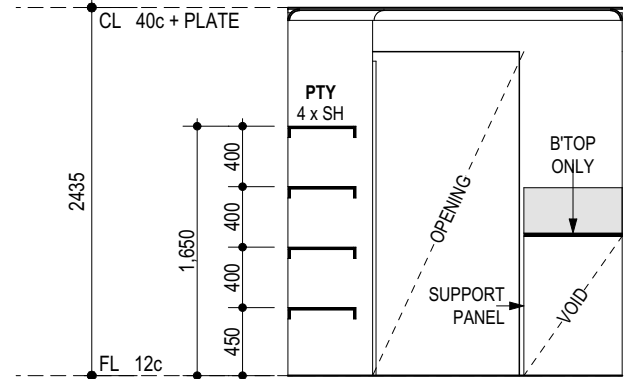
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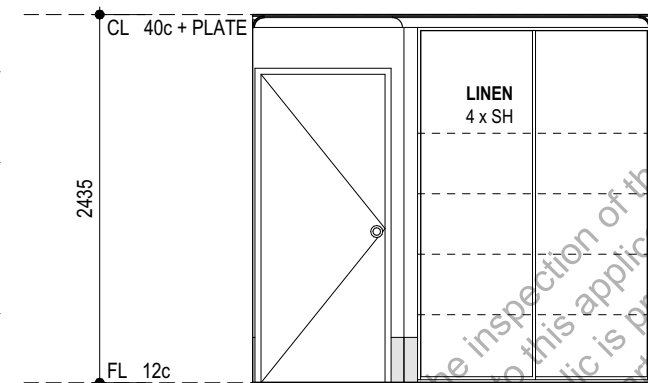
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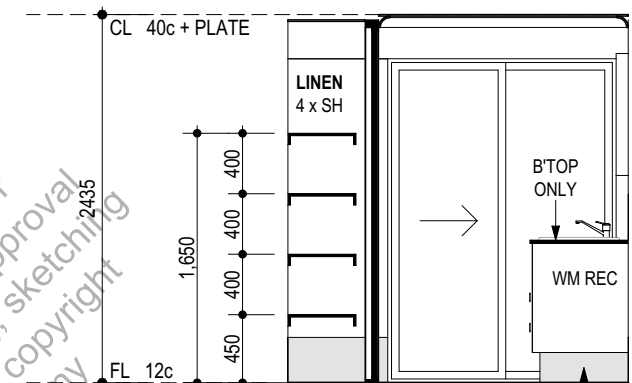
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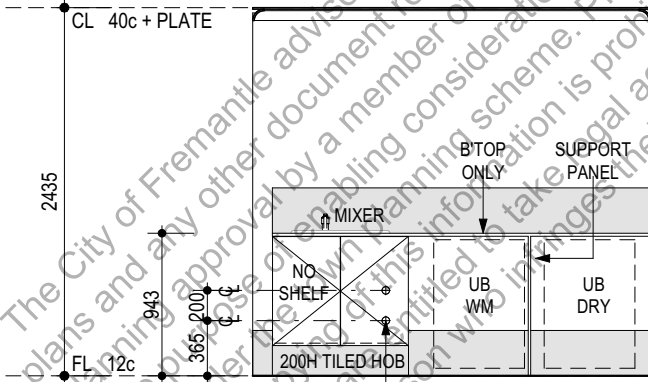
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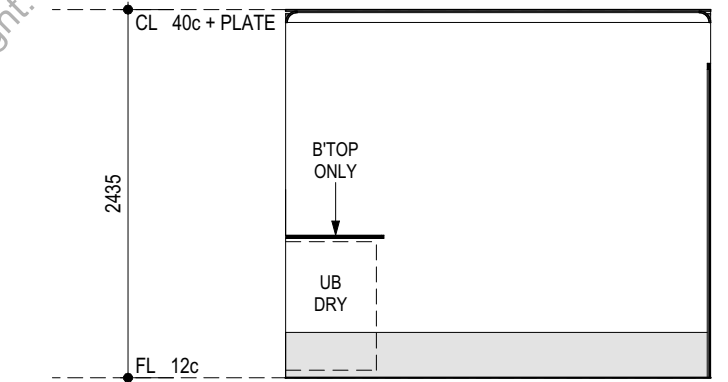
L1-1



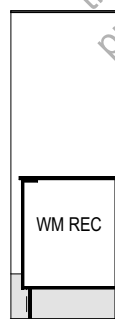
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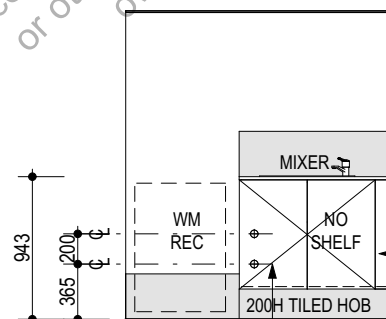
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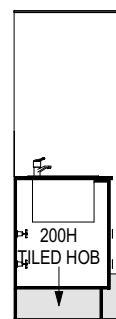
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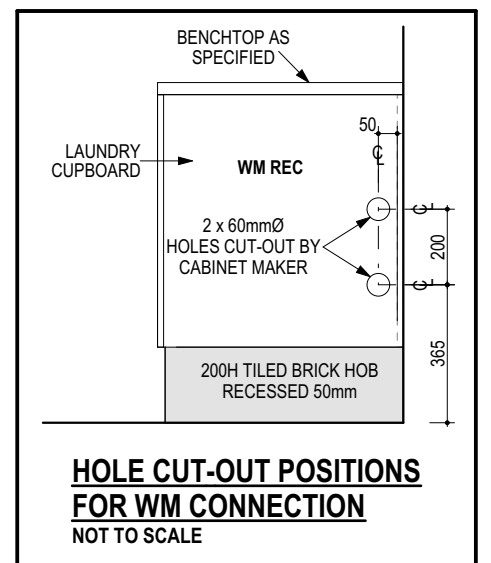
L2-1



L2-2



L2-3



REV	VO #	DRN	DATE	CHK
1	Engineers	PC	28/4/26	PC
2	Energy	PC	27/05/26	PC

WORKING DRAWINGS

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DATED: 27/05/26

OWNER: WITNESS

OWNER: WITNESS

BUILDER: WITNESS

CLIENT:

WATKIN

ADDRESS:

LOT 303 (#74)
WATKINS STREET
WHITE GUM VALLEY

CUSTOM CONTEMPORARY E & OE

MODEL N°

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SHEET N° 7 OF 10

JOB N° 500070

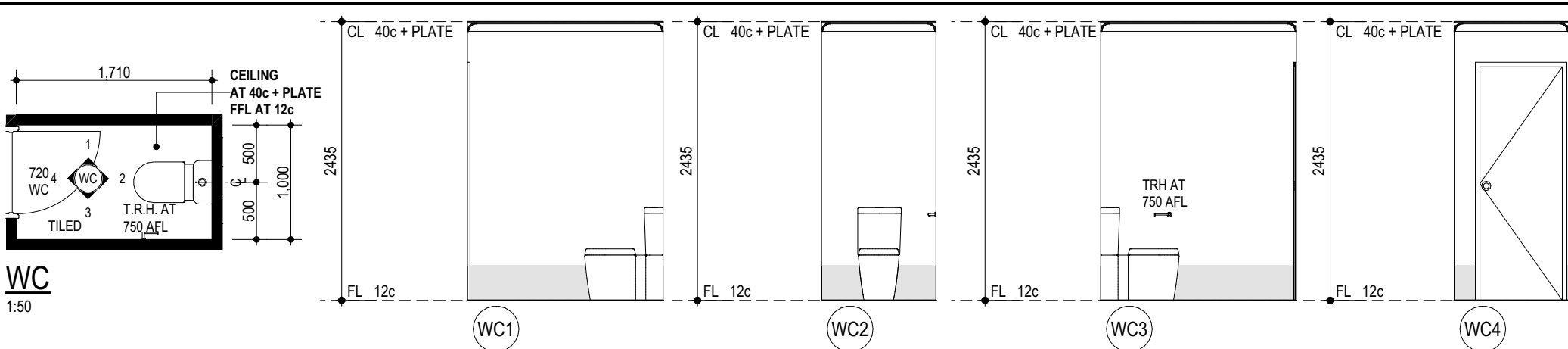
REVISION

2

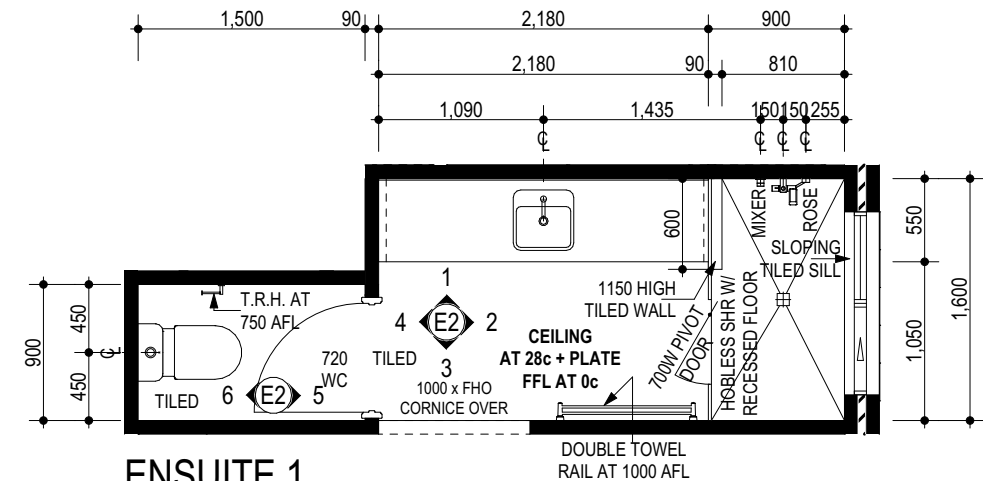
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27/05/26

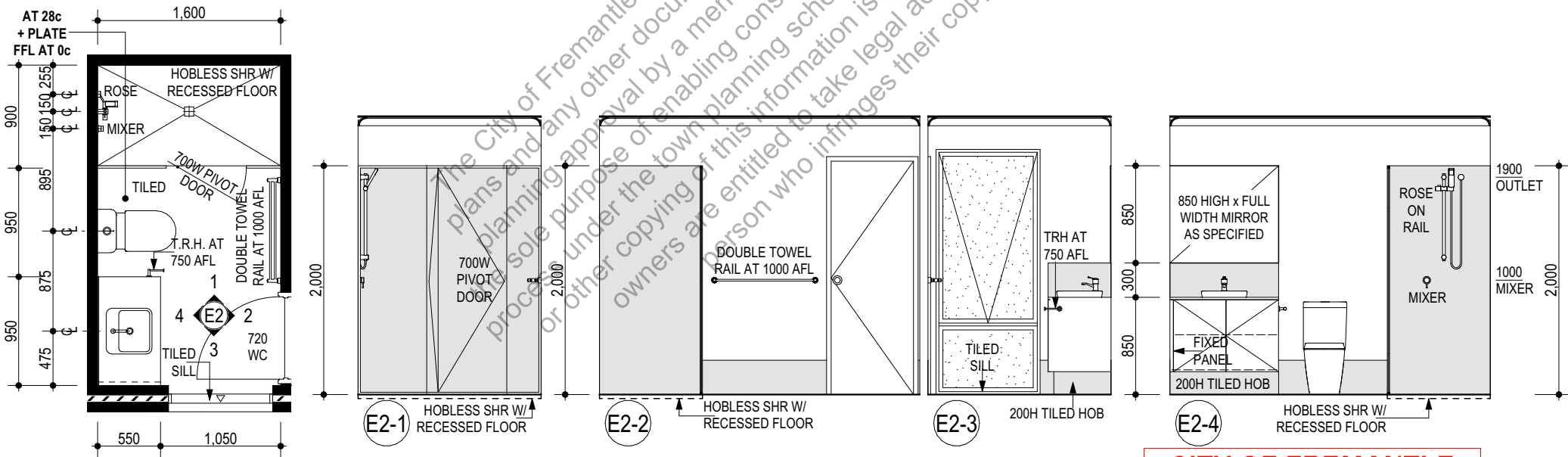
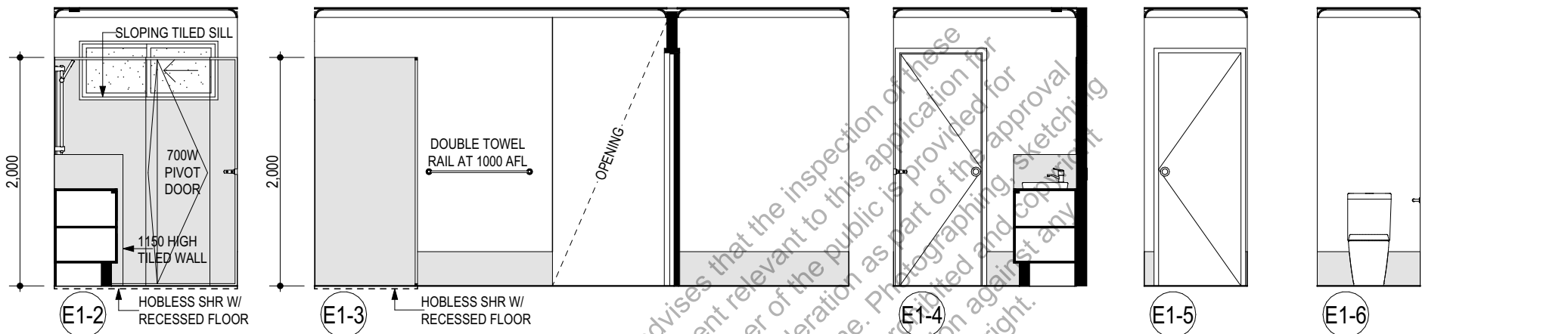




WC
1:50



ENSUITE 1
1:50



ENSUITE 2
1:50

CITY OF FREMANTLE
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DA0225/26
11 June 2026

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- CABINETS AND BENCHTOPS AS PER ADDENDA.

TILER NOTE:

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- FLOOR TILES IN SHOWER RECESSES TO BE INSTALLED WITH A MINIMUM CONTINUOUS FALL OF 1:80 TOWARDS THE FLOOR WASTE AS PER BCA & AS 3740-2021.

NOTE:

- GLAZED PIVOT DOORS, SCREENS & MIRROR SIZES ARE NOMINAL ONLY & SUBJECT TO SITE MEASURE WHERE REQUIRED. NO ALLOWANCE MADE FOR ANY WALL FINISH OR TILING THICKNESS.

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WATKINS STREET
WHITE GUM VALLEY

CUSTOM CONTEMPORARY E & OE

TYPE: 2c BRICK

LUXE SPECIFICATION

MODEL N°

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SHEET N° 8 OF 10

JOB N° 500070

REVISION

2

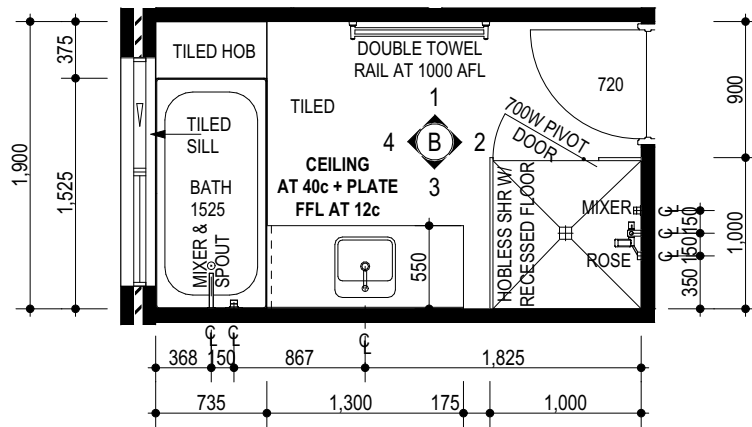
DATE

27/05/26

A3

+ 6 ANC

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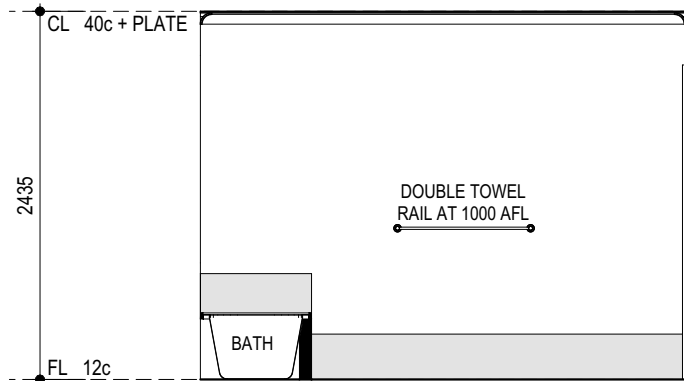


BATH
1:50

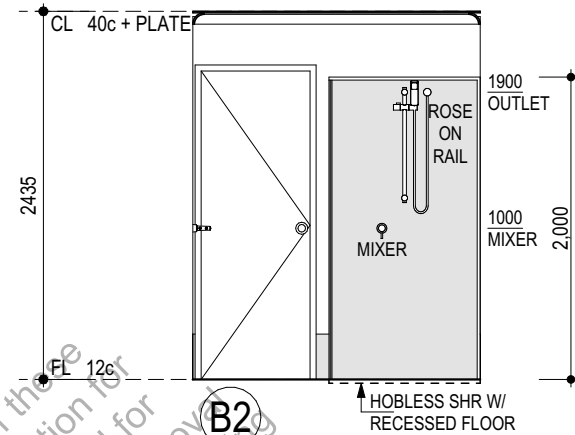
CITY OF FREMANTLE
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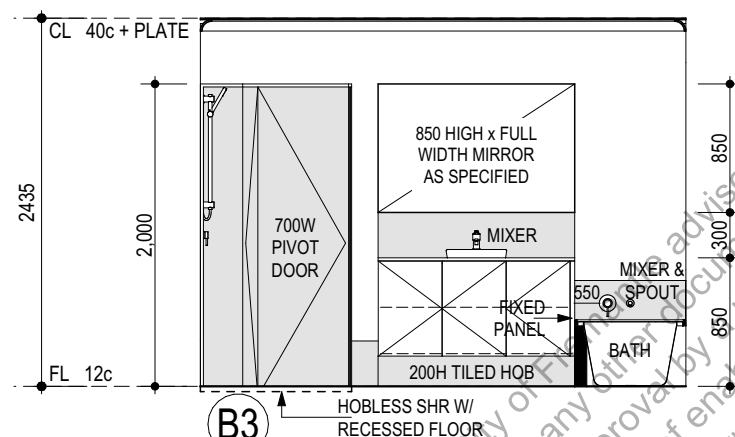
11 June 2026



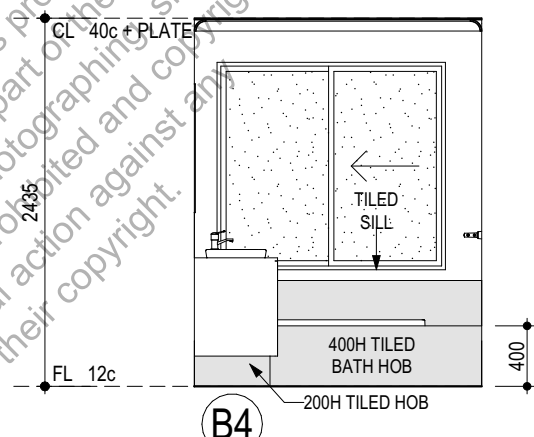
B1



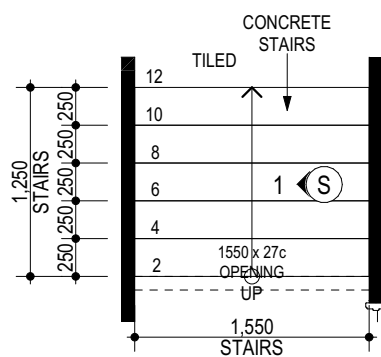
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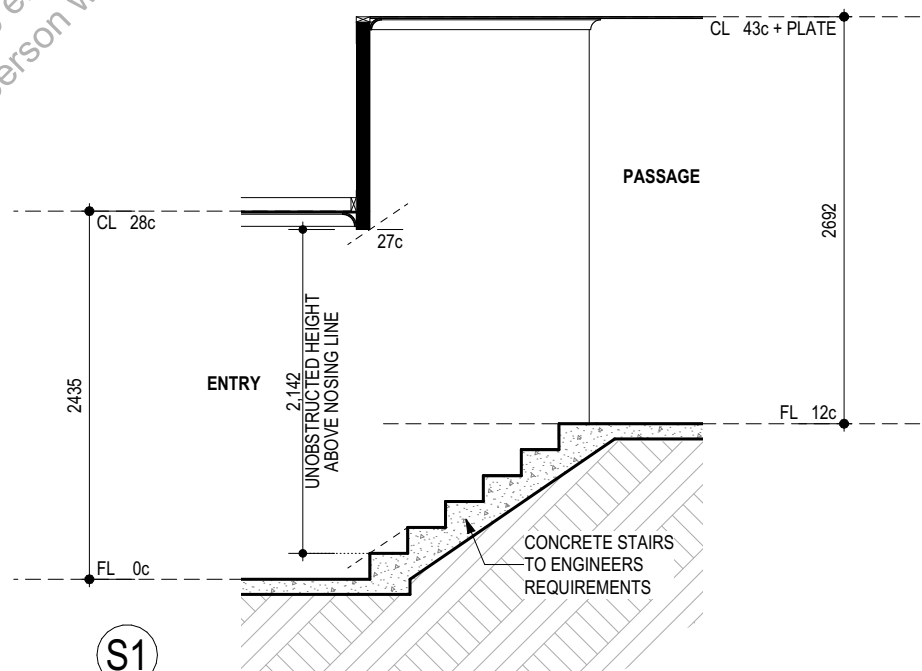
B3



B4



GF STAIR PLAN
1:50



S1

CABINETMAKER NOTE:

- ANY DISCREPANCIES IN DOCUMENTATION ARE TO BE REFERRED BACK TO THE SUPERVISOR FOR RESOLUTION PRIOR TO MANUFACTURER OR INSTALLATION OF CABINETS.
- WHERE CUPBOARDS ABUT A WALL, A SCRIBED FILLET WILL BE FIXED BETWEEN THE WALL FACE AND THE END OF THE CUPBOARD.
- ALL DIMENSIONS ARE NOMINAL ONLY.
- REFER TO ADDENDA FOR MANUFACTURERS INSTALLATION MANUALS & CUT-OUT SIZES.
- CABINETS AND BENCHTOPS AS PER ADDENDA.

TILER NOTE:

- PROVIDE MITRED EDGE TO TILING THROUGHOUT, WHERE PRACTICAL.
- FLOOR TILES IN SHOWER RECESSES TO BE INSTALLED WITH A MINIMUM CONTINUOUS FALL OF 1:80 TOWARDS THE FLOOR WASTE AS PER BCA & AS 3740-2021.

NOTE:

- GLAZED PIVOT DOORS, SCREENS & MIRROR SIZES ARE NOMINAL ONLY & SUBJECT TO SITE MEASURE WHERE REQUIRED. NO ALLOWANCE MADE FOR ANY WALL FINISH OR TILING THICKNESS.

WORKING DRAWINGS

THIS IS ONE OF THE DRAWINGS
REFERRED TO IN THE CONTRACT.

DATED: 27/05/26

OWNER: WITNESS

OWNER: WITNESS

BUILDER: WITNESS

CLIENT:

WATKIN

ADDRESS:

LOT 303 (#74)
WATKINS STREET
WHITE GUM VALLEY

**CUSTOM
CONTEMPORARY**

TYPE: 2c BRICK E & OE

LUXE SPECIFICATION

MODEL N°

© COPYRIGHT

SHEET N° 9 OF 10

JOB N° 500070

REVISION

2

DATE

27/05/26



Sub-contractors to verify all dimensions on site.

ELECTRICAL LEGEND - GROUND FLOOR			
DATA & SECURITY			
	D1	DATA-1	1
	☎	PHONE POINT	1
	Ⓢ	SMOKE DETECTOR (INTERCONNECTED)	3
	✚	TV POINT	1
LIGHTING			
	●	CEILING LIGHT	29
	⊗	DOWN LIGHT - LED	2
	⊕	EXHAUST FAN (FLUMED) - CEILING MOUNTED	3
	⊕ R	EXHAUST FAN (FLUMED) - CEILING MOUNTED - WITH RUN-ON TIMER	3
	▬	LED LINEAR LIGHT	1
	⊕	PLUG BASE	1
MISCELLANEOUS			
	A/C	AIRCONDITIONER CONTROL PANEL	1
	Ⓢ	CONDUIT	2
POWER			
	⌒	GPO DOUBLE @ 1,050 A.F.L.	3
	⌒	GPO DOUBLE @ 300 A.F.L.	8
	⌒	GPO DOUBLE @ HEIGHT NOMINATED A.F.L.	7
	⌒	GPO SINGLE @ HEIGHT NOMINATED A.F.L.	7
	CM	GPO SINGLE CEILING MOUNTED	1
	⌒	GPO SINGLE WEATHERPROOF @ HEIGHT NOMINATED A.F.L.	1
	WP	ISOLATION SWITCH WEATHERPROOF @ HEIGHT NOMINATED A.F.L.	1

CITY OF FREMANTLE
These Plans Form Part of

DA0225/26

11 June 2026

ELECTRICAL PLAN

1:100

PRESTART NOTE:

- POSITION OF 1 TELEPHONE POINT TO BE ADVISED BY OWNER AT PRESTART MEETING.
- POSITION OF 1 T.V. POINT TO BE ADVISED BY OWNER AT PRESTART MEETING.
- NBN PROVISIONS AS PER SITE RELATED COST SHEET TO BE POSITIONED AT PRESTART MEETING.
- 20No LED DOWNLIGHTS TBA AT PRESTART

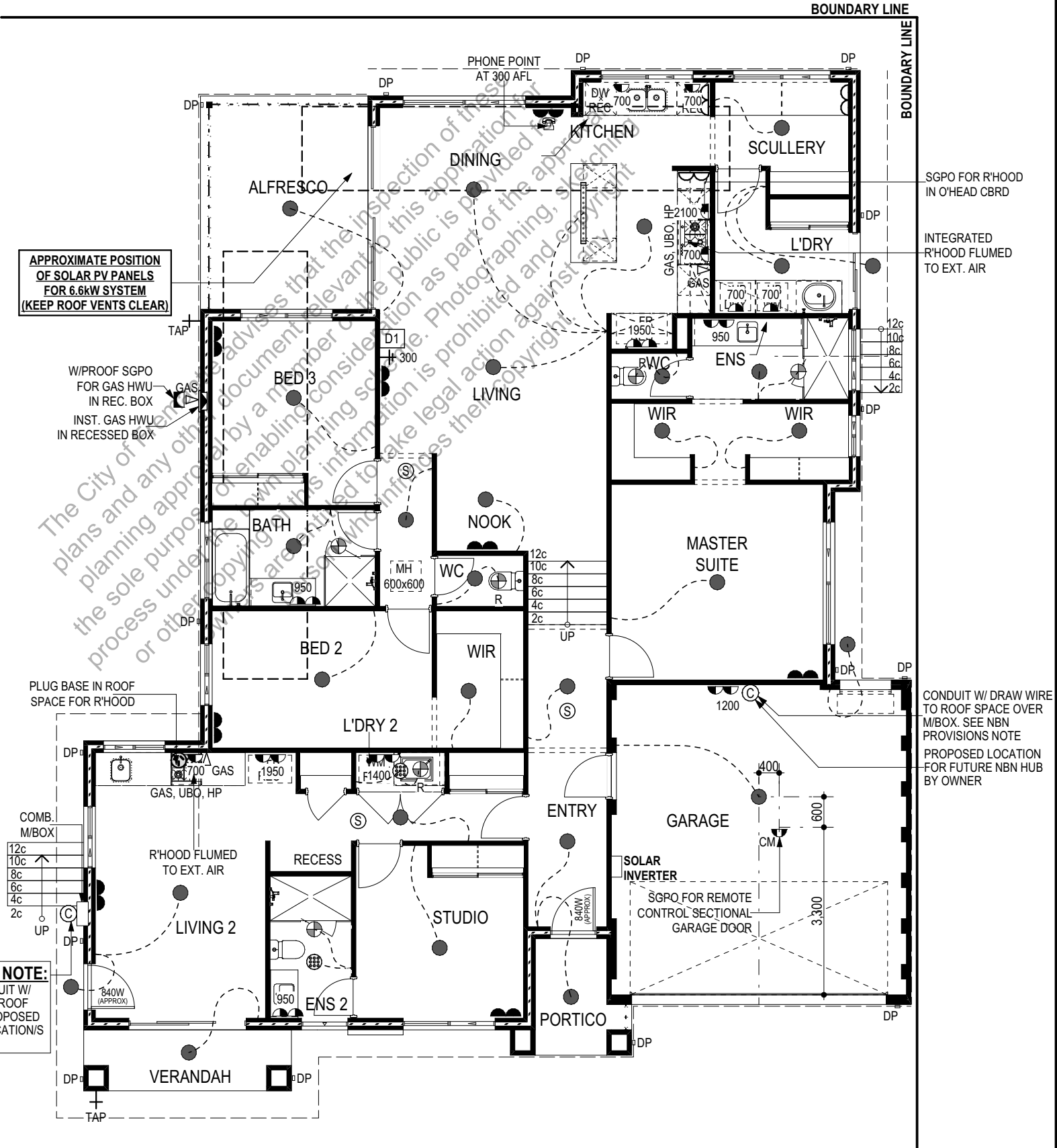
ELECTRICIAN NOTE:

- PLUG BASE TO ROOF SPACE FOR FLUMED CANOPY RANGEHOOD.
- SINGLE GPO AT 2100 AFL IN OHC FOR FLUMED UNDERMOUNT RANGEHOOD.
- SINGLE GPO ADJACENT TO DW RECESS AT 700 AFL.
- SINGLE GPO IN CUPBOARD FOR HOTPLATE AT 700 AFL.
- SINGLE WP/GPO FOR HWU IN RECESSED WALL BOX.

NBN PROVISIONS NOTE:

- CONDUIT W/ DRAW WIRE IN ROOF SPACE FROM PROPOSED NBN ENCLOSURE LOCATION TO ROOF OVER METERBOX BY BUILDER. NBN ENCLOSURE, CABLING & CONNECTION BY OWNER AFTER HANDOVER.

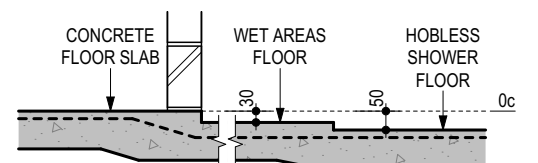
ELECTRICIAN NOTE:
PROVIDE CONDUIT W/
DRAW WIRE IN ROOF
SPACE FROM PROPOSED
SOLAR PANEL LOCATION/S
TO M/BOX



WORKING DRAWINGS					CUSTOM CONTEMPORARY		REVISION
THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT.					E & OE		2
DATED:.....					MODEL N°		DATE
OWNER					© COPYRIGHT		27/05/26
OWNER					SHEET N°		10 OF 10 + 6 ANC.
BUILDER					JOB N°		
Sub-contractors to verify all dimensions on site.					500070		

- PLUMBING FIXTURES ARE DIMENSIONED TO THEIR CENTRE LINES FROM THE EXTERNAL FACE OF THE WALL, OTHERWISE DIMENSIONS ARE TAKEN TO THE REAR EDGE OF THE FIXTURE. ACTUAL WASTE POSITIONS ARE NOT DIMENSIONED UNLESS NOTED OTHERWISE - MODELS AND DIMENSIONS OF FIXTURES ARE TO BE CHECKED PRIOR TO PLUMBING SETOUT.

11 June 2026



SCALE 1:20

[illegible]

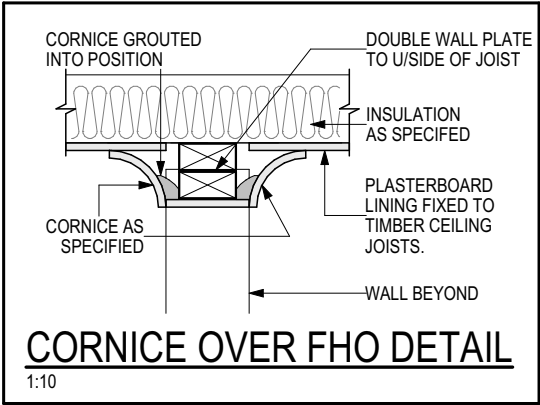
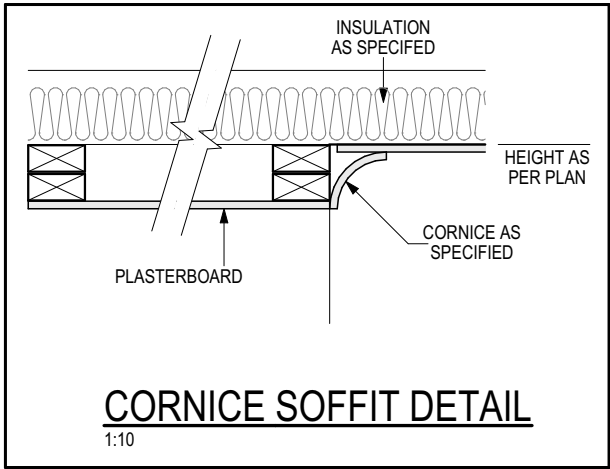
TO BE USED FOR REFERENCE
PURPOSES ONLY

ADDRESS:
LOT 303 (#74)
WATKINS STREET
WHITE GUM VALLEY

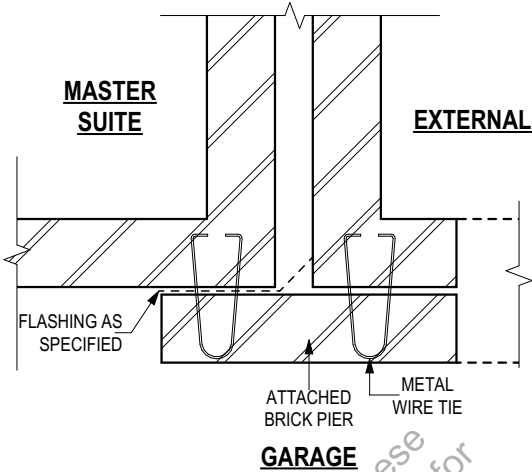
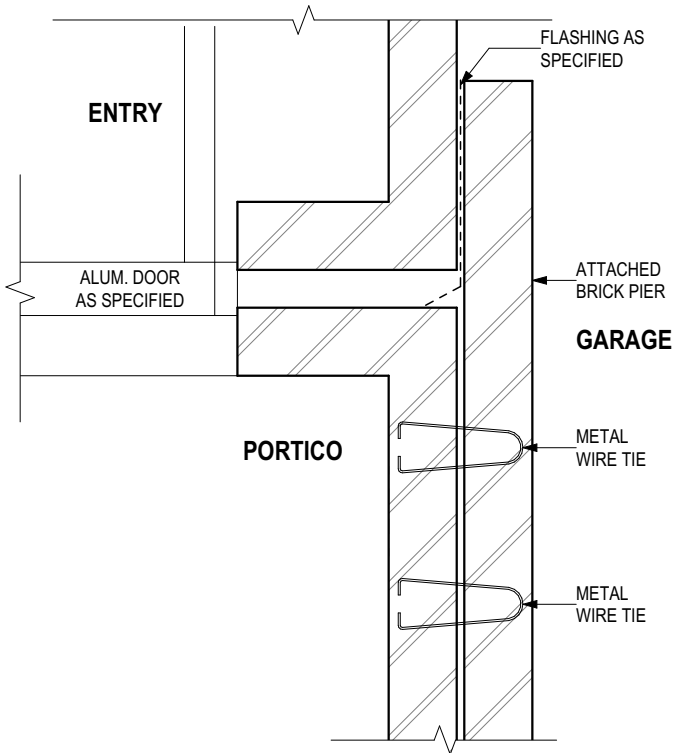
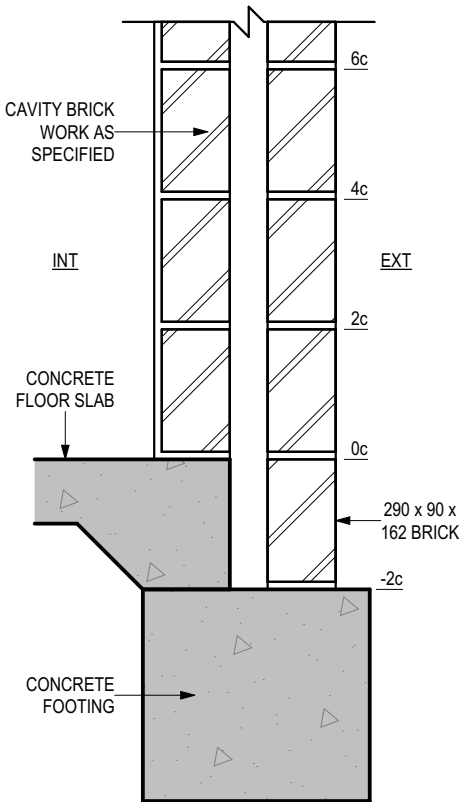
JOB N° 500070

DATE
27/05/26





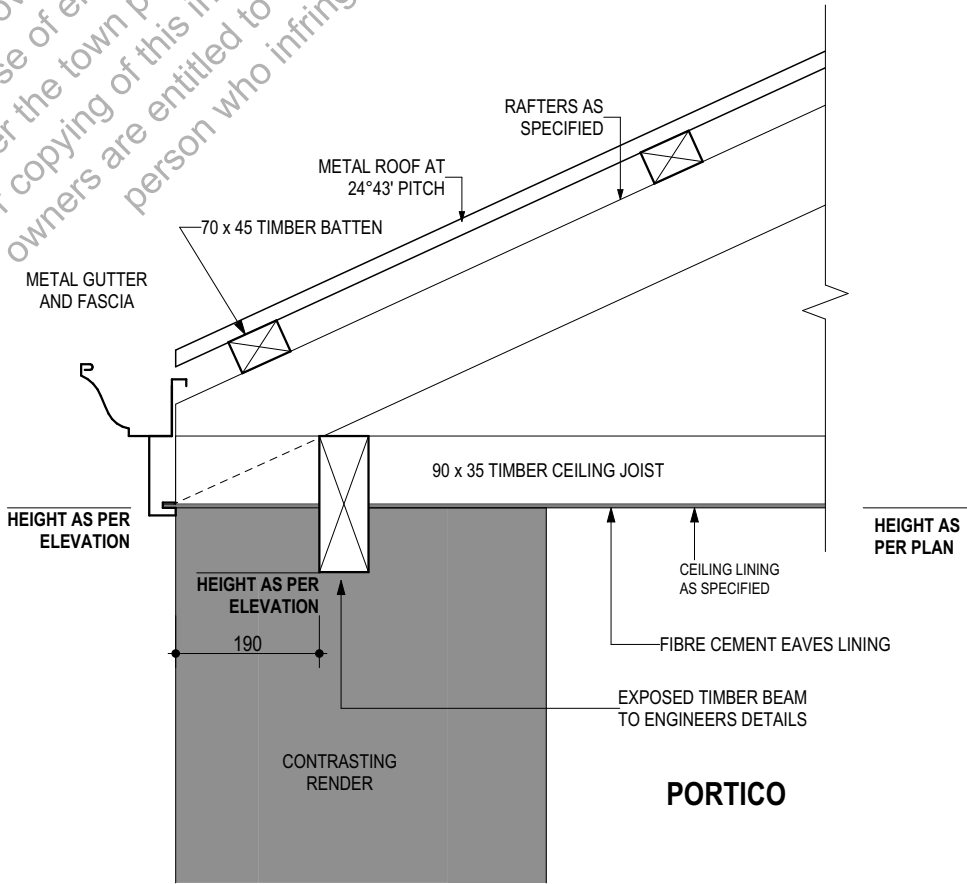
BRICKLAYER NOTE:
FOR CLARITY, CAVITY INSULATION HAS NOT BEEN SHOWN ON THE DETAILS. REFER TO FLOOR PLANS FOR EXTENT. ENSURE CAVITY INSULATION IS INSTALLED FROM SLAB LEVEL TO CEILING LEVEL WHERE APPLICABLE.



CAVITY CLOSER DETAIL 'A'
SCALE 1:10

CAVITY CLOSER DETAIL 'B'
SCALE 1:10

CITY OF FREMANTLE
These Plans Form Part of
DA0225/26
11 June 2026



D1 - PORTICO DETAIL
SCALE 1:10

REV	VO #	DRN	DATE	CHK
1	Engineers	PC	28/4/26	PC
2	Energy	PC	27/05/26	PC

ANCILLARY DRAWINGS

THESE DRAWINGS DO NOT FORM PART OF THE CONTRACT DOCUMENTATION
TO BE USED FOR REFERENCE PURPOSES ONLY

CLIENT:
WATKIN

ADDRESS:
LOT 303 (#74)
WATKINS STREET
WHITE GUM VALLEY

CUSTOM CONTEMPORARY		E & OE
TYPE: 2c-BRICK		
LUXE SPECIFICATION		
MODEL N°		A3
© COPYRIGHT		
ANC SHEET N°		
D2 OF 6		
JOB N°		500070

CUSTOM CONTEMPORARY		REVISION
E & OE		2
TYPE: 2x BRICK		DATE
LUXE SPECIFICATION		27/05/26
MODEL N°		
A3		
© COPYRIGHT		
A3C SHEET N°		
D4 OF 6		
JOB N°		
500070		



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11 June 2026

REV	VO #	DRN RX-SF	DATE	CHK
1	Engineers	PC	28/4/26	PC
2	Energy	PC	27/05/26	PC

Sub contractors to verify all dimensions on site

TO BE USED FOR REFERENCE
PURPOSES ONLY

LOT 303 (#74)
WATKINS STREET
WHITE GUM VALLEY

CUSTOM CONTEMPORARY TYPE: 2x BRICK		REVISION 2
LUXE SPECIFICATION MODEL N°		DATE 27/05/26
© COPYRIGHT		
ANC SHEET N° D5 OF 6		
JOB N° 500070		

