



Meeting attachments

Ordinary Meeting of Council

Wednesday 10 June 2026 6pm

C2606-1 FIELD STREET, NO.2 (LOT 55), BEACONSFIELD - DEMOLITION OF EXISTING SINGLE HOUSE AND CONSTRUCTION OF SINGLE STOREY SINGLE HOUSE - (CR DA0077/26)

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GENERAL NOTE:

- THE HOME OWNER IS SOLELY RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF ALL FUTURE WORKS AND ANY EFFECT IT SHALL HAVE ON THE EXISTING STRUCTURE.
- ALL DIMENSIONS SHOWN ON FLOOR PLAN ARE NOMINAL DIMENSIONS ONLY WHICH DO NOT ALLOW FOR PLASTER THICKNESS OR CORNER BEADING.
- PLANS TO BE READ IN CONJUNCTION WITH ENGINEERS DETAILS. - FLOOR WASTE, CEILING VENT & MANHOLE LOCATIONS ARE SUBJECT TO CHANGE AT THE BUILDER'S DISCRETION.
- THE BUILDER RESERVES THE RIGHT TO ADJUST WINDOW AND SLIDING DOOR SIZES, INTERNAL ROOM SIZES, AND O'ALL LENGTH AND WIDTH OF DWELLING, WHICH MAY RESULT IN A CHANGE IN THE O'ALL HOUSE AREA FROM THE ORIGINAL STANDARD HOUSE PLAN.
- DO NOT SCALE FROM THIS DRAWING. ALL SUB-CONTRACTORS TO CHECK DIMENSIONS AND NOTES PRIOR TO INITIATING WORKS. ANY DISCREPANCIES TO BE NOTIFIED TO THE SITE SUPERVISOR WITHOUT DELAY.
- DOWNPIPE LOCATION INDICATIVE ONLY - AT BUILDERS & ROOF PLUMBERS DISCRETION.

TRADES/ SUPPLIERS/ SUPERVISORS NOTE:

- FOR TYPICAL CONSTRUCTION DETAILS, REFER TO SEPARATE DETAILS DOCUMENT, CONTACT BUILDING SUPERVISOR IF REQUIRED.
- THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH STRUCTURAL ENGINEERS DETAILS. REFER TO ENGINEERS FOR ROOF BEAM LAYOUT AND STRUCTURAL SPECIFICATIONS.
- CONTACT SUPERVISOR OR ENGINEER FOR INSTRUCTIONS IF DISCREPANCIES ARE FOUND.

BOUNDARY WALL NOTE:

- FIRE SEPARATION TO NCC FIGURE 3.7.2.3

PEST CONTROL:

- TERMITE BARRIER PROTECTION 'HOMEGUARD' OR 'KORDON' TO BE USED ON ALL BOUNDARY WALLS IN ACCORDANCE WITH AS3660 AND PART 3.1.3 OF MOST CURRENT NCCS AND BCA REQUIREMENTS.
- SUPPLY AND INSTALL TERMITE CHEMICAL TERMITE TREATMENT IN ACCORDANCE WITH AS3660.1 AND MANUFACTURERS DETAILS.

CONCRETER NOTES:

- ALL FOOTINGS, SLAB AND CONCRETE STRUCTURAL MEMBERS IN ACCORDANCE WITH STRUCTURAL ENGINEERS DETAILS.

BRICKLAYER NOTES:

- ALL BRICK TO BE IN ACCORDANCE WITH AS3700 MASONRY CODE AND NCC H202 AND BCA REQUIREMENTS.
- 215w REVERSE BRICK VENEER EXTERNALLY AS SHOWN ON FLOOR PLAN & ELEVATIONS.
- 15mm EXPANSION JOINTS AT MAXIMUM 12m SPACING.
- ROOF STRAPS/HOOP IRONS AT 1200MM CENTRES.
- 230 CAVITY BRICKWORK, RENDER FINISH EXTERNALLY AS SHOWN ON FLOOR PLAN & ELEVATIONS.
- WEEPHOLES AT MINIMUM 1200 CENTRES TO CAVITY BRICKWORK.

PLASTERER/RENDERER NOTES:

- WEATHERTEX CLADDING EXTERNALLY UNLESS NOTED OTHERWISE, REFER TO ADDENDA.
- RENDER TO EXTEND DOWN TO TOP OF FOOTING
- INTERNAL CORNERS PROTECTION

GLAZING NOTES:

- GLAZING TO BE SUPPLIED AND INSTALLED IN ACCORDANCE AS1288 AND PART AND PART 3.6.5 OF MOST CURRENT NCCS AND BCAS REQUIREMENTS.

CEILING FIXER NOTES:

- CEILING @ 31c TO GF UNLESS NOTED OTHERWISE
- ALL WORK IN ACCORDANCE WITH NCCS AND BCA

ROOF PLUMBER NOTES:

- DOWNPIPES TO BE LOCATED AS PER PLANS BUT MAY BE RELOCATED AT SUPERVISORS DISCRETION
- GUTTER BRACKETS TO BE INSTALLED @ 1200mm MAX CENTRES

TIMBER FRAMING NOTES:

- CONVENTIONAL TIMBER FRAMED ROOF APPLIES IN ACCORDANCE TO AS1684.
- ROOF FRAMING TO BE MINIMUM H2 TREATED TIMBER.
- ROOF BEAMS ARE SHOWN DIAGRAMMATICALLY ONLY REFER TO ENGINEERS DETAIL.

CEILING INSULATION NOTE:

- R4.0 CEILING INSULATION AS PER ADDENDA.

INTERNAL WALL NOTE:

- GROUND FLOOR INTERNAL WALLS TO BE 90mm MAXI FAST WAL BRICK WITH HARDWALL PLASTER TO BOTH SIDES.

FIXING CARPENTER NOTES:

- UNLESS NOTED OTHERWISE*
- 450D SHELF & RAIL @ 1700 HIGH TO ROBES & WIR.

N.C.C. NOTES:

- ALL BALUSTRADE & HANDRAILS AS PER N.C.C (BCA VOL 2) CLAUSE 3.9.2.
- HARD WIRED, INTERCONNECTING SMOKE ALARMS AS PER N.C.C (BCA VOL 2) CLAUSE 3.7.5 AND AS 3786.
- CONDENSATION MANAGEMENT (PLIABLE BUILDING MEMBRANES - AS 4200, EXHAUST SYSTEMS AND ROOF VENTILATION) TO BE AS PER NCC 3.8.7.

ENERGY EFFECIENCY NOTE:

- PROVIDE CAVITY WALL INSULATION IN ACCORDANCE WITH ENERGY EFFICIENCY PLAN AND REPORT

AIRCON NOTE:

- PROVIDE SPLIT TYPE AIR CONDITIONING TO SUB-CONTRACTORS PLANS.

NOTE:

- REFLUX VALVE TO SEWER

CITY OF FREMANTLE
These Revised Plans Form Part of

DA0077/26

7 May 2026

INSITE

RESIDENTIAL
BP 102555 - BC 102440
(Registered Builder)
ACN - 617080949
106C Stirling Hwy,
North Fremantle WA 6159

THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT

DATED / /

OWNER 'A'
OWNER 'B'
BUILDER REPRESENTATIVE

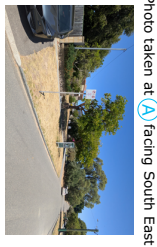
REV	AMENDMENTS	DRN	DATE	CHECK
1	PLANNING DRAWINGS	ST-IR	03/12/25	AB
2	PLANNING DRAWINGS	RX-CD	05/02/26	
3	VARIATION 1	RX-CD	10/02/26	
4	VARIATION 2	RX-CD	11/02/26	
4	VARIATION 3	RX-CD	11/02/26	
5	VARIATION 4	RX-CD	27/02/26	
6	WORKING DRAWINGS	RX-RG	10/03/26	
7	VARIATION	RX-CD	30/03/26	

PROPOSED RESIDENCE FOR:
ASHLEY BARLOW
ADDRESS
LOT 55, 2 FIELD ST, BEACONSFIELD

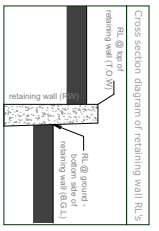
GENERAL NOTES
SCALE AS SHOWN ON A3

1 of 20 MODEL: CUSTOM

REF NO: TBA
DO NOT SCALE FROM THIS DRAWINGS
Any discrepancies to be notified to SITE SUPERVISOR without delay.
ALL DIMENSIONS ARE TO BRICKWORK
ERRORS AND OMISSIONS EXCEPTED
WIND RATING: TBA ENGINEERS DETAILS: TBA COASTAL CATEGORY: TBA
COPYRIGHT © INSITE RESIDENTIAL
This house design is the sole property of Insite Residential and should not be used or altered without the express written approval or license by the builder or registered parties.



NOTE: No title viewed by The Land Division. A certificate of title check for easements and encumbrances is highly recommended as should they exist, they may affect design.
 Note: Service lines are plotted from before you dig (BVD) information and must be verified before adopting their positions.
 The location of underground assets provided by a service or utility provider may not be accurate as they are not required to be provided, unless proved by hand excavation, or other scanning or other approved techniques.



LEGEND

	TMH - RL 10.00m
	Top Of Bank
	Bottom Of Bank
	Gutter Line
	Overhead Powerline (centre-line of poles)
	Abandoned Gas Main
	Gas Line
	Water Main
	Sewer Main
	Underground TASTRA/NSN Cable
	Water Meter
	Sewer Connection
	House Connection
	Power Pole
	Tellera Pole
	Sign
	Tree

SITE DEMOLITION PLAN

FEATURE AND CONTOUR SURVEY OF LOT 55 ON DIAGRAM 26942

Survey Date: 16 January 2026 Scale 1:200@A3

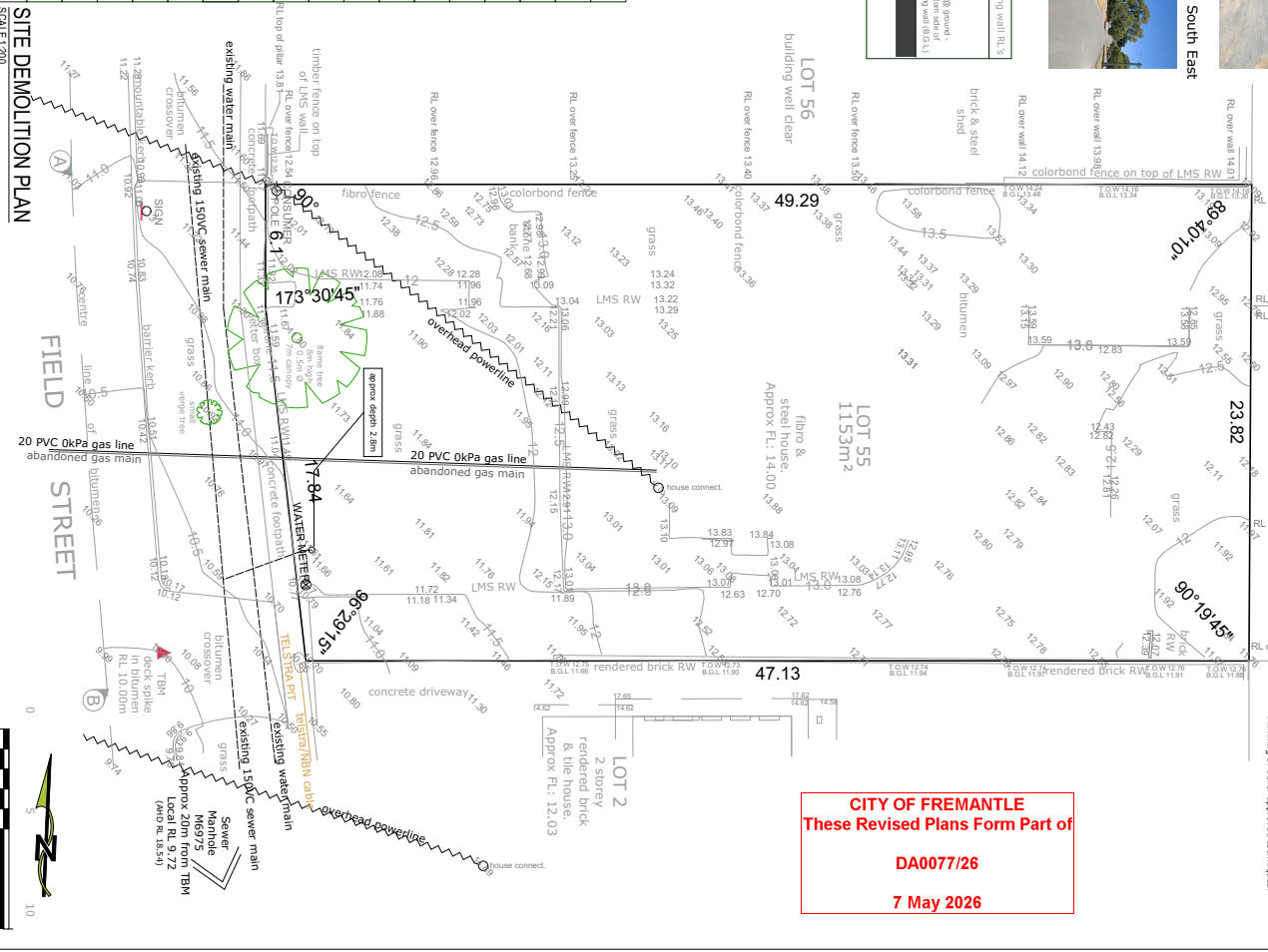
Client: Insite Residential

Rev	Date	Description	Surv	Drawn
0	19/01/2026	Feature Survey Drafted	TF	TF

2 Field Street, Beaconsfield
 C/T Vol: 470 Fol: 147A
 Our ref: 26-0973

Feature Survey by
THE LAND DIVISION
 Planning Information & Services
 PO Box 2444,
 Malaga, WA 6090
 phone: 08 9209 3232
 www.landdivision.com.au

NOTES: 1) CONSULT LEGAL ADVICE ON EASEMENTS, ENCUMBRANCES AND EAVENTS THAT MAY AFFECT ON THE CERTIFICATE OF TITLE. 2) LEVELS ON ADJOINING PROPERTIES ARE APPROXIMATE DUE TO ACCESS RESTRICTIONS. 3) SERVICES PLOTTED AS VISUALLY SEEN ON SITE AND ARE APPROXIMATE. 4) SEWER POSITION AND LEVELS FROM WATER CORPORATION PLANS. 5) CONSULT BEFORE YOU DIG (BVD) TO CHECK LOCATION OF UNDERGROUND SERVICES. 6) BEWARE OF OVERHEAD POWER LINE HAZARDS. 7) CONSULT TLD ON ANY ANOMALY BEFORE DESIGN AND CONSTRUCTION. 8) POSITION AND DEPTH OF SERVICES TO BE CONFIRMED ON SITE BY CONTRACTOR. 9) FEEDBACKS ARE RELAYED TO FIELD LINES ONLY. NO CONNECTION MADE TO BOUNDARIES. **HEREBY RECOMMENDED.**

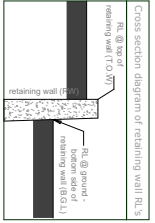


CITY OF FREMANTLE
 These Revised Plans Form Part of
DA0077/26
7 May 2026

NOTE: No title viewed by The Land Division. A certificate of title check for easements and encumbrances is highly recommended as should they exist, they may affect design.
Photo taken at (B) facing North East



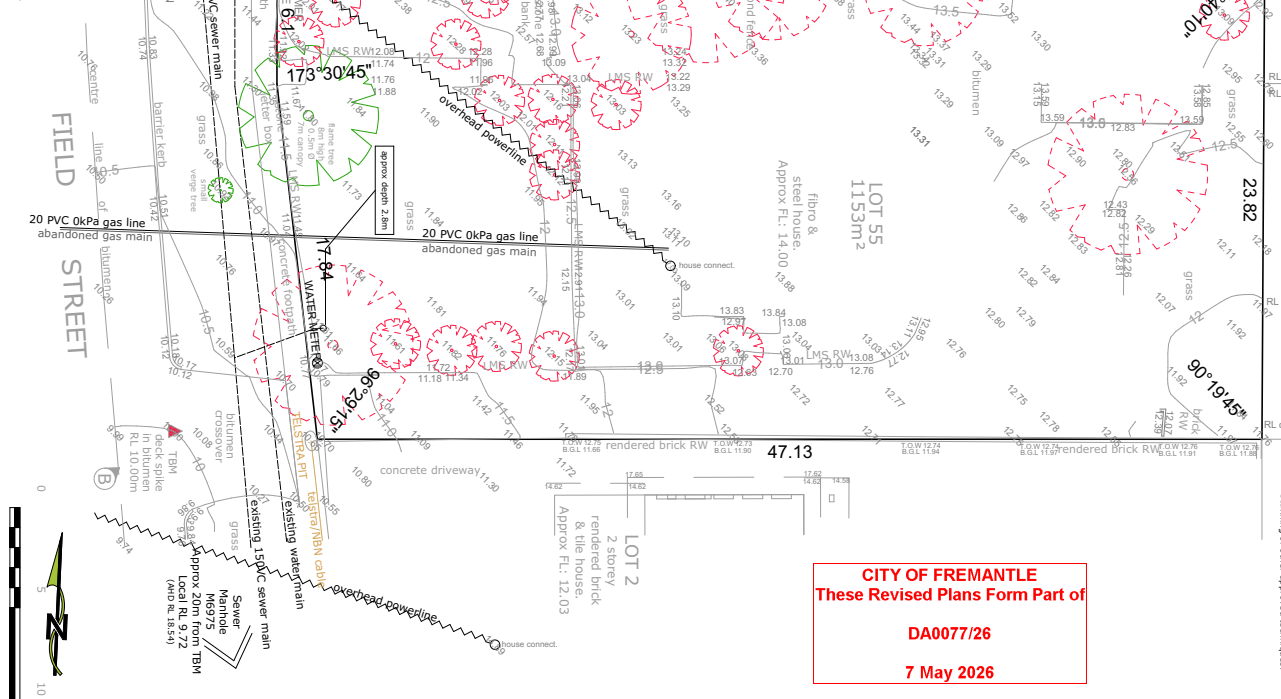
Photo taken at (A) facing South East



EXISTING TREES AND SMALL SHRUBS TO BE REMOVED SHOWN DASHED

LEGEND	
▲	TBM - R.L. 10.00m
▲	Top Of Bank
▲	Bottom Of Bank
▲	Gutter Line
▲	Overhead Powerline (centre-line of poles)
▲	Abandoned Gas Main
▲	Gas Line
▲	Water Main
▲	Sewer Main
▲	Underground TASTRA/NSN Cable
▲	Water Meter
▲	Sewer Connection
▲	House Connection
▲	Power Pole
▲	Tollara Pole
▲	Sign
▲	Tree

SITE DEMOLITION PLAN
SCALE 1:200



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7 May 2026

The location of underground assets provided by a service or utility provider may not be accurate as they are based on their records. The location of underground assets should be verified by hand excavation, or other approved techniques.

**City of Fremantle
Ordinary Meeting of Council - Agenda
10 June 2026**

**RESIDENTIAL
INSITE**

THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT DATED / /

OWNER: A
OWNER: B
BUILDER REPRESENTATIVE

REV	AMENDMENTS	DRAWN	DATE	CHECK	PROPOSED RESIDENCE FOR:
1	PLANNING DRAWINGS	SR	03/2025	AB	ASHLEY BARLOW
2	PLANNING DRAWINGS	RACD	04/2026		
3	VARIATION 1	RACD	18/02/26		
4	VARIATION 2	RACD	19/02/26		
4	VARIATION 3	RACD	19/02/26		
5	VARIATION 4	RACD	27/02/26		
6	WORKING DRAWINGS	RACD	18/02/26		
7	VARIATION	RACD	30/02/26		

PROPOSED DEMOLITION PLAN
SCALE AS SHOWN ON A3

MODEL: CUSTOM

DO NOT SCALE FROM THIS DRAWING

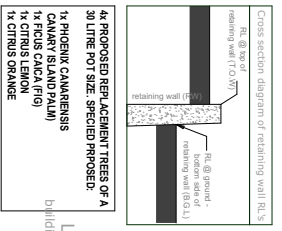
ALL DIMENSIONS ARE TO BE CHECKED ON SITE

KNOWNS AND DIMENSIONS EXCEPT AS NOTED

TBA TBA TBA TBA

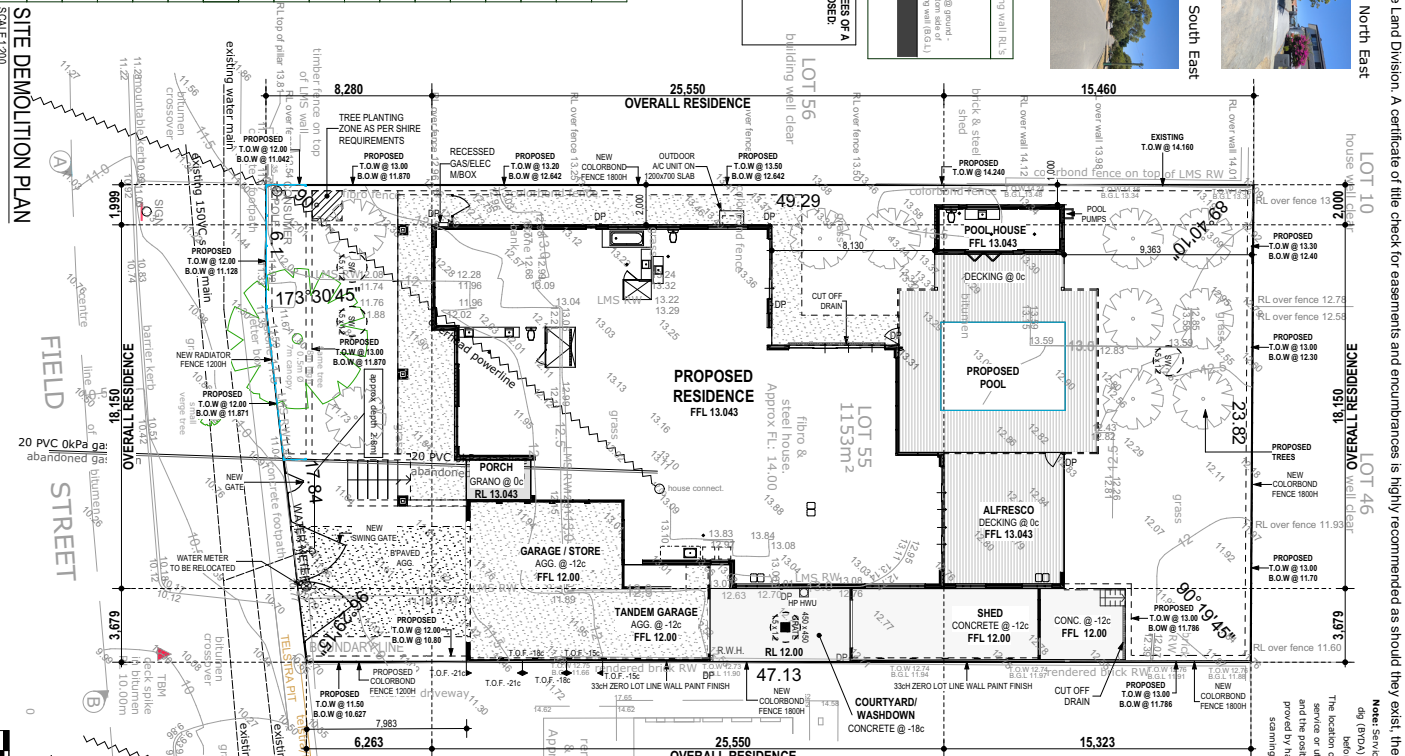
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NOTE: No title viewed by The Land Division. A certificate of title check for easements and encumbrances is highly recommended as should they exist they may affect design.



4x PROPOSED REPLACEMENT TREES OF A 30 LITRE POT SIZE. SPECIFIED PROPOSED: 1x PROPERTY CANNANBESS 1x CANARY ISLAND PALM 1x CITRUS CARA FIG 1x CITRUS LEMON 1x CITRUS ORANGE

LEGEND	
	TBM - RL 10.00m
	Top of Bank
	Bottom Of Bank
	Gutter Line
	Overhead Powerline (centre-line of poles)
	Abandoned Gas Main
	Gas Line
	Water Main
	Sewer Main
	Cable
	Water Meter
	Sewer Connection
	House Connection
	Power Pole
	Telstra Pole
	Sign
	Tree



SITE DEMOLITION PLAN

SCALE 1:200

Survey Date: 16 January 2026 Scale 1:200@A3

Client: Insite Residential

Rev	Date	Description	Surv	Drawn
0	19/01/2026	Feature Survey Drafted	TF	TF

FEATURE AND CONTOUR SURVEY OF LOT 55 ON DIAGRAM 26942

2 Field Street, Beaconsfield
C/T Vol: 470 Fol: 147A

OUR ref: 26-0973

Feature Survey by
THE LAND DIVISION
Landscape Architecture & Engineering
PO Box 2444,
Malga, WA 6090
phone: 08 9209 3232
www.landdivision.com.au

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DA0077/26

7 May 2026

EXTENT OF FLOOR AREA	
SITE COVERAGE	TBA
TOTAL AREA	11,533m ²
SITE COV. AREA	46.156m ²
SITE COV. %	39.98%

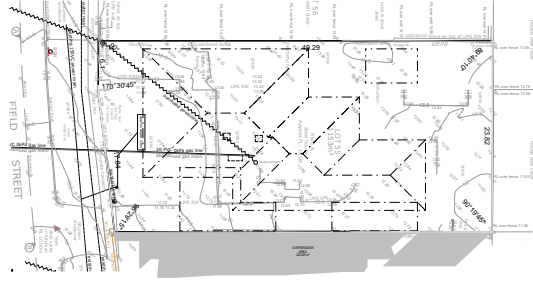
NOTE: REFER TO ENGINEERED STORMWATER LAYOUT FOR SOWMEL SIZES & LOCATION

NOTE: LAYDOWNERS, STRUCTURAL COLUMNS GARAGE PRESS OR SIMILAR ELEMENTS THAT ARE PLACED WITHIN OR ADJACENT TO MASONRY WALLS TO BE WEATHERPROOFING IN ACCORDANCE WITH AS 2700 OR AS 4773

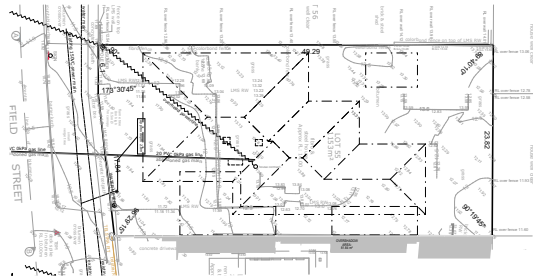
NOTE: -STORMWATER DISPOSAL, DESIGN AND INSTALLATION TO COMPLY WITH THE LOCAL AUTHORITY'S REQUIREMENTS & AS 1576 (R11.2) & AS 4785 (S99.9)

NOTE: LAYDOWNERS, STRUCTURAL ELEMENTS CHANGING FROM WITHIN OR ADJACENT TO MASONRY WALLS TO BE FLASHED TO MAINTAIN COMPLIANCE WITH AS 2700 OR AS 4773

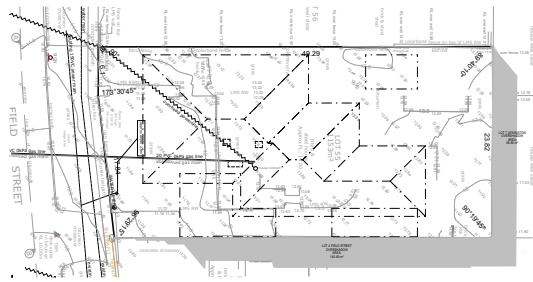
NOTE: FLOORS SHOWERS REFLEX VALVE INCLUDED



SHADOW DIAGRAM
JUNE 21 - 9:00 AM
SCALE 1:500



SHADOW DIAGRAM
JUNE 21 - 12NN
SCALE 1:500



SHADOW DIAGRAM
JUNE 21 - 3:00 PM
SCALE 1:500

CITY OF FREMANTLE
These Revised Plans Form Part of
DA0077/26
7 May 2026

INSITE
RESIDENTIAL
BP 102555 - BC 102440
(Registered Builder)
ACN - 617080949
106C Stirling Hwy,
North Fremantle WA 6159

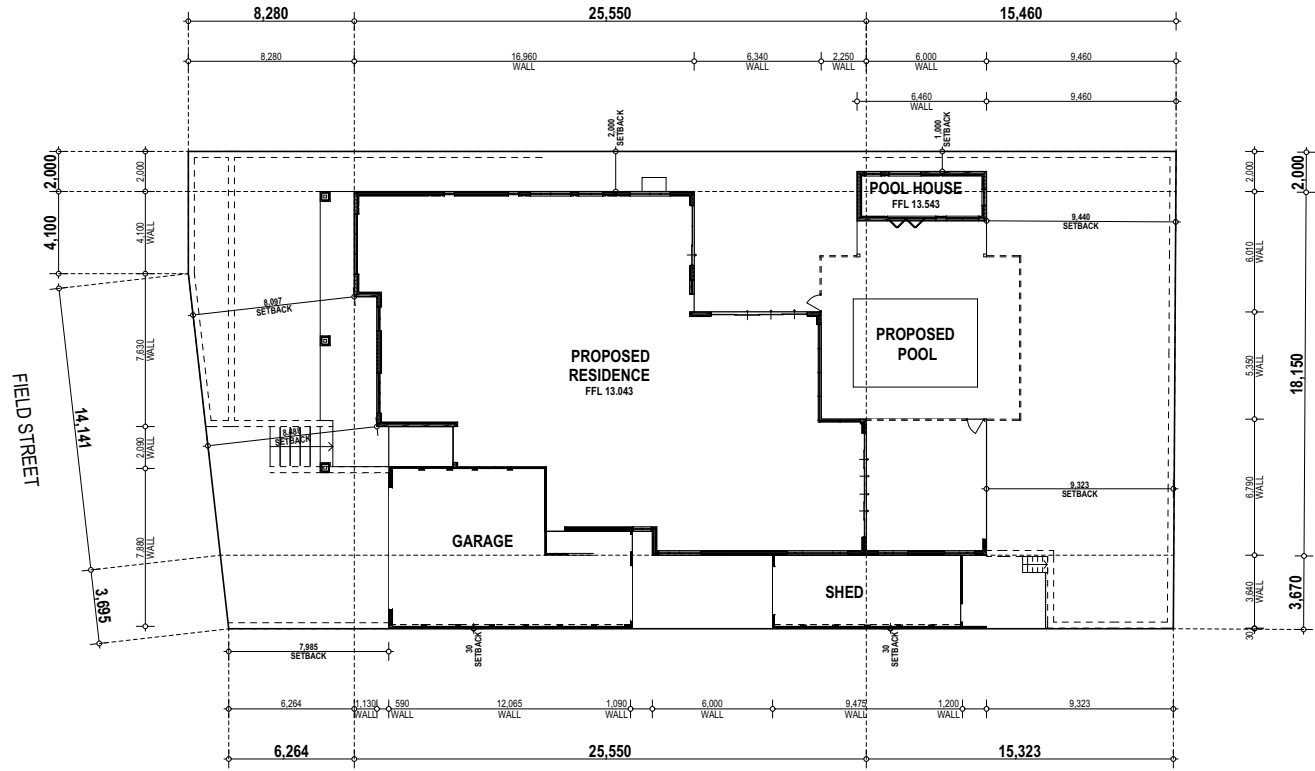
THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT
DATED / /
OWNER A
OWNER B
BUILDER REPRESENTATIVE

REV	AMENDMENTS	DRN	DATE	CHECK
1	PLANNING DRAWINGS	ST-IR	03/12/25	AB
2	PLANNING DRAWINGS	RX-CD	05/02/26	
3	VARIATION 1	RX-CD	10/02/26	
4	VARIATION 2	RX-CD	11/02/26	
4	VARIATION 3	RX-CD	11/02/26	
5	VARIATION 4	RX-CD	27/02/26	
6	WORKING DRAWINGS	RX-RG	10/03/26	
7	VARIATION	RX-CD	30/03/26	

PROPOSED RESIDENCE FOR:
ASHLEY BARLOW
ADDRESS
LOT 55, 2 FIELD ST, BEACONSFIELD
**OVERSHADOW
DIAGRAM**
SCALE AS SHOWN ON A3

REF NO.:	DO NOT SCALE FROM THIS DRAWINGS Any dimensions to be verified to S44. Subsequent without delay ALL DIMENSIONS ARE TO BRICKWORK ERRORS AND OMISSIONS EXCEPTED		
TBA	WIND RATING	ENGINEERS DETAILS	COASTAL CATEGORY
	TBA	TBA	TBA
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5 of 20 MODEL: CUSTOM



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 7 May 2026

SITE SETOUT PLAN
 SCALE 1:200

INSITE
 RESIDENTIAL
 BP 102555 - BC 102440
 (Registered Builder)
 ACN - 617080949
 106C Stirling Hwy,
 North Fremantle WA 6159

THIS IS ONE OF THE DRAWINGS
 REFERRED TO IN THE CONTRACT
 DATED / /
 OWNER 'A'
 OWNER 'B'
 BUILDER REPRESENTATIVE

REV	AMENDMENTS	DRN	DATE	CHECK	PROPOSED RESIDENCE FOR:
1	PLANNING DRAWINGS	ST-IR	03/12/25	AB	ASHLEY BARLOW
2	PLANNING DRAWINGS	RX-CD	05/02/26		ADDRESS
3	VARIATION 1	RX-CD	10/02/26		LOT 53, 2 FIELD ST, BEACONSFIELD
4	VARIATION 2	RX-CD	11/02/26		SITE SETOUT PLAN SCALE AS SHOWN ON A3
4	VARIATION 3	RX-CD	11/02/26		
5	VARIATION 4	RX-CD	27/02/26		6 of 20
6	WORKING DRAWINGS	RX-RG	10/03/26		
7	VARIATION	RX-CD	30/03/26		CUSTOM

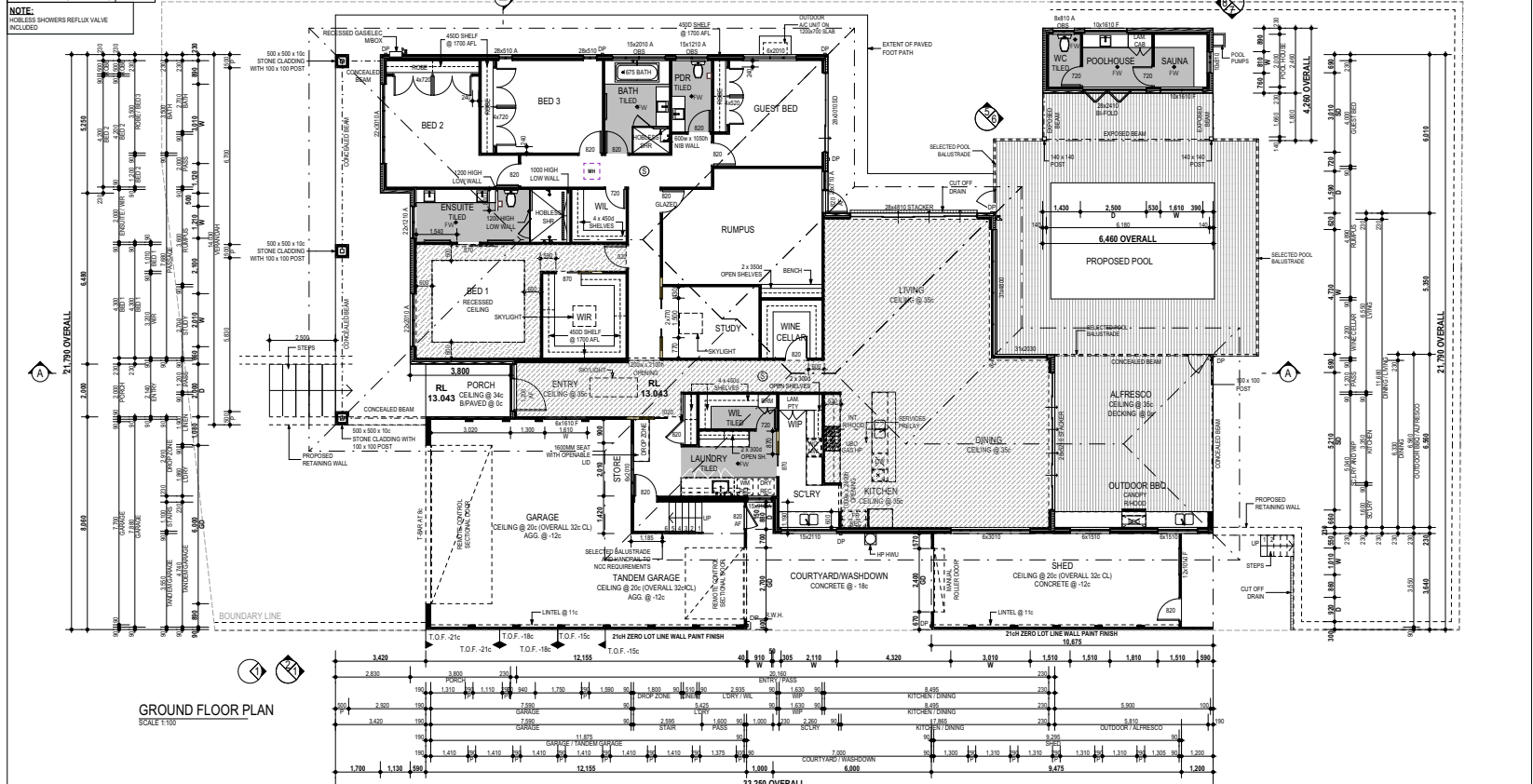
REF NO:	DO NOT SCALE FROM THIS DRAWINGS
TBA	As-built construction to check dimensions & levels prior to commencing works. Any discrepancies to be notified to the Supervisor without delay.
	ALL DIMENSIONS ARE TO BRICKWORK.
	ERRORS AND OMISSIONS EXCEPTED
WIND RATING	ENGINEERS DETAILS
TBA	TBA
	COASTAL CATEGORY
	TBA
	COPYRIGHT © INSITE RESIDENTIAL
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**City of Fremantle
Ordinary Meeting of Council - Agenda
10 June 2026**

**C2606-1.1
Amended Plans**

	PERIM. (M)	AREA (SQM)
HOUSE	87.40	324.91
GARAGE	42.43	83.43
ALFRESCO	25.58	42.74
SHED	26.55	34.16
POOL	17.84	18.88
PORCH	10.42	8.42
ROOF AREA - GROUND IN ON THE FLAT		675.10

NOTE:
WHEELLESS SHOWERS REFLUX VALVE INCLUDED



GROUND FLOOR PLAN
SCALE 1:100

CITY OF FREMANTLE
These Revised Plans Form Part of
DA0077/26
7 May 2026

INSITE
RESIDENTIAL
BP 102555 - EC 103440
(Registered Builder)
ACN - 617080949
106C Sirling Hwy,
North Fremantle WA 6159

THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT DATED / /
OWNER 'A'
OWNER 'B'
BUILDER REPRESENTATIVE

REV	AMENDMENTS	DRN	DATE	DESC
1	PLANNING DRAWINGS	BT-AR	09/12/23	AB
2	PLANNING DRAWINGS	KX-CD	05/02/24	
3	VARIATION 1	KX-CD	18/02/24	
4	VARIATION 2	KX-CD	19/02/24	
5	VARIATION 3	KX-CD	19/02/24	
6	VARIATION 4	KX-CD	19/02/24	
7	VARIATION	KX-CD	30/03/24	

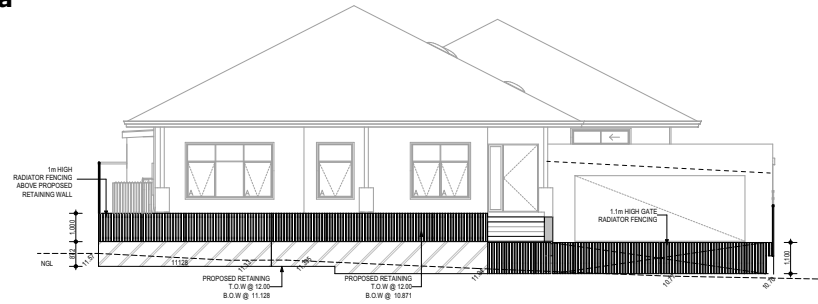
PROPOSED RESIDENCE FOR:
ASHLEY BARLOW
ADDRESS
LOT 55, 2 FIELD ST, BEACONSFIELD

GROUND FLOOR PLAN
SCALE AS SHOWN ON A2

MODEL:
7 of 20 CUSTOM

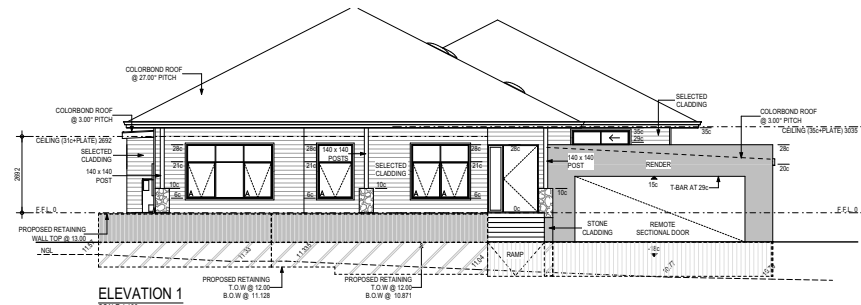
REV NO	DO NOT SCALE FROM THE DRAWINGS
TBA	ALL DIMENSIONS ARE TO BRICKWORK EXCEPT AS OTHERWISE SPECIFIED
	COPYRIGHT © INSITE RESIDENTIAL

LEGEND:		316 - G/F CEILING LEVEL NOTED OTHERWISE.
FEATURE 24 FACE BRICK		
RENDER		
STONE CLADDING		
CLADDING		

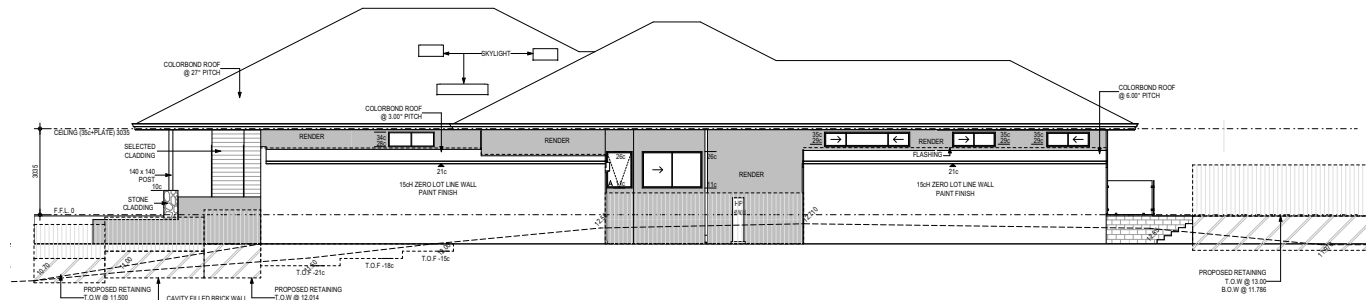


FENCE ELEVATION
 SCALE 1:100

CITY OF FREMANTLE
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 DA0077/26
 7 May 2026



ELEVATION 1
 SCALE 1:100



ELEVATION 2
 SCALE 1:100

INSITE
 RESIDENTIAL
 BP 102555 - EC 102440
 (Registered Builder)
 ACN - 617080949
 106C Stirling Hwy,
 North Fremantle WA 6159

THIS IS ONE OF THE DRAWINGS
 REFERRED TO IN THE CONTRACT
 DATED / /
 OWNER A
 OWNER B
 BUILDER REPRESENTATIVE

REV	AMENDMENTS	DRN	DATE	DESC
1	PLANNING DRAWINGS	ST-AR	09/12/23	AB
2	PLANNING DRAWINGS	RX-CO	05/02/24	
3	VARIATION 1	RX-CO	18/02/24	
4	VARIATION 2	RX-CO	15/02/24	
4	VARIATION 3	RX-CO	15/02/24	
5	VARIATION 4	RX-CO	15/02/24	
6	WORKING DRAWINGS	RX-RG	16/03/24	
7	VARIATION	RX-CO	30/03/24	

PROPOSED RESIDENCE FOR:
 ASHLEY BARLOW
 ADDRESS
 LOT 55, 2 FIELD ST, BEACONSFIELD

ELEVATIONS 1-2
 SCALE AS SHOWN ON A2

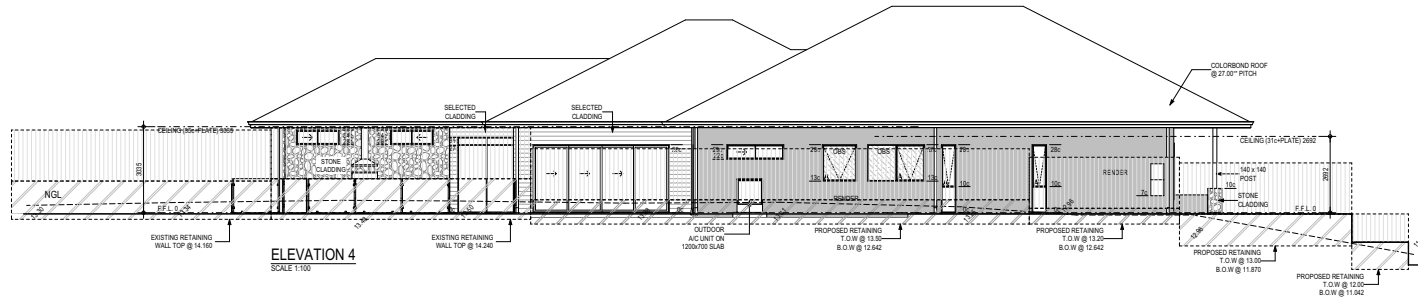
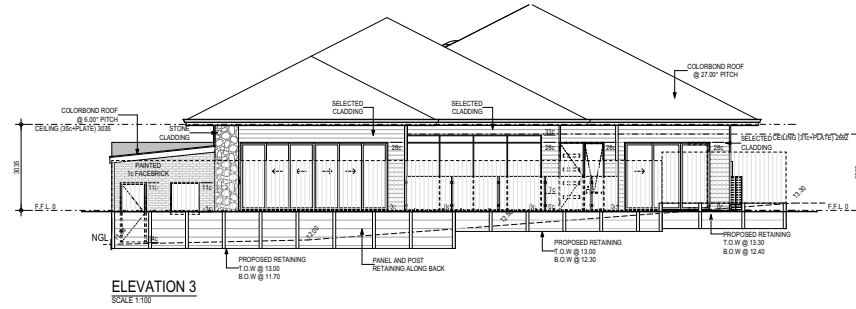
8 of 20 MODEL: CUSTOM

REV NO.	DO NOT SCALE FROM THE DRAWINGS ALL DIMENSIONS ARE TO BRICKWORK FINISH AND DIMENSIONS EXPICITLY
TBA	TBA
COPYRIGHT © INSITE RESIDENTIAL	

LEGEND:	
FEATURE IN FACE BRICK:	
RENDER:	
STONE CLADDING:	
CLADDING:	

31c - G/F CEILING LEVEL
 NOTED OTHERWISE.

COLORBOND ROOF AT 27° 17'48" 31°
 RENDERED BRICKWORK & FEATURE CLADDING
 FINISH TO EXTERNAL UNLESS NOTED
 OTHERWISE.



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 DA0077/26
 7 May 2026

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 106C Stirling Hwy,
 North Fremantle WA 6159

THIS IS ONE OF THE DRAWINGS
 REFERRED TO IN THE CONTRACT
 DATED / /
 OWNER A
 OWNER B
 BUILDER REPRESENTATIVE

REV	AMENDMENTS	DRN	DATE	CHKD
1	PLANNING DRAWINGS	ST-AR	09/12/23	AB
2	PLANNING DRAWINGS	RX-CD	05/02/26	
3	VARIATION 1	RX-CD	18/02/26	
4	VARIATION 2	RX-CD	18/02/26	
4	VARIATION 3	RX-CD	18/02/26	
5	VARIATION 4	RX-CD	18/02/26	
6	WORKING DRAWINGS	RX-AR	16/03/26	
7	VARIATION	RX-CD	30/03/26	

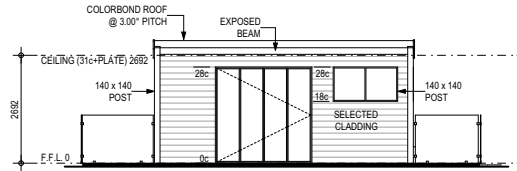
PROPOSED RESIDENCE FOR:
 ASHLEY BARLOW
 ADDRESS
 LOT 55, 2 FIELD ST, BEACONSFIELD

ELEVATIONS 3-4
 SCALE AS SHOWN ON A2

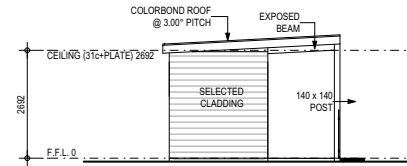
9 of 20 MODEL CUSTOM

REV NO.	DO NOT SCALE FROM THE DRAWINGS ALL DIMENSIONS ARE TO BRICKWORK ERRORS AND OMISSIONS EXCEPTED
TBA	TBA
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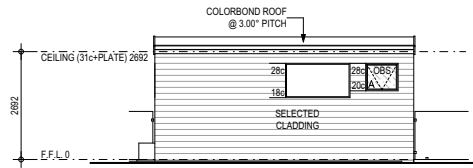
LEGEND:		NOTE:
FEATURE 2: FACE BRICK:		31c - G/F CEILING LEVEL NOTED OTHERWISE.
RENDER:		COLORBOND ROOF AT 27° 7' 35", 3° RENDERED BRICKWORK & FEATURE CLADDING FINISH TO EXTERNAL UNLESS NOTED OTHERWISE.
STONE CLADDING:		
CLADDING:		



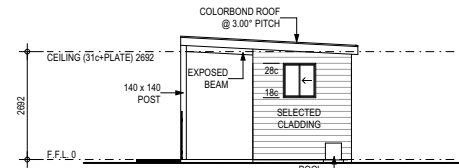
ELEVATION 5
 SCALE 1:100



ELEVATION 6
 SCALE 1:100



ELEVATION 7
 SCALE 1:100



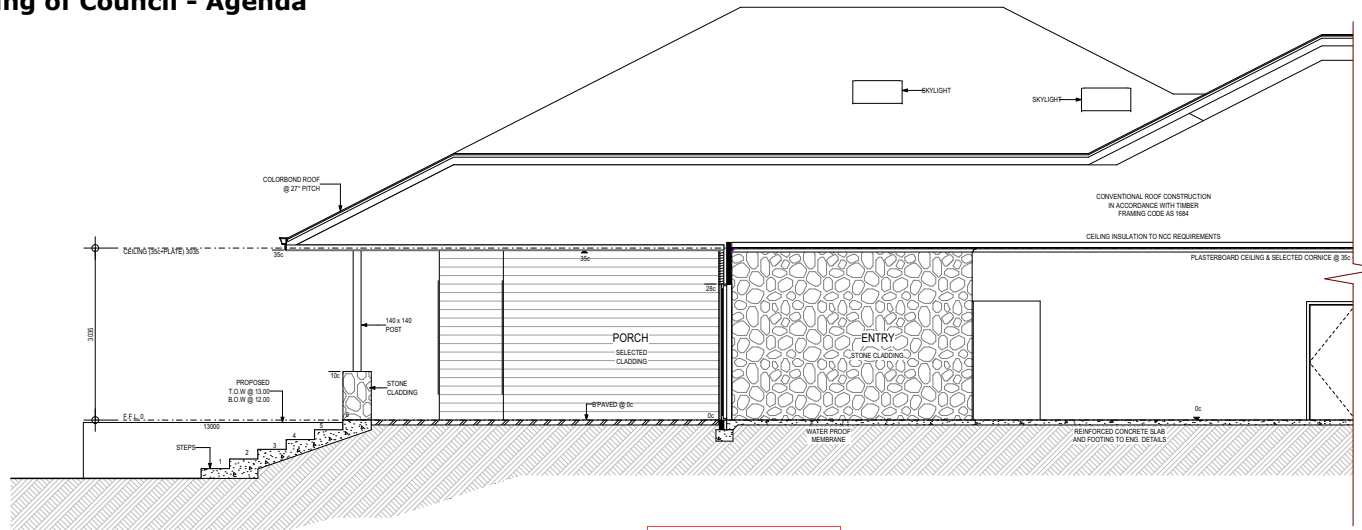
ELEVATION 8
 SCALE 1:100

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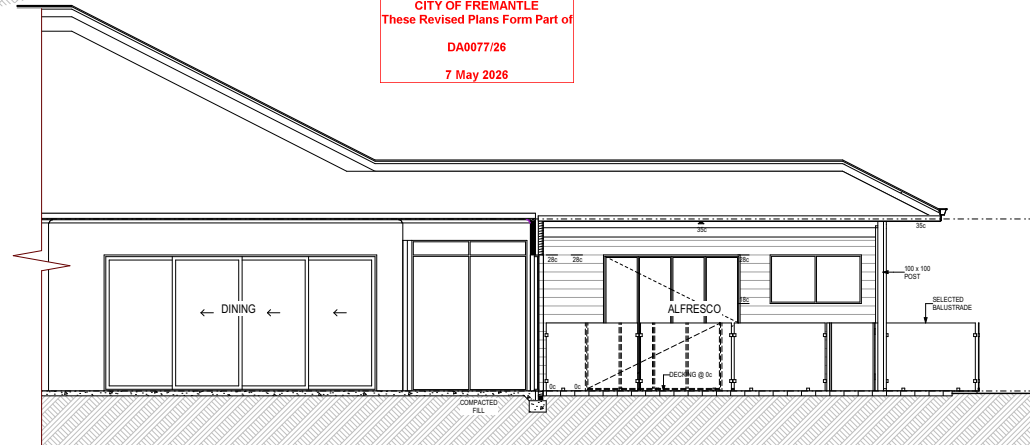
7 May 2026

<h1 style="margin: 0;">INSITE</h1> <p style="margin: 0;">RESIDENTIAL BP 102555 - BC 102440 (Registered Builder) ACN - 617080949 106C Stirling Hwy, North Fremantle WA 6159</p>	THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT DATED / / OWNER "A" OWNER "B" BUILDER REPRESENTATIVE	<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>REV</th> <th>AMENDMENTS</th> <th>DRN</th> <th>DATE</th> <th>CHECK</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>PLANNING DRAWINGS</td> <td>ST-IR</td> <td>03/12/25</td> <td>AB</td> </tr> <tr> <td>2</td> <td>PLANNING DRAWINGS</td> <td>RX-CD</td> <td>05/02/26</td> <td></td> </tr> <tr> <td>3</td> <td>VARIATION 1</td> <td>RX-CD</td> <td>10/02/26</td> <td></td> </tr> <tr> <td>4</td> <td>VARIATION 2</td> <td>RX-CD</td> <td>11/02/26</td> <td></td> </tr> <tr> <td>5</td> <td>VARIATION 3</td> <td>RX-CD</td> <td>11/02/26</td> <td></td> </tr> <tr> <td>6</td> <td>WORKING DRAWINGS</td> <td>RX-RG</td> <td>27/03/26</td> <td></td> </tr> <tr> <td>7</td> <td>VARIATION</td> <td>RX-CD</td> <td>30/03/26</td> <td></td> </tr> </tbody> </table>	REV	AMENDMENTS	DRN	DATE	CHECK	1	PLANNING DRAWINGS	ST-IR	03/12/25	AB	2	PLANNING DRAWINGS	RX-CD	05/02/26		3	VARIATION 1	RX-CD	10/02/26		4	VARIATION 2	RX-CD	11/02/26		5	VARIATION 3	RX-CD	11/02/26		6	WORKING DRAWINGS	RX-RG	27/03/26		7	VARIATION	RX-CD	30/03/26		PROPOSED RESIDENCE FOR: ASHLEY BARLOW ADDRESS LOT 53, 2 FIELD ST, BEACONSFIELD ELEVATIONS 1 - 4 SCALE AS SHOWN ON A3 MODEL: 10 of 20 CUSTOM	REF NO: TBA ENGINEERS DETAILS TBA COASTAL CATEGORY TBA	DO NOT SCALE FROM THIS DRAWINGS All work to be checked in accordance with the relevant codes of practice. Any discrepancies to be notified to the Supervisor without delay. ALL DIMENSIONS ARE TO BRICKWORK. ERRORS AND OMISSIONS EXPECTED
	REV	AMENDMENTS	DRN	DATE	CHECK																																								
	1	PLANNING DRAWINGS	ST-IR	03/12/25	AB																																								
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SECTION A - A
SCALE 1:50

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OWNER B
BUILDER REPRESENTATIVE

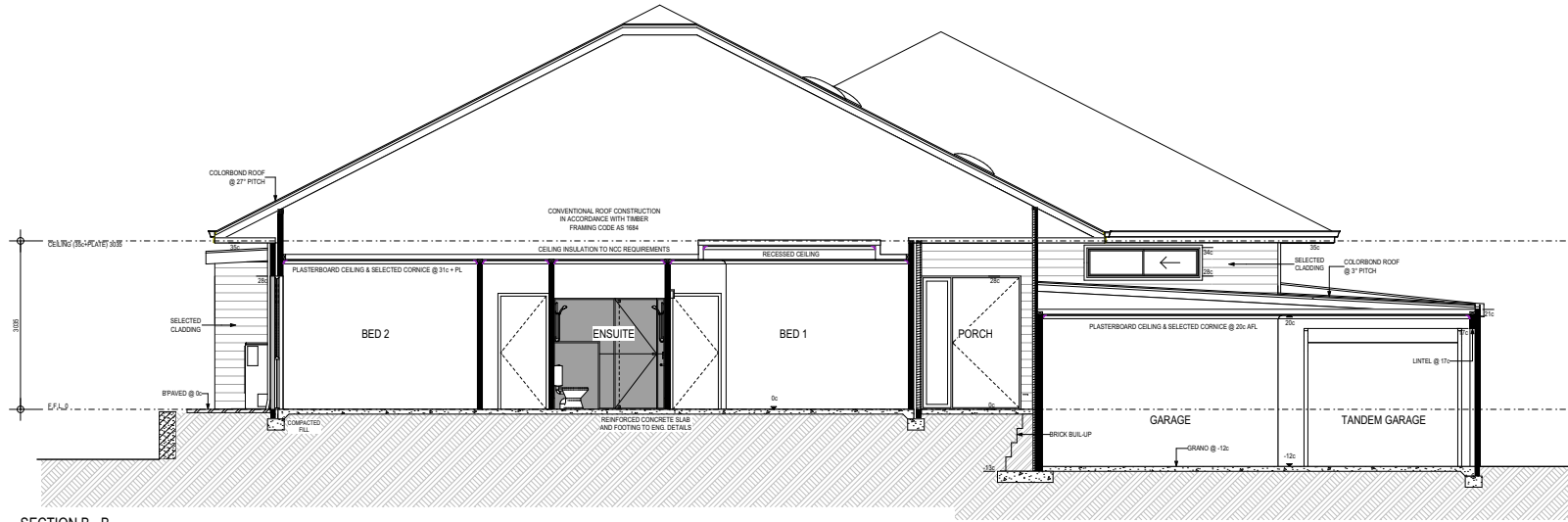
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2	PLANNING DRAWINGS	RX-CD	05/02/26	
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4	VARIATION 2	RX-CD	11/02/26	
4	VARIATION 3	RX-CD	11/02/26	
5	VARIATION 4	RX-CD	11/02/26	
6	WORKING DRAWINGS	RX-AR	10/03/26	
7	VARIATION	RX-CD	30/03/26	

PROPOSED RESIDENCE FOR:
ASHLEY BARLOW
ADDRESS
LOT 55, 2 FIELD ST, BEACONSFIELD

SECTION A
SCALE AS SHOWN ON A2

11 of 20
MODEL:
CUSTOM

REV NO.	DO NOT SCALE FROM THE DRAWINGS
TBA	ALL DIMENSIONS ARE TO BENCHMARK POINTS AND DIMENSIONS EXPICITLY
	DATE BY CHECKED BY DATE CHECKED BY DATE CHECKED BY
	TBA TBA TBA
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SECTION B - B
 SCALE 1:50

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 OWNER 'A'
 OWNER 'B'
 BUILDER REPRESENTATIVE

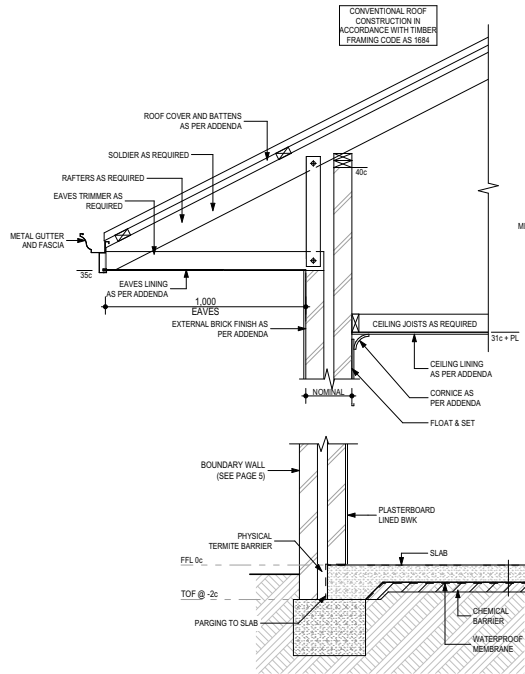
REV	AMENDMENTS	DRN	DATE	CHKD
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2	PLANNING DRAWINGS	RS-CD	25/02/26	
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4	VARIATION 2	RS-CD	11/02/26	
4	VARIATION 3	RS-CD	11/02/26	
5	VARIATION 4	RS-CD	11/02/26	
6	WORKING DRAWINGS	RS-AR	10/03/26	
7	VARIATION	RS-CD	30/03/26	

PROPOSED RESIDENCE FOR:
 ASHLEY BARLOW
 ADDRESS
 LOT 55, 2 FIELD ST, BEACONSFIELD

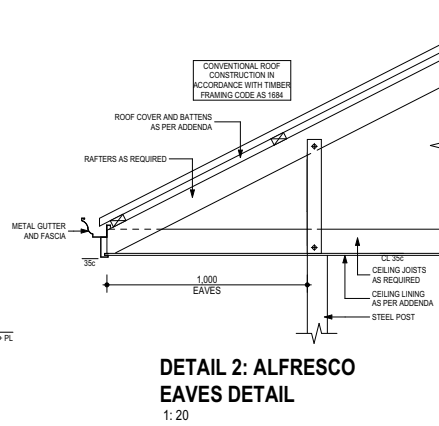
SECTION B
 SCALE AS SHOWN ON A2

12 of 20
 MODEL
 CUSTOM

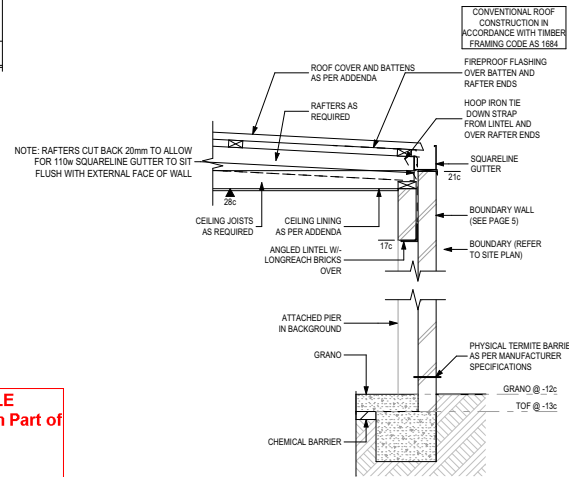
REV NO: DO NOT SCALE FROM THE DRAWINGS
 TBA
 ALL DIMENSIONS ARE TO BRICKWORK
 FINISHES AND OVERLAYS INDICATED
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**DETAIL 1: TYPICAL EAVES
DETAIL**
1: 20



**DETAIL 2: ALFRESCO
EAVES DETAIL**
1: 20



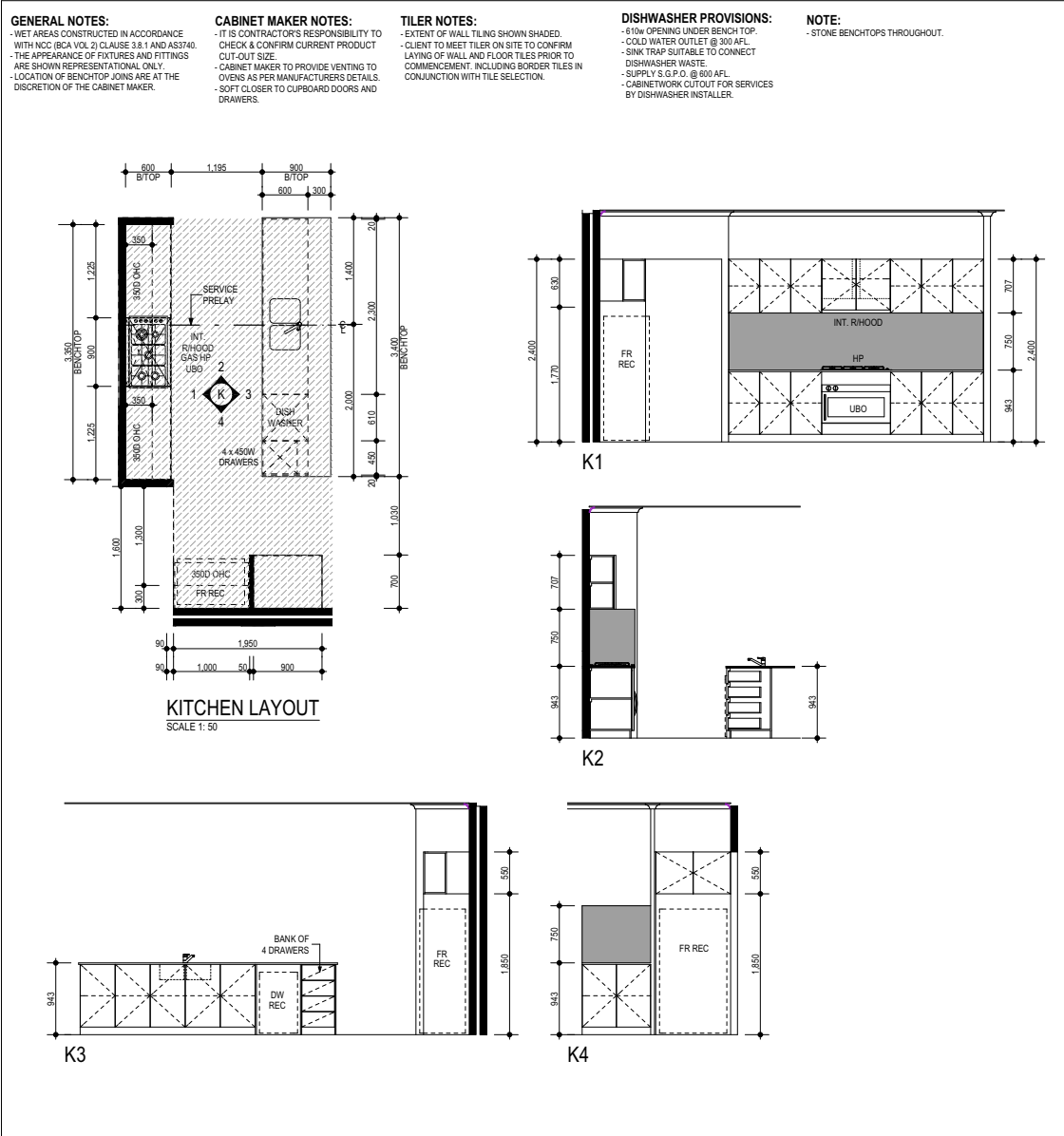
**DETAIL 3: GARAGE
BOUNDARY WALL**
1: 20

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OWNER 'A'
OWNER 'B'
BUILDER REPRESENTATIVE

REV	AMENDMENTS	DRN	DATE	CHECK	PROPOSED RESIDENCE FOR:	REF NO.:	DO NOT SCALE FROM THIS DRAWINGS
1	PLANNING DRAWINGS	ST-IR	03/12/25	AB	ASHLEY BARLOW	TBA	As per manufacturer's instructions. Any discrepancies to be notified to the Supervisor without delay.
2	PLANNING DRAWINGS	RX-CD	05/02/26		ADDRESS LOT 53, 2 FIELD ST, BEACONSFIELD		ALL DIMENSIONS ARE TO BRICKWORK.
3	VARIATION 1	RX-CD	10/02/26		DETAILS SCALE AS SHOWN ON A3		ERRORS AND OMISSIONS EXCEPTED
4	VARIATION 2	RX-CD	11/02/26		MODEL:		WIND RATING: TBA ENGINEERS DETAILS: TBA COASTAL CATEGORY: TBA
5	VARIATION 3	RX-CD	11/02/26		13 of 20		COPYRIGHT © INSITE RESIDENTIAL
6	WORKING DRAWINGS	RX-RG	10/03/26		CUSTOM		This House design is the sole property of Insite Residential and should not be used or altered without the express written assignment of license by the Builder as represented herein.
7	VARIATION	RX-CD	30/03/26				



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<p>INSITE RESIDENTIAL BP 102555 - BC 102440 (Registered Builder) ACN - 617080949 106C Stirling Hwy, North Fremantle WA 6159</p>	THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT				REV	AMENDMENTS	DRN	DATE	CHECK	PROPOSED RESIDENCE FOR: ASHLEY BARLOW ADDRESS LOT 55, 2 FIELD ST, BEACONSFIELD LAYOUTS 1 SCALE AS SHOWN ON A3 MODEL: CUSTOM	REF NO.: TBA DO NOT SCALE FROM THIS DRAWINGS Any discrepancies to be notified to SRS. Subsequent without delay. ALL DIMENSIONS ARE TO BRICKWORK ERRORS AND OMISSIONS EXCEPTED WIND RATING: TBA ENGINEERS DETAILS: TBA COASTAL CATEGORY: TBA COPYRIGHT © INSITE RESIDENTIAL This house design is the sole property of Insite Residential and should not be used or altered without the express written consent or license by the builder or copyright holder.
	DATED / /				1	PLANNING DRAWINGS	ST-IR	03/12/25	AB		
	OWNER A				2	PLANNING DRAWINGS	RX-CD	05/02/26			
	OWNER B				3	VARIATION 1	RX-CD	10/02/26			
	BUILDER REPRESENTATIVE				4	VARIATION 2	RX-CD	11/02/26			
					4	VARIATION 3	RX-CD	11/02/26			
					5	VARIATION 4	RX-CD	27/02/26			
				6	WORKING DRAWINGS	RX-RG	10/03/26				
				7	VARIATION	RX-CD	30/03/26				

GENERAL NOTES:

- WET AREAS CONSTRUCTED IN ACCORDANCE WITH MCC (BCA VOL 2) CLAUSE 3.3.1 AND AS3740.
- THE APPEARANCE OF FIXTURES AND FITTINGS ARE SHOWN REPRESENTATIONAL ONLY.
- LOCATION OF BENCHTOP JOINS ARE AT THE DISCRETION OF THE CABINET MAKER.

CABINET MAKER NOTES:

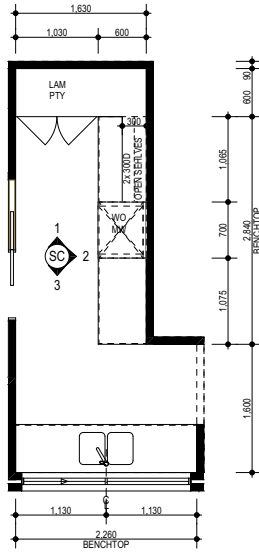
- IT IS CONTRACTOR'S RESPONSIBILITY TO CHECK & CONFIRM CURRENT PRODUCT CUT-OUT SIZE.
- CABINET MAKER TO PROVIDE VENTING TO OVENS AS PER MANUFACTURERS DETAILS.
- SOFT CLOSER TO CURBOARD DOORS AND DRAWERS.

TILER NOTES:

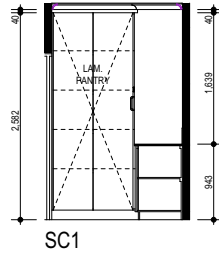
- EXTENT OF WALL TILING SHOWN SHADED.
- CLIENT TO MEET TILER ON SITE TO CONFIRM LAYING OF WALL AND FLOOR TILES PRIOR TO COMMENCEMENT, INCLUDING BORDER TILES IN CONJUNCTION WITH TILE SELECTION.

NOTE:

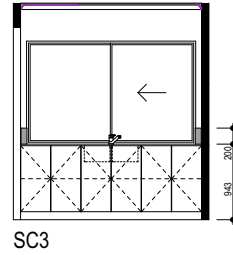
- STONE BENCHTOPS THROUGHOUT.



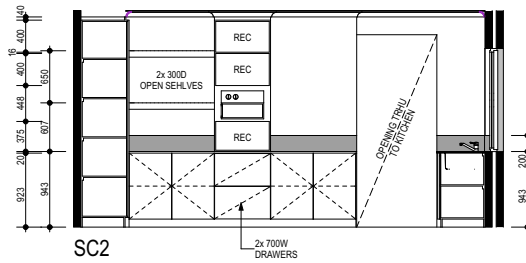
SCULLERY LAYOUT
SCALE 1:50



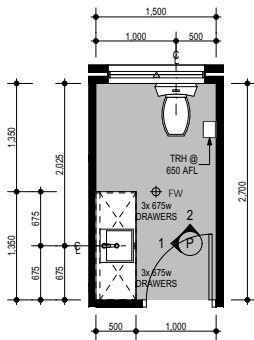
SC1



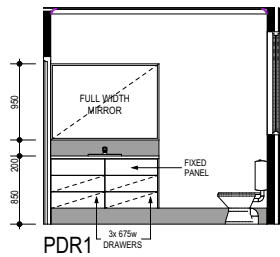
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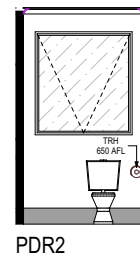
SC2



PDR LAYOUT
SCALE 1:50



PDR1



PDR2

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OWNER B
BUILDER REPRESENTATIVE

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6	VARIATION 4	RX-CD	27/02/26	
6	WORKING DRAWINGS	RX-RG	10/03/26	
7	VARIATION	RX-CD	30/03/26	

PROPOSED RESIDENCE FOR:
ASHLEY BARLOW
ADDRESS
LOT 55, 2 FIELD ST, BEACONSFIELD
LAYOUTS 2
SCALE AS SHOWN ON A3
15 of 20

REF NO:	DO NOT SCALE FROM THIS DRAWINGS Any discrepancies to be notified to SRS. Subsequent without altering.
TBA	ALL DIMENSIONS ARE TO BRICKWORK ERRORS AND OMISSIONS EXCEPTED
WIND RATING	ENGINEERS DETAILS
TBA	TBA
COSTAL CATEGORY	TBA
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CABINET MAKER NOTES:

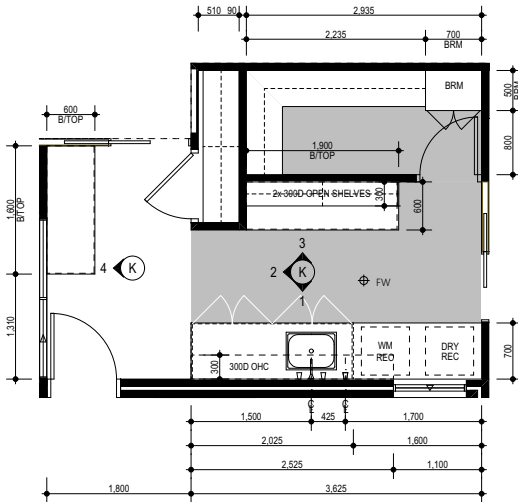
- IT IS CONTRACTOR'S RESPONSIBILITY TO CHECK & CONFIRM CURRENT PRODUCT CUT-OUT SIZE.
- CABINET MAKER TO PROVIDE VENTING TO OVENS AS PER MANUFACTURERS DETAILS.
- SOFT CLOSER TO CUPBOARD DOORS AND DRAWERS.

TILER NOTES:

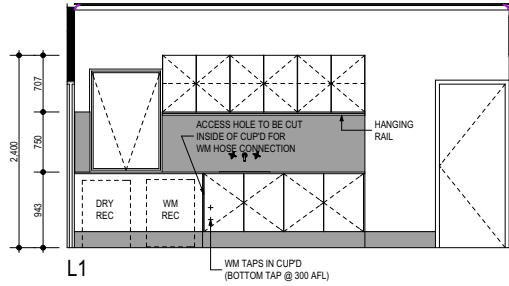
- EXTENT OF WALL TILING SHOWN SHADED.
- CLIENT TO MEET TILER ON SITE TO CONFIRM LAYING OF WALL AND FLOOR TILES PRIOR TO COMMENCEMENT, INCLUDING BORDER TILES IN CONJUNCTION WITH TILE SELECTION.

NOTE:

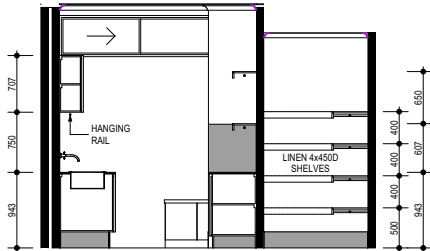
- STONE BENCHTOPS THROUGHOUT.



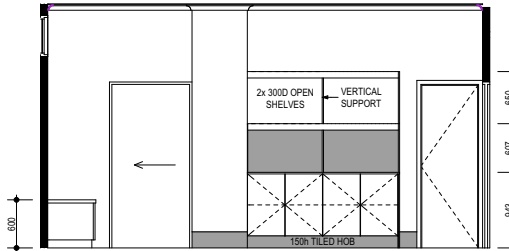
LAUNDRY LAYOUT
SCALE 1:50



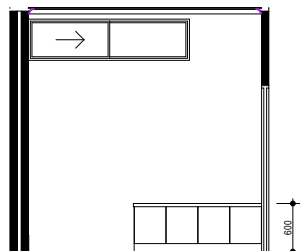
L1



L2



L3



L4

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1	PLANNING DRAWINGS	ST-IR	03/12/25	AB
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6	WORKING DRAWINGS	RX-RG	10/03/26	
7	VARIATION	RX-CD	30/03/26	

PROPOSED RESIDENCE FOR:
ASHLEY BARLOW
ADDRESS
LOT 55, 2 FIELD ST, BEACONSFIELD
LAYOUTS 3
SCALE AS SHOWN ON A3
16 of 20

REF NO:	DO NOT SCALE FROM THIS DRAWINGS Any discrepancies to be notified to SRS. Subsequent without delay.
TBA	ALL DIMENSIONS ARE TO BRICKWORK ERRORS AND OMISSIONS EXCEPTED
WIND RATING	ENGINEERS DETAILS
TBA	TBA
COSTAL CATEGORY	TBA
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MODEL:
CUSTOM

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CABINET MAKER NOTES:

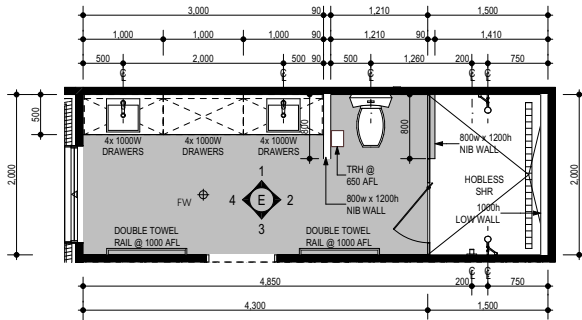
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TILER NOTES:

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NOTE:

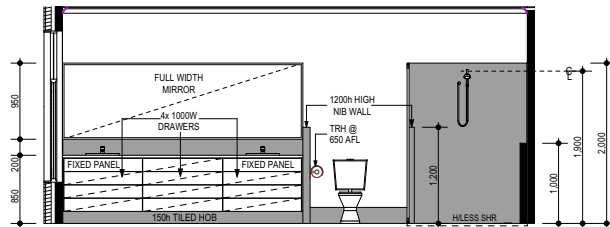
- STONE BENCHTOPS THROUGHOUT.



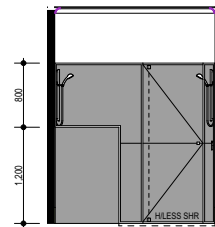
ENSUITE LAYOUT

SCALE 1:50

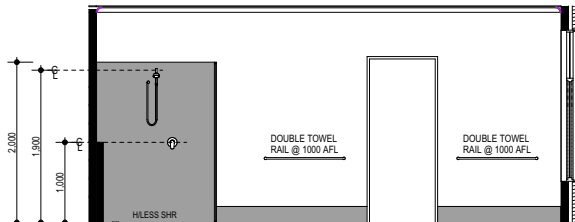
CITY OF FREMANTLE
These Revised Plans Form Part of
DA0077/26
7 May 2026



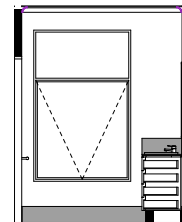
E1



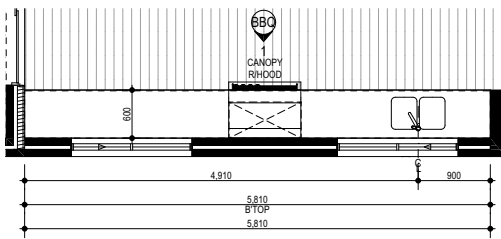
E2



E3

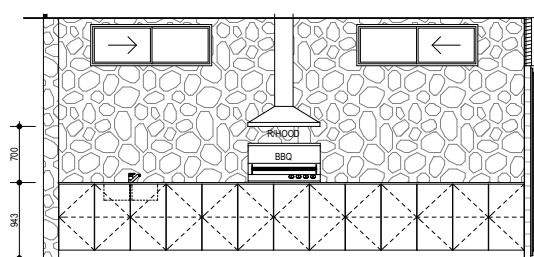


E4



BBQ LAYOUT

SCALE 1:50



BBQ 1

INSITE

RESIDENTIAL

BP 102555 - BC 102440
(Registered Builder)
ACN - 617080949
106C Stirling Hwy,
North Fremantle WA 6159

THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT

DATED / /

OWNER A

OWNER B

BUILDER REPRESENTATIVE

REV	AMENDMENTS	DRN	DATE	CHECK
1	PLANNING DRAWINGS	ST-IR	03/12/25	AB
2	PLANNING DRAWINGS	RX-CD	05/02/26	
3	VARIATION 1	RX-CD	10/02/26	
4	VARIATION 2	RX-CD	11/02/26	
5	VARIATION 3	RX-CD	11/02/26	
6	VARIATION 4	RX-CD	27/02/26	
7	WORKING DRAWINGS	RX-RG	10/03/26	
	VARIATION	RX-CD	30/03/26	

PROPOSED RESIDENCE FOR:
ASHLEY BARLOW

ADDRESS
LOT 55, 2 FIELD ST, BEACONSFIELD

LAYOUTS 4
SCALE AS SHOWN ON A3

17 of 20

MODEL:
CUSTOM

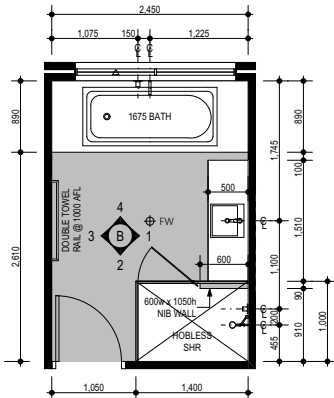
REF NO.:	DO NOT SCALE FROM THIS DRAWINGS Any dimensions to be verified to BBA. Substrate without allowing ALL DIMENSIONS ARE TO BRICKWORK ERRORS AND OMISSIONS EXCEPTED		
TBA	WIND RATING	ENGINEERS DETAILS	COSMETIC CATEGORY
	TBA	TBA	TBA
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GENERAL NOTES:
- WET AREAS CONSTRUCTED IN ACCORDANCE WITH MCC (BCA VOL 2) CLAUSE 3.8.1 AND AS3740.
- THE APPEARANCE OF FEATURES AND FITTINGS ARE SHOWN REPRESENTATIONAL ONLY.
- LOCATION OF BENCHTOP JOINS ARE AT THE DISCRETION OF THE CABINET MAKER.

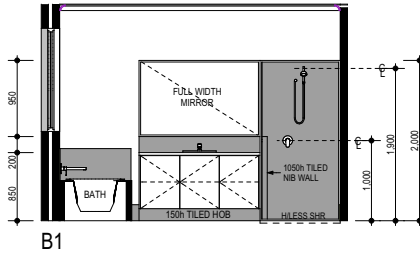
CABINET MAKER NOTES:
- IT IS CONTRACTOR'S RESPONSIBILITY TO CHECK & CONFIRM CURRENT PRODUCT CUT-OUT SIZE.
- CABINET MAKER TO PROVIDE VENTING TO OVENS AS PER MANUFACTURERS DETAILS.
- SOFT CLOSER TO CURBOARD DOORS AND DRAWERS.

TILER NOTES:
- EXTENT OF WALL TILING SHOWN SHADDED.
- CLIENT TO MEET TILER ON SITE TO CONFIRM LAYING OF WALL AND FLOOR TILES PRIOR TO COMMENCEMENT, INCLUDING BORDER TILES IN CONJUNCTION WITH TILE SELECTION.

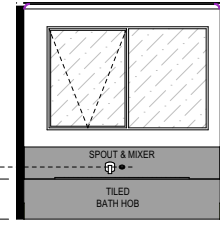
NOTE:
- STONE BENCHTOPS THROUGHOUT.



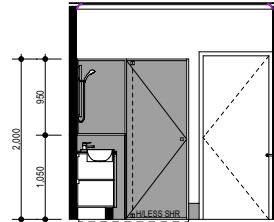
BATHROOM LAYOUT
SCALE 1: 50



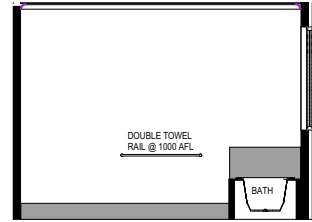
B1



B4

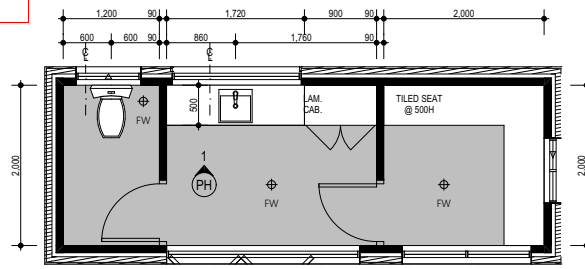


B2



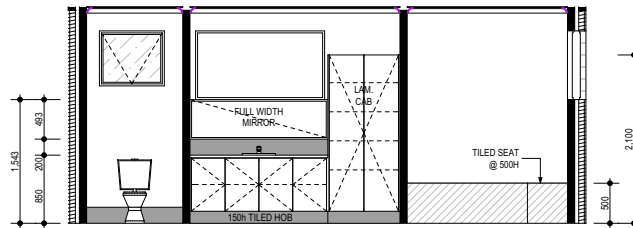
B3

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POOL HOUSE LAYOUT

SCALE 1: 50



PH1

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(Registered Builder)
ACN - 617080949
106C Stirling Hwy,
North Fremantle WA 6159

THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT

DATED / /
OWNER A
OWNER B
BUILDER REPRESENTATIVE

REV	AMENDMENTS	DRN	DATE	CHECK
1	PLANNING DRAWINGS	ST-IR	03/12/25	AB
2	PLANNING DRAWINGS	RX-CD	05/02/26	
3	VARIATION 1	RX-CD	10/02/26	
4	VARIATION 2	RX-CD	11/02/26	
4	VARIATION 3	RX-CD	11/02/26	
5	VARIATION 4	RX-CD	27/02/26	
6	WORKING DRAWINGS	RX-RG	10/03/26	
7	VARIATION	RX-CD	30/03/26	

PROPOSED RESIDENCE FOR:
ASHLEY BARLOW
ADDRESS
LOT 55, 2 FIELD ST, BEACONSFIELD
LAYOUTS 5
SCALE AS SHOWN ON A3
18 of 20

REF NO.:	DO NOT SCALE FROM THIS DRAWINGS Any discrepancies to be notified to SRS Supermarket within 14 days. ALL DIMENSIONS ARE TO BRICKWORK ERRORS AND OMISSIONS EXCEPTED		
TBA	WIND RATING	ENGINEERS DETAILS	COSMETIC CATEGORY
	TBA	TBA	TBA
COPYRIGHT © INSITE RESIDENTIAL This house design is the sole property of Insite Residential and should not be used or altered without the express written agreement or license by the builder to participating parties.			

MODEL:
CUSTOM

**City of Fremantle
Ordinary Meeting of Council - Agenda
10 June 2026**

**C2606-1.1
Amended Plans**

- POWER POINTS & LIGHT POINTS**
1. ALL POWER POINTS & LIGHT POINTS TO BE WEATHERPROOF.
 2. ALL POWER POINTS TO BE DIMENSIONED.
 3. ALL TELEPHONE POINTS ARE TO BE IN CONDUIT.
 4. ALL OUTDOOR POWER POINTS ARE TO BE WEATHERPROOF.
 5. ALL OUTDOOR WALL LIGHTS ARE TO BE WEATHERPROOF.
 6. ALL OUTDOOR LIGHTS TO BE IN CEILING SPACE.
 7. AIR CONDITIONING AS PER ADDENDUM. LOCATION OF MOTOR IS INDICATIVE ONLY AND TO BE CONFIRMED BY INSTALLER.
 8. AIR CONDITIONING OUTLETS & UNIT LOCATION AS PER MANUFACTURERS REQUIREMENTS.

NBN PROVISION NOTES

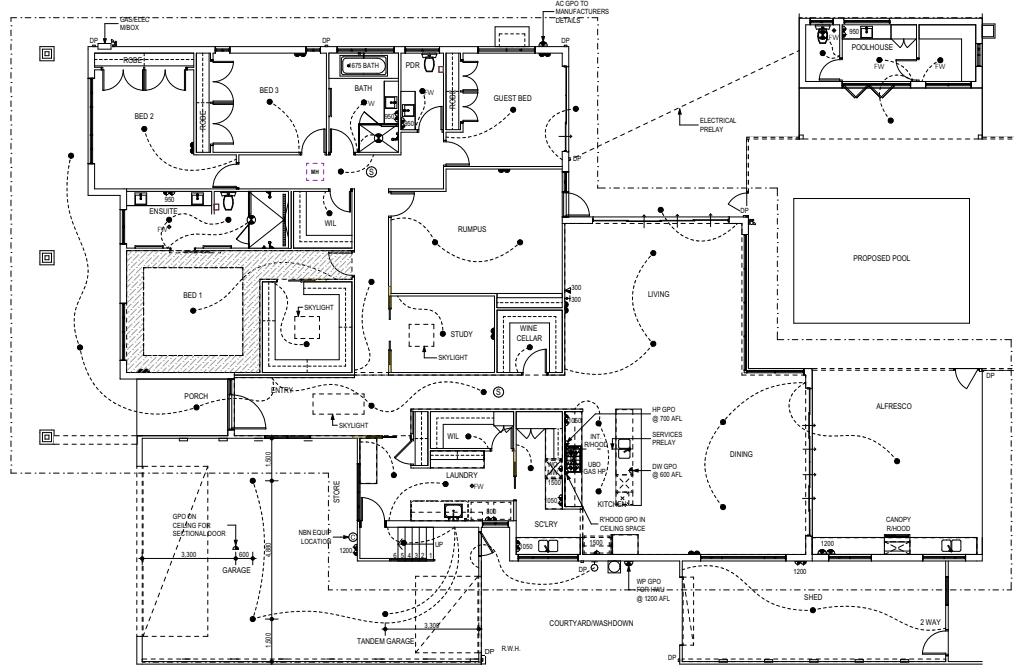
1. CONDUIT FROM COMMUNICATION PIT TO PCD UNIT NEAR METER BOX.
2. SHOW CONDUIT FROM PCD UNIT IN SLAB TO INTERNAL PSU UNIT.
3. DOUBLE GPO FOR PSU UNIT.

ELECTRICIAN NOTE

1. SMOKE ALARMS TO COMPLY WITH BCA PART 3.7.2 AND AS 2206 AND ARE TO BE INTERCONNECTED.

NOTE

1. HEATING APPLIANCE, FIREPLACE AND CHIMNEY FLUE TO BE IN ACCORDANCE WITH NCC 12 PART 3.10.7 AND AS/NZS 2918.
2. DIMPLEX 15kw RAIL GAS FIREPLACE BY BUILDER.
3. SOLAR PROVISIONS BY BUILDER FOR FUTURE SOLAR BY OWNER.



ELECTRICAL LEGEND - GROUND

1	⊙	Conduit for future control box
1	▽	Data Point @ Noted HT AFL
10	⊕	Double GPO - Noted HT AFL
6	⊕	Double GPO @ 300AFL
1	⊕	DOUBLE WATER PROOF GPO
3	⊕	Flumed Exhaust Fan
44	●	LED Downlight
6	⊕	Single GPO Noted HT AFL
2	⊕	Single Water Proof GPO @ Noted HT AFL
2	⊕	SMOKE ALARM (HARD WIRED AND INTERCONNECTED)
1	⊕	TV Point
1	⊕	WALL LIGHT @ 1000 AFL

CITY OF FREMANTLE
 These Revised Plans Form Part of
DA007726
 7 May 2026

ELECTRICAL PLAN
SCALE 1:100

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BP 102555 - EC 103440
(Registered Builder)
ACN - 617080949
106C Stirling Hwy,
North Fremantle WA 6159

THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT DATED / /

OWNER A
OWNER B
BUILDER REPRESENTATIVE

REV	AMENDMENTS	DRN	DATE	BY	CHKD
1	PLANNING DRAWINGS	ST-AR	09/12/23	AB	
2	PLANNING DRAWINGS	RX-CD	05/02/24		
3	VARIATION 1	RX-CD	18/02/24		
4	VARIATION 2	RX-CD	15/02/24		
4	VARIATION 3	RX-CD	15/02/24		
5	VARIATION 4	RX-CD	15/02/24		
6	WORKING DRAWINGS	RX-AR	16/05/24		
7	VARIATION	RX-CD	30/05/24		

PROPOSED RESIDENCE FOR:
ASHLEY BARLOW
ADDRESS
LOT 55, 2 FIELD ST, BEACONSFIELD

ELECTRICAL
SCALE AS SHOWN ON A2

19 of 20 MODEL: CUSTOM

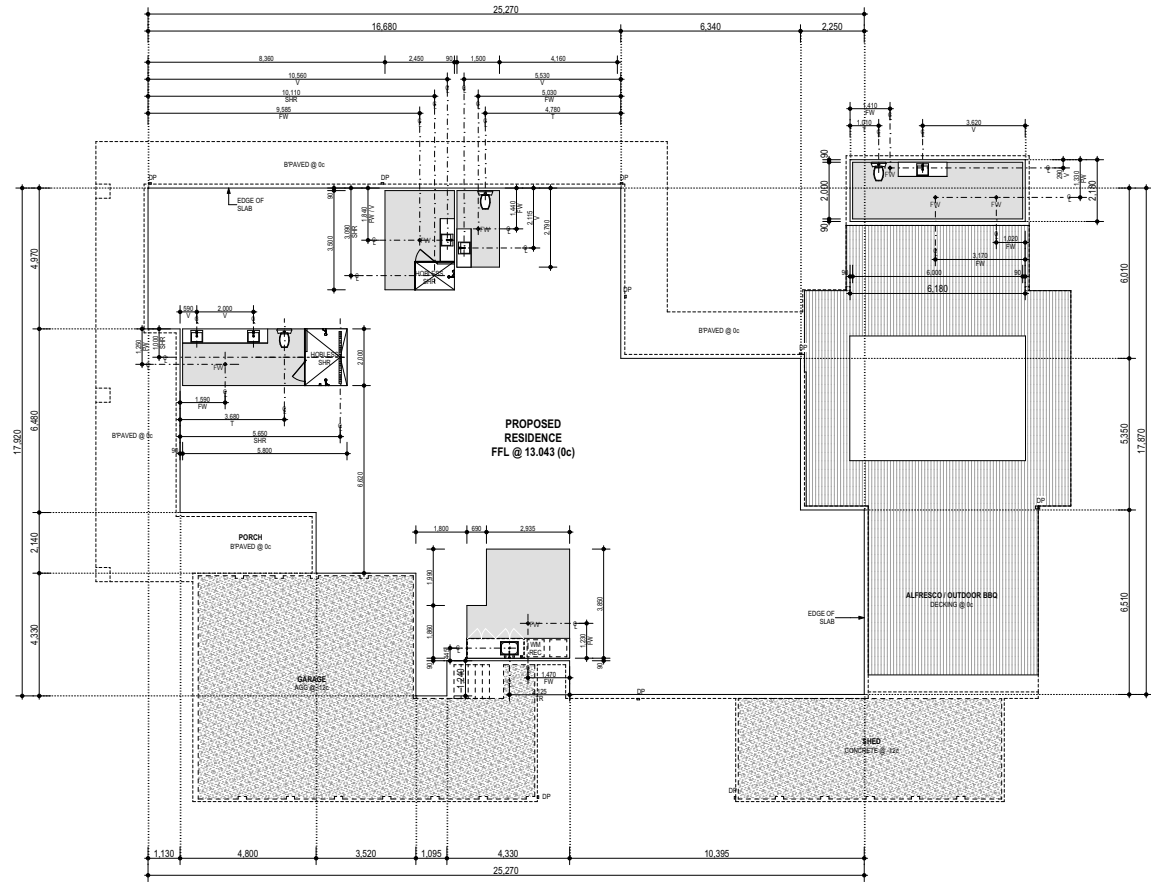
REV NO.	DO NOT SCALE FROM THE DRAWINGS
TBA	ALL DIMENSIONS ARE TO BENCHMARK
	ERRORS AND OMISSIONS EXCEPTED
	DATE PREPARED: TBA
	DATE CHECKED: TBA
	DATE IN CHARGE: TBA
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**City of Fremantle
Ordinary Meeting of Council - Agenda
10 June 2026**

**C2606-1.1
Amended Plans**

CONCRETOR NOTE:
 + TO BE READ IN CONJUNCTION WITH ENGINEERS
 FLOOR PLAN
 + TONITE TREATMENT TO SLAB
 + TOP OF FOOTINGS TO HOUSE @ ±2 UNLESS OTHERWISE NOTED
 + TOP OF FOOTINGS TO GARAGE EXTERNAL WALLS @ ±2 UNLESS
 OTHERWISE NOTED
 + MOBLES SHOWER TO ENCLITE & BATH

LEGEND:
 B = BATH
 V = VANITY
 BW = BATH
 FWF = FLOOR WASTE
 T = TOILET
 S = SINK
 SHR = SHOWER
 TRF = TROUGH



CITY OF FREMANTLE
 These Revised Plans Form Part of
 DA0077/26
 7 May 2026

SLAB LAYOUT
 SCALE 1:100

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 BP 102555 - EC 102440
 (Registered Builder)
 ACN - 617080949
 106C Stirling Hwy,
 North Fremantle WA 6159

THIS IS ONE OF THE DRAWINGS
 REFERRED TO IN THE CONTRACT
 DATED / /
 OWNER A
 OWNER B
 BUILDER REPRESENTATIVE

REV	AMENDMENTS	DRN	DATE	CHKD
1	PLANNING DRAWINGS	ST-AR	09/12/23	AB
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3	VARIATION 1	RX-CD	18/02/26	
4	VARIATION 2	RX-CD	15/02/26	
4	VARIATION 3	RX-CD	15/02/26	
5	VARIATION 4	RX-CD	15/02/26	
6	WORKING DRAWINGS	RX-RG	10/03/26	
7	VARIATION	RX-CD	30/03/26	

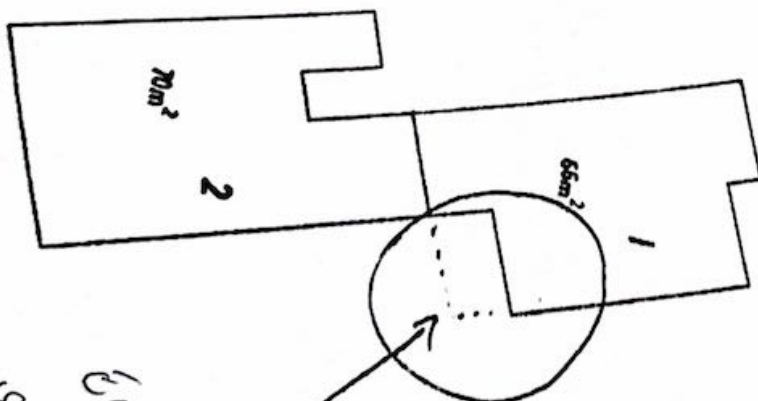
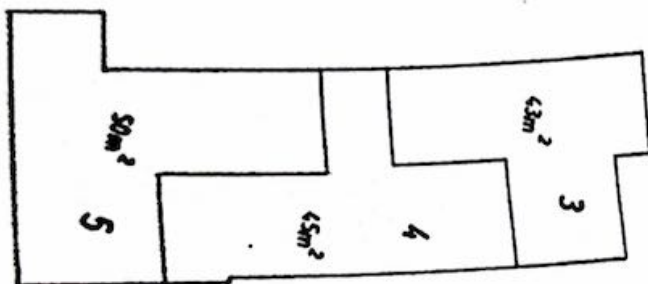
PROPOSED RESIDENCE FOR:
ASHLEY BARLOW
 ADDRESS
 LOT 55, 2 FIELD ST, BEACONSFIELD

GF SLAB LAYOUT
 SCALE AS SHOWN ON A2

20 of 20 MODEL
 CUSTOM

REV NO.	DO NOT SCALE FROM THE DRAWINGS
TBA	ALL DIMENSIONS ARE TO BENCHMARK ELEVATIONS AND DIMENSIONS EXPRESSED
	DATE BY CHECKED BY DATE DATE BY CHECKED BY DATE
	TBA TBA TBA TBA TBA TBA

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Entrance
to 18 Affiliated Rd.

CITY OF FREMANTLE
These Plans Form Part of
DA0102/26
16 March 2026

As at 20th July 1997 unless a notice of resolution under section 214H or an objection under 210C has been recorded on the strata plan.

The boundaries of the lots or parts of the lots which are buildings shown on the strata plan are the external surfaces of those buildings, as provided by section 34A of the Strata Titles Act 1985.

The scheme may not be a single lot scheme, as defined in section 3(1) of the Strata Titles Act 1985.

The areas of the lots shown on the strata plan may have changed.

Where 2 lots have a common or party wall, or have buildings on them which are joined, the centre plane of that wall or the plane at which they are joined, is the boundary.

The horizontal boundaries of the lots or parts of the lots which are not buildings shown on the plan (if any) remain as provided on this strata plan.

GROUND FLOOR

STRATA PLAN No. 9383

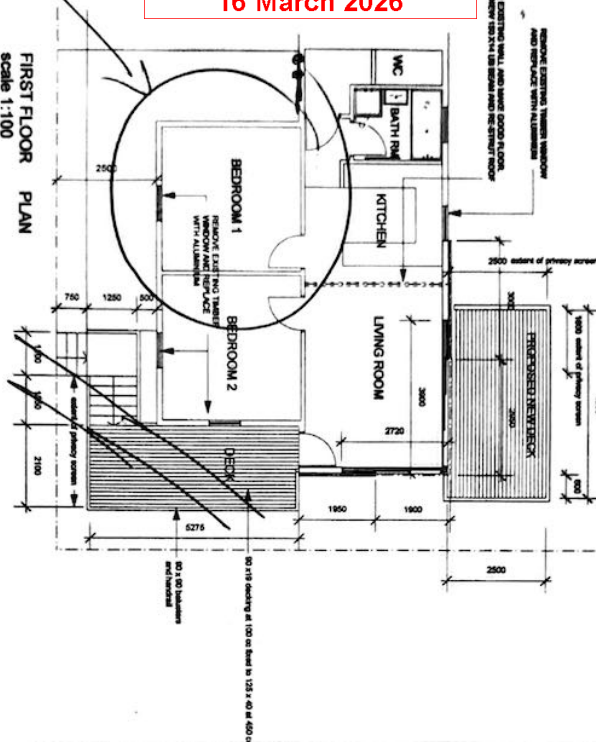
TA 8

21/11/2026

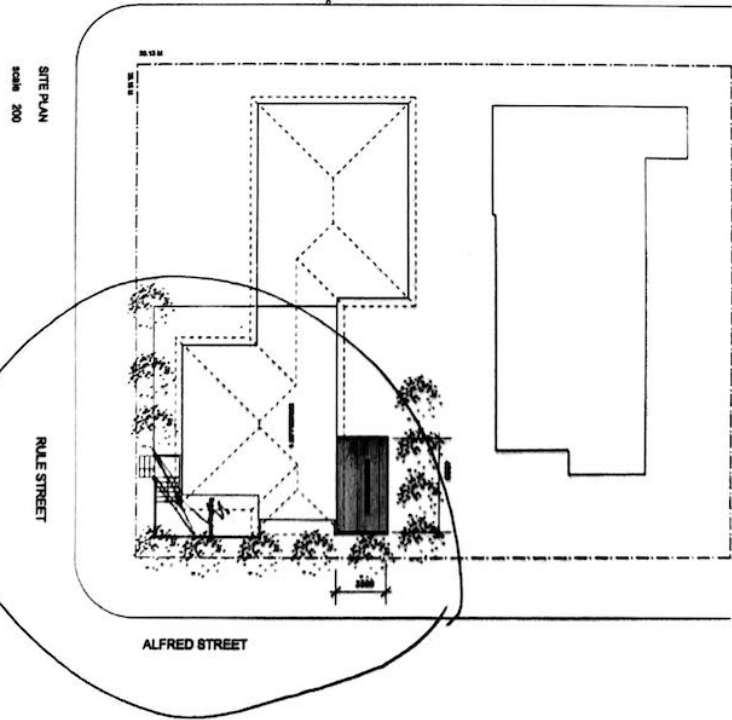
CITY OF FREMANTLE
These Plans Form Part of
DA0102/26
16 March 2026

Rental Bedroom

FIRST FLOOR PLAN
 SCALE 1:100





W. H. Spilleley
 Professional Engineer
 10, 52-53 Kingsway
 Fremantle, WA 6155
 9498 1234
 www.w.h.spilleley.com.au



SITE PLAN
 SCALE 200

PROPOSED ALTERATION UNIT 1 18 ALFRED ROAD NORTH FREMANTLE
 Robert Allan Archibald 18 Leura St, Nedlands 6009 tels. 9389 0266 fax. 0389 9037

scale As shown date 20 04 2005 dwg no. **A1**

CITY OF FREMANTLE
 APPLICANT
 2050262
 18 ALFRED ROAD
 NORTH FREMANTLE
 WA 6155


[REDACTED]

[REDACTED]

[REDACTED]

Management Plan for 18 Alfred Rd North Fremantle

Management Plan and Code of Conduct

Management Plan

- a) contact details of owner - [REDACTED]
- b)-Bookings via air BnB with self check in using key safe.
- c)-parking is on the street, with a recessed bay for 3 vehicles on Rule st
- d)-No Pets
- e)-Should there be any complaints regarding nuisance behaviour, loud noise, or whatever, complaints can and will be directed to myself in the first instance
- f)- Waste bins as per North Fremantle pick up schedule which is on the fridge-collection days Monday with green bin weekly and red/yellow bins alternating fortnights

**CITY OF FREMANTLE
These Plans Form Part of
DA0102/26
16 March 2026**

Code of Conduct

- a)- contact details of owner - [REDACTED] 24 /7
- b)-polite and quiet behaviour is expected with no loud noise especially after 9pm and respect towards neighbours at all times
- c)-no parties or events. Maximum 2 guests and no other visitors.
- d)- parking is on the street, with a recessed bay for 3 vehicles on Rule St
- e)-alternative transport options include the bus which runs past the house No 107, and the train via North Fremantle Train station. Timetables available online and copies provided in the house.
- f)- Waste bins as per North Fremantle pick up schedule which is on the fridge-collection days Monday-please put bins out on Alfred Rd with green bin weekly and red/yellow bins alternating fortnights as per the schedule
- g)-no pets allowed

**CITY OF FREMANTLE
These Plans Form Part of

DA0102/26

16 March 2026**

Code of Conduct

- a)- contact details of owner - [REDACTED] 24 /7
- b)-polite and quiet behaviour is expected with no loud noise especially after 9pm and respect towards neighbours at all times
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- g)-no pets allowed

**CITY OF FREMANTLE
These Plans Form Part of
DA0102/26
16 March 2026**



Metropolitan Region Scheme

Form 4

Scheme Certificate

In accordance with clause 63 of the

Metropolitan Region Scheme the following information relates to:

Location: Adelaide St, Fremantle
 Certificate of Title: Vol: 1485 Folio:254
 Strata Plan: 5493
 Legend for reserved land and zones

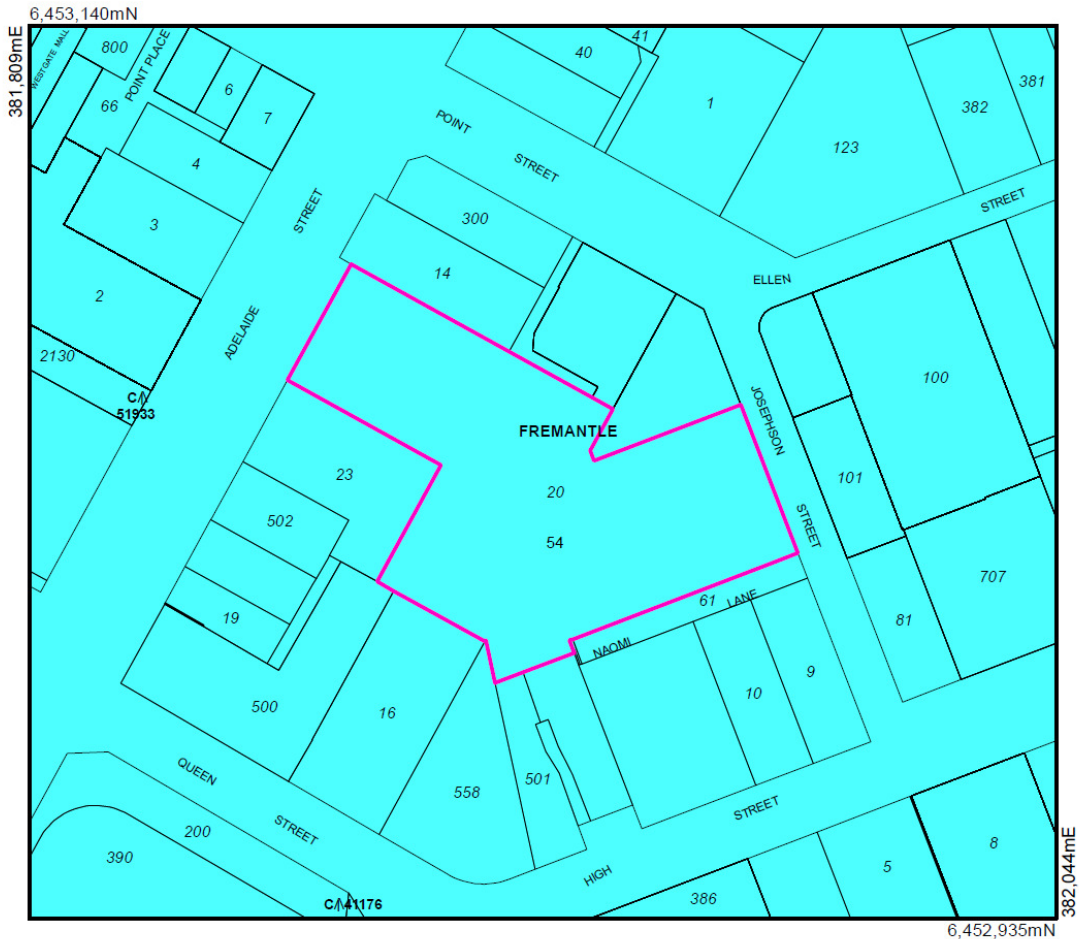
Central city area

Certificate:
69148515
 Receipt:
None
 Date:
8/12/2025

CITY OF FREMANTLE
These Plans Form Part of

DA0089/26

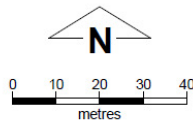
9 Mar 2026



This certificate relates only to the provisions of the:
 Metropolitan Region Scheme
 and does not claim to indicate the land use allocation under
 any local government provision.

Produced by Data Analytics,
 Department of Planning, Lands and Heritage, Perth WA.

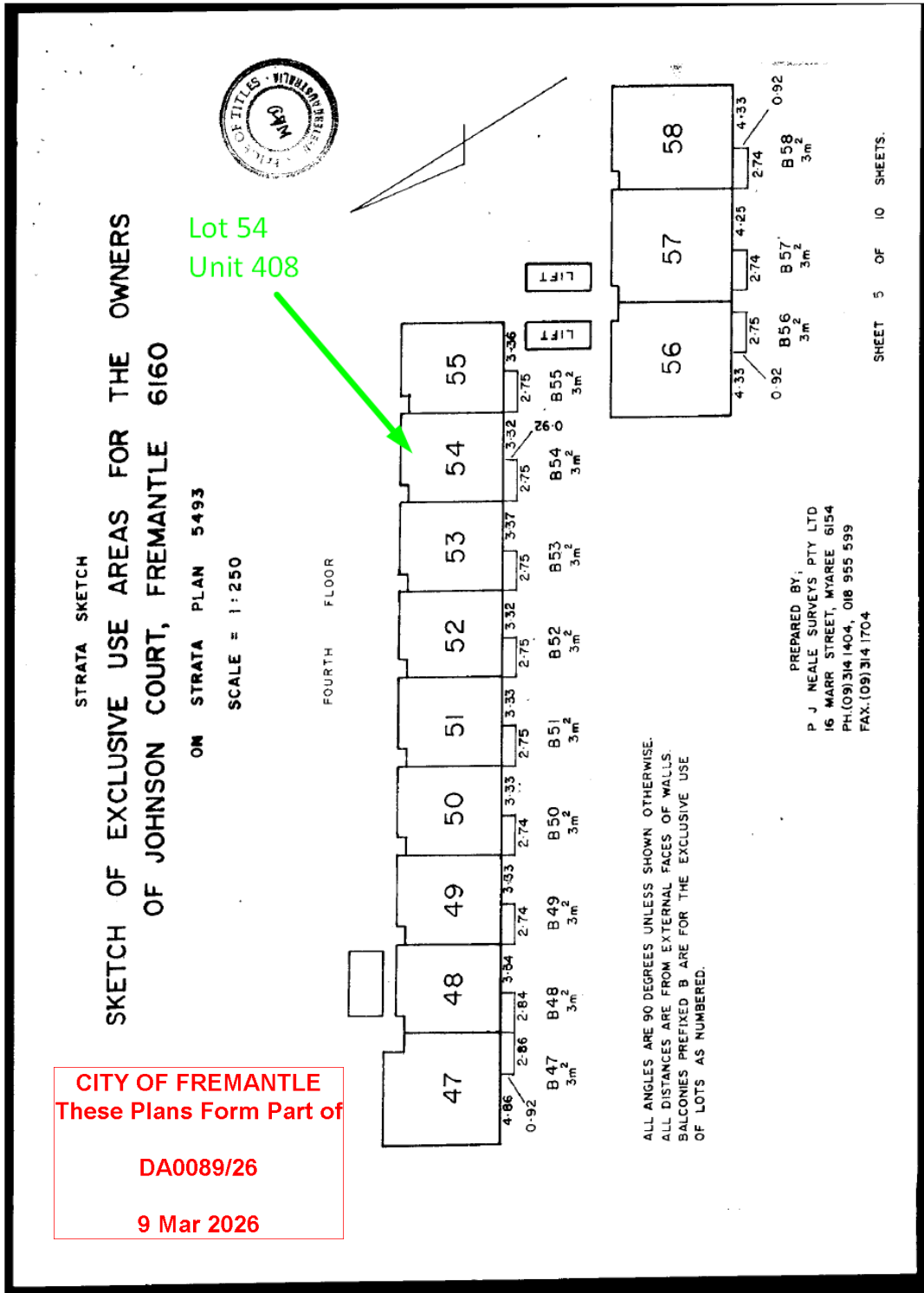
Base information supplied by:
 Western Australian Land Information Authority SLIP 1447-2023-1

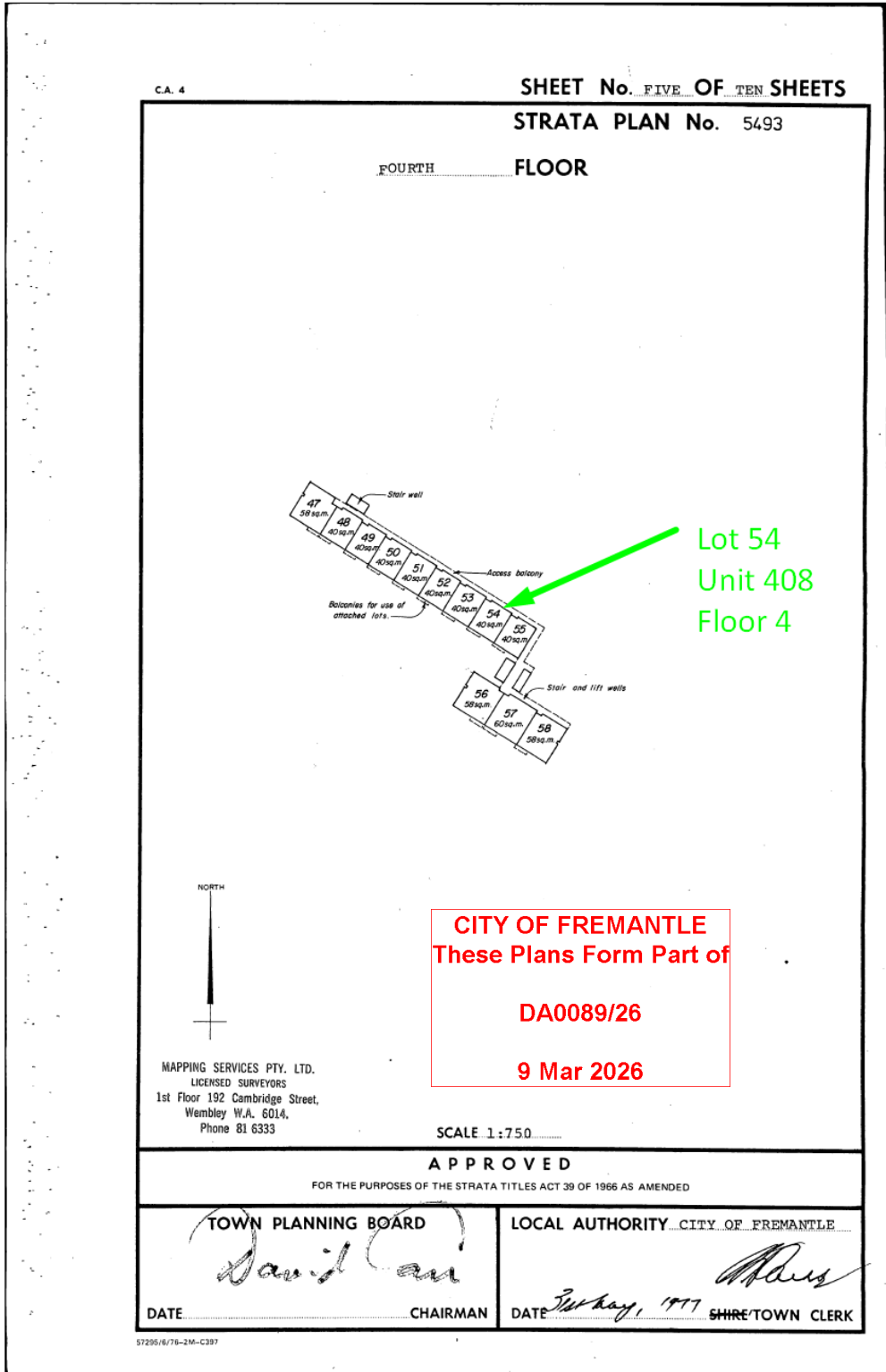


Coordinates based on MGA Zone 50 (GDA 2020)
 All dimensions are in metres
 Subject to survey

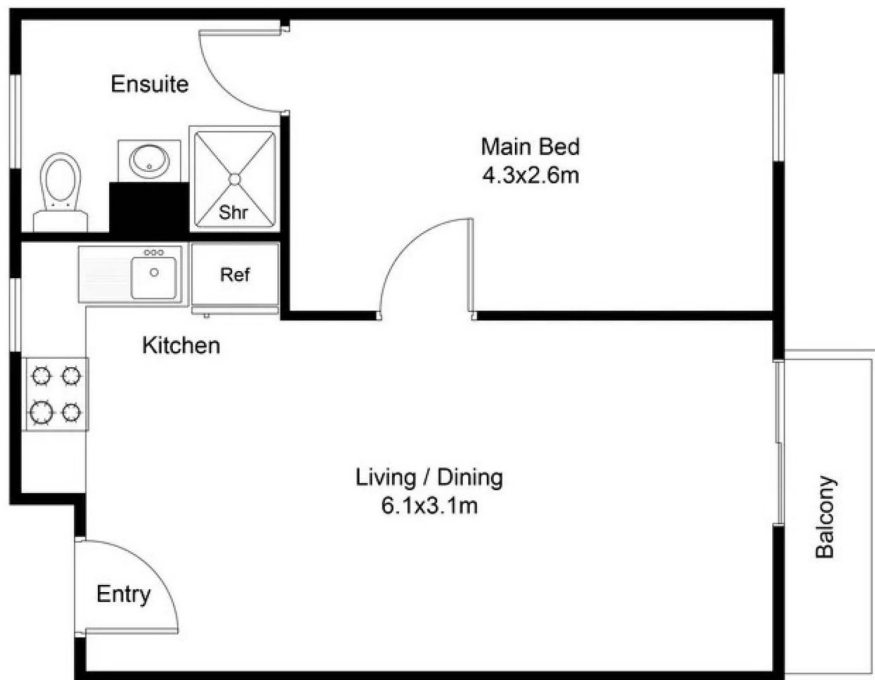
Sam Boucher

Ms Sam Boucher
 Secretary
 Western Australian Planning Commission





LANDGATE COPY OF ORIGINAL NOT TO SCALE 24/09/2025 12:46 PM Request number: 68804833



408/23 Adelaide Street, Fremantle

Residence 40m² | Balcony 2m² |

Total Area 42m²

**CITY OF FREMANTLE
These Plans Form Part of**

DA0089/26

9 Mar 2026

SHORT-STAY ACCOMMODATION MANAGEMENT PLAN

Unit 408 / 23 Adelaide street, Fremantle

Property Management

Sunset Coast Stays ABN N.o 169 274 881 88 professionally manages the property and brings over years of experience in short-stay accommodation in Western Australia.

Property Manager:

██████████

Mobile: ██████████ | WhatsApp: ██████████

Email: ██████████

Complaints Management Procedure

Guests:

Guests are encouraged to contact the management team through the booking platform (Airbnb) outlining the nature of their concern. A member of the management team will respond within 15 minutes during business hours (7:00 a.m. – 9:00 p.m.) and will take appropriate action to resolve the issue promptly.

Neighbours:

Neighbour concerns can be directed to the Property Manager via mobile or WhatsApp, providing your name, address, and details of the complaint. The Manager will contact you immediately upon receipt and take necessary steps to resolve the matter. You will be kept informed of the outcome and any actions taken.

Response Times:

- Management team availability: 7:00 a.m. – 9:00 p.m., 7 days a week
- For serious disturbances after 11:00 p.m., guests and neighbours are encouraged to contact WA Police (131 444).

Conduct & Operations

STRA Registration Number: **Pending**

Reservation Platforms: Airbnb

Guest Vetting:

Sunset Coast Stays carefully reviews all booking requests to reduce the risk of disruptive or unsuitable guests.

- Parties are strictly prohibited.

CITY OF FREMANTLE
These Plans Form Part of

DA0089/26

9 Mar 2026

- One-night bookings are not accepted.
- Bookings from teenagers or guests with prior misconduct are declined.

Minimum Stay: 2 nights

Maximum Stay: 90 nights

Maximum Occupancy: 2 persons per bedroom

Sleeping Configuration:

- Bedroom (Master): 1 x Queen bed

Pets: Not permitted

Noise & Behaviour Management

Guests must comply with the House Rules and strata by-laws at all times. Noise or antisocial behaviour will not be tolerated and is managed under the Complaints Management Procedure.

Cleaning & Maintenance

Cleaning:

The cleaning team attends the property shortly after guest departure (typically from 10:00 a.m. onwards). Cleaning generally takes approximately two hours and includes a full reset of the property for the next guests.

Maintenance:

All maintenance is coordinated by the Property Manager in collaboration with the property owner. Routine maintenance occurs between 7:00 a.m. and 5:00 p.m. on weekdays. Urgent repairs (e.g., plumbing or electrical faults) may be attended outside these hours if necessary.

Waste Management

Guests are required to remove all rubbish prior to check-out and to correctly use the provided bins:

- Red-Lid Bin (General Waste): General waste (bagged)
- Yellow-Lid Bin (Recycling): Recyclables – glass, paper, metal, hard plastics (unbagged)
- Lime Green-Lid Bin (FOGO): Organic waste – food scraps, compostables (in green compostable bags).

Access & Parking

Access:

Guests access the property via a keyed or coded lockbox located near the front gate. Access instructions are provided prior to arrival (from 2:00 p.m. onwards).

CITY OF FREMANTLE
These Plans Form Part of

DA0089/26

9 Mar 2026

Parking:

Guests may park their vehicles in any available parking bay located in Gate 1 or Gate 2 of the building.

Strata & Signage

Strata Management Company:

EMS Strata Pty Ltd

Phone: 08 9362 1166

Signage:

No external signage is proposed for the property.

House Rules

A full copy of the House Rules is:

- Provided to guests via the booking platform prior to arrival, and
- Available on-site in the Guest Information Manual.

**CITY OF FREMANTLE
These Plans Form Part of

DA0089/26

9 Mar 2026**

House Rules

Unit 408 – 23 Adelaide Street, Fremantle

Welcome! We hope you enjoy your stay. Thank you for respecting the property and our neighbours. Please take a moment to read these house rules, designed to ensure comfort, safety, and compliance with the building's strata by-laws.

ASSISTANCE

Our team is available from 7:00 a.m. to 7:00 p.m. daily. For the fastest response, please contact us through Airbnb Messaging.

Alternative Contacts:

Host [REDACTED] – Mobile/WhatsApp: +[REDACTED]

Emergency Contacts:

Emergency (Fire / Ambulance / Police): Dial 000

Police (non-emergency): 131 444 (for disturbances after 11:00 p.m.)

Health Direct (after-hours nurse line): 1800 022 222

1. Noise & Conduct

Please respect other residents' right to peace and quiet.

Quiet Hours:

- Weekdays: 9:00 p.m. – 9:00 a.m.

- Weekends & Public Holidays: 10:00 p.m. – 9:00 a.m.

No parties, loud music, heavy footsteps, shouting, or gatherings are permitted. Guests must behave respectfully in the apartment and all common areas.

2. Check-In / Check-Out

Check-In: From 2:00 p.m. onwards. If arriving late, please move quietly.

Check-Out: By 10:00 a.m.

Before leaving, please ensure:

- All lights and appliances are switched off.

- Rubbish is removed and placed in the correct bins downstairs.

CITY OF FREMANTLE
These Plans Form Part of

DA0089/26

9 Mar 2026

3. Parking

Guests may park their vehicles in any available parking bay located at the rear of the building (Access via Gate 1 and Gate 2). Parking on driveways, on the street, or on the verge is not permitted.

4. Common Property

Keep common areas (driveways, stairs, lifts, entrances) clear of personal items.
Do not leave bikes, surfboards, prams, or luggage in shared spaces.
Smoking, loitering, or social gatherings in common areas are not permitted.

5. Laundry & Building Appearance

Do not hang laundry, towels, or clothing where visible from outside (balconies or windowsills).
Maintain a neat appearance of balconies and visible areas consistent with the rest of the building.

6. Waste & Recycling

Bins are located downstairs at the rear of the property.

Please sort waste correctly:

- Red-Lid Bin (General Waste): General waste (bagged)
- Yellow-Lid Bin (Recycling): Recyclables – glass, paper, metal, hard plastics (unbagged)
- Lime Green-Lid Bin (FOGO): Organic waste – food scraps, compostables (in green compostable bags).

Keep the waste area tidy and use bins responsibly.

7. Safety & Storage

Do not store or use flammable materials (e.g., fuel, gas bottles) on the property, other than normal household items.

Fire exits and access routes must remain clear at all times.

8. Pets

Pets are not permitted on the property at any time.

9. Property & Furniture

Please do not move furniture, alter décor, or attach items to walls or surfaces.

Damage, stains, or missing items will be charged at replacement cost.

10. Guests & Visitors

The property is for registered guests only.

Visitors are welcome during the day but may not stay overnight without prior approval.

The number of occupants must not exceed the booking limit.

11. Smoking / Vaping

Smoking and vaping are strictly prohibited inside the apartment and throughout common areas.

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DA0089/26

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12. Fire Safety

Smoke alarms are located outside bedrooms for your safety. Do not remove or disable them.
A fire blanket is stored under the kitchen sink and should only be used in case of fire.

13. Emergency Evacuation

In a life-threatening situation, exit via the front door and proceed downstairs to the front carpark assembly area.

14. Departure Checklist

Before check-out, please:

- Remove all rubbish and place it in the correct bins.
- Wash dishes or load and start the dishwasher.
- Turn off all lights, air-conditioning, and appliances.
- Close and lock all doors and windows.

15. Compliance

These house rules comply with Strata By-laws and local council regulations.

Failure to comply may result in:

- Penalties or additional cleaning charges, and/or
- Termination of stay without refund.

16. Transport options

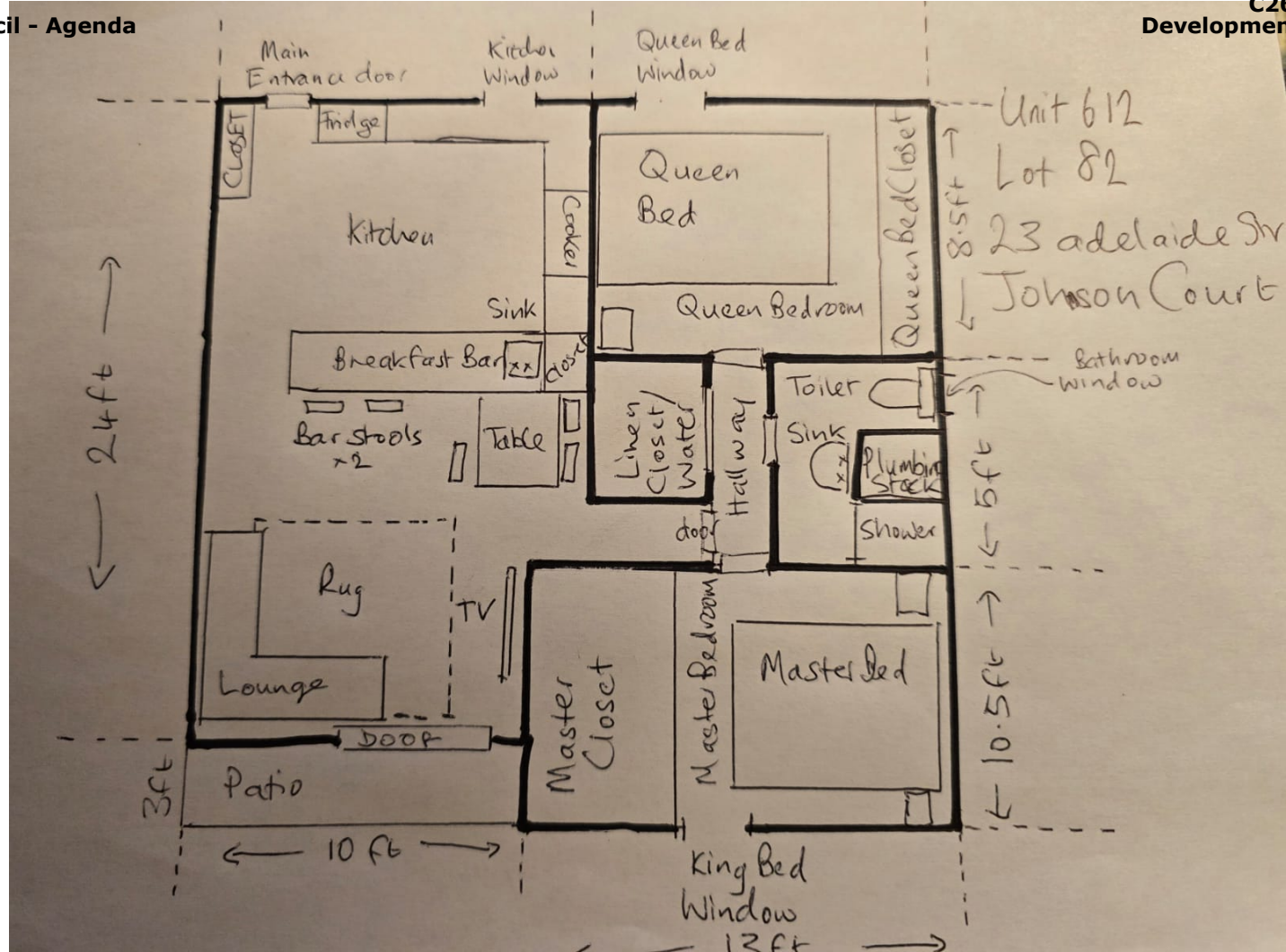
- **Train (Fastest and Most Direct)** -> The **Fremantle Line** runs directly from Perth Station to Fremantle Station in about **30 minutes**, making it the quickest and most convenient option for most travellers. Trains run frequently throughout the day and drop you right in the centre of Fremantle.
- **Bus (Flexible for Suburbs and Cross-City Travel)** -> Several Transperth bus routes connect Fremantle with surrounding suburbs and Perth CBD. For example, Route 910 links Perth city to Fremantle in around 55 minutes.
You can plan any journey using the Transperth JourneyPlanner, which allows you to enter your start and end points and get real-time route options.
- **From Perth Airport** -> A new Airport Line now connects Perth Airport to the wider rail network. Travellers can switch trains at Claremont Station to reach Fremantle smoothly. This makes arriving from the airport by public transport much easier than before.
- **Cycling & Walking (Within Fremantle)** -> Once in Fremantle, the city is compact and very walkable. Cycling paths are well-connected, making bikes a great option for short distances.

Thank you for your cooperation and understanding. We wish you a pleasant and relaxing stay In Fremantle!

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Management Plan

Unit 612, Lot 82,

Johnson Court,

23 Adelaide Street, Fremantle

Owner, Craig John Hammond, intends to short term lease his unit using social media platforms Booking.com, Air Bnb and **SmartstayWA**. The latter also being the management company for the unit, however, owner completes all maintenance, cleaning, directions for guest issues and trades if and when required. Although SmartstayWA manages the unit on my behalf, all issues other than bookings are dealt with by the owner, whom is onsite within 15 minutes and lives close by in Bicton.

The business operates on a **minimum stay of 2 nights** although primarily runs 3-to-7-night stays on average. We do not allow 1-night stays. All bookings are secured by credit card.

The unit has Wifi access, a 65 inch Smart TV, Google Speaker, Dish washer, Microwave and all other normal household accessories. The unit has a dual - fire and carbon monoxide monitor. The unit has a gas stove and hot water system, with a large capacity hot water boiler in a secure / easily accessible closet inside the unit. All power AC in this building are located in the stairwells nearest the unit.

Hours of Operation

Check-in is 3pm

Check-out 10am

SmartstayWa handles bookings and provides check in details as well as access and parking details to the guests. SmartstayWA also covers the units 'House Rules' of access, noise, respect for others, garbage disposal and a **24/7 phone number for emergencies** and issues with the unit. Issues in turn are forwarded to myself as required. Essentially the guests are aware to contact the management company whom in turn contact myself only where needed, thus operates like a limited concierge for the unit specifically.

Parking is on site and accessible from the rear of the building on Josephine Street (East side of the building) in Car Park Gate 1. **Access** - Guests are provided a lock box number which is located at the front gate (west side of the building) on Adelaide Street opposite Chemist Warehouse. Inside the lock box are the unit keys as well as front gate access dongle and parking dongle. 2 dongles. The unit itself has an electronic keypad entrance with codes generated by myself, the owner, and provided to SmartstayWA. The dongles give access to the building and parking areas. The Gated Secure parking wraps around the building from the East rear entrance on Josephine street to the west side. Parking Area 1 is provided for guests staying at Johnson Court only. Parking 2 (elevated) and 3 stretching to the west side are for owner occupiers and spaces rented out by the committee only.

Unit 612 is a **2-bedroom 1 bathroom** unit, **accessible by the elevator on the 6th floor**, sleeping a **max of 4 people**. **Toilet** / Shower facilities are within the unit. The unit has a secure screen door as well as main door. Main door has both manual and electronic lockable capability.

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The unit's contents are covered by **Allianz Insurance (landlords Insurance)** to a value of \$42000, for damage, theft, flooding. The insurance covers all flooring, electronics, furniture, fixtures and fittings. The building itself carries insurance managed through the committee and ESM Strata.

There are no additional **employees for the unit** apart from both my wife and I for cleaning and the SmartstayWA booking / Management staff.

Instructions for access of the building are provided by SmartstayWA and once inside the building it is well lit and has directions for access, **fire and safety** instructions, wide staircases to access all floors, **Muster station** information as well as notices regarding noise and respect for other guests and owner occupiers.

The building has excellent and **brand-new facilities** for laundry, 2 x elevators, recently upgraded balustrades on all floors, 2 stairwell fire exits, one at either end of the building as well as newly installed lighting on all floors and surrounds such as the outside laundry drying area, bike shed, lawns, car parking and Bin areas. The building operates an efficient recycling procedure through containers for change.

Please see attached Building Site Plan as well as unit 612's Floor plan.

Craig John Hammond



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18 Mar 2026

2026 UPDATE of Heritage List and Local Heritage Survey



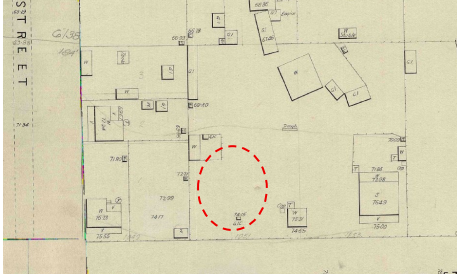

Attachment 1 –Assessment of Places to Add to Heritage List

Places recommended to be added to Heritage List - 2026

1. House, 28 Blinco Street, Fremantle
2. House, 34 Blinco Street, Fremantle
3. Christian Science Church, 3 Canning Highway, Fremantle
4. House, 166 Hampton Road, Beaconsfield
5. Shop, 228 High Street
6. House 5/18 John Street (Duplex (Demolished), 14 John Street)
7. House 6/18 John Street (Duplex (Demolished), 16 John Street)
8. Joyce Brothers Factory, 8 Josephson Street, Fremantle
9. House, 11 Louisa Street, South Fremantle
10. Robert Jowitt & Sons Warehouse, 64 Queen Victoria Street, Fremantle
11. House, 16 Scott Street, South Fremantle
12. Shop And House, 114 South Street, Fremantle
13. Mills & Ware Biscuit Factory, 330 South Terrace, South Fremantle

2026 UPDATE of Heritage List and Local Heritage Survey



1. House, 28 Blinco Street, Fremantle

 <p>ESRI Mapping 2026</p>	<p>N/A INERIT MAPPING</p>
 <p>CURRENT PHOTO</p>	<p>N/A HISTORIC PHOTO</p>
<p>Why was the property identified for review?</p>	<p>Officer nomination</p>
<p>City of Fremantle Heritage List – Existing</p>	<p>No</p>
<p>Heritage Area</p>	<p>No</p>
<p>Local Heritage Survey – Existing in Inherit</p>	<p>No</p>
<p>Management Category - Existing</p>	<p>No</p>
<p>Statement of significance - Existing</p>	<p>No</p>
<p>History</p>	<p>The existing house was constructed between 1914 and 1947, most likely in the Inter-War Era. The 1947 Aerial photograph shows the house and also the undeveloped nature of the surrounding area when this part of Blinco Street was still a rough track. In the 1950s the South side of Blinco Street was developed for industrial uses and in the 1960s the north side was gradually filled in with residential development. In 2008, 28 Blinco Street was subdivided and a new house constructed on the rear lot.</p>
 <p>Metropolitan Sewerage Sheet 34, 1915</p>	 <p>Aerial photograph 1947</p>

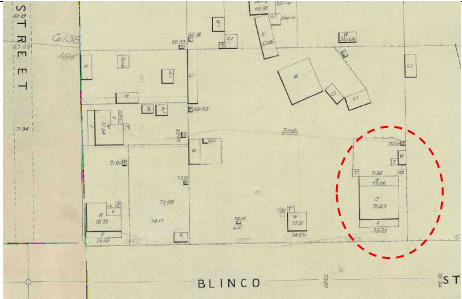

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Physical description:	<i>Timber framed house with weatherboard cladding and a hipped tiled roof. There is a timber verandah across the front of the house, and the roof is continuous with the main building. The casement windows have a horizontal format and horizontal glazing bars.</i>
Authenticity	Moderate
Integrity	High – original use
Comment	This area was not well investigated during the compilation of the original Fremantle Municipal Inventory in the 1990s.
Recommendation	Add to Heritage List Add Management Category Level 3.
Proposed new statement of significance	28 Blinco Street, is a typical timber framed weatherboard house with a hipped tile roof from the Inter-War era. It has aesthetic value as an example of Inter-War housing that combines traditional house design with stylistic elements popular at this time including horizontal format windows with glazing bars and for its contribution to the streetscape and surrounding area. It has historic and social value for illustrating the development of the surrounding area.

2. House, 34 Blinco Street, Fremantle

 <p>ESRI Mapping 2026</p>	N/A INERIT MAPPING
 <p>CURRENT PHOTO</p>	N/A HISTORIC PHOTO
Why was the property identified for review?	Officer nomination
City of Fremantle Heritage List – Existing	No

2026 UPDATE of Heritage List and Local Heritage Survey

Heritage Area	No
Local Heritage Survey – Existing in Inherit	No
Management Category - Existing	No
Statement of significance - Existing	No
History	<p>34 Blinco Street was built early in the development of the area and can be seen on a map from 1914 C where it is shown as a stone house with a front verandah.</p> <p>This house is visible in an aerial photograph from 1947 and it has a simple hipped roof, separate front verandah and two chimneys. At this time this part of Blinco Street is a rough track and south side of street is undeveloped. In the 1950s the south side of Blinco Street developed for industrial uses and north side was gradually filled in with residential development in the 1960s.</p> <p>Apart from the stone house, 34 Blinco remains largely vacant until the 1990s when it is subdivided for grouped housing..</p>
 <p>Metropolitan Sewerage Sheet 34, 1914</p>	 <p>Aerial photograph 1947</p>
Physical description:	Rendered masonry house with an enclosed front verandah and a hipped roof clad in corrugated steel sheeting. The building may be of limestone construction but with a brick lean-to section to the rear. The house has two rendered masonry chimneys with decorative caps.
Authenticity	Moderate
Integrity	High
Comment	Not previously identified for heritage protection
Recommendation	Add to Heritage List Add Management Category Level 3.
Proposed new statement of significance	38 Blinco Street, is a typical rendered masonry house with a hipped corrugated steel roof and front verandah from the Early Twentieth Century. It has aesthetic value as an example of the Victorian Georgian style of architecture although it has undergone modernisation in the Post-War era. It has historic and social value for illustrating the early development of the surrounding area and eastward expansion of Fremantle.

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3. Christian Science Church, 3 Canning Highway, Fremantle

 <p>ESRI Mapping 2023</p>	 <p>INERIT MAPPING</p>
 <p>CURRENT PHOTO, 2016</p>	 <p>HISTORIC PHOTO, 2009</p>
<p>Why was the property identified for review?</p>	<p>Officer nomination</p>
<p>City of Fremantle Heritage List – Existing</p>	<p>No</p>
<p>Heritage Area</p>	<p>No</p>
<p>Local Heritage Survey – Existing in Inherit</p>	<p>22756</p>
<p>Management Category - Existing</p>	<p>No</p>
<p>Statement of significance - Existing</p>	<p><i>The place is a good example of a community building in the Inter War Functionalist style in Fremantle and has social and spiritual significance for members of the Christian Science Church.</i></p>
<p>History</p>	<p>Inherit - <i>The Church was built in 1940 and the owner of the property was Joyce Bros (WA) Ltd. The property was described as a meeting hall. It became a church in the early 1960's</i></p>
 <p>Aerial photograph 1947</p>	 <p>Inherit place record, 2009</p>

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Physical description existing:	Single storey face brick and render church in the Inter-War Functionalist Style. The façade has a decorative rendered parapet and rendered piers with a projecting porch with decorative rendered parapet, curved corners and concrete window sunhoods. The building also has a pillow face limestone foundation, multi-paned steel window and a hipped terracotta tile roof concealed behind the front parapet on the façade but with boxed eaves behind.
Authenticity	High
High	High
Comment	This place has been identified as a potential heritage place as evidenced by the LHS place record on Inherit.
Recommendation	Add to Heritage List Add Management Category Level 3.
Proposed new statement of significance	The place is a good example an Inter War Functionalist style brick building with a decorative façade with rendered motifs, streamlined corners and steel windows. It has social, historic and spiritual significance as a Christian Science Church and it demonstrates the Post-War development of Fremantle.

4. 166 Hampton Road, Beaconsfield

 <p>ESRI Mapping</p>	<p>N/A INERIT MAPPING</p>
	

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CURRENT PHOTO	HISTORIC PHOTO, Fremantle Society survey 1979
Why was the property identified for review?	During the South Fremantle Heritage Area Review in 2025 this place was recommended for be addition to the Heritage List. Council deferred their decision on this matter for reconsideration at the 2026 Annual Update.
Background	Following the deferral of a decision on heritage listing this place Council granted planning approval for DA0239/25 to demolish 166 Hampton Road for a three storey residential building. This approval is valid for four years.
City of Fremantle Heritage List – Existing	No
Heritage Area	South Fremantle Heritage Area
Local Heritage Survey – Existing in Inherit	23189 – House, 166 Hampton Road, Beaconsfield
Management Category - Existing	No
Statement of significance - existing	Statement recommended in SFHA Review - <i>House, 166 Hampton Road, is a single storey brick and tile house dating from 1948. The place has aesthetic value for its contribution to the streetscape and the surrounding area. It is representative of the typical building stock located within the residential areas of Fremantle. This house represents the post-war expansion of Fremantle, a period marked by government and private efforts to address housing shortages. It provides insight into the practical and economic constraints that shaped domestic architecture in Western Australia during this time. As part of a broader pattern of post-war suburban development, the bungalow reflects the aspirations of working- and middle-class families for home ownership. It remains an important link to Fremantle’s mid-century community identity and continues to contribute to the area’s evolving built heritage.</i>
History	A Sewerage Diagram from 1913 shows 166 Hampton as vacant land. The 1914-15 rate book records the owner/occupier as James Francis Dunn. Consequent ownership was to Mrs de San Miguel with occupancy by Sarah Elizabeth Spragge and a Mrs Searle.
Physical description:	<i>House, 166 Hampton Road is a single storey brick and tile house constructed in the Federation Bungalow style of Architecture. The walls are brick to dado height and rendered above. The roof is hipped and gabled and clad with tiles. There is a rendered chimney evident. The verandah roof is supported by rendered brick pillars and a half wall face brick balustrade. The facade under the verandah roof has a door and timber framed windows with leadlight. There is a similar set of timber framed windows to the other</i>

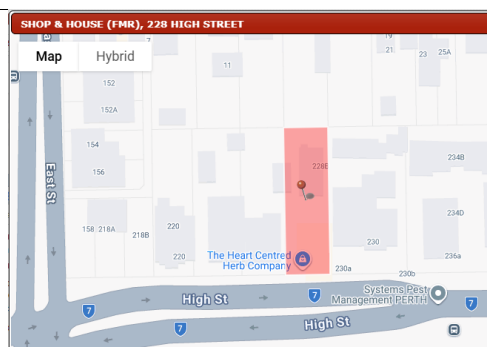
2026 UPDATE of Heritage List and Local Heritage Survey

	<i>side, with an awning secured by iron brackets above. The house is situated above street level on limestone foundations.</i>
Authenticity	Moderate
Integrity	High
Comment	166 Hampton Road meets the threshold for inclusion on the Heritage List. Inclusion on the heritage list will not affect the current approval to demolish the building and construct a three storey residential building. However, if the planning approval lapses then demolition would have to be reconsidered in light on any new proposal..
Recommendation	Add to Heritage List Add Management Category Level 3.
Proposed new statement of significance	Use statement of significance recommended in SFHA Review 2025.

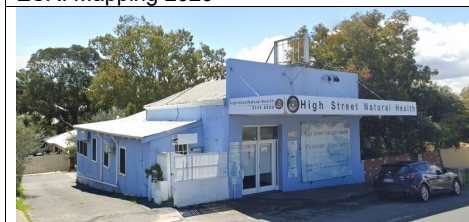
5. Shop, 228 High Street



ESRI Mapping 2026



INERIT MAPPING



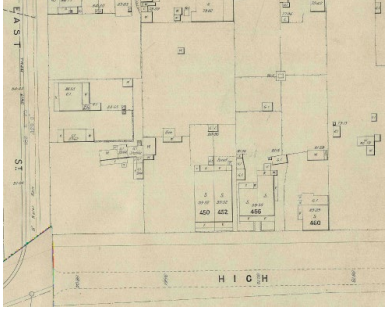

CURRENT PHOTO



HISTORIC PHOTO - 2001

Why was the property identified for review?	Officer nomination
City of Fremantle Heritage List – Existing	No
Heritage Area	No
Local Heritage Survey – Existing in Inherit	23276
Management Category - Existing	No

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Statement of significance - Existing	<i>Shop & House (Fmr), 228 High Street, is a typical single storey masonry and iron house with attached shop dating from 1899. It is aesthetically significant as an example of Fremantle's vernacular architecture. It is historically significant as a representation of working people's living conditions and commercial activity in the Fremantle area.</i>
Background	This place was identified as having heritage interest in 2010 but was not added to the Heritage List
History	<i>The 1899 rate books record that a shop owned by Munro was built on the lot next to his cottage (now 228 High Street) and the tenant was H Lawrence. By 1900 the shop still owned by Munro was being used as a cottage and occupied by John Floris, a cook. Munro owned the property until c.1910/11 when it then passed to C. Langley. In the 1901/02 rate period James Sharp, a grocer was recorded as the tenant and the property was listed as shops and rooms. In 1904/05, Elizabeth Amelia Holm, a shop keeper, was renting the place and using it as shops and rooms. In 1912 Holm was still operating a shop from the premises. In the 1940s the rate books record the property as being a mixed business.</i>
 <p>A stone shop is shown at 228 High Street in 1915 (numbered 460 High Street). Metropolitan Sewerage Plan Sheet 2033, 1915</p>	 <p>Aerial photograph, 1947</p>
Physical description existing:	<i>Shop and House (Fmr), 228 High Street is a single storey brick and iron shop and house built in the Victorian Georgian style of architecture. The walls are rendered painted brick. The roof is hipped and clad with corrugated iron. The shop façade has a door with fanlight over and timber framed fanlights over a large fixed shopfront window. The verandah roof is flat with no support posts. There is a simple rendered brick parapet. The shop has a zero setback from the pavement.</i>
Authenticity	High
Integrity	High

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Comment	This place meets the threshold for inclusion on the Heritage List and as a traditional local shop is an important part of the historic suburban development in this area.
Recommendation	Add to Heritage List Add Management Category Level 3
Proposed new statement of significance	Retain existing

6. Duplex (Demolished), 14 John Street (5/18 John Street)

 <p>ESRI Mapping 2026 16 John Street has been renumbered 6/18 John Street</p>	 <p>INERIT MAPPING This mapping is incorrect. It is referring to the grouped development 16, 16A, 16C John Street which have remained undeveloped and were originally part of the grounds of Corkhill House, 12 John Street.</p>
<p>CURRENT PHOTO</p>	 <p>HISTORIC PHOTO 5/18 John Street which was previously numbered 14 John Street in 1979 Fremantle Society Photograph Survey 1979</p>
<p>Why was the property identified for review?</p>	<p>Place with Demolished in place name</p>
<p>City of Fremantle Heritage List – Existing</p>	<p>No</p>
<p>Heritage Area</p>	<p>North Fremantle Heritage Area</p>
<p>Local Heritage Survey – Existing in Inherit</p>	<p>21061</p>
<p>Management Category - Existing</p>	<p>Historic/ Archaeological Site</p>
<p>Statement of significance - Existing</p>	<p>No</p>

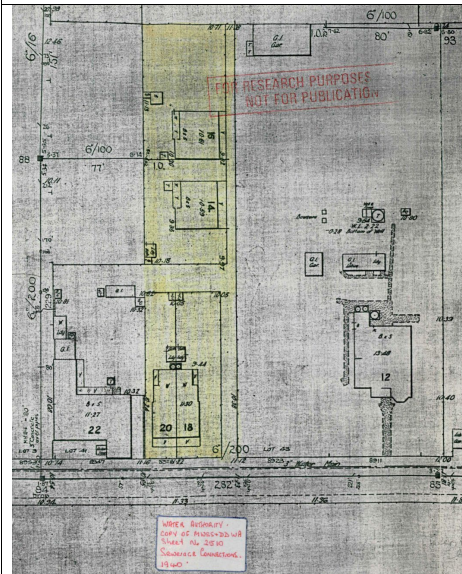
2026 UPDATE of Heritage List and Local Heritage Survey

<p>Background</p>	<p>Due to changes in street numbers after redevelopment this place has been incorrectly identified. It is now numbered 5/18 John Street and is located behind the Gresham Hotel, 20 John Street. In 2016 the owners of all properties at 18 John Street were contacted as part of the 2016 Annual Update. At this time the heritage listing Duplex (demolished), 18 John Street was removed from the Heritage List. The 2026 review is looking at a different heritage place, the house formerly numbered 14 John Street..</p>
<p>History</p>	<p><i>Inherit - Four residences were constructed c.1898 on Lot 42 adjacent to and probably associated with Gresham Hotel (then called Bruce Town Hotel). In 1896, Lot 42 was transferred to Jane Pamment (hotel keeper). A request for a hotel license for Brucetown had been refused in 1894, and Jane Pamment has not been found in association with the c.1897 Gresham Hotel. However, it is likely that the cottages were constructed in relation to the hotel as either staff quarters or additional rooms to rent. A weatherboard duplex (18-20) faced John Street, with two stone cottages behind each other at the rear of the Lot (14 and 16). Frederick T Pamment is listed in Post Office Directories as residing 'off John Street' adjacent to the hotel from 1898 to 1901. Other early residents included George Eskett/ Ackett (1898-at least 1906) John Bruce (1898) William Schofield (1898) George Brown (1899-1904) and (Albert Will (1902-03). All four residences continued to be transferred on a single title, to John Alfred Bick in 1908, and after his death in 1916 to Clara May Coughlin, Ellen Cameron and Henry John Bick (railway officer). Camerons had lived in this section of John Street, possibly at the hotel or in these cottages, since early in the century. From 1920 to 1945 Clara May Coughlin was the sole owner of the place. The residences appear to have been mostly rented out. By the late 1970s the stone cottages at 14 and 16, in particular, were in poor condition. Photographs show them as identical square buildings each with a corrugated iron roof, no verandah or eaves, and smooth render to all walls. The timber duplex at 18-20 is shown as a small pair of residences each under a separate, steep-pitched, roof. In 1988, Roger Pateman undertook to redevelop Lots 41 and 42, the site of 14-20 John Street and Gresham Hotel. The redevelopment included restoring the hotel, constructing 11 new residences using recycled materials to create an 'old-style' character, and retaining the two stone</i></p>

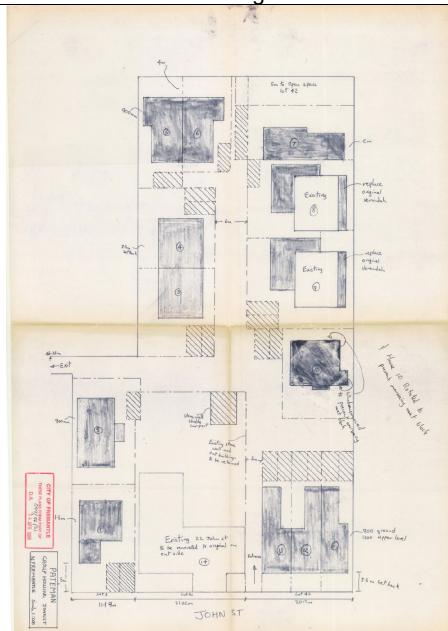
2026 UPDATE of Heritage List and Local Heritage Survey

cottages at 14 and 16. Duplex, 18-20 John Street was demolished at this time. Plans for the development show 14 with its footprint largely intact, and 16 more seriously modified. Planning consent in 1987 included a requirement to reinstate verandahs to both these cottages. It is not known whether the development as it was constructed did in fact retain and restore these cottages.

Information in the City of Fremantle archives shows that 14 and 16 John Street were retained, conserved and extended. The additions were attached to the rear of the house which due to changed access arrangements is now the front of the house. Conservation works appear to have included the repair of the limestone and brick quoin walls and reinstatement of double hung sash windows and the original front doors.



Metropolitan Sewerage, Fremantle District, PWDWA Sheet 2210, 1940



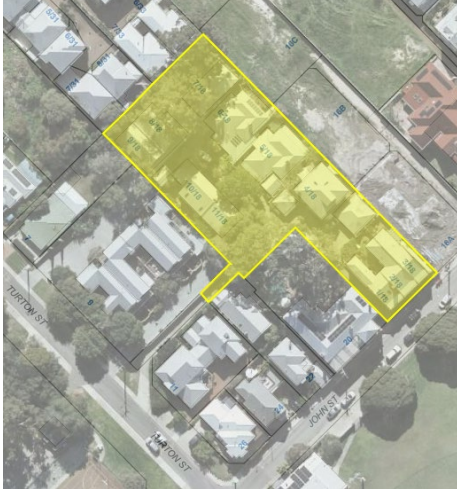
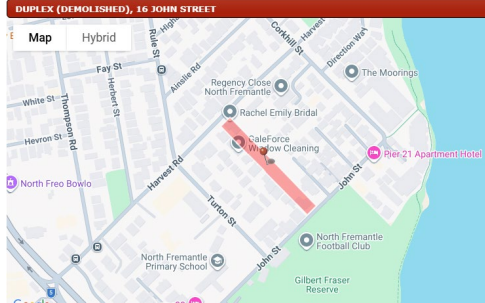

Site Plan, showing redevelopment of Lot 40 and 42. 5/18 John Street is the building labelled 6.

2026 UPDATE of Heritage List and Local Heritage Survey

	
<p>Aerial 1985</p>	<p>Aerial 2001</p>
<p>Physical description existing:</p>	<p>Victorian Georgian style limestone and brick quoin house with four rooms and a central corridor. The roof is hipped and clad with corrugated steel sheeting. A modern extension has been attached to what was originally the rear of the building. The front verandah has not been reinstated.</p>
<p>Authenticity</p>	<p>Moderate</p>
<p>Integrity</p>	<p>High</p>
<p>Comment</p>	<p>This historic stone house would appear to be largely intact with an addition to the rear. This place meets the Threshold for inclusion on the Heritage List. Note: the other houses (Terrace 1-3/ 18 John Street and houses 4/18, 7/18, 8/18, 9/18, 10,18 and 11/18 John Street) constructed in the development of the Gresham House site have no significance.</p>
<p>Recommendation</p>	<p>Change Name to House, 5/18 John Street Add to Heritage List Add Management Category Level 3.</p>
<p>Proposed new statement of significance</p>	<p>5/18 John Street, a limestone cottage from the 1890s has heritage significance. It has aesthetic value as a an example of a Victoria Georgian style house that contributes to the character of Fremantle. It has historic and social significance for its association with the Gresham Hotel and for its ability to demonstrate the early and unusual pattern of development that occurred in John Street, North Fremantle.</p>

7. Duplex (Demolished), 16 John Street

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 <p>ESRI Mapping 2026</p>	 <p>INERIT MAPPING This mapping is incorrect. It is referring to the site 16, 16A, 16C John Street which have remained undeveloped and were originally part of the grounds of Corkhill House, 12 John Street.</p>
<p>N/A CURRENT PHOTO</p>	 <p>HISTORIC PHOTO 6/18 John Street which was previously numbered 16 John Street in 1979 Fremantle Society Photograph Survey 1979</p>
<p>Why was the property identified for review?</p>	<p>Place with Demolished in place name</p>
<p>City of Fremantle Heritage List – Existing</p>	<p>No</p>
<p>Heritage Area</p>	<p>North Fremantle Heritage Area</p>
<p>Local Heritage Survey – Existing in Inherit</p>	<p>21061</p>
<p>Management Category - Existing</p>	<p>Historic/ Archaeological Site</p>
<p>Statement of significance - Existing</p>	<p>No</p>
<p>Background</p>	<p>Due to changes in street numbers this place has been incorrectly identified. It is now numbered 6/18 John Street and is located behind the Gresham Hotel, 20 John Street. In 2016 the owners of all properties at 18 John Street were contacted as part of the 2016 Annual Update. At this time the heritage listing Duplex (demolished), 18 John Street was removed from the Heritage List. The 2026 review is looking at a different heritage place, the house that was originally numbered 16 John Street.</p>

2026 UPDATE of Heritage List and Local Heritage Survey

<p>History</p>	<p><i>Four residences were constructed c. 1898 on Lot 42 adjacent to and probably associated with Gresham Hotel (then called Bruce Town Hotel). In 1896, Lot 42 was transferred to Jane Pamment (hotel keeper). A request for a hotel license for Brucetown had been refused in 1894, and Jane Pamment has not been found in association with the c. 1897 Gresham Hotel. However, it is likely that the cottages were constructed in relation to the hotel as either staff quarters or additional rooms to rent. A weatherboard duplex (18-20) faced John Street, with two stone cottages behind each other at the rear of the Lot (14 and 16). Frederick T Pamment is listed in Post Office Directories as residing 'off John Street' adjacent to the hotel from 1898 to 1901. Other early residents included George Eskett/ Ackett (1898-at least 1906) John Bruce (1898) William Schofield (1898) George Brown (1899-1904) and (Albert Will (1902-03). All four residences continued to be transferred on a single title, to John Alfred Bick in 1908, and after his death in 1916 to Clara May Coughlin, Ellen Cameron and Henry John Bick (railway officer). Camerons had lived in this section of John Street, possibly at the hotel or in these cottages, since early in the century. From 1920 to 1945 Clara May Coughlin was the sole owner of the place. The residences appear to have been mostly rented out. By the late 1970s the stone cottages at 14 and 16, in particular, were in poor condition. Photographs show them as identical square buildings each with a corrugated iron roof, no verandah or eaves, and smooth render to all walls. The timber duplex at 18-20 is shown as a small pair of residences each under a separate, steep-pitched, roof. In 1988, Roger Pateman undertook to redevelop Lots 41 and 42, the site of 14-20 John Street and Gresham Hotel. The redevelopment included restoring the hotel, constructing 11 new residences using recycled materials to create an 'old-style' character, and retaining the two stone cottages at 14 and 16. Duplex, 18-20 John Street was demolished at this time. Plans for the development show 14 with its footprint largely intact, and 16 more seriously modified. Planning consent in 1987 included a requirement to reinstate verandahs to both these cottages. It is not known whether the development as it was constructed did in fact retain and restore these cottages. Information in the City of Fremantle archives shows that 14 and 16 John Street were retained, conserved and extended. The additions were</i></p>
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2026 UPDATE of Heritage List and Local Heritage Survey

	<p>attached to the rear of the house which due to changed access arrangements is now the front of the house. Conservation works appear to have included the repair of the limestone and brick quoin walls and reinstatement of double hung sash windows and the original front doors.</p>
<p>Metropolitan Sewerage, Fremantle District, PWDWA Sheet 2210, 1940</p>	 <p>Site Plan, showing redevelopment of Lot 40 and 42. 6/18 John Street is the building labelled 8.</p>
 <p>Aerial 1985</p>	 <p>Aerial 2001</p>
<p>Physical description existing:</p>	<p>Victorian Georgian style limestone and brick quoin house with four rooms and a central corridor. The roof is hipped and clad with corrugated steel sheeting. A modern extension has been attached to what was originally the rear of the building. The front verandah has not been reinstated.</p>

2026 UPDATE of Heritage List and Local Heritage Survey

Authenticity	Moderate
Integrity	High
Comment	This historic stone house would appear to be largely intact with an addition to the rear. This place meets the Threshold for inclusion on the Heritage List. Note: the other houses (Terrace 1-3/ 18 John Street and houses 4/18, 7/18, 8/18, 9/18, 10,18 and 11/18 John Street) constructed in the development of the Gresham House site have no significance.
Recommendation	Change Name to House, 6/18 John Street Add to Heritage List Add Management Category Level 3.
Proposed new statement of significance	6/18 John Street, a limestone cottage from the 1890s has heritage significance. It has aesthetic value as a an example of a Victoria Georgian style house that contributes to the character of Fremantle. It has historic and social significance for its association with the Gresham Hotel and for its ability to demonstrate the early and unusual pattern of development that occurred in John Street, North Fremantle.



8. Joyce Brothers Factory, 8 Josephson Street

 <p>ESRI Mapping 2023</p>	<p>N/A INERIT MAPPING</p>
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2026 UPDATE of Heritage List and Local Heritage Survey





	<p>HISTORIC PHOTO</p>
<p>CURRENT PHOTO</p>	
<p>Why was the property identified for review?</p>	<p>Officer nomination</p>
<p>City of Fremantle Heritage List – Existing</p>	<p>No</p>
<p>Heritage Area</p>	<p>No</p>
<p>Local Heritage Survey – Existing in Inherit</p>	<p>No</p>
<p>Management Category - Existing</p>	<p>No</p>
<p>Statement of significance - Existing</p>	<p>No</p>
<p>Background</p>	<p>This place has not been identified as a heritage place in the past.</p>
<p>History</p>	<p><i>“Joyce Bros” founded in Sydney, NSW in 1886 and initially produced calico and linen bags. In the early 1900s they expanded operations to Western Australia, establishing a prominent presence in Fremantle. They manufactured tents, tarpaulins, canvas goods, and verandah blinds at 19 Pakenham Street. In 1929 they purchased the former Lutheran community church on Josephson Street in Fremantle and constructed a new warehouse and factory to diversify into bedding, mattresses, and furniture.</i></p> <p>An early map from 1908 shows the church but 8 Josephson Street is vacant. There are stone cottages located on sites to the north.</p> <p>The new Joyce Brothers factory was constructed in 1829 adjacent to the church. In 1938 a large foundry extension along Ellen Street was added, to support their furniture production, this is the site now numbered 3-5 Ellen Street.</p> <p>In 1957 the main Fremantle factory and foundry operations were shifted to a larger, modern facility in O'Connor to accommodate industrial expansion. In the 1990s the Factory at 8 Josephson Street was converted into residential units by Brian Klopper Architect.</p> <p>Note: A second older factory was located opposite at 3-5 Josephoson Street but this was demolished in the 1970s.</p>

2026 UPDATE of Heritage List and Local Heritage Survey

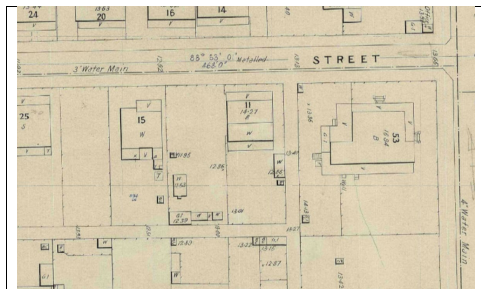

	
<p>Aerial photograph 1965</p>	<p>Aerial photograph following conversion into warehouse apartments, 1999</p>
<p>Physical description existing:</p>	<p>Most of the external walls and roof structure of the factory has been retained. The external brick walls are of painted face brick and the hipped roof is clad with Zinalume sheeting. The new residential units are set in from the street faced to create small courtyards and car parking is located under the buildings.</p>
<p>Authenticity</p>	<p>Moderate</p>
<p>Integrity</p>	<p>Low</p>
<p>Comment</p>	<p>Associated with 3-5 Josephson Street which was an earlier factory for Joyce Brothers but was demolished in the 1960s.</p>
<p>Recommendation</p>	<p>Add to Heritage List Add Management Category Level 3.</p>
<p>Proposed new statement of significance</p>	<p>Joyce Brothers Factory, a brick industrial building from the Inter-War era has heritage significance to Fremantle. It has aesthetic significance as an example of an Inter-War Functionalist style industrial Building. It has historic and social significance as a part of the larger complex of industrial buildings associated with Joyce Brothers, a major manufacturing business in Fremantle since the Gold Rush. It records the historic development of Fremantle as a traditional urban area where industry, commerce and residential uses all developed together and the demographic and physical change that occurred when businesses relocated to purpose built Industrial areas in the 1960s.</p>

9. House, 11 Louisa Street


2026 UPDATE of Heritage List and Local Heritage Survey

 <p>ESRI Mapping 2023</p>	 <p>INERIT MAPPING</p>
 <p>CURRENT PHOTO</p>	 <p>HISTORIC PHOTO Fremantle Society Survey, 1979</p>
<p>Why was the property identified for review?</p>	<p>Officer nomination</p>
<p>Background</p>	<p>This place was identified as a heritage place in the 2025 review of the south Fremantle Heritage Area, but it was not added to the Heritage List.</p>
<p>City of Fremantle Heritage List – Existing</p>	<p>No</p>
<p>Heritage Area</p>	<p>South Fremantle Heritage Area, Contributory Place</p>
<p>Local Heritage Survey – Existing in Inherit</p>	<p>23036</p>
<p>Management Category - Existing</p>	<p>No</p>
<p>Statement of significance - Existing</p>	<p><i>House, 11 Louisa Street, is a typical timber and iron single storey house dating from c1935. The place has aesthetic value for its contribution to the streetscape and the surrounding area. It is representative of the typical workers' houses in the Fremantle area. The place is an example of the Interwar California Bungalow style of architecture.</i></p>
<p>History</p>	<p>Inherit information <i>House, 11 Louisa Street was built between 1930 and 1940. In 1941/42, the house was owned and occupied by William Dunn. Mr Dunn was the occupant until at least the late 1960s, and the Dunn family still owned the cottage in 1981. Metro Sewerage 1907 – vacant site but later revised plan dated 1915 shows the house</i></p>



2026 UPDATE of Heritage List and Local Heritage Survey

	
<p>Metro sewerage Sheet 2082, 1915</p>	<p>Earliest aerial photograph, 1953</p>
<p>Physical description existing:</p>	<p>Inherit: <i>11 Louisa Street is a single storey timber and iron house constructed in c1935 in the Interwar Californian Bungalow style of Architecture. The front facade is asymmetrical with a protruding front room. The walls are timber framed and clad with timber weatherboards. The roof is hipped and gabled and clad with corrugated iron. The verandah is a large front porch with a separate gabled corrugated iron roof supported by timber posts. The gable end is partially timbered. The front façade has a central front door and replacement aluminium windows. There is a corrugated iron awning over the window to the front room. There is a low rendered masonry wall to the front boundary line.</i></p>
<p>Authenticity</p>	<p>Moderate</p>
<p>Integrity</p>	<p>High</p>
<p>Comment</p>	<p>Recommended for inclusion 2008 SFHA review did not add this place</p>
<p>Recommendation</p>	<p>Add to Heritage List Add Management Category Level 3.</p>
<p>Proposed new statement of significance</p>	<p>Use Existing</p>


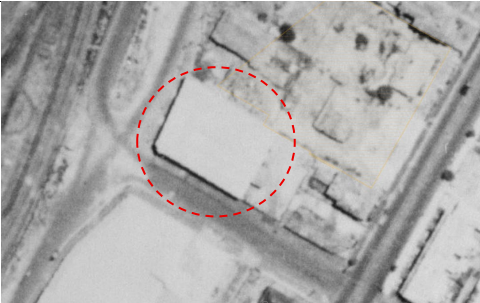
10. Robert Jowitt & Sons Warehouse, 64 Queen Victoria Street, Fremantle

 <p>ESRI Mapping</p>	<p>N/A INERIT MAPPING</p>
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2026 UPDATE of Heritage List and Local Heritage Survey

	
CURRENT PHOTO	HISTORIC PHOTO, Fremantle Society survey 1981
Why was the property identified for review?	Officer nomination
City of Fremantle Heritage List – Existing	No
Heritage Area	No
Local Heritage Survey – Existing in Inherit	22731 – Commercial Building, 2 James Street
Management Category - Existing	No
Statement of significance - Existing	<i>Commercial Building, 2 James Street, has historic significance as part of a former warehouse associated with the Fremantle Port. It has aesthetic significance for the contribution it makes to the Fremantle Port streetscape.</i>
History	<p>Plans from 1898, 1902, 1910, 1914, and 1916 show a large irregularly shaped building set back from the lot boundaries at this corner of James and Beach Streets. A 1908 sewerage plan shows what appears to be the same building as being constructed of stone, apparently a residence, with verandahs along the James and Beach Street elevations and a portion of the east elevation also. It is noted as 106 Beach Street and has front steps in the centre of the Beach Street verandah, and what appears to be rear extensions, outbuildings and/or ablutions at the rear (south).</p> <p>Information provided by the owner of the place in 2008 stated that the building was constructed in 1934 by a builder named Totterdell (possible Bill) and it was modified c1962, including timber floors being replaced with concrete. Post Office Records suggest that the building was constructed earlier as the place was occupied by Mrs F.M Henderson in the early 1920s until it was vacant in 1927 and then was occupied by Robert Jowitt and Sons, Wool and Skin Brokers from 1928 until 1947 when Post Office records ceased.</p> <p>A 1947 aerial photograph shows a large warehouse style building on the site and no evidence of the earlier building. A photograph of the building from 1980 shows it painted with old signage for Robert Jowitt and Sons Ltd. Since the 1960s the place has been associated with the Shacks Motor Group and has been used for car storage.</p>

2026 UPDATE of Heritage List and Local Heritage Survey

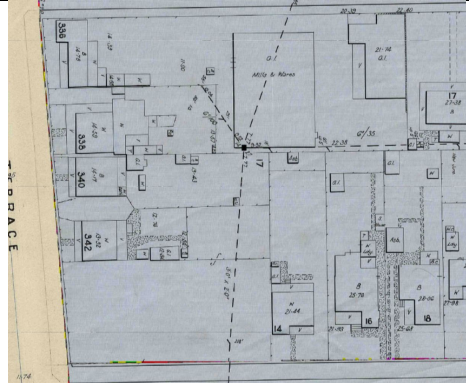

	
<p>Aerial photograph of Fremantle Harbour, 1930</p>	<p>Aerial photograph 1947</p>
<p>Physical description:</p>	<p>A face brick and render detail industrial building from the Inter-War Era.</p>
<p>Authenticity</p>	<p>Moderate</p>
<p>Integrity</p>	<p>High</p>
<p>Comment</p>	<p>This building is part of a streetscape of industrial buildings that was established in the Inter-War era adjacent to Victoria Quay.</p>
<p>Recommendation</p>	<p>Add to Heritage List Change name from Commercial Building, 2 James Street to Robert Jowitt & Sons Warehouse. Add Management Category Level 3.</p>
<p>Proposed new statement of significance</p>	<p>Robert Jowitt & Sons Warehouse, a brick industrial building from the Inter-War era has heritage significance to Fremantle. It has aesthetic value as an example of traditional brick warehouse in the Inter-War Functionalist style and for the contribution that it makes to the streetscape of industrial buildings that line Victoria Quay. It has historic and social significance as part of a former warehouse associated with the Fremantle Port.</p>

11. House, 16 Scott Street

2026 UPDATE of Heritage List and Local Heritage Survey


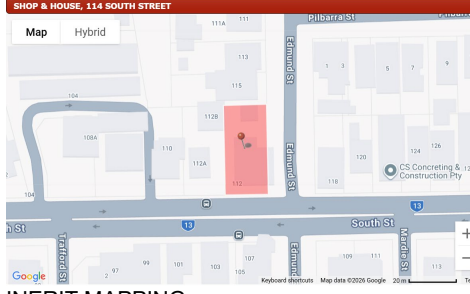


 <p>ESRI Mapping 2026</p>	 <p>INERIT MAPPING</p>
 <p>CURRENT PHOTO Google streetview 2023</p>	 <p>HISTORIC PHOTO Fremantle Society Survey 1979</p>
<p>Why was the property identified for review?</p>	<p>Officer nomination</p>
<p>City of Fremantle Heritage List – Existing Heritage Area</p>	<p>No</p>
<p>Local Heritage Survey – Existing in Inherit</p>	<p>South Fremantle Precinct Heritage Area</p>
<p>Management Category - Existing</p>	<p>22873</p>
<p>Statement of significance - Existing</p>	<p><i>House, 33 Scott Street is a typical brick and tile single storey house dating from 1937. The place has aesthetic value for its contribution to the streetscape and the surrounding area. It is representative of the typical workers' houses in the South Fremantle area. The place is an example of the Inter War California Bungalow style of architecture. The place was the family home of the Mills family, of the Mills and Ware Biscuit family.</i></p>
<p>Background</p>	<p>This place was identified as a heritage place in the 2025 review of the south Fremantle Heritage Area, but it was not added to the Heritage List.</p>
<p>History</p>	<p>Inherit information: <i>House, 16 Scott Street was built between 1935 and 1940. In 1939/40, William Mills was listed as the owner (after passing through the hands of several members of the Mills family that year). Norman Mills was listed as the occupant. Following the death of William Mills in the mid-1950s, the house was registered to Mills and Ware Holdings Ltd. The company sold the house to Enrico and Elena L'Aurella in the mid-1960s, and they retained ownership until the 1990s. House, 16 Scott Street is shown on a 1954</i></p>

2026 UPDATE of Heritage List and Local Heritage Survey

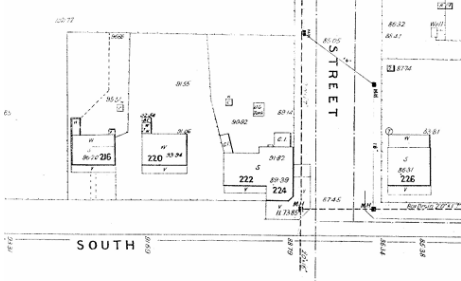
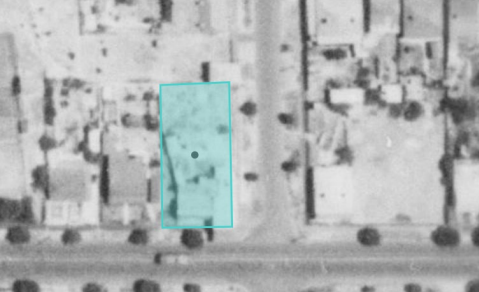
	<p>diagram as a large brick house with a projecting front room and steps leading up to the half-length front verandah. A small verandah, weatherboard laundry and toilet were located to the rear of the house. Extensive paving ran down the side and across the front of the house.</p>
	
<p>Metropolitan Sewerage Sheet 2096, 1954 Note Mills and Ware Warehouse in Wardie Street</p>	<p>Aerial Photograph 1954 Note Mills and Ware Factory in the block between Jenkin and Wardie Street and also in Wardie</p>
<p>Physical description existing:</p>	<p>Inherit - <i>Single storey rendered masonry, face brick and tiles cottage with an asymmetrical facade constructed c1937. The walls are face brick to dado height and painted and rendered masonry above. The roof hipped and gabled with eaves and clad with tiles. The half verandah is under separate tiled roof with square timber posts on brick bases. The front facade is asymmetrical with a protruding front room with a timber window and a tiled awning over. Under the verandah is the front door and a timber framed window. There is a limestone fence to the front boundary and a small garden area behind.</i></p>
<p>Authenticity</p>	<p>High</p>
<p>Integrity</p>	<p>High</p>
<p>Comment</p>	<p>Previously identified as of heritage interest</p>
<p>Recommendation</p>	<p>Add to Heritage List Add Management Category Level 3</p>
<p>Proposed new statement of significance</p>	<p>Retain existing</p>

12. Shop And House, 114 South Street

2026 UPDATE of Heritage List and Local Heritage Survey


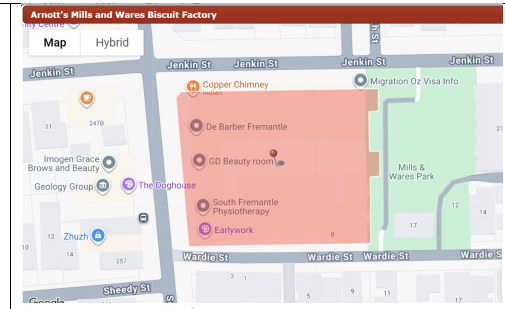




 <p>ESRI Mapping 2026</p>	 <p>INERIT MAPPING</p>
 <p>CURRENT PHOTO Google Streetview 2024</p>	 <p>HISTORIC PHOTO Fremantle Society Survey 1979</p>
<p>Why was the property identified for review?</p>	<p>Officer nomination</p>
<p>City of Fremantle Heritage List – Existing</p>	<p>No</p>
<p>Heritage Area</p>	<p>No</p>
<p>Local Heritage Survey – Existing in Inherit</p>	<p>22656</p>
<p>Management Category - Existing</p>	<p>Historic/ Archaeological Site</p>
<p>Statement of significance - Existing</p>	<p><i>Aesthetically significant as an example of Fremantle’s vernacular architecture. Typical local shop and attached residence dating from the first decades of the twentieth century. Historically significant as a representation of commercial activity in the Fremantle area.</i></p>
<p>Background</p>	<p>This place has been identified as a heritage place in the past but was not added to the Heritage List.</p>
<p>History</p>	<p>Lot 1, 114 South Street Beaconsfield was previously known as 222-224 South Street until 1938 when it became 110-112 South Street until at least 1949.</p> <p>In 1888 the Fremantle Rates Books show that ½ of Suburban Lot 27 was owned by Lionel Cole. During this year the Lot has vacant crossed out and a cottage of two rooms listed.</p> <p>During 1884 in Fremantle, Lionel Joseph Phippen Cole married Esther Thomas. They had 10 children (2 girls and 8 boys). In December 1927 Lionel (known as Jim) died. He was noted at this time to be a contractor and residing at 220 South Street. The Cole’s owned both properties. The West Australian Post Office Directories show</p>

2026 UPDATE of Heritage List and Local Heritage Survey

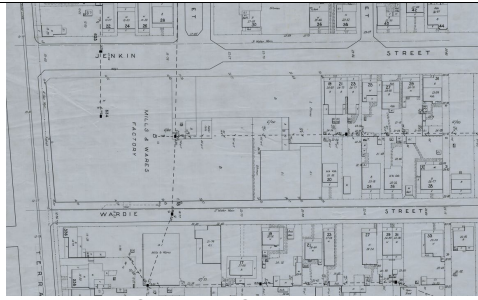


	<p>that Lionel Cole was residing in South Street in 1893. By 1894 Suburban Lot 27 was subdivided and the cottage and shop is shown, still owned by Lionel Cole who is listed as a carpenter. The Metropolitan Sewerage Map dated 1908 shows a stone corner truncated shop with a verandah returning down Edmund Street and a stone attached house with a verandah across the façade.</p> <p>Following her husband's death Esther Cole resided at the property and ran a grocery. Some years there were various other names listed at the grocery shop. In 1940 Esther Cole was still listed as residing at what is currently 112a South Street (house no longer extant). Esther Cole died in 1941 and the shop remained as a grocery run by Mrs M Ralston, by 1949 the final year the post office directory was published shows C. A Cromwell as the grocer.</p>
<p>Metropolitan Sewerage Sheet 2086, 1917 Note 112 South Street was originally 222 South.</p>	 <p>Aerial Photograph 1947</p>
<p>Physical description existing:</p>	<p>Singles storey rendered truncated corner and parapeted shop with an attached stone and zincalume hipped roof house.</p> <p>The following places form a significant group and contribute to the streetscape South Street; 75-77, 79, 80, 82, 83, 84, 85, 86,87, 88, 90, 91, 94, 98, 102, 103, 104, 105, 106, 107, 109, 114, 140 & 142.</p>
<p>Authenticity</p>	<p>Moderate</p>
<p>Integrity</p>	<p>Moderate</p>
<p>Comment</p>	
<p>Recommendation</p>	<p>Remove from Heritage List Change Management Category from Historic/ Archaeological site to Level 4.</p>
<p>Proposed new statement of significance</p>	<p>Retain existing statement</p>

13. Mills and Wares Biscuit Factory, 330-333 South Terrace South Fremantle

2026 UPDATE of Heritage List and Local Heritage Survey

 <p>ESRI Mapping</p>	 <p>INERIT MAPPING</p>
 <p>CURRENT PHOTO</p>	 <p>HISTORIC PHOTO</p>
	
<p>Why was the property identified for review?</p>	<p>Officer nomination</p>
<p>City of Fremantle Heritage List – Existing</p>	<p>No</p>
<p>Heritage Area</p>	<p>South Fremantle Heritage Area</p>
<p>Local Heritage Survey – Existing in Inherit</p>	<p>Yes - 2035</p>
<p>Management Category - Existing</p>	<p>No</p>
<p>Statement of significance - Existing</p>	<p>No</p>
<p>Background</p>	<p>There were a number of Mills and Ware buildings on the Municipal Heritage Inventory in 2000 but not the main building.</p>
<p>History</p>	<p>Inherit - <i>Before Mills & Ware and Italian pastry cook was established on the site. The Ross Confectionary Company was on the site in the late 1880s. Mills & Ware started in the 1950s. The West</i></p>

2026 UPDATE of Heritage List and Local Heritage Survey

	<p>Australian reported in May 1993 that the Mills & Wares site will be named the Biscuit Factory Village under a \$12 million redevelopment plan, converting the factory site to a 40-home complex as well as warehouse style apartments and a commercial wing. It reports that the 24 000m2 site closed the previous year (1992). The development will include a 40 lot residential subdivision (on the factory's car park), 5 studio apartments, 5 townhouses, a cafe/restaurant, a medical sports centre and retail shops. The original flour lofts (at 21 Jenkin Street) would be converted featuring some of the original architecture. A 6 metre jarrah water tower on the site was contentious.</p>
	
<p>Metropolitan Sewerage Sheet 96, 1914</p>	<p>Metropolitan Sewerage Sheet 2096, 1954</p>
	
<p>Aerial photo 1989</p>	<p>Aerial photo 1999</p>
<p>Physical description existing:</p>	<p>This information has been taken from Mills and Ware Factory, 11 Wardie Street - 22273: Generally three storey rendered masonry and iron former factory now converted to residential apartments and some commercial units. The walls to the ground and first floors are generally rendered masonry. The third floor is generally corrugated iron following the roof scape. The ground floor has shop front windows and a large steel framed corrugated iron awning structure. The first floor is rendered masonry with smaller openings and metal shade structures. The third floor is corrugated iron with aluminium framed</p>

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	<i>windows. Some apartments have balconies. The building is located on the front boundary line.</i>
Authenticity	Moderate
Integrity	Low
Comment	There are a number of listings for associated buildings but not but not for the main complex at 330 South Terrace.
Recommendation	Add to Heritage List Add Level 2 Make Parent place to 10 Wardie, 11 Wardie and 21 Jenkin Street plus any other Mills and Ware related places..
Proposed new statement of significance	<i>Mills and Ware Factory has aesthetic value for its contribution to the streetscape and the surrounding area and as a local landmark in South Fremantle It has strong social and historic values and up to its closure in the 1990s it was major employer of women in the state. It is representative of the historic industrial uses and character of South Fremantle.</i>

2026 UPDATE of Heritage List and Local Heritage Survey

**Attachment 2
Assessment of Places to retain and change on Heritage List**

HCWA Addition to State Register

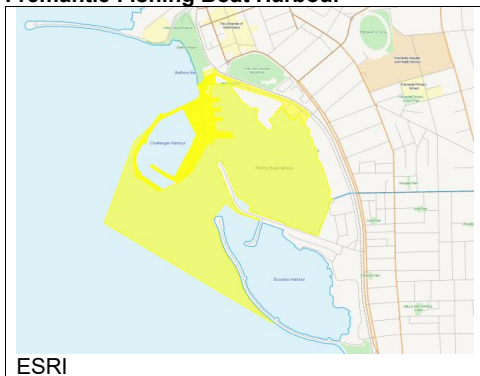
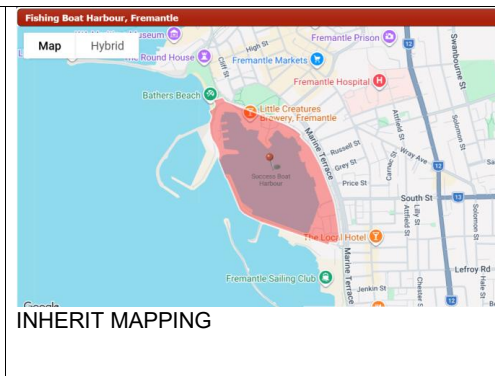


1. Fishing Boat Harbour

Retain on Heritage List and change name and/ or management category

1. Balding Nurses Quarters (Demolished), 7 Alma Street, Fremantle
2. House 3 Barnett, (Demolished), Fremantle
- 3. House, 8 Coral Street, South Fremantle**
4. Duplex (Demolished), 9 Essex Street, Fremantle
5. Duplex (Demolished), 11 Essex Street, Fremantle
6. House, 28 Hulbert Street, South Fremantle
- 7. House, 12 Mardie Street, South Fremantle**
8. Princess Chambers (Biddle Building), 21-27 Market Street, Fremantle
9. Princess Theatre, 29 – 33 Market Street, Fremantle
10. Commercial Building, 99 Market Street, Fremantle
11. Site Of Dave Johnson Motor Factory, 44 Marine Terrace Fremantle
12. Commercial Building (Demolished), 49 Pakenham Street, Fremantle
13. Dyson Wools Building (Demolished) 7 Price Street, Fremantle
- 14. House, 5 Skinner Street, Fremantle**
- 15. House, 8 Staples Street, North Fremantle**
16. Mills & Ware Administration Building Façade, 10 Wardie Street, South Fremantle
17. Mills & Ware Factory, 11 Wardie Street, South Fremantle
- 18. House (Demolished), 47 Wray Avenue, Fremantle**
19. Limestone Feature(S), 54 Wray Avenue, Fremantle
20. Duplex, 58 Wray Avenue,
21. Duplex 60 Wray Avenue, Fremantle

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Fremantle Fishing Boat Harbour

 <p>ESRI</p>	 <p>INHERIT MAPPING</p>
 <p>CURRENT PHOTO</p>	 <p>HISTORIC PHOTO</p>
<p>Why was the property identified for review?</p>	<p>Inclusion on State Register of Heritage Places</p>
<p>City of Fremantle Heritage List – Existing</p>	<p>Fishing Boat Harbor, Mews Road</p>
<p>Heritage Area</p>	<p>No</p>
<p>Local Heritage Survey – Existing in Inherit</p>	<p>24491</p>
<p>Management Category - Existing</p>	<p>Precinct Management</p>
<p>Statement of significance – Existing CoF</p>	<p><i>Fishing Boat Harbour has historic significance as the site of the first landings when the Swan River Colony was founded. It was the site of the South Jetty and has been the home of Fremantle's fishing fleet since the first days of the colony, although the Harbour itself was not developed until the post World War II period when cray and prawn fishing became major commercial activities, particularly by migrant families.</i></p>
<p>Background</p>	<p>Fishing Boat Harbour was added to the State Register of Heritage Places on 19 March 2026</p>
<p>New HCWA statement of significance</p>	<p><i>The place has strong associations with the history of post-WWII migration to Western Australia, with many migrants from Southern Europe, particularly those from Italy, engaged in the commercial fishing industry historically and today.</i> <i>- The continuous use of the place as a working harbour from 1924 to the present and its</i></p>

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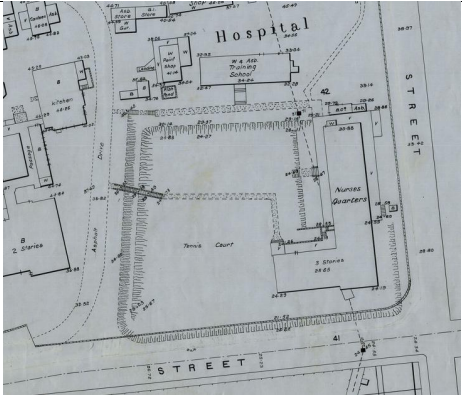

	<p>association with the evolution of the fishing industry in Fremantle, reflects the successful story of Fremantle's migrant communities, with the intangible value of this story being of importance to both migrant families and their descendants and the wider Western Australian community.</p> <ul style="list-style-type: none"> - The place holds a high degree of social value to the local Italian community, and other migrant communities associated with the fishing industry as the end point of the annual Blessing of the Fleet procession, a well-established religious and civic tradition, that has been an integral part of Fremantle's cultural heritage for more than 75 years. - The place has historic value as the site of South Jetty, one of the first landing sites erected in 1829, in the newly founded Swan River Colony. - The place is of aesthetic value for its harbour views with commercial and recreational vessels including the iconic blue fishing vessels, that add to the distinctive character of the place as a working harbour, which has been a popular recreational area for locals and tourists alike for a number of generations. - The place has historic value as the site of the staging of the 26th challenge for the America's Cup in 1987, when Fremantle became the subject of worldwide focus with Kookaburra III's defence of the Royal Perth Yacht Clubs title. - The place has a high degree of social value to past and current day fishermen and their families as demonstrated by their contribution and involvement in a project to recognise the 608 fishermen who pioneered the fishing industry at Fremantle, by way of 'The Jetty' memorial. - The place is an iconic landmark that is a popular visitor destination for tourists and the local and wider community and contributes to the identity of Fremantle and in particular the city's West End. <p>While the overall place is considered to be of heritage significance, the current built fabric, with the exception of 'The Jetty' memorial is not.</p>
History	Further detail in registration documentation
Physical description existing:	Further detail in registration documentation
Comment	The HCWA listing states that the only built fabric of significance is the fishermen's memorial 'The Jetty'. The CoF place record can have a different statement of significance that records the Local Heritage Significance of the place.
Recommendation	Retain on Heritage List Change from Precinct Management to Level 1A

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1. Balding Nurses Quarters (Demolished), 7 Alma Street



	 <p>INHERIT MAPPING</p>
 <p>Google Streetview, 2026</p>	 <p>HISTORIC PHOTO Nurses Quarters constructed in 1918 with an additional floor added in 1925.</p>
<p>Why was the property identified for review?</p>	<p>Review of places described as 'demolished'</p>
<p>City of Fremantle Heritage List – Existing</p>	<p>Balding Nurses Quarters (Demolished), 7 Alma Street</p>
<p>Heritage Area</p>	<p>Central Fremantle Heritage Area</p>
<p>Local Heritage Survey – Existing in Inherit</p>	<p>Balding Nurses Quarters (Demolished), 7 Alma Street</p>
<p>Management Category - Existing</p>	<p>Historic/ Archaeological Site</p>
<p>Statement of significance - Existing</p>	<p><i>Retain</i></p>
<p>Background</p>	
<p>History</p>	<p>Inherit <i>Named after Matron Balding, these Nurses quarters were an integral part of the old public hospital. Construction began in 1918, located on the corner of Alma and Attfield streets, and the home was completed the following year. The hospital board launched an appeal to cover some of the costs. A number of promises of funds were made by local citizens to furnish the new home. Accommodation soon became a problem; plans were completed for an additional floor in 1925. An ablution block was added to the end of every floor. The rooms all went off a central hall and</i></p>

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	<p><i>opened on to verandahs on three sides. The lounge was the full width of the end of the lower floor. The growth of the hospital meant that the additional nursing staff were required leading to an accommodation problem yet again. Plans were drawn up for a three storied brick wing adjacent to the existing quarters. It was opened in 1938. According to oral histories the old section housed the probationers, while the new wing housed senior nursing staff, and third year nurses. In 1939 it was decided to name the new extensions in honour of Matron Balding.</i></p>
 <p>Metropolitan Sewerage Sheet 2057, 1954</p>	 <p>Three storey additions to the Nurses Quarters constructed 1938</p>
<p>Physical description existing:</p>	<p>Buildings demolished and site redeveloped for a bitumen carpark. Sections of the historic limestone boundary wall remain</p>
<p>Authenticity</p>	<p>Low</p>
<p>Integrity</p>	<p>Low</p>
<p>Comment</p>	<p>As these buildings were demolished for an on grade bitumen carpark there may possibly be archaeological material below the carpark.</p>
<p>Recommendation</p>	<p>Retain on Heritage List Change from Historic/ Archaeological Site to Level 3 Make a Child place to Fremantle Hospital</p>
<p>Proposed new statement of significance</p>	<p>Archaeological potential.</p>

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2. House, 3 Barnett Street (demolished)

	
<p>CURRENT PHOTO 3 Barnett Street, Google Streetview 2021</p>	<p>HISTORIC PHOTO 3 Barnett Street, Fremantle Society 1981</p>
<p>Why was the property identified for review?</p>	<p>To check listing and update management category</p>
<p>City of Fremantle Heritage List - Existing</p>	<p>House, 3 Barnett Street (demolished)</p>
<p>Heritage Area</p>	<p>No</p>
<p>Local Heritage Survey - Existing</p>	<p>House, 3 Barnett Street</p>
<p>Management Category - Existing</p>	<p>Adopted</p>
<p>Statement of significance - Existing</p>	<p><i>House, 3 Barnett Street, is a single storey brick and tile house dating from the 1890s. The place has aesthetic value for its contribution to the streetscape and the surrounding area. It is representative of the typical building stock located within the residential areas of Fremantle. It is historically significant Victorian Georgian style of architecture, modified in the post war period.</i></p>
<p>Background</p>	<p>The name listed in the Local Heritage Survey is different to the Heritage List.</p>
<p>History</p>	<p>Originally constructed in 1891 as a 5-room cottage the place was by 1913. External alterations appear to have been made in the late Inter-War or Post War era with the addition of a new tile roof, rendering of walls and changing double hung sash windows to casement sash windows with lead-light glazing. The verandah was also modified with a flat roof, terrazzo floor, barley sugar twisted concrete columns and a wrought iron balustrade. Historic aerial photographs confirm that the original building was not demolished.</p>

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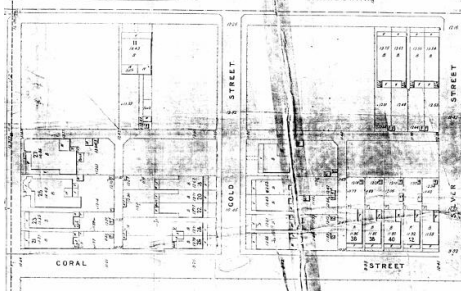
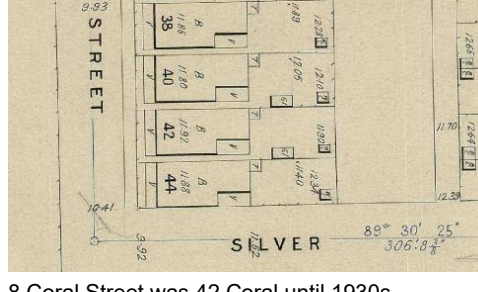
	
<p>Historic house and outbuildings 1947</p>	<p>2024</p>
<p>Physical description existing:</p>	<p>A stone house in the Victorian Georgian style but with modifications from the</p>
<p>Authenticity</p>	<p>Moderate</p>
<p>Integrity</p>	<p>High – original use</p>
<p>Comment</p>	<p>This house has not been demolished.</p>
<p>Recommendation</p>	<p>Retain on Heritage List Change Place name from House (demolished), 3 Barnett Street to House, 3 Barnett Street Change Management Category from Adopted to Level 3</p>
<p>Proposed new statement of significance</p>	<p>No change required.</p>

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3. 8 Coral Street and ROW 83, South Fremantle (Customer request to modify)

 <p>CURRENT PHOTO 8 Coral Street, Google Streetview 2022</p>	 <p>CURRENT MAPPING 8 Coral Street, ESRI Mapping</p>
 <p>CURRENT PHOTO Silver Street Studio, 8 Coral Street and entrance to ROW 83 on Silver Street, Google Streetview, 2018</p>	 <p>CURRENT MAPPING ROW 83, ESRI Mapping</p>
<p>Why was the property identified for review?</p>	<p>Request from property owner of 8 Coral Street. Seeking heritage protection for ROW8 3 as this was upgraded in conjunction with the Silver Street Studio at 8 Coral Street. NOTE: ROW 83 owned by the Perpetual Trustees.</p>
<p>City of Fremantle Heritage List - Existing</p>	<p>House, 8 Gold Street, South Fremantle</p>
<p>Heritage Area</p>	<p>South Fremantle Heritage Area</p>
<p>Local Heritage Survey - Existing</p>	<p>Yes – Inherit - 20533</p>
<p>Management Category - Existing</p>	<p>Level 3</p>
<p>Statement of significance - Existing</p>	<p><i>House, 8 Coral Street, is a typical rendered masonry, and iron single storey house dating from c1900s. The place has aesthetic value for its contribution to the streetscape and the surrounding area. It is representative of the typical workers' houses in the Fremantle area. The place is an example of the Federation Bungalow style of architecture.</i></p>
<p>Background</p>	<p>8 Coral Street was included on the first Fremantle Municipal Heritage Inventory in 2000</p>



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	<p>and the Heritage List in 2008. The description in the place record does not mention the studio.</p> <p>The laneway between South and Silver Street (ROW) is used by many residents in the area for access to the rear of their properties. Perpetual Trustee Company Limited, as trustee of the Estate of Henry Briggs (Estate), (who died on 19 June 1919) is the owner of the Laneway.</p>
<p>History</p>	<p>Extensive history from 1904 – 1980 in existing place record. It describes house but not Silver Street Studio.</p> <p>The house is first shown on a sewerage drawing in 1908. It is one 5 adjoining, identical stone detached houses at the south end of Coral Street (three of which are extant and heritage listed). The house is shown numbered 42 Coral Street, and it retained this address until the 1930s.</p> <p>The earliest aerial photo from 1947 shows the house at 8 Coral Street and a building facing Silver Street which aligns with the existing Silver Street Studio. This shed was recorded in the Fremantle Society photographic Survey in 1979, it is an industrial shed with corrugated cladding and timber roof trims. The shed is surrounded by timber cray pots and a grape vine.</p> <p>Changes to the shed roof are visible on the 1985 aerial and coincide with the establishment of a ceramics studio in the building. Work was also carried out in the adjacent ROW at this time.</p> <p>2014 DA0612/14 approved for conversion of a outbuilding (garage and workshop) to Bed and Breakfast accommodation. Photos of the interior of the building show that it has been refurbished with an eclectic mix of salvaged and modern materials.</p>
 <p>Metropolitan Sewerage, Sheet 82, 1908 Showing the development of Brigg's Paddock</p>	 <p>8 Coral Street was 42 Coral until 1930s</p>

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<p>DOLA Aerial photograph 1947 Showing a large shed behind 8 and 10 Coral Street in the location of the Silver Street Studio, together with industrial development to the west of Coral Street.</p>	<p>DOLA Aerial photograph 1981. 2 and 4 Coral Street have been demolished and the land may be being used in conjunction with the industrial shed behind 8 and 10 Coral Street.</p>
	
<p>Physical description existing: <i>House, 8 Coral Street is a single storey, single room width, limestone and iron house with asymmetrical facade built c.1900 and designed as an example of the Federation Bungalow style of architecture. The walls are limestone. The roof is hipped and clad with corrugated iron. The verandah has a separate corrugated iron roof. There is a high rendered masonry wall to the front boundary line.</i></p>	<p>Industrial Shed behind 8 and 10 Coral Street, Fremantle Society Survey, 1979. Note: photo misnamed as 15 Sliver.</p>  <p>Inherit photo 2009</p>

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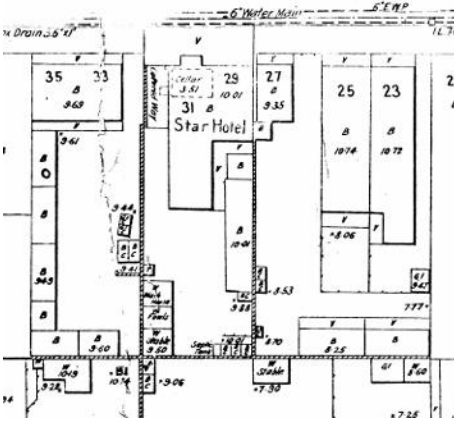

 <p>2015</p>	 <p>Silver Street studio entrance, Silver Street, 2021</p>
<p>Physical description</p>	<p><i>Inherit - House, 8 Coral Street is a single storey, single room width, limestone and iron house with asymmetrical facade built c.1900 and designed as an example of the Federation Bungalow style of architecture. The walls are limestone. The roof is hipped and clad with corrugated iron. The verandah has a separate corrugated iron roof. There is a high rendered masonry wall to the front boundary line.</i></p> <p>The studio is an adapted industrial shed which has been converted into an artist's studio and accommodation. The building is an eclectic assemblage of materials and salvaged historic building materials and elements.</p> <p>The ROW has been landscaped with plantings, recycled brick paving and a timber entrance portico with light.</p>
<p>Authenticity</p>	<p>Moderate</p>
<p>Integrity</p>	<p>High</p>
<p>Comment</p>	<p>The Artist's Studio is an industrial shed which was converted into an artist's studio in the 1980s – 1990s. It has associations with the fishing industry in South Fremantle as well as the heritage led regeneration of the area in the 1980s- 90s. The studio exhibits the eclectic use of salvaged historic elements and materials that were popular at the time.</p> <p>The ROW is owned by Perpetual Trustee Company Limited. The landscaping in the ROW was not installed with their permission. There are currently no heritage listed ROWs in Fremantle.</p>
<p>Recommendation</p>	<p>Retain 8 Coral Street on HL, Level 3 Change name of place to House and Studio, 8 Coral Street and included description of former Shed/ Artists Studio in heritage listing Do not include ROW on HL</p>
<p>Proposed new statement of significance</p>	<p>Modify existing to include reference to studio.</p>

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4. Duplex (Demolished), 9 Essex Street

 <p>CURRENT PHOTO 9 Essex Street, Google Streetview 2024</p>	 <p>HISTORIC PHOTO 9 Essex Street, 1985</p>
<p>Why was the property identified for review?</p>	<p>To check listing and update management category</p>
<p>City of Fremantle Heritage List - Existing</p>	<p>Duplex (Demolished), 9 Essex Street</p>
<p>Heritage Area</p>	<p>No</p>
<p>Local Heritage Survey - Existing</p>	<p>Duplex (Demolished), 9 Essex Street</p>
<p>Management Category - Existing</p>	<p>Historic / Archaeological Site</p>
<p>Statement of significance - Existing</p>	<p><i>Duplex, 9-11 Essex Street, demolished 1986, is significant as a site because of its association with the mill at 15 Essex Street. 3-13 Essex Street originally comprised cottages and warehouses from 1900, associated with the Port Flour Mill.</i></p>
<p>Background</p>	<p>The street numbering to heritage places is incorrect and the site of the historic duplex is located on the adjacent property, 13 Essex Street. The early building on this site, the Star Hotel, has not been demolished.</p>
<p>History</p>	<p>The Star Hotel was constructed prior to 1878 when it was advertised in local paper. It has been continually operated as a hotel, boarding house and backpacker hostel since then. Refer to National Trust place record for 5 Essex Street for more detail.</p>

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 <p>Panorama 1891</p>	 <p>Panorama 1899</p>
 <p>Essex Street 1925, Star Hotel with verandah can be seen beyond the Port Flour Mill.</p>	 <p>Panorama 1970</p>
 <p>Historic Star Hotel and outbuildings 1907</p>	 <p>Aerial mapping 2024</p>
<p>Physical description existing:</p>	<p>Star Hotel (fmr) is a two storey rendered brick building with a hipped tile roof in the Victorian Georgian style. The place is located flush against the footpath pavement of Essex Street – Refer to National Trust listing for more information.</p>

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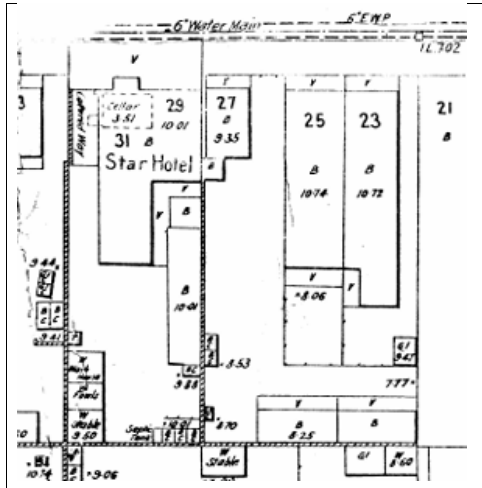

Authenticity	Moderate
Integrity	High – original use
Comment	Remnants of limestone walls to rear courtyard are also significant.
Recommendation	Retain on Heritage List Change place name to Star Hotel, 9 Essex and Management Category from Historic/ Archaeological site to Level 3
Proposed new statement of significance	Revise

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5. Duplex (Demolished), 11 Essex Street, Fremantle

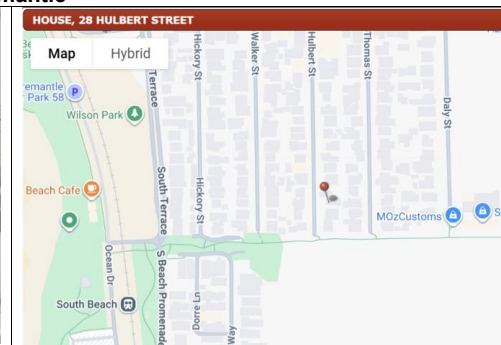

 <p>CURRENT PHOTO Driveway and carpark, 11 Essex Street</p>	 <p>HISTORIC PHOTO Panorama 1899</p>
<p>Why was the property identified for review?</p>	<p>To check listing and update management category</p>
<p>City of Fremantle Heritage List - Existing</p>	<p>Duplex (Demolished), 11 Essex Street,</p>
<p>Heritage Area</p>	<p>Central Fremantle Heritage Area</p>
<p>Local Heritage Survey - Existing</p>	<p>Duplex (Demolished), 11 Essex Street</p>
<p>Management Category - Existing</p>	<p>Historic/ Archaeological Site</p>
<p>Statement of significance - Existing</p>	<p><i>Duplex, 9-11 Essex Street, demolished 1986, is significant as a site because of its association with the mill at 15 Essex Street. 3-13 Essex Street originally comprised cottages and warehouses from 1900, associated with the Port Flour Mill.</i></p>
<p>Background</p>	<p>The street numbering has been confused, and this description relates to the adjacent property at 13 Essex Street</p>
<p>History</p>	<p>A small limestone cottage can be seen on this site as early as 1881 and in plans from 1907. Historic aerial photos show that the house was demolished in the 1960s and redeveloped as a carpark in the 1980s.</p>

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<p>Historic house at 11 Essex Street (originally numbered 27 Essex), the duplex is located next door, Metropolitan Sewerage Plans 1907</p>	<p>The house was demolished by 1965.</p>
<p>Physical description existing:</p>	<p>Demolished</p>
<p>Authenticity</p>	<p>Low</p>
<p>Integrity</p>	<p>Low</p>
<p>Comment</p>	<p>The listing needs to be changed to reflect the correct history. There may be archaeological material below the carpark paving.</p>
<p>Recommendation</p>	<p>Retain on HL Change Management Category from Historic/ Archaeological site to Level 3.</p>
<p>Proposed new statement of significance</p>	<p><i>DEMOLISHED- retained on MHI database for historical information purposes only.</i></p>


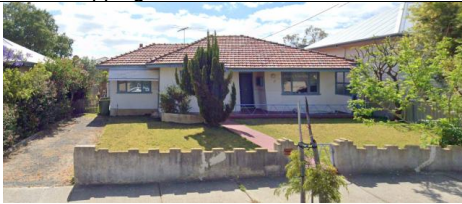

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6. House, 28 Hulbert Street, South Fremantle


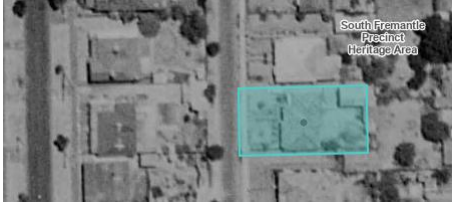
 <p>ESRI Mapping 2026</p>	 <p>HOUSE, 28 HULBERT STREET Map Hybrid INERIT MAPPING</p>
 <p>CURRENT PHOTO</p>	 <p>HISTORIC PHOTO Fremantle Society Survey, 1979</p>
<p>Why was the property identified for review?</p>	<p>Review of Heritage List</p>
<p>City of Fremantle Heritage List – Existing</p>	<p>House, 28 Hulbert Street, South Fremantle</p>
<p>Heritage Area</p>	<p>South Fremantle Heritage Area</p>
<p>Local Heritage Survey</p>	<p>Existing in Inherit</p>
<p>Management Category - Existing</p>	<p>Level 3</p>
<p>Statement of significance - Existing</p>	<p>See LHS record</p>
<p>Background</p>	<p>Added to the Heritage List as part of the 2025 review of the South Fremantle Heritage Area</p>
<p>History</p>	<p>-</p>
<p>Comment</p>	<p>The LHS information is correct but there is an error in the information in the</p>
<p>Recommendation</p>	<p>Retain on Heritage List Change address on Heritage List from 28 Inverleith Street to 28 Hulbert Street.</p>
<p>Proposed new statement of significance</p>	<p>No change</p>

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7. 12 Mardie Street, South Fremantle – (customer request to remove)

 <p>ESRI Mapping, 2023</p>	
 <p>EXISTING PHOTO 12 Mardie, Google Streetview 2021</p>	 <p>HISTORIC PHOTO Fremantle Society Survey 1979</p>
<p>Why was the property identified for review?</p>	<p>Calina Montibello (landowner) - Advised information on the construction date is incorrect.</p>
<p>City of Fremantle Heritage List - Existing</p>	<p>Added to heritage list as part of 2025 Review of SFHA</p>
<p>Heritage Area</p>	<p>South Fremantle Heritage Area</p>
<p>Local Heritage Survey - Existing</p>	<p>Yes – Inherit -27537</p>
<p>Management Category - Existing</p>	<p>Level 3</p>
<p>Statement of significance - Existing</p>	<p><i>HOUSE, 12 MARDIE STREET, a single storey timber and tile roofed house, is a representative example of a modest timber dwelling constructed in c1940, reflecting the architectural and social trends of the Inter-War period (c. 1915–1940). This place is significant as a modest yet important example of Fremantle’s residential history.</i></p> <p><i>The place has aesthetic value for its contribution to the streetscape and the surrounding area. The house exhibits characteristic features of the Inter-War Bungalow style. These elements contribute to the historical streetscape and the broader residential character of Fremantle. This bungalow reflects the suburban expansion of Fremantle, which included the expansion into Beaconsfield and Chesterfield, during the Inter-War period, when economic growth and advances in transportation facilitated the development of modest worker and middle-class</i></p>

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	<p><i>housing. It provides insight into the living conditions and domestic architecture of the era. The house contributes to Fremantle's community identity, representing a period when the area saw increased residential development to accommodate a growing population. It remains significant as part of the city's evolving heritage and connection to its working-class past. This house is a good example of the type and retains key architectural features that typify the period.</i></p>
Background	<p>The heritage value of this house was assessed as part of the 2025 review of the South Fremantle Heritage Area. In 2025 the place was added to the Heritage List and was identified as a contributory place.</p>
History	<p>The block of Mardie Street between South Street and Marth Street remained largely undeveloped until the Post War Era. Historic aerial photographs show that in 1947 the land is undeveloped and the road is a rough track. By 1954 the road has been formalised and about half of the blocks have new houses and by 1964 most blocks have been developed including 12 Mardie Street.</p>
 <p>DOLA Aerial 1947</p>	 <p>Aerial photo 1964</p>
Physical investigation	<p>A single storey timber framed house clad in asbestos cement sheeting with a hipped terracotta tile roof and a front verandah. The house has retained its original design features including timber casement windows and steel verandah balustrade. The brick fence to the front boundary has been rendered</p>
Authenticity	High
Integrity	High
Comment	<p>The construction date provided in the place record is incorrect. It was not constructed in the 1940s but between 1955 and 1964. However, the house is highly intact example of a Post- War Era</p>

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	House in a street block that was developed at this time. The Statement of Significance should be adjusted and historic detail corrected. Mardie Street was largely developed in the Post War Era but it has undergone considerable change in recent decades. 10, 12 and 14 Mardie Street form a group of original Post-War houses.
Recommendation	Retain on HL Retain as Level 3 and Contributory Update statement of significance.
Proposed new statement of significance	

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8. Princess Chambers (Biddles Building), 21-27 Market Street, Fremantle

 <p>ESRI Mapping 2026</p>	 <p>CURRENT PHOTO</p>
<p>Why was the property identified for review?</p>	<p>Two records linked to one property</p>
<p>City of Fremantle Heritage List – Existing</p>	<p>Princess Chambers (Biddles Building)</p>
<p>Heritage Area</p>	<p>West End Heritage Area</p>
<p>Local Heritage Survey – Existing in Inherit</p>	<p>Yes</p>
<p>Management Category - Existing</p>	<p>1A - West End, Fremantle 1B – Princess Chambers</p>
<p>Statement of significance - Existing</p>	<p>Refer to LHS</p>
<p>Background</p>	<p>Sites amalgamated</p>
<p>Comment</p>	<p>Need to improve ability to find information on places</p>
<p>Recommendation</p>	<p>Retain on HL Make parent place to Princess Theatre</p>
<p>Proposed new statement of significance</p>	<p>Retain unaltered.</p>



9. Princess Theatre, 29 – 33 Market Street

 <p>ESRI Mapping 2026</p>	 <p>CURRENT PHOTO</p>
<p>Why was the property identified for review?</p>	<p>Two records linked to one property</p>
<p>City of Fremantle Heritage List – Existing</p>	<p>Princess Theatre</p>
<p>Heritage Area</p>	<p>West End Heritage Area</p>
<p>Local Heritage Survey – Existing in Inherit</p>	<p>Yes</p>
<p>Management Category - Existing</p>	<p>1A - West End, Fremantle 1B – Princess Theatre</p>
<p>Statement of significance - Existing</p>	<p>Refer to LHS</p>
<p>Background</p>	<p>Sites amalgamated</p>

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Comment	Need to improve ability to find information on places
Recommendation	Retain on HL Make child place to Princess Chambers
Proposed new statement of significance	Retain unaltered.

10. Commercial Building, 99 Market Street, Fremantle

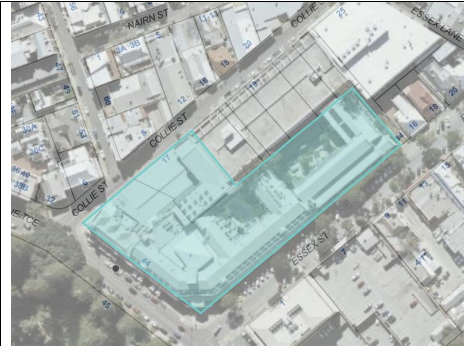
ESRI Mapping 2026	INERIT MAPPING
	
CURRENT PHOTO	HISTORIC PHOTO
Why was the property identified for review?	Review of Heritage List
City of Fremantle Heritage List – Existing	Commercial Building, 99 Market Street
Heritage Area	Central Fremantle Heritage Area
Local Heritage Survey – Existing in Inherit	Yes - 14767
Management Category - Existing	Historic/ Archaeological Site
Statement of significance - Existing	<i>Historically and socially significant as a former boarding house in the Old Port City of Fremantle. Aesthetic significance as a restrained example of a building in the Federation Free Classical style with two storey verandah and balcony with cast iron detail.</i>
Mapping – ESRI	Mapping - Inherit
Background	Part of first Municipal Heritage Inventory in 2000
History	<i>Inherit - The history of Lot 448 Market Street can be traced from 1880, when the rates records show two residences on the lot. In 1886, another dwelling was erected on the lot. In 1892, an 'office and dwelling house' appeared. This building is later described as a 'boarding house' or 'shop/dwelling' and becomes No. 99 Market Street. By 1894 there are two dwellings (Nos. 93-95) and a boarding house (No. 99). Nos. 93 and 95 Market Street are shown in print No. 1869 dated 1905, and held in the Local History Collection. No. 95 clearly had a verandah, but this does not extend over the footpath. By March 1909, No. 93 also appears to have a verandah. Both brick dwellings are shown with verandahs on a 1909 Sewerage Plan held by the Water Authority. These buildings are also</i>

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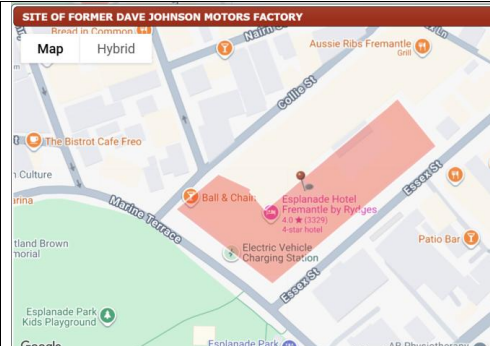
	<p><i>shown on a revised plan dated December 1916, and on both plans the verandahs do not extend beyond the allotment.</i></p> <p><i>Nos. 93 and 95 served as private residences until 1954 when they were demolished and replaced by showrooms and an open parking area or taxi depot.</i></p> <p><i>On 29 January 1954, building plans were approved and passed by Council for an office and waiting room for Dave Johnson Motors. On 11 August 1954, plans for a showroom and lubricatorium to the value of £6, 500 were approved and passed. These showrooms were completed by 1955. Dave Johnson Motors occupied and owned the premises at 93-97 Market St until 1980, when it passed to Porter and Partners. Subsequently F J Sherborne Customs agents c1989, then once again Dave Johnson Motors c1990.</i></p> <p><i>In 2011 the single storey former Dave Johnson Motors is two outlets, Sandrino and Portorosa cafes. The two storey corner building (99 Market St) is 'Ecco' espresso, pizza, beer and wine bar.</i></p>
Physical description existing:	<p><i>Inherit - Two storey rendered and truncated corner building. There is a corniced parapet with an arched pediment over the corner and gable pediments on the sides. There is a corrugated iron verandah to both levels with cast iron lace work balustrade to the first floor and brackets onto metal columns (probably not original). The ground floor has two arched entrances with glazed doors and fanlights and two entrances with bi-fold glazed doors that are probably not original.</i></p>
Authenticity	High
Integrity	High
Comment	There are two place records for this property, Commercial Building 99 Market Street and Houses (demolished), 93-95 Market Street.
Recommendation	<p>Retain on Heritage List</p> <p>Change name to Commercial Buildings, 93-97 Market Street</p> <p>Retain as Level 1B</p> <p>Make Houses (demolished), 93-95 Market Street a child place.</p>
Proposed new statement of significance	Retain existing

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11. Site of Dave Johnson Motors Factory



Inherit Mapping



Inherit Mapping





CURRENT PHOTO
Esplanade Hotel, 2024



HISTORIC PHOTO
Dave Johnson Motors workshop, 1962. Originally Captain Scott's Warehouse and used as temporary Convict Gaol in the early 1850s while Fremantle Prison under construction


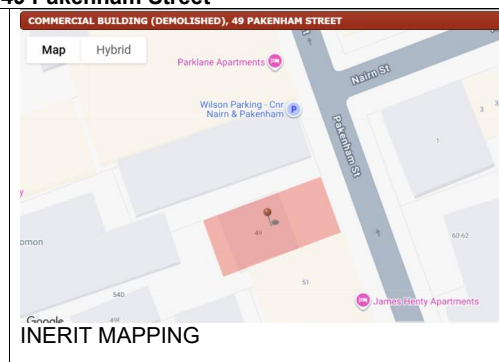

Why was the property identified for review?	To check listing and update management category
City of Fremantle Heritage List - Existing	Site of Dave Johnson Motors Factory
Heritage Area	No
Local Heritage Survey - Existing	Yes - 21250
Management Category - Existing	Historic/ Archaeological Site
Statement of significance - Existing	<i>DEMOLISHED- retained on MHI database for historical information purposes only.</i>
Background	Listing has been reviewed but not removed from Heritage List
History	Historic aerial photographs show that the former Warehouses built by the Harbour Master Captain Scott and extended for Convict accommodation in the 1850s and used by Dave Johnson Motors after the 1960s were largely intact up until their demolition for the new Esplanade Hotel. In the late 1980s

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	 <p>1980s Esplanade Hotel, 1989</p>
<p>Historic warehouses on Marine Terrace next to Esplanade Hotel, 1974</p>	
<p>Physical description existing:</p>	<p>Demolished</p>
<p>Authenticity</p>	<p>Low</p>
<p>Integrity</p>	<p>Low</p>
<p>Comment</p>	<p>Further investigation required to determine if any archaeological material remains on site. ESRI link for Esplanade Hotel site links to this heritage place rather than the more significant State Heritage listed Esplanade Hotel.</p>
<p>Recommendation</p>	<p>Retain on Heritage List Change Management Category from Historic/ Archaeological site to Level 3. Make Child Place to Esplanade Hotel listing</p>
<p>Proposed new statement of significance</p>	<p><i>Site of Captain Daniel Scott's warehouse, temporary Convict Gaol and Dave Johnson Motors Factory. May have the potential to contain sub-surface archaeological material.</i></p>

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12. Commercial Building (Demolished), 49 Pakenham Street




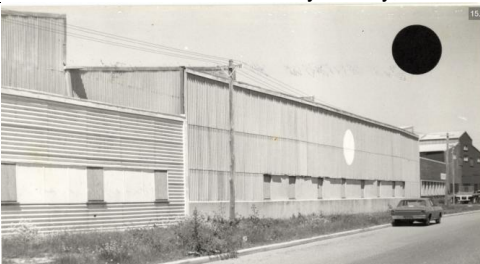
 <p>ESRI Mapping 2023</p>	 <p>INERIT MAPPING</p>
 <p>CURRENT PHOTO</p>	<p>HISTORIC PHOTO – N/A</p>
<p>Why was the property identified for review?</p>	<p>Place identified as 'demolished'</p>
<p>City of Fremantle Heritage List – Existing</p>	<p>Commercial Building (Demolished), 49 Pakenham Street</p>
<p>Heritage Area</p>	<p>Central Fremantle Heritage Area</p>
<p>Local Heritage Survey – Existing in Inherit</p>	<p>Yes - 21518</p>
<p>Management Category - Existing</p>	<p>Historic/ Archaeological Site</p>
<p>Statement of significance - Existing</p>	<p><i>Inherit - Commercial Building, 49 Pakenham Street, demolished 1964, is significant as a site because it represents the expansion of Fremantle in the gold boom period of the late nineteenth and early twentieth centuries, and the changing nature of the West End area.</i></p>
<p>Background</p>	<p>Part of original Municipal Heritage Inventory in 2000</p>
<p>History</p>	<p><i>Inherit - In 1964 the existing residence and shop dating from 1890s was demolished. Vacant lot as at 1990. Currently (2002), new apartment building (49a). This place contains a limestone feature. Aerial photos indicate that the site was vacant</i></p>

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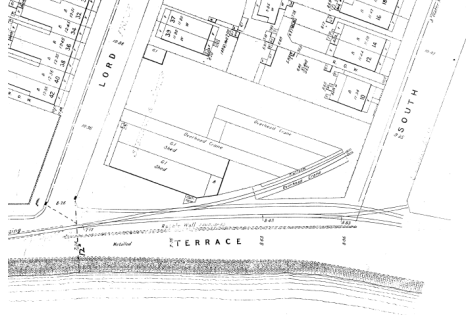



<p>Metropolitan Sewerage, Sheet 54, 1915</p>	<p>Aerial photo, 1947. House and outbuildings visible until 1965 aerial.</p>
<p>Physical description existing:</p>	<p>Demolished Early limestone walls may exist at the rear of the site – these are referenced as 'limestone features' in the place record..</p>
<p>Authenticity</p>	<p>Low</p>
<p>Integrity</p>	<p>Low</p>
<p>Comment</p>	<p>The stone house at the front of the site was demolished in the 1960s and the land has remained vacant as a carpark or lawn since then. This area has the potential to contain sub-surface archaeological material.</p>
<p>Recommendation</p>	<p>Retain on Heritage List Change Management Category from Historic/Archaeological site to Level 3.</p>
<p>Proposed new statement of significance</p>	<p>Site of an early stone house demolished in the 1960s, may contain sub-surface archaeological material.</p>

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13. Dyson Wools Building (Demolished) 7 Price Street




ESRI Mapping 2026	INERIT MAPPING
 <p>CURRENT PHOTO Price Street, 2007. Note earlier photo used to get a clearer view of the building form</p>	 <p>HISTORIC PHOTO Price Street – Fremantle Society Survey, 1979</p>
 <p>Marine Terrace, 2008. Note earlier photo used to get a clearer view of the building form</p>	 <p>HISTORIC PHOTO Marine Terrace – Fremantle Society Survey, 1979</p>
Why was the property identified for review?	Place identified as 'demolished'
City of Fremantle Heritage List – Existing	Dyson Wools Building (Demolished) 7 Price Street
Heritage Area	No
Local Heritage Survey – Existing in Inherit	Yes - 24616
Management Category - Existing	Historic/ Archaeological Site
Statement of significance - Existing	<i>DEMOLISHED- retained on MHI database for historical information purposes only.</i>
Mapping – ESRI	Mapping - Inherit
Background	Part of original Municipal Heritage Inventory, 2000
History	<p>In 1908 there were several large warehouses on the site served by a siding from the Owen Anchorage Rail Line which had only been recently constructed.</p> <p>By 1947 the site has been expanded to the east and redeveloped with a wassive warehouse with 6 gable roofed bays that run north to south and coveralmost the entire site. By 1974 the western three baus have been replaced with a large building with a flat roof.</p> <p>In the 1990s the site was redeveloped as Villa Marina a residential complex of townhouses set</p>

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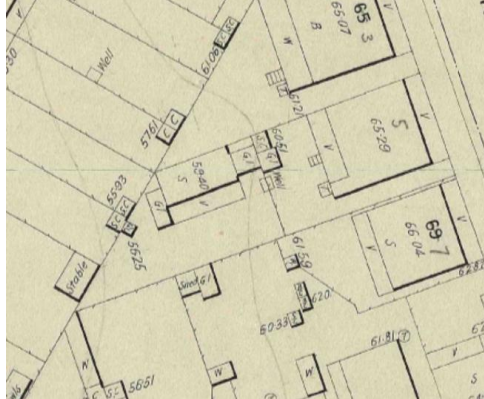
	<p>around a central open space. Historic aerial photographs show that the 1970s warehouse section was demolished but the Price and South Street facades of the Inter-War warehouse section were retained together with the roof the easternmost bay and some exposed roof structure of the other two bays.</p>
 <p>OCEAN Metropolitan Sewerage, Sheet 81, 1908</p>	 <p>Aerial Photo 1947</p>
 <p>Aerial photo 1989</p>	 <p>Aerial photo 1999</p>
<p>Physical description existing:</p>	
<p>Authenticity</p>	<p>Moderate – eastern Inter-War section only</p>
<p>Integrity</p>	<p>Low</p>
<p>Comment</p>	
<p>Recommendation</p>	<p>Retain on Heritage List Change Management Category from Historic/ Archaeological site to Level 3.</p>
<p>Proposed new statement of significance</p>	

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14. 5 Skinner Street, Fremantle (customer request to change management category)

 <p>ESRI mapping, 2023</p>	
 <p>CURRENT PHOTO, 2021</p>	 <p>HISTORIC PHOTO Fremantle Society Survey 1980</p>
<p>Why was the property identified for review?</p>	<p>Owner has requested that the Management Category is changed from Level 2 to Level 3 due to the extent of alteration to the building and because the adjacent house at 3 Skinner Street is a Level 3 although it is more authentic.</p>
<p>City of Fremantle Heritage List</p>	<p>Existing listing</p>
<p>Heritage Area</p>	<p>No</p>
<p>Local Heritage Survey - Existing</p>	<p>Yes – Inherit – 21706</p>
<p>Management Category - Existing</p>	<p>Level 2</p>
<p>Statement of significance - Existing</p>	<p><i>The place is an example of a stone residence representing the expansion of Fremantle in the gold boom period of the late nineteenth and early twentieth centuries. The place contributes to a substantially intact late nineteenth and early twentieth century streetscape close to the centre of Fremantle.</i></p>
<p>Background</p>	<p>5 Skinner Street was included on the first Fremantle Municipal Inventory in 2000 and added to the Heritage List in 2008. Note: inherit record updated in 2020? CHECK</p>

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<p>History</p>	<p><i>In 1891 there is a house on the lot owned by Thomas Keady. In 1893 there is a cottage at the front owned by Thomas Keady and a cottage at the back owned and occupied by Margaret Nugent. In 1905/06 there is a cottage on the lot owned and occupied by Kenneth McKenzie and a cottage at the back owned and occupied by Margaret Nugent.</i></p> <p>A plan of the area from 1909 shows the cottage with a front and back verandah at the front of the site a second smaller stone cottage behind.</p> <p>When the house was photographed in 1981 by the Fremantle Society the façade appears to have been altered in the Post War with new horizontal format windows, a render finish on the walls and a new verandah with a flat concrete roof, steel posts and face brick balustrade.</p> <p>By 2009 the Post-War era verandah has been replaced with a new steel framed verandah with a skillion roof clad in corrugated steel. The walls have been re-rendered and ashlar lined.</p>
 <p>Panorama from Burt Street Hill, 1910 Fremantle History Centre</p>	 <p>Detail from panorama showing 3, 5 and 7 Skinner Street (R to L), 1910</p>
 <p>Metropolitan Sewerage Sheet – 40, 1909 5 Skinner Street was 67 Skinner Street until 1930s.</p>	 <p>Metropolitan Sewerage Sheet – 40, 1909</p>

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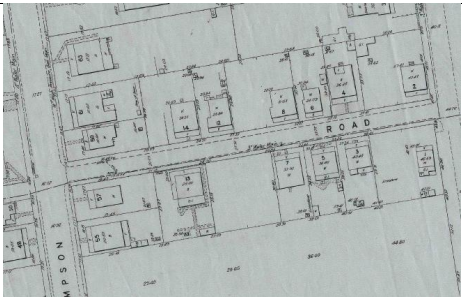
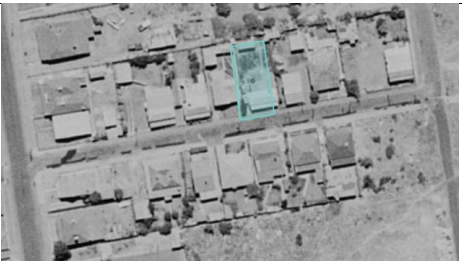
The second cottage can be seen at the rear.	
Physical investigation	<p>Traditional Victorian Georgian style house with four main rooms and a central corridor under a simple hipped roof with a separate front verandah.</p> <p>Modification to front verandah posts, floor and balustrade. Double hung sashes replaced with horizontal format casement windows and masonry walls rendered. These changes are typical of Post-War renovations.</p>
Authenticity	Moderate
Integrity	High
Comment	<p>5 Tuckfield Street is moderately intact</p> <p>The block bounded by Skinner Finnerty and Tuckfield Street is a highly significant heritage precinct – this area was almost completely developed by 1909 and has retained a very high proportion of the original houses – 30 out of 37 houses are on the heritage list – the majority as Level 2. Photos from the late 1970s indicate that most of these houses were modified to a degree during the Inter-War and Post-War eras and that many of these changes have been reversed since then.</p> <p>3, 5 & 7 Skinner all showed similar levels of alteration in the late 1970s, and all were listed in 2000. However, 7 and 5 were graded as Level 2 but 3 was Level 3. Recently 7 has been successfully conserved.</p> <p>Although there seems to be some variation with the approach to grading the significance of houses in this area, a more methodical approach would be for intact houses, or houses that have had their original form authentically reinstated to be graded at Level 2 whereas those that have been modified should be Level 3.</p>
Recommendation	Change management category from Level 2 to Level 3
Proposed new statement of significance	Modification not required

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15. House, 8 Staples Street, North Fremantle (customer request to modify description)


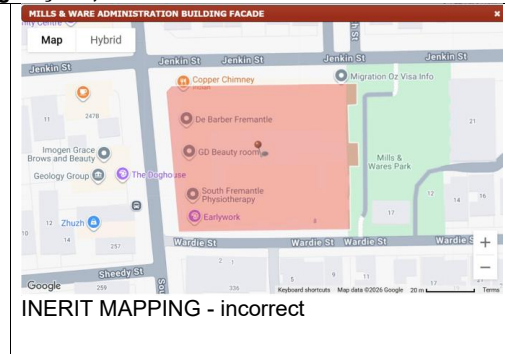
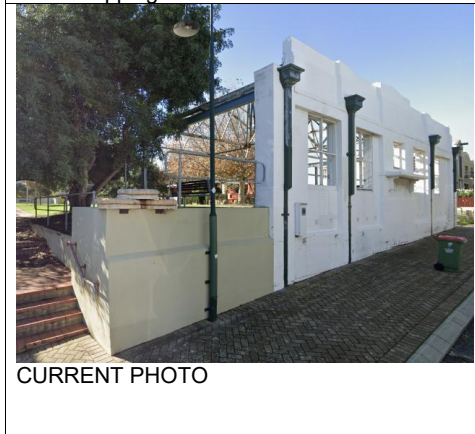

 <p>ESRI Mapping</p>	
 <p>CURRENT PHOTO</p>	 <p>HISTORIC PHOTO Inherit 2009</p>
<p>Why was the property identified for review?</p>	<p>Property owner asked for the description of the house to be modified to remove the reference to the front boundary wall.</p>
<p>City of Fremantle Heritage List - Existing</p>	<p>House, 8 Staples Street</p>
<p>Heritage Area</p>	<p>North Fremantle Heritage Area</p>
<p>Local Heritage Survey - Existing</p>	<p>Yes – Inherit - 27644</p>
<p>Management Category - Existing</p>	<p>Level 3</p>
<p>Statement of significance - Existing</p>	<p><i>House, 8 Staples Street, is a single storey timber and iron house dating from the early decades of the twentieth century. The place has aesthetic value for its contribution to the streetscape and the surrounding area. It is representative of the typical building stock located within the residential areas of Fremantle. It is historically significant as a representation of typical workers' houses in the Fremantle area. The place is an example of the Victorian Georgian style of architecture.</i></p>
<p>Background</p>	<p>This place has been listed since 2000</p>
<p>History</p>	<p>A timber house with a front verandah is shown on a sewerage plan of the area from 1940. Aerial photographs from 1947 until 2025 show that the roof form and outline of the house have remained largely unaltered apart from an extension to the rear added around 2012.</p>

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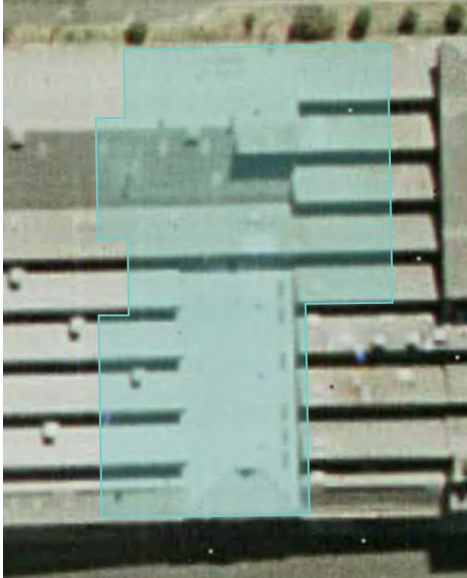

 <p>Metropolitan Sewerage plan, 1940</p>	 <p>Aerial photo, 1965 Post-War infill</p>
<p>Physical description</p>	<p>Existing text – <i>“8 Staples Street is a single storey timber and corrugated iron house constructed in the Victorian Georgian style of architecture. The walls are timber framed and clad with weatherboard. The roof is hipped and clad with corrugated iron. The verandah is under a separate iron bull nose roof supported by turned timber posts. The front façade has a central front door flanked on either side by timber framed sash windows. There is a low rendered masonry wall to the front boundary.”</i></p>
<p>Authenticity</p>	<p>High</p>
<p>Integrity</p>	<p>High</p>
<p>Comment</p>	<p>The physical description of the house is accurate. The low rendered wall to the front boundary dates from the Post-War Era and has little heritage significance. The physical description can be modified to clarify that it is not original or early building fabric.</p>
<p>Recommendation</p>	<p>Retain on Heritage List and at Level 3 Modify physical description of the place.</p>
<p>Statement of significance</p>	<p>Retain unaltered.</p>

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16. Mills & Ware Administration Building Façade, 10 Wardie St South Fremantle


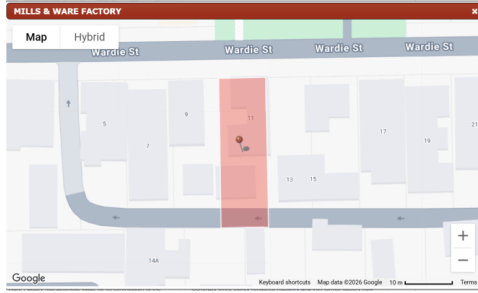


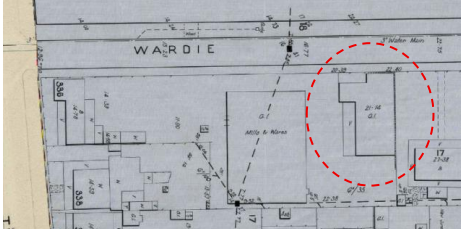

 <p>ESRI Mapping 2026</p>	 <p>INERIT MAPPING - incorrect</p>
 <p>CURRENT PHOTO</p>	 <p>HISTORIC PHOTO The administration building can be glimpsed in the Wardie Street side of the Biscuit Factory, 1979.</p>
<p>Why was the property identified for review?</p>	<p>Officer nomination</p>
<p>City of Fremantle Heritage List – Existing</p>	
<p>Heritage Area</p>	<p>Central Fremantle Heritage Area</p>
<p>Local Heritage Survey – Existing in Inherit</p>	
<p>Management Category - Existing</p>	<p>Historic/ Archaeological Site</p>
<p>Statement of significance - Existing</p>	<p><i>Mills and Ware Administration Building Façade has aesthetic value for its contribution to the streetscape and the surrounding area. It is representative of the industrial uses in the South Fremantle area.</i></p>
<p>Mapping – ESRI</p>	<p>Mapping - Inherit</p>
<p>Background</p>	
<p>History</p>	<p>Redeveloped as the public open space component of the mixed use development, sections of steel framed roofs and columns have been retained to interpret the form of the original factory buildings.</p>

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<p>Aerial photo, 1985</p>	<p>Aerial photo 1999</p>
<p>Physical description existing:</p>	<p>A white painted brick single storey facade of the former Mills and Ware Administration Building. Glass has been removed from windows but frames remain. Roof covering removed but metal truss structure remains. The front facade has a parapet and several decorative features within the brickwork. Large downpipes also remain. Behind the facade the area is utilised as a collective garden space for the adjoining residential development of the Mills and Ware Factory. The facade is located on the front boundary line.</p>
<p>Authenticity</p>	<p>Moderate</p>
<p>Integrity</p>	<p>Low</p>
<p>Comment</p>	<p>Several sections of steel structure remain within the park and also part of the factory wall on Jenkin Street.</p>
<p>Recommendation</p>	<p>Retain on Heritage List Retain as Level 2 Mills and Ware Administration Building, Mills and Ware Park</p>
<p>Proposed new statement of significance</p>	<p>Retain existing</p>

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17. Mills & Ware Factory, 11 Wardie St South Fremantle

 <p>ESRI Mapping 2023</p>	 <p>INHERIT MAPPING</p>
 <p>CURRENT PHOTO</p>	 <p>HISTORIC PHOTO Fremantle Society Survey 1978</p>
<p>Why was the property identified for review?</p>	<p>Officer nomination</p>
<p>City of Fremantle Heritage List – Existing</p>	<p>Mills & Ware Factory, 11 Wardie Street</p>
<p>Heritage Area</p>	<p>Central Fremantle Heritage Area</p>
<p>Local Heritage Survey – Existing in Inherit</p>	<p>Mills & Ware Factory</p>
<p>Management Category - Existing</p>	<p>Historic/ Archaeological Site</p>
<p>Statement of significance - Existing</p>	<p><i>Mills and Ware Factory has aesthetic value for its contribution to the streetscape and the surrounding area. It is representative of the industrial uses in the South Fremantle area.</i></p>
<p>Mapping – ESRI</p>	<p>Mapping - Inherit</p>
<p>Background</p>	<p>This place record is mixed up with the record for the main factory building at 330 South Terrace</p>
<p>History</p>	<p>Constructed between 1915 and 1954 Converted to a residence 1990s.</p>
 <p>Metropolitan sewerage, 1954</p>	 <p>Documentary evidence</p>
<p>Physical description existing:</p>	<p>Inherit description is for main factory building.</p>

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	11 Wardie Street is a single storey former warehouse building with a brick façade in the Inter-War Functionalist style and a hipped roof.
Authenticity	Moderate
Integrity	Low
Comment	-
Recommendation	Retain on Heritage List Change name to Mills and Ware Building Retain as Level 2
Proposed new statement of significance	<i>Mills and Ware Building has aesthetic value for its contribution to the industrial streetscape in Jenkin Street and for its association with the nearby Mills and Ware Biscuit Factory. It is a representative example of an industrial building in the Inter-War Functionalist style. It is representative of the industrial uses in the South Fremantle area.</i>

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18. House (Demolished), 47 Wray Avenue (customer request to remove 64A Attfield Street, from listing for 47 Wray Avenue)

 <p>1-5/47 Wray Avenue</p>	 <p>64B Attfield Street with the adjacent affected properties 1-5/ 47 Wray Avenue, 64A Attfield and 64C Attfield, ESRI Mapping 2023</p>
 <p>64A Attfield Street</p>	
 <p>64B & 64C Attfield Street</p>	
<p>Why was the property identified for review?</p>	<p>The owner of 64B Attfield Street requested that the heritage listing for their house be reviewed because the heritage listing House (Demolished), 47 Wray Avenue applies to all the properties that were historically part of the site 47 Wray Avenue even those redeveloped in the 1980s. As part of this review the following properties are being investigated</p> <ul style="list-style-type: none"> - 64A Attfield 64B Attfield 64C Attfield 1-5/ 47 Wray Avenue
<p>City of Fremantle Heritage List - Existing</p>	<p>House (Demolished), 47 Wray Avenue</p>

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Heritage Area	No
Local Heritage Survey - Existing	Yes – Inherit -
Management Category - Existing	Historic/ Archaeological Site
Statement of significance - Existing	<i>DEMOLISHED- retained on MHI database for historical information purposes only.</i>
Background	<p>47 Wray Avenue was included on the first Fremantle Municipal Inventory in 2000.</p> <p>The house originally numbered 47 Wray Avenue House has not been demolished and is now numbered 64A Attfield Street. The land around the house has been subdivided and redeveloped and no longer contains any elements associated with the original house.</p>
History	<p>Metropolitan Sewerage plans for Wray Avenue show that by 1908 much of the street had been developed with houses and duplexes and some pockets of commercial buildings but 47 Wray Avenue was vacant.</p> <p>Post Office Directories show that by 1927 there was a house on site occupied by Alec McCallum, JP, MLA (Min Public Works). The McCallum family lived at 47 Wray Avenue until 1947.</p> <p>The house is visible in an aerial photo from 1947. Unlike earlier development in the street, it is set well back from the road behind a large garden.</p> <p>McCallum was a unionist and Labor politician and became the Member for South Fremantle in 1921. He served as Deputy Premier and Minister for Works in two governments, 1924-30 and 1930-35, before retiring to take up position as the CEO of the Agricultural Bank.</p> <p>In 1978 J.B. Dethridge purchased the property and it was subdivided and developed in 1980. The Architect Brian Klopper designed the development which included a terrace of five townhouses facing Wray Avenue and two separate houses facing Attfield Street. The original house was left largely intact in the centre of the site and was accessed from Attfield Street.</p>

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<p>Aerial Photograph 1947 showing the house at 64A Attfield Street</p>	<p>Aerial Photograph 1981 showing infill development being constructed around the original house at 47 Wray Avenue.</p>
	
<p>47 Wray Avenue, Fremantle Society Survey 1979-81</p>	<p>Side view of 47 Wray Avenue on Attfield Street, , Fremantle Society Survey 1979-81</p>
<p>Physical investigation</p>	<p>64A Attfield Street is a single storey Californian Bungalow style house from 1928.</p> <p>The contemporary single storey houses facing Wray Avenue have been inspired by the style and form of tradition housing in the street but have been constructed with modern materials and detailing.</p> <p>The two houses facing Attfield Street are representative examples of the houses designed by Brian Klopper in the 1980s – 2000s and exhibit his distinctive aesthetics, construction techniques and material selection including the use of recycled brickwork, salvaged timbers and railway rails together with unusual, shaped feature windows and leadlights.</p>

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Authenticity	High/ Moderate
Integrity	High
Comment	The contemporary development does not contribute to the significance of the place and should not be included in this place. However, before the heritage protection is removed from the contemporary buildings consideration should be given to the potential heritage value of these Late 20 th Century houses and the contribution that they have made to the character and sense of place of modern Fremantle.
Recommendation	Defer the decision to remove 64B and 64C Attfield Street and 1-5/47 Wray Avenue from the listing to allow for further research, consultation and consideration of the value of these places.
Proposed new statement of significance	TBA

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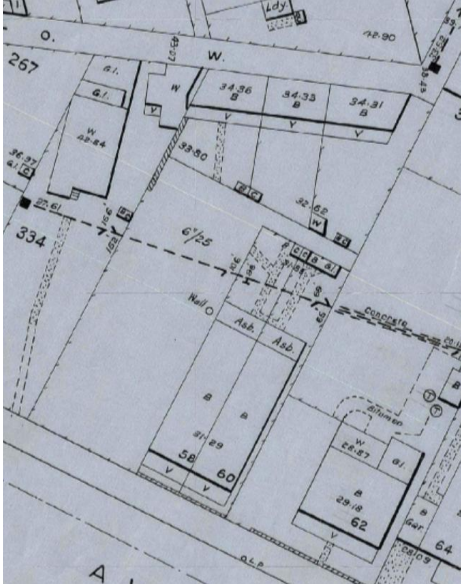

19. Limestone Feature(s), 54 Wray Avenue

 <p>ESRI Mapping 2026</p>	 <p>INERIT MAPPING</p>
 <p>CURRENT PHOTO - House</p>	 <p>HISTORIC PHOTO</p>
 <p>CURRENT PHOTO - Triplex</p>	<p>HISTORIC PHOTO – N/A</p>
<p>Why was the property identified for review?</p>	<p>Officer nomination</p>
<p>City of Fremantle Heritage List – Existing</p>	<p>Limestone feature(s), 54 Wray Avenue</p>
<p>Heritage Area</p>	<p>Central Fremantle Heritage Area</p>
<p>Local Heritage Survey – Existing in Inherit</p>	<p>22342</p>
<p>Management Category - Existing</p>	<p>Level 3</p>
<p>Statement of significance - Existing</p>	<p><i>The use of limestone is part of the Fremantle landscape and gives the City coherence and character. Limestone walls were built around</i></p>

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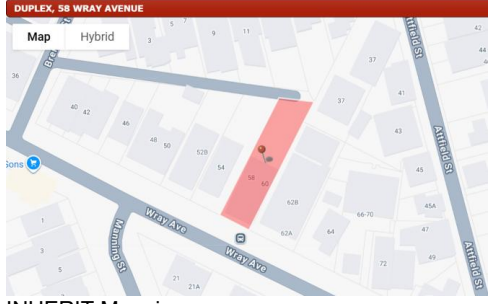




	<p><i>properties in Fremantle to prevent sand drift in response to an early building regulation dating from the 1830s. Limestone walls are one commonly encountered example of use of this stone as a building material, most of them dating from the 19th century and early years of the 20th century. Most of the limestone in small walls came from local quarries.</i></p>
<p>Background</p>	<p>Part of first Municipal Heritage Inventory in 2000</p>
<p>History</p>  <p>Roof of triplex as viewed from the ROW behind the site, 1970. The back wall of the triplex is formed by the natural limestone cliff face.</p>  <p>Triplex with gardens and chicken yard, 1970.</p>	<p>Inherit - <i>This lot was formerly numbered 64; renumbering occurred in 1930/31. It should be noted that the adjacent duplex property was numbered 64/66. The numbering system was often inconsistent and changed as buildings were constructed in the rear of lots.</i></p> <p><i>A plan of the site in 1907 shows that there was no building on the front of the lot but three small brick residences were located at the rear of this lot and the rear of the lot to the east. Of note was a substantial stone wall located on portion of the western property boundary. It shielded these residences from the property located to the west. The remainder of the lot boundaries were fenced. Further research of the rates books for the period in the early 1900s is required to establish the date of construction and the owner of the property at that time.</i></p> <p><i>This place was identified in the "Heritage Report on: 19th century limestone walls and steps in Fremantle" prepared by Silvana Grassadonia, for the City of Fremantle, 1986.</i></p> <p>Metropolitan Sewerage plans from 1908 and 1954 show a triplex of tiny houses located at the rear of 54, 58 and 60 Wray Avenue adjacent to the ROW but the remainder of 54 Wray Avenue is vacant. Historic aerial photographs show that a house was constructed at the front of the site between 1953 and 1965. This house is set further back from the site boundary than the early surrounding development.</p> <p>The property file for 54-60 Wray Avenue contains a health report on the poor condition of the tiny houses in the rear terrace and they are condemned as unfit for human habitation: <i>On 26th March, 1970, I inspected the premises, which consist of three separate occupancies each of two small rooms and a five foot wide verandah built under an iron ekillion roof, pitched off a rubble wall built to retain the ground at the rear, which is about nine foot higher. There is no cavity on the rear wall which is damp and mildewed, the flooring has rotted away in places and there is no natural light to the rooms.</i></p>

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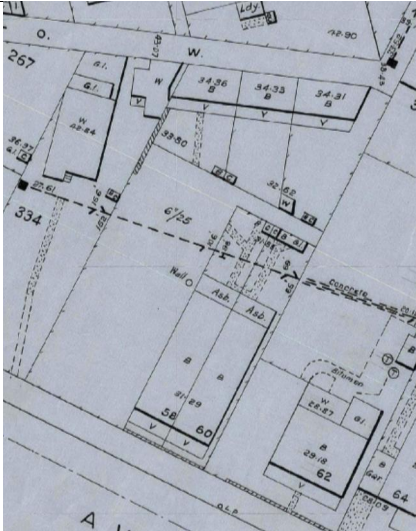

	<p>In 2018 the Post-War house at 54 Wray Avenue was significantly altered and extended. The triplex cottage at the rear of the site was conserved and refurbished. In 2025 The site was subdivided with one triplex cottage remaining in 54 Wray Avenue and the other two cottages with 58-60 Wray Avenue.</p>
	
<p>Metropolitan Sewerage Sheet 2079, 1954</p>	<p>Aerial photo 1965</p>
<p>Physical description existing:</p>	<p>Limestone boundary wall (north-west corner of site) Add description of triplex.</p>
<p>Authenticity</p>	<p>High</p>
<p>Integrity</p>	<p>High</p>
<p>Comment</p>	<p>The significant heritage elements at 54 Wray Avenue are the limestone features and limestone triplex at the rear of the site. The importance of the triplex needs to be emphasized in the heritage listing.</p>
<p>Recommendation</p>	<p>Retain on Heritage List Change name of place from Limestone Feature(s), 54 Wray Ave to Triplex and Limestone Features (rear), 54 Wray Ave. Retain as Level 3.</p>
<p>Proposed new statement of significance</p>	<p>Expand statement to include information on the triplex.</p>

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20. Duplex, 58 Wray Avenue, Fremantle


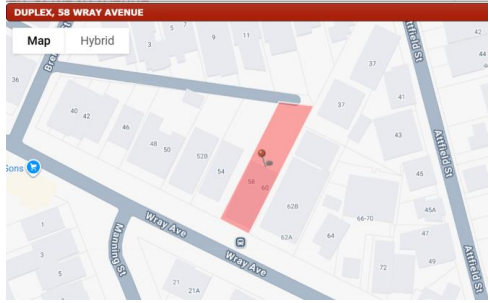




 <p>ESRI Mapping – 58 and 60 Wray Avenue</p>	 <p>INHERIT Mapping</p>
 <p>CURRENT PHOTO</p>	 <p>HISTORIC PHOTO, 1979</p>
 <p>CURRENT PHOTO Triplex, 2025</p>	 <p>HISTORIC PHOTO Triplex with enclosed veranda, CoF 1970</p>
<p>Why was the property identified for review?</p>	<p>Officer nomination</p>
<p>City of Fremantle Heritage List – Existing</p>	<p>Duplex, 58 Wray Avenue</p>
<p>Heritage Area</p>	<p>No</p>
<p>Local Heritage Survey – Existing in Inherit</p>	<p>22343</p>
<p>Management Category - Existing</p>	<p>Level 3</p>
<p>Statement of significance - Existing</p>	<p><i>Duplex, 58 - 60 Wray Avenue, is a typical limestone and tile single storey duplex pair dating from 1900. The place has aesthetic value for its contribution to the streetscape and the surrounding area. It is representative of the typical workers' houses with attached commercial premises in the Fremantle area. The place is an</i></p>

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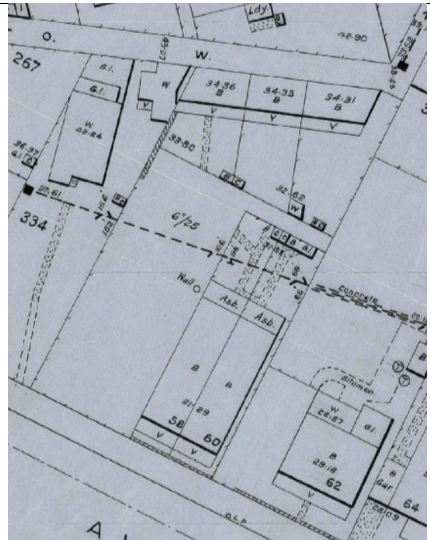

	<i>example of the Federation Bungalow style of architecture.</i>
Mapping – ESRI	Mapping - Inherit
Background	Part of first MHI in 2000
History	<p>Duplex 58-60 Wray Avenue was formerly 64/66 Wray Avenue; renumbering occurred in 1935/36. No 60 was formerly 66 Wray Avenue.</p> <p>This duplex is first recorded in the Post office Directories in 1900 and the occupant of 60 Wray Avenue was Charles King. Further research of the rates books for this period may establish the exact date of construction and the original owner of the property.</p> <p>The 1908 sewerage plan shows this brick duplex has a simple rectangular form with verandahs across the front of the duplex halves and brick closets in the back yard. It is of interest that three brick dwellings were located at the rear of this duplex, which backed on to the right of way.</p>
	
Metropolitan Sewerage Sheet 2079, 1954	Aerial photo 1965
Physical description	Add description of triplex
Authenticity	High
Integrity	High
Comment	The significant heritage elements at 54 Wray Avenue are the limestone features and limestone triplex at the rear of the site. The importance of the triplex needs to be emphasized in the heritage listing.
Recommendation	<p>Retain on Heritage List</p> <p>Change name of place Duplex, 58 Wray Ave to Duplex and rear triplex, 58 Wray Ave.</p> <p>Retain as Level 3.</p>
Proposed new statement of significance	Include information on the triplex

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21. Duplex, 60 Wray Avenue, Fremantle

 <p>ESRI Mapping – 58 and 60 Wray Avenue</p>	 <p>INHERIT Mapping</p>
 <p>CURRENT PHOTO</p>	 <p>HISTORIC PHOTO, 1979</p>
 <p>CURRENT PHOTO Triplex, 2025</p>	 <p>HISTORIC PHOTO Triplex with enclosed veranda, CoF 1970</p>
<p>Why was the property identified for review? City of Fremantle Heritage List – Existing</p>	<p>Officer nomination Duplex, 60 Wray Avenue</p>
<p>Heritage Area</p>	<p>No</p>
<p>Local Heritage Survey – Existing in Inherit</p>	<p>22344</p>
<p>Management Category - Existing</p>	<p>Level 3</p>
<p>Statement of significance - Existing</p>	<p><i>Duplex, 58 - 60 Wray Avenue, is a typical limestone and tile single storey duplex pair dating from 1900. The place has aesthetic value for its contribution to the streetscape and the surrounding area. It is representative of the typical workers' houses with attached commercial premises in the Fremantle area. The place is an</i></p>

2026 UPDATE of Heritage List and Local Heritage Survey

	<i>example of the Federation Bungalow style of architecture.</i>
Mapping – ESRI	Mapping - Inherit
Background	Part of first MHI in 2000
History	<p>Duplex 58-60 Wray Avenue was formerly 64/66 Wray Avenue; renumbering occurred in 1935/36. No 60 was formerly 66 Wray Avenue.</p> <p>This duplex is first recorded in the Post office Directories in 1900 and the occupant of 60 Wray Avenue was Charles King. Further research of the rates books for this period may establish the exact date of construction and the original owner of the property.</p> <p>The 1908 sewerage plan of this site shows this brick duplex has a simple rectangular form with verandahs across the front of the duplex halves and brick closets in the back yard. It is of interest that three brick dwellings were located at the rear of this duplex, which backed on to the right of way.</p>
	
Metropolitan Sewerage Sheet 2079, 1954	Aerial photo 1965
Physical description	Add description of triplex
Authenticity	High
Integrity	High
Comment	The importance of the triplex needs to be emphasized in the heritage listing.
Recommendation	<p>Retain on Heritage List</p> <p>Change name of place Duplex, 60 Wray Ave to Duplex and rear triplex, 60 Wray Ave.</p> <p>Retain as Level 3.</p>
Proposed new statement of significance	include information on the triplex

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Attachment 3





Assessment of Places to remove from Heritage List

Note: Bold indicates place nominated for review by owner



1. Prospect House (Demolished), 33 Adelaide Street, Fremantle
2. House (Demolished), 13 Blinco Street, Fremantle
3. House (Demolished) 23 Chamberlain Street, O'Connor
4. Warehouse (Demolished), 3 Collie Street, Fremantle
5. Workshop (Demolished), 17 Collie Street, Fremantle
6. Former Public Works Department Depot (Demolished), 15 Corkhill Street, North Fremantle
7. Warehouse (Demolished), 13 Essex Street (Fast Eddy's Building, Warehouse (Fmr), Fremantle
8. Shop & House (Demolished), 12-14 Essex Street
9. House (Demolished), 17 Hampton Road, Fremantle
10. House (Demolished), 19 Hampton Road, Fremantle
11. Timber Framed Houses (Duplex (Demolished), 74-76 Hampton Road), Fremantle
- 12. House, 12 Hickory Street**
13. House (Demolished), 166 High Street, Fremantle
14. House (Demolished), 168 High Street, Fremantle
15. House (Demolished), 170 High Street, Fremantle
16. House (Demolished), 8 Jarvis Street, O'Connor
17. Site Of St Paul Lutheran Church, 2 Josephson, Fremantle
18. Site Of Joyce Brothers Factory, 3-5 Josephson, Fremantle
19. Duplex (Demolished), 12 Josephson Street, Fremantle
20. House (Demolished), 4 Letitia Road, North Fremantle
21. Houses (Demolished), 93-95 Market Street, Fremantle
22. Terrace (Demolished), 5 Norfolk Street, Fremantle
23. Terrace (Demolished), 6 Norfolk Street, Fremantle
24. Terrace (Demolished), 11 Norfolk Street, Fremantle
25. Terrace (Demolished), 13 Norfolk Street, Fremantle
26. Building, 16 Norfolk Street, Fremantle
27. Limestone Features, 38 Norfolk Street, Fremantle
28. House Demolished 19 Solomon Street, Fremantle
29. Matrons Quarters-Fremantle Hospital (Demolished), 75 Solomon Street, Fremantle
30. Sunny West Factory (Demolished), 118 Solomon Street, Fremantle
31. House & Stables (Demolished), 122 Solomon Street, Fremantle
32. Duplex (Demolished), 44 South Street, Fremantle
33. Duplex (Demolished), 46 South Street, Fremantle
34. Commercial Building (Demolished), 55 South Terrace, Fremantle
35. Caretaker's House (Demolished), 90 South Terrace, Fremantle
36. House (Demolished), 102 Stirling Highway, North Fremantle
37. Antiques Shop, 109 Stirling Highway, North Fremantle
38. House, 65 Tuckfield Street (Demolished) (Simla), Fremantle
39. Site Of Former Mills & Ware Factory-Shed, 5 Wardie, St South Fremantle

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1. Prospect House (Demolished), 33 Adelaide Street, Fremantle

 <p>ESRI Mapping 2026</p>	 <p>Inherit mapping</p>
 <p>CURRENT PHOTO 33 Adelaide Street, Google Streetview 2024</p>	 <p>HISTORIC PHOTO Prospect House, Fremantle History Centre</p>
<p>Why was the property identified for review?</p>	<p>Review of places described as 'demolished'</p>
<p>City of Fremantle Heritage List - Existing</p>	<p>PROSPECT HOUSE (DEMOLISHED)</p>
<p>Heritage Area</p>	<p>No</p>
<p>Local Heritage Survey – Inherit -</p>	<p>PROSPECT HOUSE (DEMOLISHED), 33 ADELAIDE STREET</p>
<p>Management Category - Existing</p>	<p>Historic/ Archaeological Site</p>
<p>Statement of significance - Existing</p>	<p><i>Prospect House (Demolished 1968), 33 Adelaide Street, is significant as a site because it was built in 1886 for William Dockray Jackson, who arrived in Western Australia c1840. He was a Rottnest Island Pilot Boat Captain, and Superintendent of Rottnest Island from 1867-1885.</i></p>
<p>Background</p>	<p>Part of first Fremantle Municipal Heritage Inventory 2000, added to Heritage List 2008.</p>
<p>History</p>	<p>House constructed 1886 and demolished 1960s for existing commercial building. Refer to Inherit Place Record for further details</p>

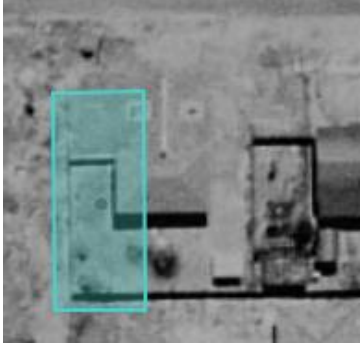

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Historic house and outbuildings extant in 1965	Vacant site, 1971
Physical description existing:	Demolished
Authenticity	Low
Integrity	Low
Comment	The site was fully developed after demolition of the original building so it is highly unlikely that there will be intact sub surface archaeological material on site.
Recommendation	Remove from Heritage List Change Management Category from Historic/ Archaeological site to Level 4.
Proposed new statement of significance	DEMOLISHED- retained on MHI database for historical information purposes only.


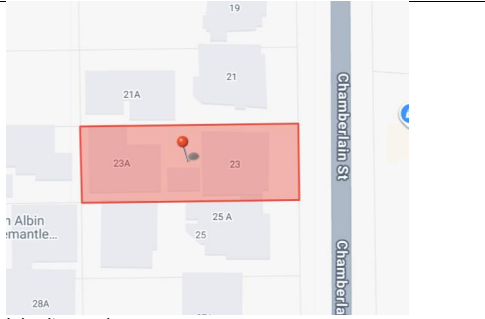
2. House (Demolished), 13 Blinco Street, Fremantle

	N/A HISTORIC PHOTO
CURRENT PHOTO 13 & 13A Blinco Street, Google Streetview 2024	
Why was the property identified for review?	To check listing and update management category
City of Fremantle Heritage List - Existing	House (Demolished), 13 Blinco Street, Fremantle
Heritage Area	No
Local Heritage Survey - Existing	House (Demolished), 13 Blinco Street, Fremantle
Management Category - Existing	Historic/ Archaeological Site
Statement of significance - Existing	<i>DEMOLISHED- retained on MHI database for historical information purposes only.</i>
Background	Listing has been reviewed but not removed from Heritage List




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History	Aerial photos show that a simple house was constructed on a vacant site between 1953 and 1965. This house was demolished in the 1990s and the site was subdivided into 13 and 13A Blinco. A house was built at 13A Blinco in 1999 followed by a house at 13 Blinco in 2001.
	
Historic house and outbuildings Physical description existing:	Demolished
Authenticity	Low
Integrity	High – same use
Comment	Given the extent of recent construction on site it is highly unlikely that there will be any archaeological material on site.
Recommendation	Remove from Heritage List Change Management Category from Historic/ Archaeological site to Level 4.
Proposed new statement of significance	<i>DEMOLISHED- retained on MHI database for historical information purposes only.</i>

3. House (Demolished), 23 Chamberlain Street, O-Connor

	
ESRI Mapping	Inherit mapping

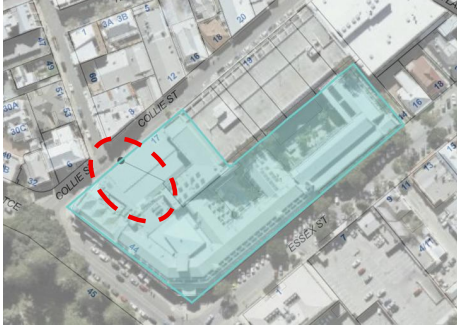



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 <p>CURRENT PHOTO 23 Chamberlain Street, Google Streetview 2021</p>	<p>N/A HISTORIC PHOTO</p>
<p>Why was the property identified for review?</p>	<p>To check listing and update management category</p>
<p>City of Fremantle Heritage List - Existing</p>	<p>House (Demolished), 23 Chamberlain</p>
<p>Heritage Area</p>	<p>No</p>
<p>Local Heritage Survey – Existing - 20439</p>	<p>House (Demolished), 23 Chamberlain</p>
<p>Management Category - Existing</p>	<p>Historic/ Archaeological Site</p>
<p>Statement of significance - Existing</p>	<p><i>DEMOLISHED RECOMMENDED FOR DELETION 2010</i></p>
<p>Background</p>	<p>Listing has been reviewed but not removed from Heritage List</p>
<p>History</p>	<p>Historic aerial photographs show that a modest house was built on a formerly vacant site between 1953 and 1965. This house was demolished for the existing brick and tile house in the late 1980s.</p>
 <p>Post-War house and outbuildings, 1965</p>	 <p>Existing house, 1989</p>
<p>Physical description existing:</p>	<p>Demolished</p>
<p>Authenticity</p>	<p>Low</p>
<p>Integrity</p>	<p>Low</p>
<p>Comment</p>	<p>Given the extent of construction on site it is highly unlikely that there will be any archaeological material on site.</p>
<p>Recommendation</p>	<p>Remove from Heritage List Change Management Category from Historic/ Archaeological site to Level 4.</p>


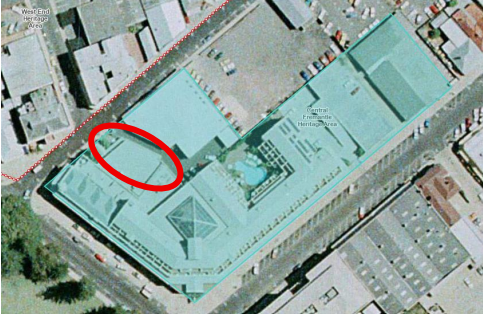
2026 UPDATE of Heritage List and Local Heritage Survey

Proposed new statement of significance	<i>DEMOLISHED- retained on MHI database for historical information purposes only.</i>
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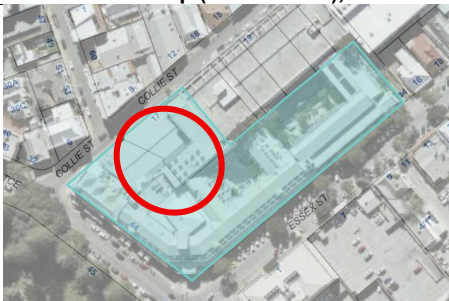
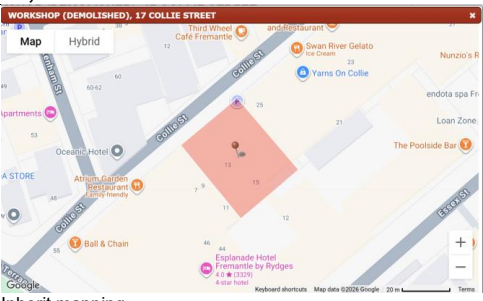
4. Warehouse (Demolished), 3 Collie Street, Fremantle

 <p>ESRI mapping</p>	 <p>Inherit mapping</p>
 <p>CURRENT PHOTO Site of Warehouse 3 Collie Street, redeveloped as part of Esplanade Hotel additions, Panorama 2017</p>	 <p>HISTORIC PHOTO Warehouse, 3 Collie Street adjacent to Esplanade Hotel, Panorama 1970</p>
<p>Why was the property identified for review?</p>	<p>To check listing and update management category</p>
<p>City of Fremantle Heritage List - Existing</p>	<p>Warehouse (Demolished), 3 Collie Street</p>
<p>Heritage Area</p>	<p>No</p>
<p>Local Heritage Survey - Existing</p>	<p>Warehouse (Demolished), 3 Collie Street</p>
<p>Management Category - Existing</p>	<p>Historic/ Archaeological Site</p>
<p>Statement of significance - Existing</p>	<p><i>Inherit - Site of warehouse, 3 Collie Street, demolished 1985, has historic significance as a site because it housed newly arrived convicts until the prison was built in 1855.</i></p> <p>The information in Inherit is Incorrect, the site of the temporary convict accommodation was Daniel Scott's Warehouse on the corner of Marine Terrace and Essex Stret (see Dave Johnson Motors)</p>
<p>Background</p>	<p>Listing has been reviewed but not removed from Heritage List</p>
<p>History</p>	<p>The information in Inherit is incorrect.</p> <p>A two storey warehouse building can be seen in historic panoramas taken from the Town Hall Tower in 1891. This building remained largely</p>




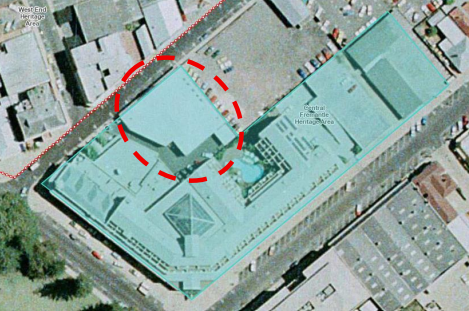
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 <p>Historic warehouse next to Esplanade Hotel, 1974 Physical description existing:</p>	<p>unaltered until it was demolished for the New Esplanade Hotel in 1988.</p>  <p>1980s Esplanade Hotel, 1989</p>
<p>Authenticity</p>	<p>Demolished</p>
<p>Integrity</p>	<p>Low</p>
<p>Comment</p>	<p>Given the extent of construction on site it is highly unlikely that there will be any archaeological material on site.</p>
<p>Recommendation</p>	<p>Remove from Heritage List Change Management Category from Historic/ Archaeological site to Level 4. Make Child Place of Esplanade Hotel</p>
<p>Proposed new statement of significance</p>	<p><i>DEMOLISHED- retained on MHI database for historical information purposes only.</i></p>

5. Workshop (Demolished), 17 Collie Street, Fremantle

 <p>ESRI mapping</p>	 <p>Inherit mapping</p>
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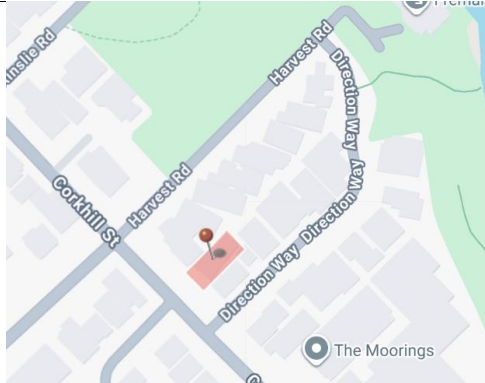


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 <p>CURRENT PHOTO Site of Workshop 17 Collie Street, redeveloped as part of Esplanade Hotel additions, Panorama 2017</p>	 <p>HISTORIC PHOTO Warehouse, 17 Collie Street adjacent to Warehouse 3 Collie Street, Panorama 1970</p>
<p>Why was the property identified for review?</p>	<p>To check listing and update management category</p>
<p>City of Fremantle Heritage List - Existing</p>	<p>Workshop, 17 Collie Street</p>
<p>Heritage Area</p>	<p>No</p>
<p>Local Heritage Survey - Existing</p>	<p>Workshop, 17 Collie Street</p>
<p>Management Category - Existing</p>	<p>Historic Site Recognise</p>
<p>Statement of significance - Existing</p>	<p>-</p>
<p>Background</p>	<p>This site has been amalgamated into Esplanade Hotel, 44 Marine Terrace</p>
<p>History</p>	<p>Inherit - Previously this site held cottages and stables and a blacksmith's. These buildings were demolished as part of the reconstruction of the new Esplanade Hotel in 1988. NOTE: Information in Inherit refers to a 1920s workshop located on the adjacent site at 19 Collies Street (now the Collie Street carpark).</p>
 <p>Historic warehouse next to Esplanade Hotel, 1974</p>	 <p>1980s Esplanade Hotel, 1989</p>
<p>Physical description existing:</p>	<p>Demolished</p>
<p>Authenticity</p>	<p>Low</p>
<p>Integrity</p>	<p>Low</p>
<p>Comment</p>	<p>Given the extent of construction on site it is highly unlikely that there will be any archaeological material on site.</p>



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Recommendation	Remove from Heritage List Change Management Category from Historic/ Archaeological site to Level 4. Make Child Place to Esplanade Hotel
Proposed new statement of significance	<i>DEMOLISHED- retained on MHI database for historical information purposes only.</i>

6. Former Public Works Department Depot (Demolished), 15 Corkhill Street, North Fremantle


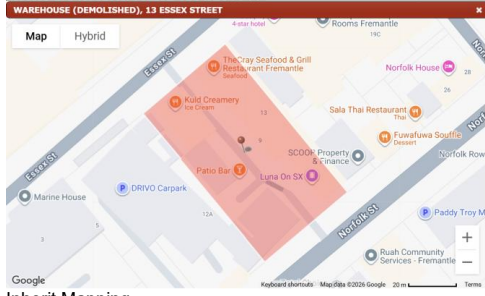


 <p>ESRI Mapping – this place is linked to 59-71 Harvest Road, 9-17 Corkhill St, 3-15 Direction Way North Fremantle.</p>	 <p>Inherit Mapping</p>
 <p>CURRENT PHOTO Corkhill Street, 2024</p>	 <p>HISTORIC PHOTO State Shipbuilding Yard, Harvest Road, 1942</p>
<p>Why was the property identified for review?</p>	<p>To check listing and update management category</p>
<p>City of Fremantle Heritage List - Existing</p>	<p>Former Public Works Department (Demolished), 15 Corkhill Street, North Fremantle</p>
<p>Heritage Area</p>	<p>No</p>
<p>Local Heritage Survey - Existing</p>	<p>Site of Public Works Department Depot, 15 Corkhill Street</p>
<p>Management Category - Existing</p>	<p>Historic/ Archaeological Site</p>
<p>Statement of significance - Existing</p>	<p><i>This place is significant for being the location of the Public Works Department Depot, buildings demolished c1940. It has historic significance as</i></p>

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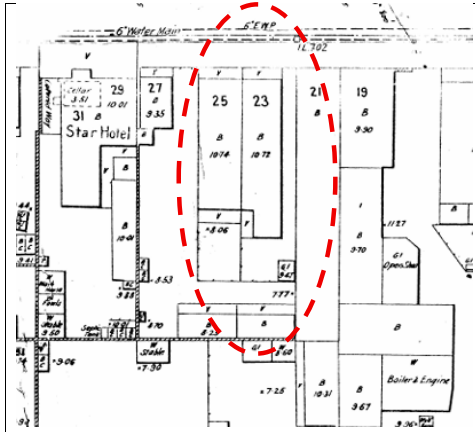
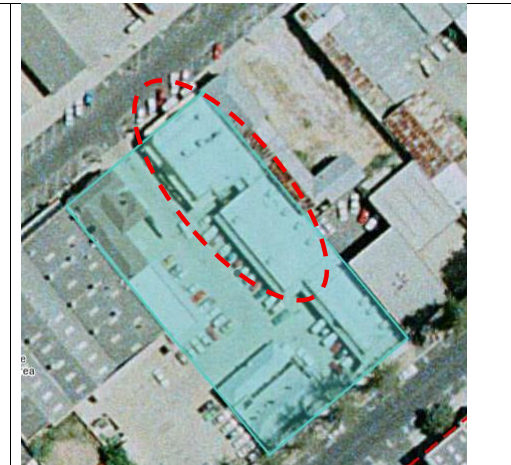
	<i>a marker of development of infrastructure in the Fremantle area.</i>
Background	Child Place to - Site of State Shipbuilding Yards (also incorrect mapping)
History	The land bounded by Harvest Road, Corkhill and John Streets was entirely taken up with sheds and shipyards for most of the twentieth century, with occupants including Northwest Whaling Company, Bradfords Insulation (1954 to 1970s), Precision Marine (late 1970s), and the Public Works Department (from 1940s). During World War Two these shipyards were used for the construction of timber vessels for the Australian Navy. No evidence of the shipyards now remains, as the large site of 15 Corkhill Street was subdivided in the late 1990s and redeveloped as a residential area (59-71 Harvest Road, 9-17 Corkhill St, 3-15 Direction Way North Fremantle.) See related entry Site of State Shipbuilding Yards.
	
Historic shipyards between Harvest, McCorkhill and John Streets (the area with yellow tone is the adjacent property)	Redevelopment of site almost complete, 2012
Physical description existing:	Demolished
Authenticity	Low
Integrity	Low
Comment	Extensive construction on the site makes it unlikely that any sub-surface archaeological material survives.
Recommendation	Remove from Heritage List Change site mapping to include all sites that were part of the historic shipbuilding area. Change Management Category from Historic/ Archaeological site to Level 4.
Proposed new statement of significance	<i>DEMOLISHED- retained on MHI database for historical information purposes only.</i>

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7. Warehouse (Demolished), 13 Essex Street (Fast Eddy's Building, Warehouse (Fmr))

 <p>ESRI Mapping</p>	 <p>Inherit Mapping</p>
 <p>CURRENT PHOTO Commercial building, 13 Essex Street</p>	 <p>HISTORIC PHOTO Duplex and warehouse adjacent to Port Flour Mill, 1886</p>
<p>Why was the property identified for review?</p>	<p>To check listing and update management category</p>
<p>City of Fremantle Heritage List - Existing</p>	<p>Warehouse (Demolished), 13 Essex Street (Fast Eddy's Building, Warehouse (Fmr))</p>
<p>Heritage Area</p>	<p>Central Fremantle Heritage Area</p>
<p>Local Heritage Survey - Existing</p>	<p>Warehouse (Demolished), 13 Essex Street (Fast Eddy's Building, Warehouse (Fmr))</p>
<p>Management Category - Existing</p>	<p>Historic/ Archaeological Site</p>
<p>Statement of significance - Existing</p>	<p><i>Warehouse, 13 Essex Street, demolished 1985, is significant as a site because of its association with the mill at 15 Essex Street. 3-13 Essex Street originally comprised cottages and warehouses from 1900, associated with the Port Flour Mill.</i></p>
<p>Background</p>	<p>The street numbering has been confused, and this description only describes one of the buildings on site.</p>
<p>History</p>	<p>A commercial building and duplex can be seen adjacent to the Port Flour Mill on a panorama dated 1891. Historic aerial photos show that these buildings remained on site until the mid 1980s when they were demolished for the Fast Eddys Restaurant and the.Luna Cinemas</p>



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 <p>The Duplex originally numbered 23-25 Essex, and the Warehouse numbered 21 Essex Street are shown on what is now 13 Essex Street. These buildings are adjacent to the Port Flour Mill (originally 19 Essex Street), Metropolitan Sewerage Plans 1907</p>	 <p>By 1989 the duplex and warehouse have been demolished and the site redeveloped as part of a Fast Eddys Restaurant and the Luna Cinemas. Port Flour Mill has not yet been conserved and redeveloped.</p>
Physical description existing:	Demolished
Authenticity	Low
Integrity	Low
Comment	There may be archaeological material below the carpark paving.
Recommendation	Change name of place and history Remove from Heritage List Change Management Category from Historic/ Archaeological site to Level 4.
Proposed new statement of significance	<i>DEMOLISHED- retained on MHI database for historical information purposes only.</i>

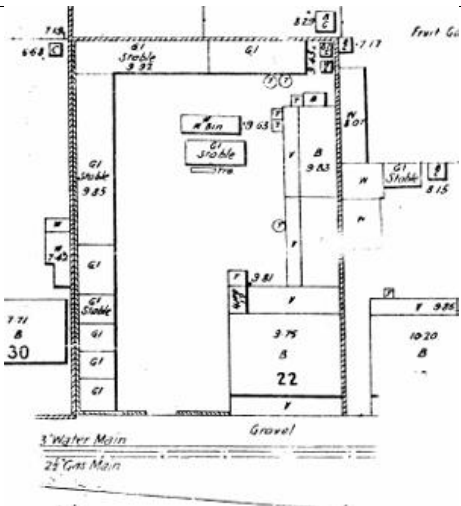


8. Shop and House (Demolished), 12-14 Essex Street, Fremantle

<p>ESRI mapping N/A</p>	 <p>Inherit mapping</p>
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<p>CURRENT PHOTO The site of Duplex and Shop, 12-14 Essex is now part of new Esplanade Hotel (1980s)</p>	<p>HISTORIC PHOTO Panorama 1899</p>
<p>Why was the property identified for review?</p>	<p>To check listing and update management category</p>
<p>City of Fremantle Heritage List - Existing</p>	<p>Duplex (Demolished), 12-14 Essex Street,</p>
<p>Heritage Area</p>	<p>Central Fremantle Heritage Area</p>
<p>Local Heritage Survey - Existing</p>	<p>Duplex (Demolished), 12-14 Essex Street</p>
<p>Management Category - Existing</p>	<p>Historic/ Archaeological Site</p>
<p>Statement of significance - Existing</p>	<p><i>Shop & House, 12-13 Essex Street, demolished 1995, is significant as a site because it represents part of the early development of Fremantle, serving the houses in the neighbourhood as a bakery from as early as 1869; it has historic significance for its associations with early owner James Back, who was the son of Edward, Rottnest's first pilot, and a storekeeper and customs agent; and it has social value as a place of employment since the 1860s.</i></p>
<p>Background</p>	<p>Included in original Municipal Inventory.</p>
<p>History</p>	<p>Inherit - Essex Street was included in the 1832 town plan. It is named after the English county, as per Norfolk and Suffolk Streets. Lots 170-182 were soon taken up (Nos. 5-21). The buildings in Essex Street, unlike those in High Street, were not replaced in the 1890s boom, and those that remain extant date from the convict era of development.</p> <p>According to Council rates records, a house, shop and bakery existed on Lot 179 Essex Street in 1880. It appears however, that the bakery may have existed as early as 1869, as J.K. Hitchcock in the 'Fremantle Times' 16/05/1919, mentions that John Brown carried on a bakery business in Essex Street in 1869 which was later owned/occupied by James Back. (James Back was the son of Edward, Rottnest's first pilot. James was a storekeeper and customs agent.) In 1880, however, the land was owned by W. Chidlow and the house, shop and bakery were occupied/operated by Samuel Pearse, a baker. By 1885, an additional house and sheds had been erected on the lot and ownership passed to James Back. In 1896, 'stables' first appear in the Council rate book entries for lot 179. A Metropolitan Sewerage plan dated September 1907 clearly shows the buildings on the lot. These include a brick dwelling</p>





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	<p>with front/back verandahs, facing Essex Street, a brick duplex with a front verandah along the boundary of the lot and a series of galvanised iron stables encompassing the other three sides of the lot. James Back continued to own/occupy lot 179 until 1927, when ownership passed to Laura Jane Webb. In 1949-50 the property passed from the Webb family to George Evans and Company, paint manufacturers. Nu-Tred Tyre Company then acquired the property between 1952 and 1956. It was then owned by National Tyre Service who demolished buildings and built a new factory in 1959. R J Davies carried out the work at a cost of £16, 000. In 1983 the property was acquired by Donaldson & Murdoch Investments for conversion into shops, as part of the business growth during the America's Cup 1986/87. A survey and drawings in 1995 by Oldfield Knott Architects shows a single storey red brick and skillion roof building and a carpark (No. 10), containing several small retail outlets. The building was demolished in 1995. Currently (2013), part of Esplanade Hotel.</p>
 <p>House and Stables at 12-14 Essex (originally numbered 22 Essex) Metropolitan Sewerage Plans 1907</p>	 <p>Duplex and Shop, 1947.</p>  <p>Warehouse by 1965</p>
<p>Physical description existing:</p>	<p>Demolished</p>
<p>Authenticity</p>	<p>Low</p>
<p>Integrity</p>	<p>Low</p>
<p>Comment</p>	<p>It is unlikely that there is undisturbed archaeological material on site as the place has been redeveloped twice in the 1960s and then the 1980s..</p>
<p>Recommendation</p>	<p>Remove from Heritage List</p>



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	Change Management Category from Historic/ Archaeological site to Level 4.
Proposed new statement of significance	<i>DEMOLISHED- retained on MHI database for historical information purposes only.</i>



9. House (Demolished), 17 Hampton Road

 <p>ESRI Mapping 2026</p>	 <p>INERIT MAPPING</p>
 <p>CURRENT PHOTO</p>	 <p>HISTORIC PHOTO Fremantle Society Survey 1979</p>
<p>Why was the property identified for review?</p>	<p>Review of places described as demolished</p>
<p>City of Fremantle Heritage List – Existing</p>	<p>House (Demolished), 17 Hampton Road</p>
<p>Heritage Area</p>	<p>No</p>
<p>Local Heritage Survey – Existing in Inherit</p>	<p>House (Demolished), 17 Hampton Road</p>
<p>Management Category - Existing</p>	<p>Historic/ Archaeological Site</p>
<p>Statement of significance - Existing</p>	<p><i>DEMOLISHED - Retain on MHI for information purposes only</i></p>
<p>Mapping – ESRI</p>	<p>Mapping - Inherit</p>
<p>Background</p>	<p>Identified during the compilation of the first Municipal Inventory and demolished shortly after.</p>
<p>History</p>	




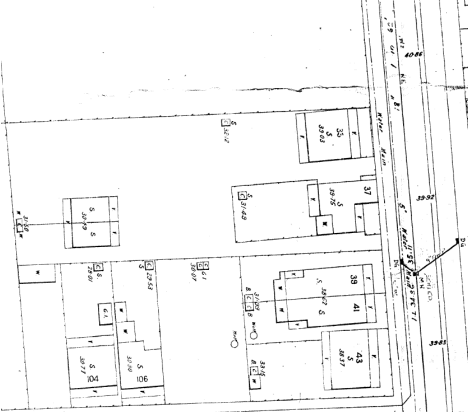
2026 UPDATE of Heritage List and Local Heritage Survey

 <p>Aerial Photograph 1947, 17 Hampton Road has not yet been constructed</p>	 <p>Metropolitan Sewerage Sheet 2600, Revised 1954 showing 7 Hampton Road and surrounding residential development</p>
Physical description existing:	Demolished
Authenticity	Low
Integrity	Low
Comment	No remaining building fabric. Undisturbed archaeological material highly unlikely.
Recommendation	Remove from Heritage List Change Management Category from Historic/ Archaeological site to Level 4. Make Child place to Fremantle Hospital
Proposed new statement of significance	<i>DEMOLISHED- retained on MHI database for historical information purposes only.</i>

10. House (Demolished), 19 Hampton Road

 <p>ESRI Mapping 2026</p>	 <p>HOUSE (DEMOLISHED), 17 HAMPTON ROAD</p> <p>Map Hybrid</p> <p>INERIT MAPPING</p>
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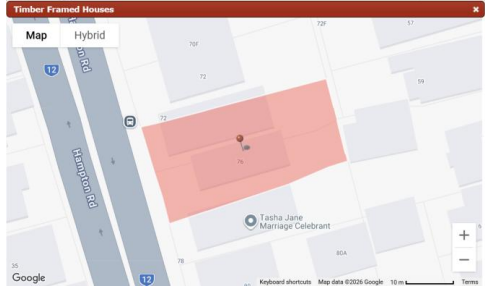


2026 UPDATE of Heritage List and Local Heritage Survey

	
CURRENT PHOTO	HISTORIC PHOTO
Why was the property identified for review?	Review of places described as demolished
City of Fremantle Heritage List – Existing	House (Demolished), 17 Hampton Road
Heritage Area	No
Local Heritage Survey – Existing in Inherit	House (Demolished), 17 Hampton Road
Management Category - Existing	Historic/ Archaeological Site
Statement of significance - Existing	<i>DEMOLISHED - Retain on MHI for information purposes only</i>
Mapping – ESRI	Mapping - Inherit
Background	Identified during the compilation of the first Municipal Inventory and demolished shortly after.
History	Metropolitan Sewerage plans show that the house was constructed before 1908 and was part of a well established residential streetscape. Fremantle Hospital begins expanding east toward Hampton Road in the 1970s and by 1981, 19 Hampton Road had been demolished. The site was redeveloped for a complex of hospital buildings in the
	
Aerial Photograph 1947, 19 Hampton Road has been constructed	Metropolitan Sewerage Sheet 2060, 1908 19 Hampton Road was numbered 35 Hampton Road before the 1930s.
Physical description existing:	Demolished
Authenticity	Low
Integrity	Low

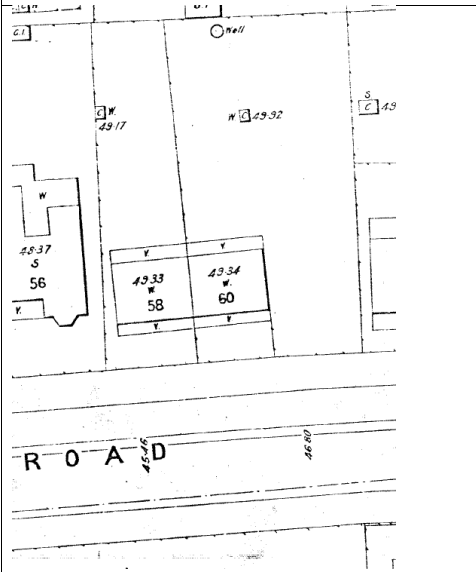

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Comment	No remaining building fabric. Undisturbed archaeological material highly unlikely.
Recommendation	Remove from Heritage List Change Management Category from Historic/ Archaeological site to Level 4. Make Child place to Fremantle Hospital
Proposed new statement of significance	<i>DEMOLISHED- retained on MHI database for historical information purposes only.</i>

11. Duplex (Demolished), 74-76 Hampton Road)



 <p>ESRI Mapping 2026</p>	 <p>INERIT MAPPING</p>
 <p>CURRENT PHOTO</p>	 <p>HISTORIC PHOTO Fremantle Society Survey 1979</p>
<p>Why was the property identified for review?</p>	<p>Review of places described as demolished</p>
<p>City of Fremantle Heritage List – Existing</p>	<p>Duplex (Demolished), 74-76 Hampton Road)</p>
<p>Heritage Area</p>	<p>No</p>
<p>Local Heritage Survey – Existing in Inherit</p>	<p>Timber framed houses (Duplex (Demolished), 74-76 Hampton Road</p>
<p>Management Category - Existing</p>	<p>Historic/ Archaeological Site</p>
<p>Statement of significance - Existing</p>	<p><i>DEMOLISHED- retained on MHI database for historical information purposes only. This place was included on the list of heritage places in the City of Fremantle identified by the Fremantle Society in 1979/80.</i></p>
<p>Background</p>	<p>Identified during the compilation of the first Municipal Inventory.</p>
<p>History</p>	<p>Inherit - <i>The Timber duplex cottages date from 1893. There are very few timber duplex cottages remaining, Council have previously accepted the cultural significance (23/11/92) of this duplex cottage. The weatherboard cottages were constructed in 1893 for Messrs RH and J J Holmes and originally occupied by Eliza Jane Bellairs (widow) and Bernard Griffin (carpenter). Robert Hardy and Joseph John Holmes, together with brothers William and George established</i></p>

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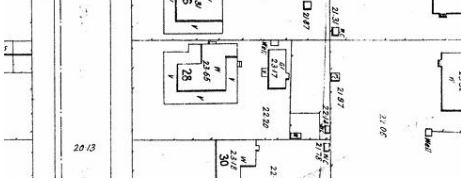



	<p><i>the meat purveyor firm of Holmes Bros. in Fremantle and Perth. The Fremantle business was located in High Street (lot 424) in 1892 and they later set up a chain of butcher shops in the suburbs and Coolgardie. Both Robert and Joseph took a keen interest in public affairs, Robert serving as a member on Fremantle District Roads Board (later Cockburn Council), 1895-1908. Joseph Holmes served as a Fremantle Councillor 1893-1898 and a member of Parliament. The two brothers were still listed as owner of the property in the 1920/21 rates record. Demolished 1981 and subdivided for two new houses 2001.</i></p>
 <p>Metropolitan Sewerage Sheet 2060, 1908 74 – 76 Hampton (numbered 58-60 before the 1930s)</p>	 <p>Aerial Photograph 1981</p>
Physical description existing:	Demolished
Authenticity	Low
Integrity	Low
Comment	No remaining building fabric. Undisturbed archaeological material highly unlikely.
Recommendation	Remove from Heritage List Change Management Category from Historic/ Archaeological site to Level 4.
Proposed new statement of significance	<i>DEMOLISHED- retained on MHI database for historical information purposes only.</i>

12. 12 Hickory Street, South Fremantle (owner request)



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<p>ESRI Mapping 2023</p>	<p>Inherit mapping</p>
<p>Why was the property identified for review?</p>	<p>Owners have questioned if construction date correct and asks for recent SFHA listing to be reversed and place removed from HL</p>
<p>City of Fremantle Heritage List - Existing</p>	<p>Added as part of 2025 SFHA Review</p>
<p>Heritage Area</p>	<p>South Fremantle Heritage Area</p>
<p>Local Heritage Survey - Existing</p>	<p>Yes – Inherit - 27644</p>
<p>Management Category - Existing</p>	<p>Level 3</p>
<p>Statement of significance - Existing</p>	<p><i>HOUSE, 12 HICKORY STREET, a single storey masonry and tile roofed house, is a representative example of a modest dwelling constructed in c1920, reflecting the architectural and social trends of the Inter-War period (c. 1915–1940). This place is significant as a modest yet important example of Fremantle’s residential history.</i></p> <p><i>The place has aesthetic value for its contribution to the streetscape and the surrounding area. The house exhibits characteristic features of the Inter-War Bungalow style, including a simple hipped roof, asymmetrical facade and a verandah supported by timber posts. These elements contribute to the historical streetscape and the broader residential character of Fremantle. This bungalow reflects the suburban expansion of Fremantle, which included the expansion into Beaconsfield and Chesterfield, during the Inter-War period, when economic growth and advances in transportation facilitated the development of modest worker and middle-class housing . It provides insight into the living conditions and domestic architecture of the era.</i></p> <p><i>The house contributes to Fremantle’s community identity, representing a period when the area saw increased residential development to accommodate a growing population. It remains significant as part of the city’s evolving heritage and connection to its working-class past.</i></p> <p><i>This house is a good example of the type and retains key architectural features that typify the period.</i></p>


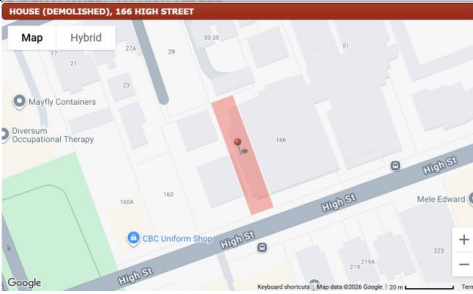
2026 UPDATE of Heritage List and Local Heritage Survey

<p>Background</p>	<p>Assessed as part of Review of South Fremantle Heritage Area, 2025. Added to Heritage List 2026 and identified as Contributory.</p>
<p>History</p>	<p>Historic sewerage drawings show that a timber house with an encircling verandah has been constructed on the north side of the block by 1907. The roof form of this house can be seen on the earlier aerial photographs of the area in 1954. There are also a number of outbuildings on the south side and rear of the house.</p> <p>Between 1954 and 1965 the timber house has been replaced with a larger house with a hipped tile roof that extends across the full width of the block. This house can be glimpsed behind a street tree in a photograph from 1979 and it appears to be of brick construction with a hipped tiled roof and a front verandah with a concrete floor and steel posts.</p> <p>An aerial photo from 1999 appears to show major renovations underway. Current photos of the house show that it bears no resemblance to either the Post War or the Federation era house but are a new design inspired by traditional housing from the late nineteenth and early twentieth century</p>
 <p>Metropolitan Sewerage Sheet – 99, 1907 House numbered 28 until 1930s.</p>	 <p>Aerial photograph 1965 showing Federation era house</p>
 <p>Aerial photograph 1981 showing Post War house on site</p>	 <p>Post-War era house Fremantle Society Survey 1979</p>



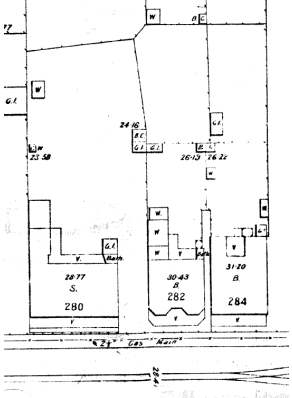

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 <p>Aerial photograph 1999 shows existing house under construction</p>	 <p>12 Hickory Street, RealEstate.com</p>
Physical investigation	Two storey, rendered brick house with a hip and gabled corrugated metal roof. Constructed in the 1990s with design and stylistic features inspired by traditional residential development from the Federation Era.
Authenticity	Low
Integrity	Low
Comment	<p>While this house is sympathetic with the surrounding heritage streetscape in has little heritage significance and does not meet the threshold for inclusion on the Heritage list.</p> <p>Due to the extent of change and modern construction on site it is unlikely that there will be any undisturbed sub-soil archaeological material.</p>
Recommendation	<p>Remove form HL</p> <p>Change management category to Level 4</p> <p>Change name to House (demolished), 12 Hickory Street</p>
Proposed new statement of significance	<i>DEMOLISHED- retained on MHI database for historical information purposes only.</i>

13. House (Demolished), 166 High Street

 <p>ESRI Mapping 2026</p>	 <p>HOUSE (DEMOLISHED), 166 HIGH STREET</p> <p>Map Hybrid</p> <p>Maple Containers</p> <p>Diversum Occupational Therapy</p> <p>CBC Uniform Shop</p> <p>Mele Edward</p> <p>Google</p> <p>Keyboard shortcuts Map data ©2026 Google 20 m</p> <p>INERIT MAPPING</p>
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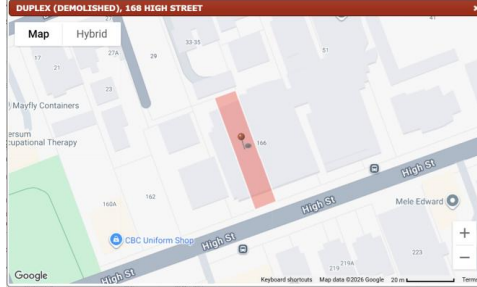


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 <p>CURRENT PHOTO</p>	 <p>HISTORIC PHOTO Fremantle Society Survey 1979</p>
<p>Why was the property identified for review?</p>	<p>Review of places described as demolished</p>
<p>City of Fremantle Heritage List – Existing</p>	<p>House (Demolished), 166 High Street</p>
<p>Heritage Area</p>	<p>No</p>
<p>Local Heritage Survey – Existing in Inherit</p>	<p>House (Demolished), 166 High Street</p>
<p>Management Category - Existing</p>	<p>Historic/ Archaeological Site</p>
<p>Statement of significance - Existing</p>	<p><i>DEMOLISHED- retained on MHI database for historical information purposes only.</i></p>
<p>Mapping – ESRI</p>	<p>Mapping - Inherit</p>
<p>Background</p>	<p>Recommended for removal from heritage list but not removed.</p>
<p>History</p>	<p>Inherit - <i>This place was identified by the Fremantle Society in 1979/80 as being of cultural heritage significance. (Coded: Purple: "Of architectural and historic significance in its own right")</i> The house is shown on a sewerage plan dated 1907 numbered 280 High Street. The house is visible on early aerial photographs of the area until it was demolished in the early 1980s. In 2000 a Gymnasium for CBC Boys School was constructed on the sites of 166, 168 and 170 High Street..</p>
 <p>Metropolitan Sewerage Plan Sheet 60, 1907 Note: 166 High was numbered 280 High before the 1930s.</p>	 <p>Aerial photograph 1947</p>
<p>Physical description existing:</p>	<p>DEMOLISHED- retained on MHI database for historical information purposes only.</p>
<p>Authenticity</p>	<p>Low</p>
<p>Integrity</p>	<p>Low</p>
<p>Comment</p>	<p>No physical evidence of house remains on site and it is likely that the site contains any undisturbed archaeological material.</p>

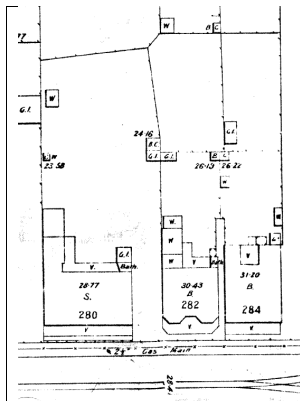

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Recommendation	Remove from Heritage List Change Management Category from Historic/ Archaeological site to Level 4.
Proposed new statement of significance	<i>DEMOLISHED- retained on MHI database for historical information purposes only.</i>


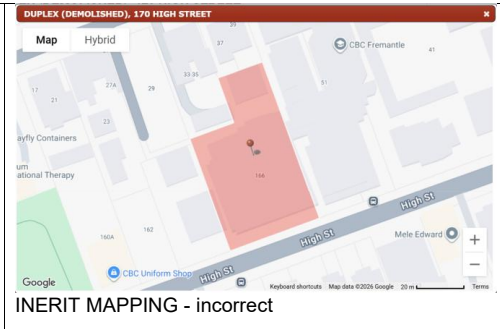
14. House (Demolished), 168 High Street

 <p>ESRI Mapping 2026</p>	 <p>INERIT MAPPING</p>
 <p>CURRENT PHOTO</p>	 <p>HISTORIC PHOTO Fremantle Society Survey 1979</p>
<p>Why was the property identified for review?</p>	<p>Review of places described as demolished</p>
<p>City of Fremantle Heritage List – Existing</p>	<p>House (Demolished), 168 High Street</p>
<p>Heritage Area</p>	<p>No</p>
<p>Local Heritage Survey – Existing in Inherit</p>	<p>House (Demolished), 168 High Street</p>
<p>Management Category - Existing</p>	<p>Historic/ Archaeological Site</p>
<p>Statement of significance - Existing</p>	<p><i>DEMOLISHED- retained on MHI database for historical information purposes only.</i></p>
<p>Mapping – ESRI</p>	<p>Mapping - Inherit</p>
<p>Background</p>	<p>Recommended for removal from heritage list but not removed.</p>
<p>History</p>	<p>Inherit - <i>DEMOLISHED- retained on MHI database for historical information purposes only.</i> The house is shown on a sewage plan dated 1907 numbered 282 High Street. The house is visible on early aerial photographs of the area until it was demolished in the early 1980s. In 2000 a Gymnasium for CBC Boys School was constructed on the sites of 166, 168 and 170 High Street..</p>



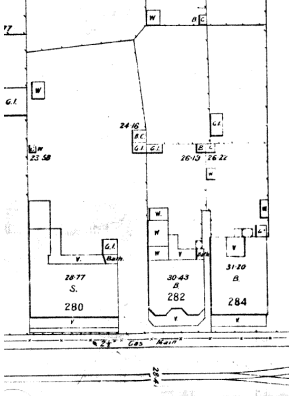

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<p>Metropolitan Sewerage Plan Sheet 60, 1907 Note: 168 High was numbered 282 High before the 1930s.</p>	<p>Aerial photograph 1964</p>
<p>Physical description existing:</p>	<p>DEMOLISHED- retained on MHI database for historical information purposes only.</p>
<p>Authenticity</p>	<p>Low</p>
<p>Integrity</p>	<p>Low</p>
<p>Comment</p>	<p>No physical evidence of house remains on site and it is likely that the site contains any undisturbed archaeological material.</p>
<p>Recommendation</p>	<p>Remove from Heritage List Change Management Category from Historic/ Archaeological site to Level 4.</p>
<p>Proposed new statement of significance</p>	<p>DEMOLISHED- retained on MHI database for historical information purposes only.</p>

15. Duplex (Demolished), 170 High Street

	
<p>ESRI Mapping 2026</p>	<p>INERIT MAPPING - incorrect</p>


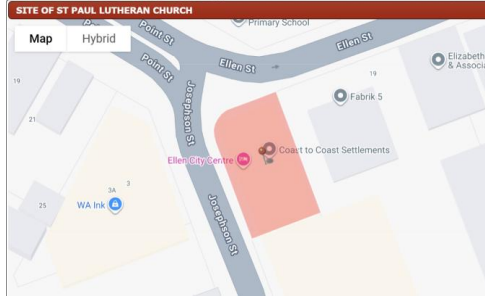
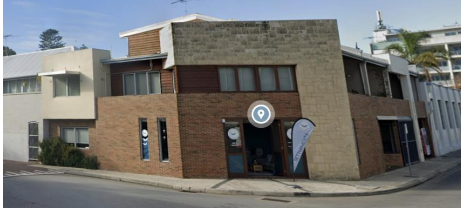
2026 UPDATE of Heritage List and Local Heritage Survey

 <p>CURRENT PHOTO</p>	 <p>HISTORIC PHOTO Fremantle Society Survey 1979</p>
<p>Why was the property identified for review?</p>	<p>Review of places described as demolished</p>
<p>City of Fremantle Heritage List – Existing</p>	<p>Duplex (Demolished), 170 High Street</p>
<p>Heritage Area</p>	<p>No</p>
<p>Local Heritage Survey – Existing in Inherit</p>	<p>Duplex (Demolished), 170 High Street</p>
<p>Management Category - Existing</p>	<p>Historic/ Archaeological Site</p>
<p>Statement of significance - Existing</p>	<p><i>DEMOLISHED- retained on MHI database for historical information purposes only.</i></p>
<p>Background</p>	<p>Recommended for removal from heritage list but not removed.</p>
<p>History</p>	<p>Inherit - <i>DEMOLISHED- retained on MHI database for historical information purposes only.</i> The house is shown on a sewerage plan dated 1907 numbered 284 High Street. The house is visible on early aerial photographs of the area until it was demolished in the early 1980s. In 2000 a Gymnasium for CBC Boys School was constructed on the sites of 166, 168 and 170 High Street..</p>
 <p>Metropolitan Sewerage Plan Sheet 60, 1907 Note: 170 High was numbered 284 High before the 1930s.</p>	 <p>Aerial photograph 1964</p>
<p>Physical description existing:</p>	<p>DEMOLISHED- retained on MHI database for historical information purposes only.</p>
<p>Authenticity</p>	<p>Low</p>
<p>Integrity</p>	<p>Low</p>
<p>Comment</p>	<p>No physical evidence of house remains on site and it is likely that the site contains any undisturbed archaeological material.</p>



2026 UPDATE of Heritage List and Local Heritage Survey

Recommendation	Remove from Heritage List Change Management Category from Historic/ Archaeological site to Level 4.
Proposed new statement of significance	<i>DEMOLISHED- retained on MHI database for historical information purposes only.</i>



16. Site Of St Paul Lutheran Church, 2 Josephson Street

 <p>ESRI Mapping 2023</p>	 <p>INERIT MAPPING</p>
 <p>CURRENT PHOTO</p>	<p>HISTORIC PHOTO N/A</p>
<p>Why was the property identified for review?</p>	<p>Review of places described as demolished</p>
<p>City of Fremantle Heritage List – Existing</p>	<p>Site Of St Paul Lutheran Church, 2 Josephson Street</p>
<p>Heritage Area</p>	<p>No</p>
<p>Local Heritage Survey – Existing in Inherit</p>	<p>Site Of St Paul Lutheran Church, 2 Josephson Street</p>
<p>Management Category - Existing</p>	<p>Historic/ Archaeological Site</p>
<p>Statement of significance - Existing</p>	<p><i>DEMOLISHED- retained on MHI database for historical information purposes only.</i></p>
<p>Background</p>	<p>Recommended for removal from heritage list but not removed.</p>
<p>History</p>	<p>Inherit - <i>DEMOLISHED- retained on MHI database for historical information purposes only.</i> A church was erected in 1909 for the Lutheran community by Pastor Edwin Fischer. In 1928/29 the building was sold to Joyce Bros. Ltd, bedding and furniture manufacturers and in 1929 a factory was erected on the vacant portion of the land. Aerial photos show that the church remained on site until the late 1980s when a large commercial building was constructed on site.</p>



2026 UPDATE of Heritage List and Local Heritage Survey

	
<p>Metropolitan Sewerage Plan Sheet 49, revised 1914</p>	<p>Aerial photograph 1981 showing church.</p>
<p>Physical description existing:</p>	<p>DEMOLISHED- retained on MHI database for historical information purposes only.</p>
<p>Authenticity</p>	<p>Low</p>
<p>Integrity</p>	<p>Low</p>
<p>Comment</p>	<p>No physical evidence of house remains on site, and it is likely that the site contains any undisturbed archaeological material.</p>
<p>Recommendation</p>	<p>Remove from Heritage List Change Management Category from Historic/ Archaeological site to Level 4.</p>
<p>Proposed new statement of significance</p>	<p>DEMOLISHED- retained on MHI database for historical information purposes only.</p>

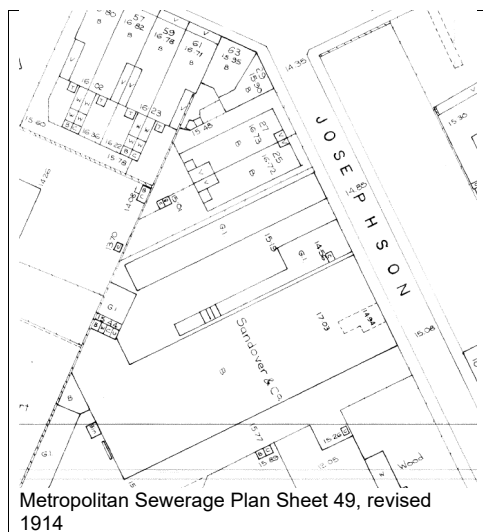

17. Site Of Joyce Brothers Factory, 3-5 Josephson

 <p>ESRI Mapping 2023</p>	 <p>INERIT MAPPING</p>
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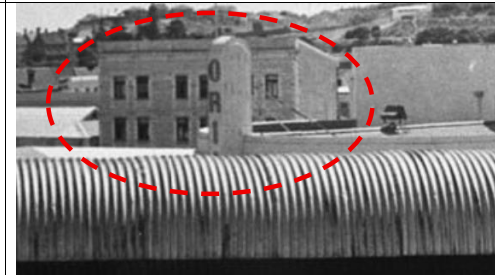
2026 UPDATE of Heritage List and Local Heritage Survey

 <p>CURRENT PHOTO</p>	 <p>HISTORIC PHOTO View across the roof tops to the side wall of the two storey stone Joyce Brothers Factory in Josephson Street</p>
<p>Why was the property identified for review?</p>	<p>Review of places described as demolished</p>
<p>City of Fremantle Heritage List – Existing Heritage Area</p>	<p>Site Of Joyce Brothers Factory, 3-5 Josephson Street No</p>
<p>Local Heritage Survey – Existing in Inherit Management Category - Existing</p>	<p>Site Of Joyce Brothers Factory, 3-5 Josephson Street Historic/ Archaeological Site</p>
<p>Statement of significance - Existing</p>	<p><i>The site at 3-5 Josephson Street has historic significance for its former use by Joyce Bros. Ltd, prominent bedding and furniture manufacturers in the early decades of the twentieth century. This information is associated with 2 Josephine Street not this site.</i></p>
<p>Background</p>	<p>Recommended for removal from heritage list but not removed.</p>
<p>History</p>	<p>This historic information in Inherit is not associated with this site but relates to 2 Josephson Street. Historic sewerage plans show that 3-5 Josephson Street contained a duplex After 1924 the Joyce Brothers Factory was accommodated in a large two storey stone building (17 Josephson) which had been previously occupied by Sandover & Co and International Harvester. Joyce Brothers continued to use the factory until the relocated to O'Connor in the early 1950s. Between 1965 and 1974 the Joyce Factory and the adjacent Congregational Church were demolished for the Johnson Court residential tower block.</p>

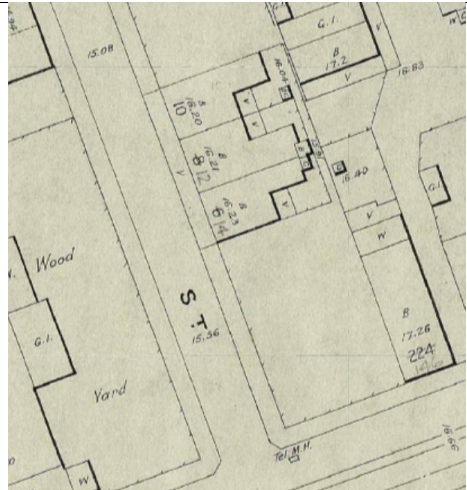

2026 UPDATE of Heritage List and Local Heritage Survey

 <p>Metropolitan Sewerage Plan Sheet 49, revised 1914</p>	 <p>Aerial photograph 1965</p>
Physical description existing:	DEMOLISHED- retained on MHI database for historical information purposes only.
Authenticity	Low
Integrity	Low
Comment	No physical evidence of house remains on site, and it is likely that the site contains any undisturbed archaeological material.
Recommendation	Remove from Heritage List Change name to Duplex (demolished), 3-5 Josephson Change Management Category from Historic/ Archaeological site to Level 4.
Proposed new statement of significance	DEMOLISHED- retained on MHI database for historical information purposes only.

18. Duplex (Demolished), 12 Josephson Street



ESRI Mapping 2023	INERIT MAPPING
CURRENT PHOTO	 <p>HISTORIC PHOTO View across the roof tops to a 12 Josephson Street in 1967.</p>
Why was the property identified for review?	Review of places described as demolished
City of Fremantle Heritage List – Existing	Duplex (demolished), 12 Josephson Street
Heritage Area	No
Local Heritage Survey – Existing in Inherit	Duplex (demolished), 12 Josephson Street

2026 UPDATE of Heritage List and Local Heritage Survey

Management Category - Existing	Historic/ Archaeological Site
Statement of significance - Existing	Demolished
Background	Recommended for removal from heritage list but not removed.
History	Historic plans show that by 1907 a triplex of terrace houses stood at the northern end of what is now 12 Josephson Street. A photograph from the 1967 shows that the triplex was a three storey limestone building. It was demolished for a carpark in the 1970s. Recently, an archaeological investigation of the site was undertaken as a condition of planning approval before works could start on site.
	
Metropolitan Sewerage Plan Sheet 49, revised 1914	Aerial photograph 1965
Physical description existing:	DEMOLISHED.
Authenticity	Low
Integrity	Low
Comment	There is no longer any undisturbed archaeological material on site.
Recommendation	Remove from Heritage List Change name to Triplex (demolished), 12 Josephson Change Management Category from Historic/ Archaeological site to Level 4.
Proposed new statement of significance	<i>DEMOLISHED- retained on MHI database for historical information purposes only.</i>

19. House (Demolished), 4 Letitia Road

2026 UPDATE of Heritage List and Local Heritage Survey

 <p>ESRI Mapping 2026</p>	 <p>HOUSE (DEMOLISHED), 4 LETITIA ROAD</p> <p>Map Hybrid</p> <p>INERIT MAPPING</p>
 <p>CURRENT PHOTO (2014)</p>	<p>N/A</p> <p>HISTORIC PHOTO</p>
<p>Why was the property identified for review?</p>	<p>Choose an item.</p>
<p>City of Fremantle Heritage List – Existing</p>	<p>House (Demolished), 4 Letitia Road</p>
<p>Heritage Area</p>	<p>North Fremantle Heritage Area</p>
<p>Local Heritage Survey – Existing in Inherit</p>	<p>21157</p>
<p>Management Category - Existing</p>	<p>Historic/ Archaeological Site</p>
<p>Statement of significance - Existing</p>	<p>No</p>
<p>Mapping – ESRI</p>	<p>Mapping - Inherit</p>
<p>Background</p>	<p>Part of the first Municipal Heritage Inventory, 2000</p>
<p>History</p>	<p>House, 4 Letitia Road was completed in June 1969 for owners C L Wall and M L Duggan. The two bedroom timber and asbestos home was used mainly as a rental property and in 1984, remained in Duggan family ownership. By 1993, the property was owned by Mr R Hodsdon, who was granted permission by the City of Fremantle to demolish the house and replace it with a single storey dwelling with an undercroft garage. Historical aerial photographs show that the first house at 4 Letitia Street in 1974 and the existing house in 1999.</p>
 <p>Aerial photo 1989</p>	 <p>Aerial photo 1999</p>
<p>Physical description existing:</p>	<p>Demolished</p>
<p>Authenticity</p>	<p>Low</p>

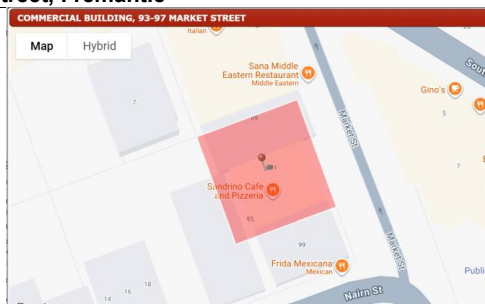
2026 UPDATE of Heritage List and Local Heritage Survey

Integrity	Low
Comment	The existing house is of recent construction as has little heritage significance. The place has Low archaeological potential.
Recommendation	Remove from Heritage List Change Management Category from Historic/ Archaeological site to Level 4.
Proposed new statement of significance	<i>DEMOLISHED- retained on MHI database for historical information purposes only.</i>

20. Houses (Demolished), 93-95 Market Street, Fremantle



ESRI Mapping 2026



INERIT MAPPING

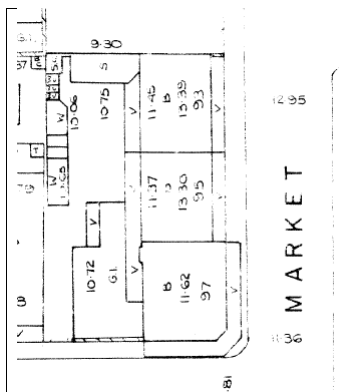



CURRENT PHOTO



HISTORIC PHOTO
The verandah of duplex 93-95 Market Street can be seen on the far right


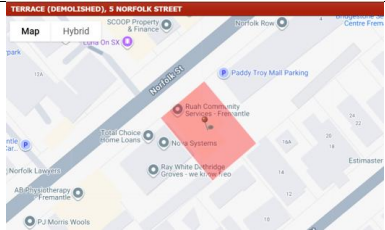


2026 UPDATE of Heritage List and Local Heritage Survey

	
Sewerage Plan 1915 showing houses	Aerial photo 1965
Why was the property identified for review?	Review of places described as demolished
City of Fremantle Heritage List – Existing	House (demolished), 93 – 95 Market Street
Heritage Area	West End Heritage Area
Local Heritage Survey – Existing in Inherit	21276 – Commercial Building, 93-97 Market Street
Management Category - Existing	Historic/ Archaeological Site
Statement of significance - Existing	-
Mapping – ESRI	Mapping - Inherit
Background	Added to Municipal Inventory in 2000 to record earlier use on site.
History	<p>Inherit - <i>The history of Lot 448 Market Street can be traced from 1880, when the rates records show two residences on the lot. In 1886, another dwelling was erected on the lot. In 1892, an 'office and dwelling house' appeared. This building is later described as a 'boarding house' or 'shop/dwelling' and becomes No. 99 Market Street. By 1894 there are two dwellings (Nos. 93-95) and a boarding house (No. 99).</i></p> <p><i>Nos. 93 and 95 Market Street are shown in print No. 1869 dated 1905, and held in the Local History Collection. No. 95 clearly had a verandah, but this does not extend over the footpath. By March 1909, No. 93 also appears to have a verandah. Both brick dwellings are shown with verandahs on a 1909 Sewerage Plan held by the Water Authority. These buildings are also shown on a revised plan dated December 1916, and on both plans the verandahs do not extend beyond the allotment.</i></p> <p><i>Nos. 93 and 95 served as private residences until 1954 when they were demolished and replaced by showrooms</i></p>
Physical description existing:	Demolished
Authenticity	Low
Integrity	Low
Comment	There are different names used in the Heritage List and on Inherit
Recommendation	Remove from Heritage List Update Inherit to same place name Change Management Category from Historic/ Archaeological site to Level 4. Make this a child place to 97 Market Street



2026 UPDATE of Heritage List and Local Heritage Survey

Proposed new statement of significance	<i>DEMOLISHED- retained on MHI database for historical information purposes only.</i>
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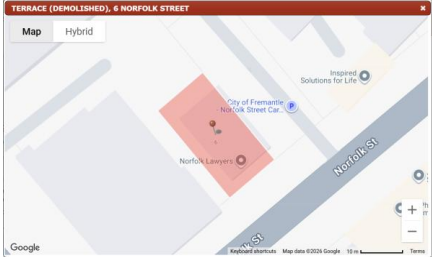

21. Terrace (Demolished), 5 Norfolk Street

 <p>ESRI Mapping 2026</p>	 <p>INERIT MAPPING</p>
 <p>CURRENT PHOTO</p>	 <p>HISTORIC PHOTO – Panorama 1891</p>
<p>Why was the property identified for review?</p>	<p>Review of places described as demolished</p>
<p>City of Fremantle Heritage List – Existing</p>	<p>Terrace (Demolished), 5 Norfolk Street</p>
<p>Heritage Area</p>	<p>No</p>
<p>Local Heritage Survey – Existing in Inherit</p>	<p>21388</p>
<p>Management Category - Existing</p>	<p>Historic/ Archaeological Site</p>
<p>Statement of significance - Existing</p>	<p><i>DEMOLISHED- retained on MHI database for historical information purposes only.</i></p>
<p>Mapping – ESRI</p>	<p>Mapping - Inherit</p>
<p>Background</p>	<p>Part of the first Municipal Heritage Inventory in 2000</p>
<p>History</p>	<p>A panorama of Fremantle from 1891 shows that by that date the entire south side of Norfolk Street had been developed with terrace housing. Sewerage plans confirm that this included 6 sets of triplex terraces, a single house and a terrace with four houses and a shop. Aerial photographs show that the entire street was cleared between 1954 and 1965 and then resubdivided for new commercial development. 5 Norfolk Street is the site of parts of two historic stone triplex terraces. By 1965</p>


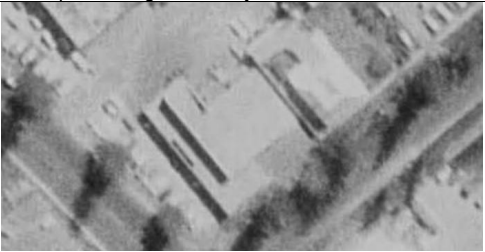
2026 UPDATE of Heritage List and Local Heritage Survey

	
Metropolitan Sewerage Sheet 56, Revised 1914	Aerial photo 1947
Physical description existing:	Demolished
Authenticity	Low
Integrity	Low
Comment	The existing 1960s commercial building has been much modified and has little heritage significance. The site has Low archaeological potential.
Recommendation	Remove from Heritage List Change Management Category from Historic/ Archaeological site to Level 4.
Proposed new statement of significance	<i>DEMOLISHED- retained on MHI database for historical information purposes only.</i>

22. Terrace (Demolished), 6 Norfolk Street


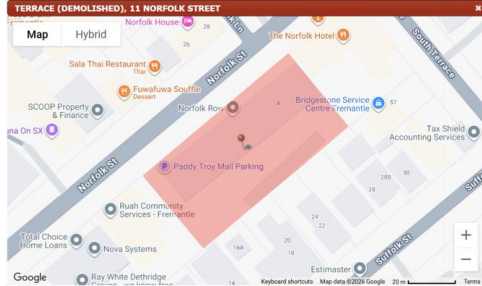


	
ESRI Mapping 2026 56 Marine Terrace links to the heritage record 6 Norfolk Street on Inherit	INERIT MAPPING – incorrect, this is 8 Norfolk
	N/A HISTORIC PHOTO
CURRENT PHOTO 56 Marine Terrace	
Why was the property identified for review?	Review of places described as demolished
City of Fremantle Heritage List – Existing	Terrace (Demolished), 6 Norfolk Street
Heritage Area	No

2026 UPDATE of Heritage List and Local Heritage Survey


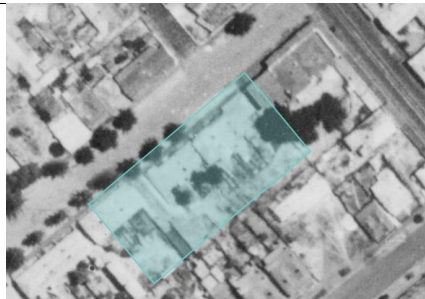
Local Heritage Survey – Existing in Inherit	3710
Management Category - Existing	Historic/ Archaeological Site
Statement of significance - Existing	No.
Background	Part of the first Municipal Heritage Inventory in 2000
History	<p>Inherit - Prior to 1908 there was Spencer E.F., Wood and Coal Yards on the corner of Norfolk Street and Marine Terrace. From c1910 there was a residence (No 58), and later (1930s) there are three separate residences at No 58, suggesting a terrace house. Numbering changed in 1936/37. The houses are then numbered 2, 4 & 6 Norfolk Street.</p> <p>An aerial photo dated 1974 shows that these buildings had been replaced with a large commercial building by this date.</p> <p>The Fremantle Society Photographic Survey in 1979 records House, 8 Norfolk Street as 6 Norfolk Street which may have caused the place records to become confused.</p> <p>Both 6 and 8 Norfolk Street were included on the first Municipal Heritage Inventory.</p>
 <p>Metropolitan Sewerage Sheet 56, Revised 1914 Before 1933 8 Norfolk Street was numbered 52 Norfolk Street</p>	 <p>Aerial photo 1974</p>
Physical description existing:	Demolished
Authenticity	Low
Integrity	Low
Comment	Terrace (demolished) 6 Norfolk Street should not be confused with House, 8 Norfolk Street as they were separate places.
Recommendation	Remove from Heritage List Change from Historic/ Archaeological Site to Level 4 Make note in history of 8 Norfolk Street
Proposed new statement of significance	<i>DEMOLISHED- retained on MHI database for historical information purposes only.</i>

23. Terrace (Demolished), 11 Norfolk Street


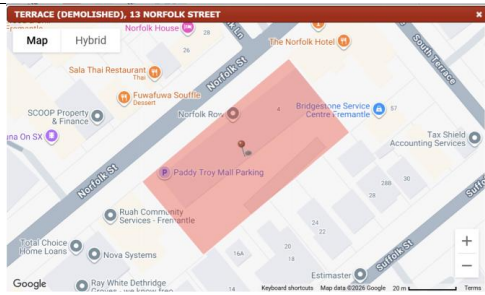

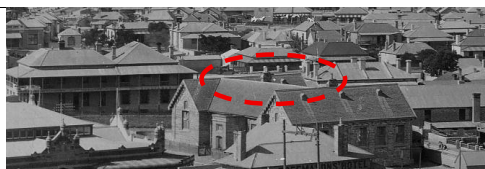
2026 UPDATE of Heritage List and Local Heritage Survey

 <p>ESRI Mapping 2026 This site is linked to the 11 Norfolk Street place record on Inherit but a search for 11 Norfolk Street in ESRI cannot find a property..</p>	 <p>INERIT MAPPING</p>
 <p>CURRENT PHOTO</p>	 <p>HISTORIC PHOTO – Panorama 1899</p>
<p>Why was the property identified for review?</p>	<p>Review of places described as demolished</p>
<p>City of Fremantle Heritage List – Existing</p>	<p>Terrace (Demolished), 11 Norfolk Street</p>
<p>Heritage Area</p>	<p>No</p>
<p>Local Heritage Survey – Existing in Inherit</p>	<p>21390</p>
<p>Management Category - Existing</p>	<p>Historic Record Only</p>
<p>Statement of significance - Existing</p>	<p><i>This property has historical interest only as the location of a now demolished heritage place. The existing development on the site has little significance.</i></p>
<p>Mapping – ESRI</p>	<p>Mapping - Inherit</p>
<p>Background</p>	<p>Part of the first Municipal Heritage Inventory in 2000</p>
<p>History</p>	<p>A panorama of Fremantle from 1899 shows that by that date the entire south side of Norfolk Street had been developed with terrace housing. Sewerage plans confirm that this included 6 sets of triplex terraces, a single house and a terrace with four houses and a shop. Aerial photographs show that the entire street was cleared between 1954 and 1965 and then resubdivided for new commercial development. The place 11 Norfolk Street would appear to correlate with the terrace house numbered 11-19 Essex Street on the sewerage drawing from 1915 - these buildings were renumbered in 1933) The existing townhouses, Norfolk Row 1-18/ 7 Norfolk Street were constructed between 1974 and 1981. The townhouse influenced by the tradition terrace house model but could best be described as Late Twentieth Century Perth Regional style. .</p>



2026 UPDATE of Heritage List and Local Heritage Survey

	
Metropolitan Sewerage Sheet 56, Revised 1914	Aerial photo 1947
Physical description existing:	Demolished
Authenticity	Low
Integrity	Low
Comment	The existing late 1970s townhouses on site have little heritage significance. The site has Low archaeological potential.
Recommendation	Remove from Heritage List
Proposed new statement of significance	<i>DEMOLISHED- retained on MHI database for historical information purposes only.</i>

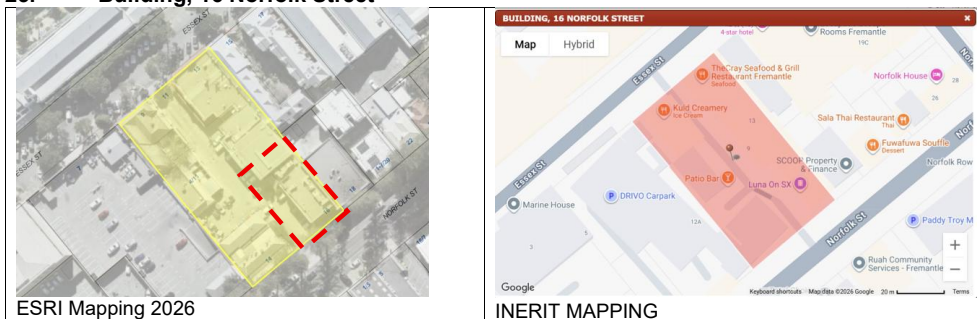
24. Terrace (Demolished), 13 Norfolk Street

	
ESRI Mapping 2026 This site is linked to the 13 Norfolk Street place record on Inherit but a search for 13 Norfolk Street in ESRI cannot find a property.	INERIT MAPPING
	
CURRENT PHOTO	HISTORIC PHOTO – Panorama 1899
Why was the property identified for review?	Review of places described as demolished
City of Fremantle Heritage List – Existing	Terrace (Demolished), 13 Norfolk Street
Heritage Area	No
Local Heritage Survey – Existing in Inherit	24596
Management Category - Existing	Historic Record Only



2026 UPDATE of Heritage List and Local Heritage Survey

Statement of significance - Existing	<i>DEMOLISHED- retained on MHI database for historical information purposes only.</i>
Background	-
History	<p>A panorama of Fremantle from 1899 shows that by that date the entire south side of Norfolk Street had been developed with terrace housing. Sewerage plans confirm that this included 6 sets of triplex terraces, a single house and a terrace with four houses and a shop. Aerial photographs show that the entire street was cleared between 1954 and 1965 and then resubdivided for new commercial development.</p> <p>The place 13 Norfolk Street would appear to correlate with the terrace house numbered 21 - 29 Essex Street on the sewerage drawing from 1915 - these buildings were renumbered in 1933)</p> <p>The existing townhouses, Norfolk Row 1-18/ 7 Norfolk Street were constructed between 1974 and 1981. The townhouse influenced by the tradition terrace house model but could best be described as Late Twentieth Century Perth Regional style. .</p>
	
Metropolitan Sewerage Sheet 56, Revised 1914	Aerial photo 1947
Physical description existing:	Demolished
Authenticity	Low
Integrity	Low
Comment	The existing late 1970s townhouses on site have little heritage significance. The site has Low archaeological potential.
Recommendation	Remove from Heritage List
Proposed new statement of significance	<i>DEMOLISHED- retained on MHI database for historical information purposes only.</i>

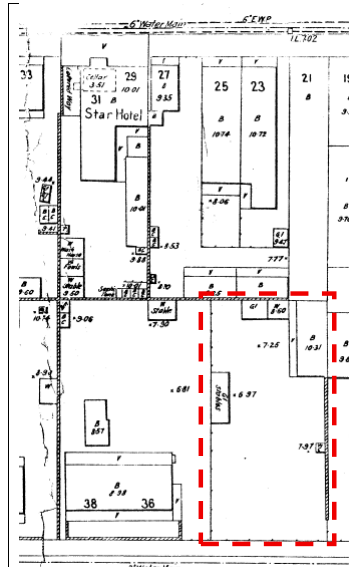


25. Building, 16 Norfolk Street



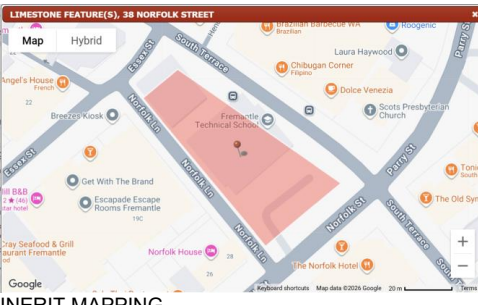
2026 UPDATE of Heritage List and Local Heritage Survey

	
CURRENT PHOTO	HISTORIC PHOTO
Why was the property identified for review?	Fremantle Society Survey 1978
City of Fremantle Heritage List – Existing	Review of places described as demolished
Heritage Area	Building, 16 Norfolk Street
Local Heritage Survey – Existing in Inherit	No
Management Category - Existing	22905
Statement of significance - Existing	Adopted
Background	<p>Inherit - <i>This place has aesthetic and historic significance as a remnant of pre-gold boom residential development in Fremantle. The building is not highly intact and recent fabric is not significant.</i></p>
History	<p>Part of the first Municipal Heritage Inventory in 2000</p> <p><i>Inherit - This building was formerly 34 Norfolk Street. The renumbering occurred in 1935/36. This building was constructed for the owner, William Owston in 1885 as an investment property. The first tenant was George Smith, a carter. Owston and his descendants owned the cottage until at least 1900. Stables were recorded as part of the property from 1886. From 1905/06 to 1920/21 the property was owned by Sarah Wilson who leased out the cottage to a variety of tenants, including Patrick Doherty. The 1908 sewerage plan of this site shows the brick cottage with a verandah. It is located in the rear north east corner of the lot. A galvanised iron stables was located in the yard as was another galvanised shed and a timber structure. A timber closet was also located in the yard. A stone wall defined the property boundary on the eastern side and joined the cottage. Between 1925/26 and 1952, this building was owned and used as a residence by Patrick Doherty. After this time it appears to have been used as a work shop and storage yard. In 1957, the owner, G Tomba erected a new garage in the yard of the property and this was extended in 1968. These new sheds were located in the north west corner of the property. This place was identified by the Fremantle Society in 1979/80 as being of cultural heritage significance. (Coded: Purple: "Of architectural and historic significance in its own right.") A photograph of the site in 1978 shows that the site was being used as a scrap metal dealership. Later photographs show that the building was in poor condition with the verandah enclosed with lattice, corrugated iron and other materials. The original form of the cottage is however still evident. In the 1990s the building was converted for use as a cinema. It is currently (2013) Luna cinema.</i></p>


2026 UPDATE of Heritage List and Local Heritage Survey

 <p>Metropolitan Sewerage Sheet 55, 1908</p>	 <p>Aerial photo 1985 – scrap yard</p>  <p>Aerial photo 1989 – Luna Cinema</p>
Physical description existing:	Demolished
Authenticity	Low
Integrity	Low
Comment	<p>The information in Inherit is incorrect. The early cottage described in the place record history appears to be the small structure in the back corner of the block. This site of this structure is in the centre of the Luna Cinemas building so it is highly unlikely that it has been retained. It is also highly unlikely that any archaeological material remains on site.</p>
Recommendation	<p>Remove from Heritage List Change Management Category from Historic/Archaeological site to Level 4.</p>
Proposed new statement of significance	<p><i>DEMOLISHED- retained on MHI database for historical information purposes only.</i></p>

26. Limestone Features, 38 Norfolk Street


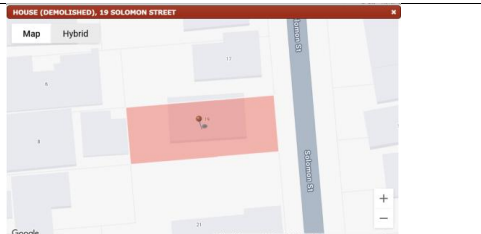


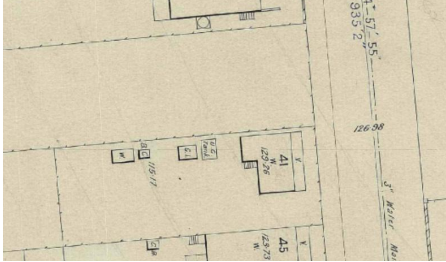

<p>There is no property 38 Norfolk Street ESRI Mapping 2026</p>	 <p>INERIT MAPPING</p>
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2026 UPDATE of Heritage List and Local Heritage Survey

	
<p>HISTORIC PHOTO – rear of Former Technical School (41 South Terrace) on the corner of Norfolk Street and Norfolk Lane Fremantle Society Survey 1978</p>	
<p>Why was the property identified for review?</p>	<p>Review of places described as demolished</p>
<p>City of Fremantle Heritage List – Existing</p>	<p>Limestone Feature(s), 38 Norfolk Street</p>
<p>Heritage Area</p>	<p>No</p>
<p>Local Heritage Survey – Existing in Inherit</p>	<p>21392</p>
<p>Management Category - Existing</p>	<p>Level 3</p>
<p>Statement of significance - Existing</p>	<p><i>Inherit - Use of limestone as part of the Fremantle landscape gives the City coherence and character. Limestone walls are one commonly encountered example of use of this stone as a building material, most of them dating from the 19th century and early years of the 20th century.</i></p>
<p>Background</p>	<p>Part of the first Municipal Heritage Inventory in 2000</p>
<p>History</p>	<p><i>Inherit - This place was identified in the "Heritage Report on 19th century limestone walls and steps in Fremantle" prepared by Silvana Grassadonia, for the City of Fremantle, 1986.</i> <i>The use of limestone is part of the Fremantle landscape and gives the City coherence and character. Limestone walls were built around properties in Fremantle to prevent sand drift in response to an early building regulation dating from the 1830s. Limestone walls are one commonly encountered example of use of this stone as a building material, most of them dating from the 19th century and early years of the 20th century. Most of the limestone in small walls came from local quarries.</i></p>
<p>Physical description existing:</p>	<p>Unable to locate</p>
<p>Authenticity</p>	<p>-</p>
<p>Integrity</p>	<p>-</p>
<p>Comment</p>	<p>There is no property numbered 38 Norfolk Street and there is no information to assist with locating the limestone feature(s). The place name may be incorrect and could be referring to Terrace, 28 Norfolk Street which contains historic stone boundary walls, or it could refer to the walls around the Old Technical School on South Terrace. Both of these places are protected by being on the Heritage List and the State Register.</p>
<p>Recommendation</p>	<p>Remove from Heritage List Remove from LHS</p>
<p>Proposed new statement of significance</p>	<p>-</p>

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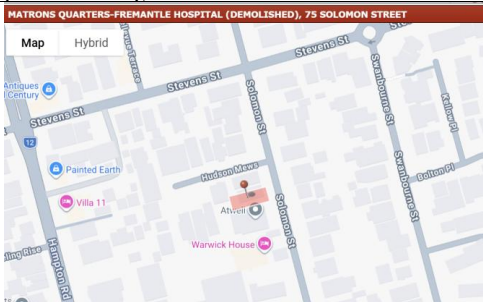
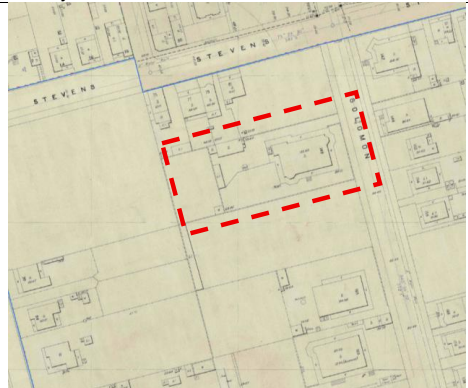
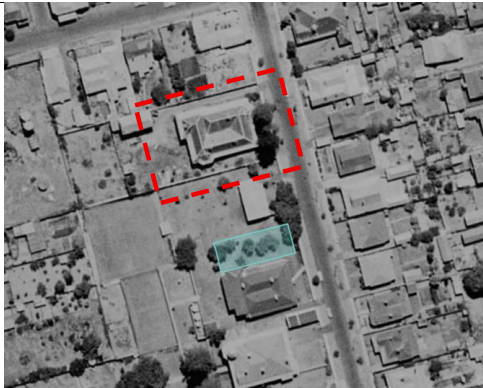
27. House Demolished 19 Solomon Street

 <p>ESRI Mapping 2026</p>	 <p>INERIT MAPPING</p>
 <p>CURRENT PHOTO</p>	 <p>HISTORIC PHOTO Fremantle Society Survey 1978</p>
<p>Why was the property identified for review? City of Fremantle Heritage List – Existing</p>	<p>Review of places described as demolished House (Demolished), 19 Solomon Street</p>
<p>Heritage Area</p>	<p>No</p>
<p>Local Heritage Survey – Existing in Inherit</p>	<p>21779</p>
<p>Statement of significance - Existing</p>	<p><i>DEMOLISHED- retained on MHI database for historical information purposes only.</i></p>
<p>Mapping – ESRI</p>	<p>Mapping - Inherit</p>
<p>Background</p>	<p>Part of the first Municipal Heritage Inventory in 2000</p>
<p>History</p>	<p>.</p>
 <p>Metropolitan sewerage Sheet 2109, revised 1915</p>	 <p>Aerial photo 1989</p>
<p>Physical description existing:</p>	<p>Demolished</p>
<p>Authenticity</p>	<p>Low</p>
<p>Integrity</p>	<p>Low</p>
<p>Comment</p>	<p>Inherit - A dwelling appears to have been erected on the lot in 1898. The property was owned and occupied by James Peake, an engine driver who was employed by the West Australian Government Railways. Sewerage plans show that the house was of timber construction. Historic aerial photos show that the</p>

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	timber house was demolished between 1985 and 1989 for the existing masonry house.
Recommendation	Remove from Heritage List Change Management Category from Historic/ Archaeological site to Level 4.
Proposed new statement of significance	<i>Retain existing.</i>

28. Matrons Quarters-Fremantle Hospital (Demolished), 75 Solomon Street

	
ESRI Mapping 2026	INERIT MAPPING
CURRENT PHOTO	HISTORIC PHOTO
Why was the property identified for review? City of Fremantle Heritage List – Existing	Review of places described as demolished Matrons Quarters-Fremantle Hospital (Demolished), 75 Solomon Street
Heritage Area	No
Local Heritage Survey – Existing in Inherit	21800
Management Category - Existing	Historic/ Archaeological Site
Statement of significance - Existing	<i>DEMOLISHED- retained on MHI database for historical information purposes only.</i>
Mapping – ESRI	Mapping - Inherit
Background	Part of the first Municipal Heritage Inventory in 2000
History	.Inherit – no information
	
Documentary evidence	Aerial photo 1965 The current 75 Solomon Street was not part of the site of the former Nurses Quarters
Physical description existing:	No
Authenticity	Low
Integrity	Low

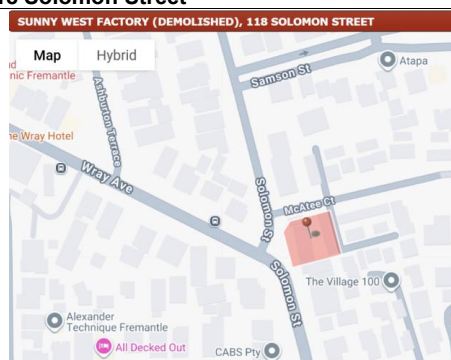
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Comment	The current 75 Solomon Street is not associated with the historic former Nurses Quarters. The properties that correlate with the demolished house are 73 Solomon, 73A Solomon and Hudson Mews.
Recommendation	Remove from Heritage List Change name to Former Nurses Quarters and change address Change Management Category from Historic/ Archaeological site to Level 4.
Proposed new statement of significance	<i>DEMOLISHED- retained on MHI database for historical information purposes only.</i>

29. Sunny West Factory (Demolished), 118 Solomon Street



ESRI Mapping 2026



INERIT MAPPING





CURRENT PHOTO




HISTORIC PHOTO

Why was the property identified for review?	Review of places described as demolished
City of Fremantle Heritage List – Existing	Sunny West Factory (Demolished), 118 Solomon Street
Heritage Area	No
Local Heritage Survey – Existing in Inherit	21817
Management Category - Existing	Historic/ Archaeological Site
Statement of significance - Existing	<i>DEMOLISHED- retained on MHI database for historical information purposes only.</i>
Background	Part of the first Municipal Heritage Inventory in 2000
History	Inherit – no information Sunnywest was a West Australian Dairy Company that was established in Boyanup in the 1940s. A factory and distribution hub was established in Solomon Street in the Inter-War Era and it reached its peak in the 1950s and 60s. In 1970 Sunnywest was absorbed by Masters Dairy, and the Solomon Street




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	factory was closed. An Aerial photo from 1985 shows the site has been cleared and is in the process of sub-division. By 1989 the land was fully developed with housing.
 <p>Aerial photo 1953</p>	 <p>Aerial photo 1981 Showing full extent of the Sunny west Dairy.</p>
Physical description existing:	No
Authenticity	Low
Integrity	Low
Comment	This site has low archaeological potential.
Recommendation	Remove from Heritage List Change Management Category from Historic/ Archaeological site to Level 4.
Proposed new statement of significance	<i>DEMOLISHED- retained on MHI database for historical information purposes only.</i>

30. House & Stables (Demolished), 122 Solomon Street


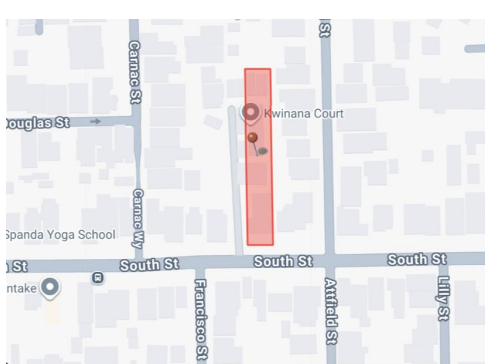


 <p>ESRI Mapping 2026</p>	<p>N/A INERIT MAPPING</p>
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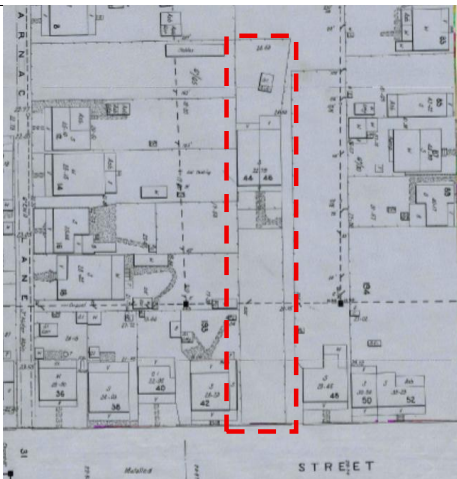

	<p>N/A HISTORIC PHOTO</p>
<p>CURRENT PHOTO</p>	
<p>Why was the property identified for review?</p>	<p>Review of places described as demolished</p>
<p>City of Fremantle Heritage List – Existing</p>	<p>House & Stables (Demolished), 122 Solomon Street</p>
<p>Heritage Area</p>	<p>No</p>
<p>Local Heritage Survey – Existing in Inherit</p>	<p>House & Stables (Demolished), 122 Solomon21817</p>
<p>Management Category - Existing</p>	<p>Historic/ Archaeological Site</p>
<p>Statement of significance - Existing</p>	<p><i>DEMOLISHED- retained on MHI database for historical information purposes only.</i></p>
<p>Background</p>	<p>Part of the first Municipal Heritage Inventory in 2000</p>
<p>History</p>	<p>Inherit – no information</p>
	<p>There is a shed on the earliest aerial photograph from 1947. A new larger shed has been constructed in 1981 and the was not demolished until 2005.</p>
	
<p>Aerial photo 1953</p>	<p>Aerial photo 1981</p>
<p>Physical description existing:</p>	<p>No</p>
<p>Authenticity</p>	<p>Low</p>
<p>Integrity</p>	<p>Low</p>
<p>Comment</p>	<p>The name on the HL is different to Inherit.</p>
	<p>This site has low archaeological potential.</p>
<p>Recommendation</p>	<p>Remove from Heritage List</p>
	<p>Change Management Category from Historic/ Archaeological site to Level 4.</p>
<p>Proposed new statement of significance</p>	<p><i>DEMOLISHED- retained on MHI database for historical information purposes only.</i></p>

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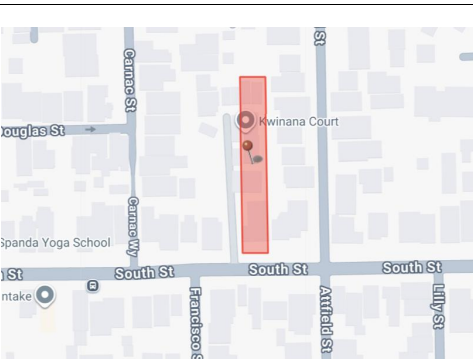
31. Duplex (Demolished), 44 South Street

 <p>ESRI Mapping 2026</p>	 <p>INERIT MAPPING</p>
 <p>CURRENT PHOTO Duplex 44-46 South Street (demolished) LHS and 48 South Street (existing) RUS</p>	 <p>HISTORIC PHOTO – 44-46 South Street set well back from street behind garden</p>
<p>Why was the property identified for review?</p>	<p>Review of places described as demolished</p>
<p>City of Fremantle Heritage List – Existing</p>	<p>Duplex (Demolished), 44 South Street</p>
<p>Heritage Area</p>	<p>No</p>
<p>Local Heritage Survey – Existing in Inherit</p>	<p>21866</p>
<p>Management Category - Existing</p>	<p>Historic/ Archaeological Site</p>
<p>Statement of significance - Existing</p>	<p><i>DEMOLISHED- retained on MHI database for historical information purposes only.</i></p>
<p>Background</p>	<p>Part of the first Municipal Heritage Inventory in 2000</p>
<p>History</p>	<p>House 48 and Duplex 44-46 South Street have a shared history as they were developed on the same lot - House, 48 South Street was built in the late 1880s or late 1890s. In 1886, a two roomed cottage was built on the lot for Francis Barrett, a plasterer. By 1894, this cottage had been enlarged to four rooms and another two cottages were built on the lot in 1897. At this time, Robert Cook was the owner of the lot and leased all of the cottages to tenants. Duplex 44-46 South Street was demolished in the 1980s for the existing grouped housing.</p> <p>Inherit – In the 1980s there was a ten unit development on the site. These units were constructed to accommodate the America's Cup Crew.</p>



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 <p>Sewerage Plan Sheet 78</p>	 <p>Aerial photo 1981</p>
Physical description existing:	No
Authenticity	Low
Integrity	Low
Comment	This site has low archaeological potential.
Recommendation	Remove from Heritage List Change Management Category from Historic/ Archaeological site to Level 4.
Proposed new statement of significance	<i>DEMOLISHED- retained on MHI database for historical information purposes only.</i>

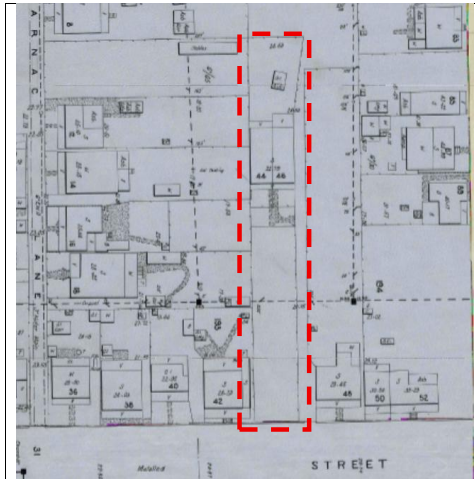

32. Duplex (Demolished), 46 South Street

 <p>ESRI Mapping 2026</p>	 <p>INERIT MAPPING</p>
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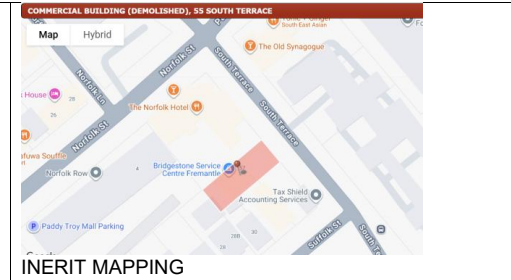
2026 UPDATE of Heritage List and Local Heritage Survey

	
<p>CURRENT PHOTO Duplex 44-46 South Street (demolished) LHS and 48 South Street (existing) RUS</p>	<p>HISTORIC PHOTO – 44-46 South Street set well back from street behind garden</p>
<p>Why was the property identified for review?</p>	<p>Review of places described as demolished</p>
<p>City of Fremantle Heritage List – Existing</p>	<p>Duplex (Demolished), 46 South Street</p>
<p>Heritage Area</p>	<p>No</p>
<p>Local Heritage Survey – Existing in Inherit</p>	<p>21867</p>
<p>Management Category - Existing</p>	<p>Historic/ Archaeological Site</p>
<p>Statement of significance - Existing</p>	<p><i>DEMOLISHED- retained on MHI database for historical information purposes only.</i></p>
<p>Background</p>	<p>Part of the first Municipal Heritage Inventory in 2000</p>
<p>History</p>	<p>House 48 and Duplex 44-46 South Street have a shared history as they were developed on the same lot - House, 48 South Street was built in the late 1880s or late 1890s. In 1886, a two roomed cottage was built on the lot for Francis Barrett, a plasterer. By 1894, this cottage had been enlarged to four rooms and another two cottages were built on the lot in 1897. At this time, Robert Cook was the owner of the lot and leased all of the cottages to tenants. Duplex 44-46 South Street was demolished in the 1980s for the exiting grouped housing. Inherit – In the 1980s there was a ten unit development on the site. These units were constructed to accommodate the America's Cup Crew.</p>



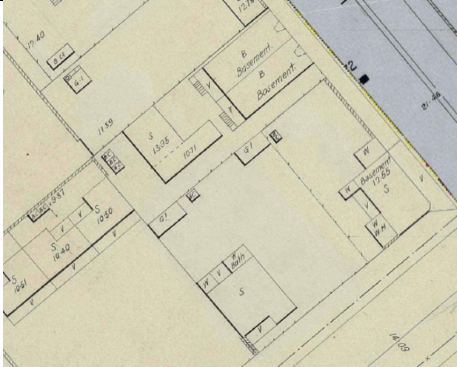

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 <p>Sewerage Plan Sheet 78</p>	 <p>Aerial photo 1981</p>
Physical description existing:	No
Authenticity	Low
Integrity	Low
Comment	This site has low archaeological potential.
Recommendation	Remove from Heritage List Change Management Category from Historic/ Archaeological site to Level 4.
Proposed new statement of significance	<i>DEMOLISHED- retained on MHI database for historical information purposes only.</i>



33. Commercial Building (Demolished), 55 South Terrace

 <p>ESRI Mapping 2026</p>	 <p>INERIT MAPPING</p>
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2026 UPDATE of Heritage List and Local Heritage Survey

 <p>CURRENT PHOTO</p>	 <p>HISTORIC PHOTO – a post war building at the rear of 55 South Terrace can be seen on the right of 63 South Terrace</p>
<p>Why was the property identified for review?</p>	<p>Review of places described as demolished</p>
<p>City of Fremantle Heritage List – Existing</p>	<p>Commercial Building (Demolished), 55 South Tce</p>
<p>Heritage Area</p>	<p>No</p>
<p>Local Heritage Survey – Existing in Inherit</p>	<p>21867</p>
<p>Management Category - Existing</p>	<p>Historic/ Archaeological Site</p>
<p>Statement of significance - Existing</p>	<p><i>DEMOLISHED- retained on MHI database for historical information purposes only.</i></p>
<p>Background</p>	<p>Part of the first Municipal Heritage Inventory in 2000</p>
<p>History</p>	<p>Inherit – <i>The early PWD WA plans and the Diag. 2504 from Office of Titles do not illustrate the street frontage shop and rooms, although a building is shown at the rear of the block in the PWD plans. However, from 1908, the PWD plans do indicate the front premises. The pre-1880 shop and rooms with cottage at the rear, located next to the Norfolk Hotel, has been completely demolished. An inspection of the site may reveal traces of stone wall and foundation since the land appears to drop away. This is numbers 55-57 South Terrace. Currently (2010) Renown Tyres.</i></p>
 <p>Sewerage Plan Sheet 78</p>	 <p>Aerial photo 1965</p>


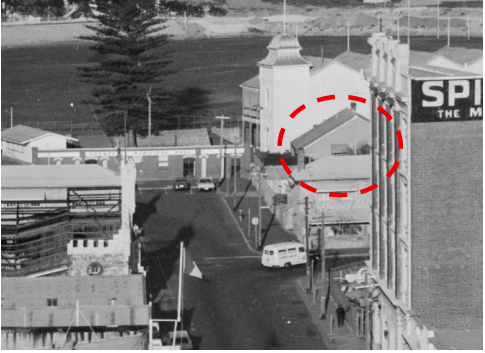
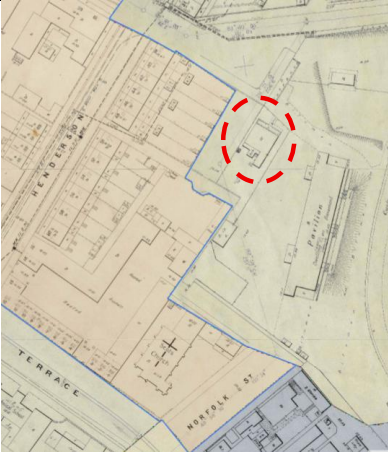

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<p>Aerial Photo, 1981</p>	<p>Southern wall of 55 South Terrace, 2024</p>
<p>Physical description existing:</p>	<p><i>Inherit – Archaeology The pre-1880 shop and rooms with cottage at the rear, located next to the Norfolk Hotel has been completely demolished. An inspection of the site may reveal traces of stone wall and foundation since the land appears to drop away.</i></p>
<p>Authenticity</p>	<p>Low</p>
<p>Integrity</p>	<p>Low</p>
<p>Comment</p>	<p>Sewerage plans show a pair of shops on the front boundary of 55 South Terrace in 1908. Historic aerial photos show that these buildings were demolished for the existing building between 1974 and 1981. This site has low archaeological potential. The existing building consists of a large, paved forecourt and a commercial building at the rear. The building at the rear is either two storey or built up on substantial foundations to create a level site. The extent of construction work at the rear of the site means that this site has been considerably disturbed and has low archaeological potential.</p>
<p>Recommendation</p>	<p>Remove from Heritage List Change Management Category from Historic/ Archaeological site to Level 4.</p>
<p>Proposed new statement of significance</p>	<p><i>DEMOLISHED- retained on MHI database for historical information purposes only.</i></p>

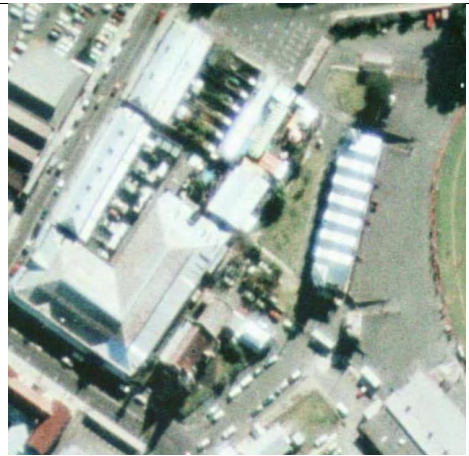
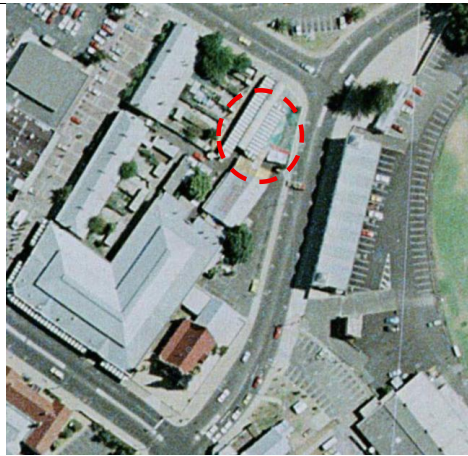
34. Caretaker's House (Demolished), 90 South Terrace

	<p>N/A INERIT MAPPING</p>
<p>ESRI Mapping 2026 Note: this is the site of Scots Church which is on the HL and State Register.</p>	


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<p>CURRENT PHOTO</p>	<p>HISTORIC PHOTO –</p>
<p>Why was the property identified for review?</p>	<p>Review of places described as demolished</p>
<p>City of Fremantle Heritage List – Existing</p>	<p>Commercial Building (Demolished), 55 South Tce</p>
<p>Heritage Area</p>	<p>No</p>
<p>Local Heritage Survey – Existing in Inherit</p>	<p>No</p>
<p>Management Category - Existing</p>	<p>No</p>
<p>Statement of significance - Existing</p>	<p>No</p>
<p>Background</p>	<p>Part of the first Municipal Heritage Inventory in 2000</p>
<p>History</p>	<p>The following information is taken from the Fremantle Oval CMP, Griffiths Architects 2020: <i>When the Fremantle Sea Baths were demolished in 1917, a contractor, G. W. Hill, offered to construct a four-room Caretaker's Cottage on the Fremantle Oval if he were given the remnant material from the baths. It appears some of this timber was used to construct a cottage, although this building was demolished in the 1980s to make way for the construction of the Parry Street extension</i></p>
	
<p>Caretaker's Cottage, Fremantle Oval Sewerage Plans composite SRO website</p>	<p>Aerial photo 1965</p>



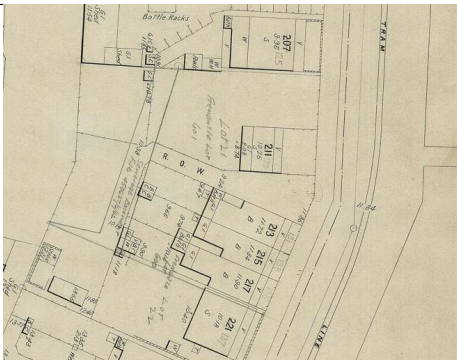

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Aerial Photo, 1981 – Markets established	Aerial photo 1989 – Parry Street bypass built
Physical description existing:	Demolished Low archaeological potential
Authenticity	Low
Integrity	Low
Comment	The Fremantle Oval Caretakers cottage was demolished for the establishment of the rear yard at the Fremantle Markets. It is now the site of the Fruit and Vegetable Hall designed by Brian Klopper.
Recommendation	Remove from Heritage List Add Level 4. Make Child place to Fremantle Markets
Proposed new statement of significance	<i>DEMOLISHED- retained on MHI database for historical information purposes only.</i>

35. House (Demolished), 129 South Terrace

	
ESRI Mapping 2026	INERIT MAPPING


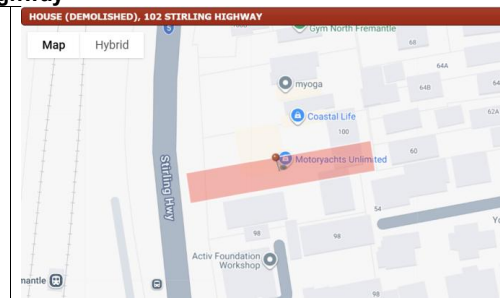
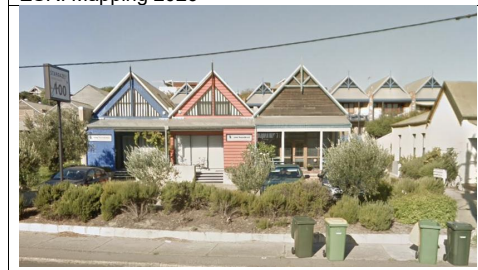

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CURRENT PHOTO	HISTORIC PHOTO –
Why was the property identified for review?	Review of places described as demolished
City of Fremantle Heritage List – Existing	Commercial Building (Demolished), 55 South Tce
Heritage Area	No
Local Heritage Survey – Existing in Inherit	21947
Management Category - Existing	Historic/ Archaeological site
Statement of significance - Existing	<i>DEMOLISHED- retained on MHI database for historical information purposes only.</i>
Background	-
History	<p><i>Inherit - House, 129 South Terrace & Terraces, 131-135 South Terrace. Lots 24 of 601 and Lot 23 of 600 were granted to David Joslin, a Pensioner, in 1870 and remained in his family for 80 years. According to the rates books, the earliest buildings appeared on these lots in 1885, both termed as cottages. In 1901-02, three more cottages were built: the terrace houses at 131, 133 and 135 South Terrace. James Joslin, a milkman, was the owner. Herbert Ellis, a fitter, Sydney Lamb, a painter, and James Reynolds, an iron monger, were the first occupants. The separate stone house, No. 129 (previously 211), is thought to be one of the earliest buildings, which was situated well back on the lot. It would appear that this house was demolished in 1960. The existing brick and tile house was built in 1961.</i></p>
	
Metropolitan Sewerage plan 2081	Aerial photo 1965
Physical description existing:	Demolished Low archaeological potential
Authenticity	Low
Integrity	Low
Comment	

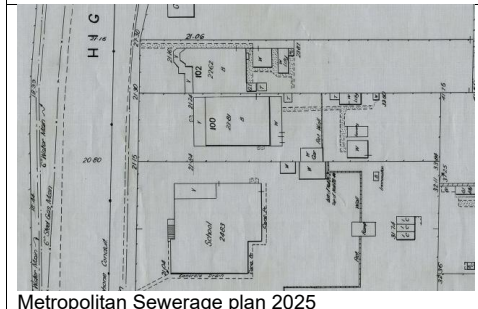

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Recommendation	Remove from Heritage List Change from Historic/ Archaeological site to Level 4.
Proposed new statement of significance	<i>DEMOLISHED- retained on MHI database for historical information purposes only.</i>


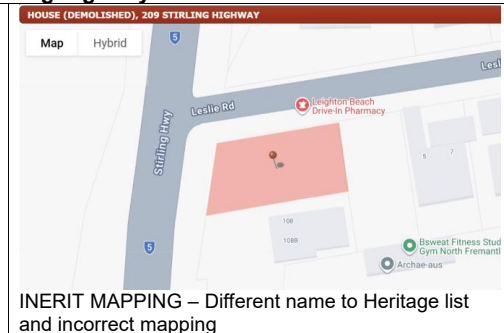
36. House (Demolished), 102 Stirling Highway

 <p>ESRI Mapping 2026</p>	 <p>INERIT MAPPING</p>
 <p>CURRENT PHOTO (2015)</p>	 <p>HISTORIC PHOTO Fremantle Society Survey, 1980</p>
<p>Why was the property identified for review?</p>	<p>Review of places described as demolished</p>
<p>City of Fremantle Heritage List – Existing</p>	<p>House (Demolished), 102 Stirling Highway</p>
<p>Heritage Area</p>	<p>North Fremantle Heritage Area</p>
<p>Local Heritage Survey – Existing in Inherit</p>	<p>22101</p>
<p>Management Category - Existing</p>	<p>Adopted</p>
<p>Statement of significance - Existing</p>	<p>no</p>
<p>Background</p>	<p>The property where 102 Stirling Highway is now referred to as 100 Stirling Highway.</p>
<p>History</p>	<p><i>Inherit - House, 102 Stirling Highway was constructed at some time between c. 1900 and 1921/22, at which time it was owned by Caroline Fitzgerald and leased to Mandale Armstrong. By 1923, the six room brick residence had been sold to C.V. Chapman, who resided there until after 1961.</i></p> <p><i>A 1939 diagram shows House, 102 Stirling Highway was being a brick house on a narrow lot, with a bay window to the north and a full length front verandah. A path gave access from the street down the northern side of the house, across the rear and into the backyard.</i></p> <p><i>Title to the property passed to Michael F. Lynch c. 1958, and he remained in residence until at least 1982. The house was demolished between 1985 and</i></p>



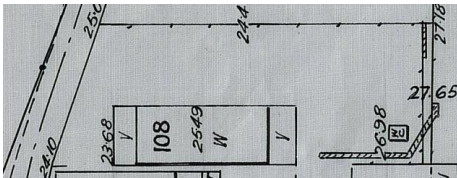
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	<p>1995. This place was included in the list of heritage places in the City of Fremantle identified by the Fremantle Society (1979/80) - BROWN -significant for making a positive contribution to the built environment of Fremantle.</p> <p>Aerial photos show that the house was demolished between 1985 and 1989 and the existing complex of 10 units constructed by 1999. This complex was part of a larger development that extend across 100 – 107 Stirling Highway and was designed by Brian Klopper.</p>
 <p>Metropolitan Sewerage plan 2025</p>	 <p>Aerial photo 1985</p>
<p>Physical description existing:</p>	<p>Demolished Low archaeological potential</p>
<p>Authenticity</p>	<p>Low</p>
<p>Integrity</p>	<p>Low</p>
<p>Comment</p>	<p>This place may be further considered as part of a review of Late 20th Century architecture.</p>
<p>Recommendation</p>	<p>Remove from Heritage List Change from Historic/ Archaeological site to Level 4.</p>
<p>Proposed new statement of significance</p>	<p><i>DEMOLISHED- retained on MHI database for historical information purposes only.</i></p>

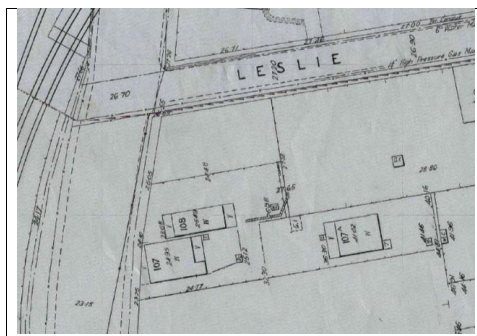

37. Antiques Shop (Demolished), 109 Stirling Highway

 <p>ESRI Mapping 2026 – 208 Stirling Highway</p>	 <p>HOUSE (DEMOLISHED), 209 STIRLING HIGHWAY</p> <p>Map Hybrid</p> <p>INERIT MAPPING – Different name to Heritage list and incorrect mapping</p>
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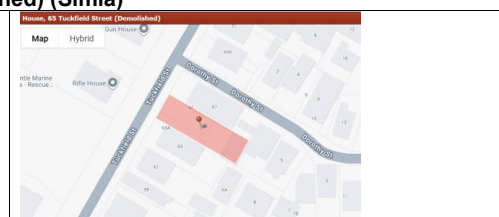
2026 UPDATE of Heritage List and Local Heritage Survey

 <p>CURRENT PHOTO (2015)</p>	 <p>HISTORIC PHOTO Fremantle Society Survey, 1980</p>
<p>Why was the property identified for review?</p>	<p>Review of places described as demolished</p>
<p>City of Fremantle Heritage List – Existing</p>	<p>House (Demolished), 209 Stirling Highway</p>
<p>Heritage Area</p>	<p>North Fremantle Heritage Area</p>
<p>Local Heritage Survey – Existing in Inherit</p>	<p>22507</p>
<p>Management Category - Existing</p>	<p>Adopted</p>
<p>Statement of significance - Existing</p>	<p>no</p>
<p>Background</p>	<p>There would appear to be some clerical errors with the address of this place.</p>
<p>History</p>  <p>House at 108 Stirling Highway. Note the stone wall at the back of the site</p>	<p>Inherit - <i>In 1996, the place was described as a simple gabled cottage that had been converted into a shop for antiques. The separate verandah roof was supported on timber posts, with delicate iron filigree brackets attached to some of the posts. The original chimney was intact. The front of the building had been altered so it was difficult to ascertain original fabric. The place was demolished at some time after this.</i></p> <p>A Sewerage drawing from 1940 shows a small house numbered 108 Stirling Highway and a section of limestone wall. The Fremantle Society photo showing the antique shop is also labeled 108 Stirling Highway. The North Fremantle Heritage Study, 1994 incorrectly describes it as Shop, 109 Stirling Highway and this address has been used on the heritage list. There is no place record for 109 Stirling Highway on Inherit, only 209 Stirling Highway and It is highly likely that this is a clerical error which needs to be corrected. Historic aerial photos show that the historic building was demolished in 2000 for the existing commercial building on site.</p> <p>The limestone wall at the rear of the 108 Stirling Highway was identified in the report 19th Limestone Walls and Steps in Fremantle. This wall is heritage protected by the separate listing Limestone Features, 108 Stirling Highway.</p>

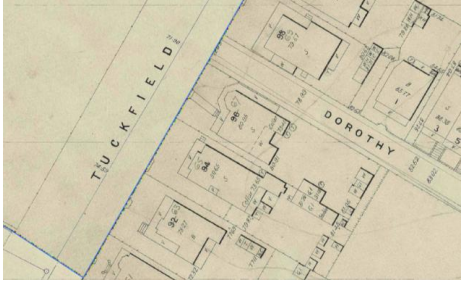

2026 UPDATE of Heritage List and Local Heritage Survey

	 <p>Aerial photo 1985</p>
<p>Metropolitan Sewerage plan 2025</p>	
<p>Physical description existing:</p>	<p>House/ Shop Demolished Low archaeological potential</p>
<p>Authenticity</p>	<p>Low</p>
<p>Integrity</p>	<p>Low</p>
<p>Comment</p>	<p>The address of this place has been incorrectly recorded.</p>
<p>Recommendation</p>	<p>Remove Antique Shop, 109 Stirling Highway from Heritage List Move information to heritage listing Limestone features, 108 Stirling Highway</p>
<p>Proposed new statement of significance</p>	<p>-</p>


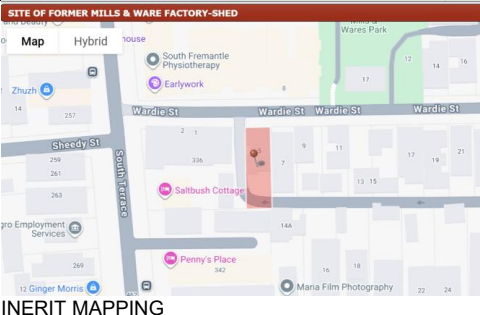


38. House, 65 Tuckfield Street (Demolished) (Simla)

	
<p>ESRI Mapping 2023</p>	<p>INERIT MAPPING</p>
	
<p>CURRENT PHOTO</p>	<p>HISTORIC PHOTO Fremantle Society Survey, 1980</p>
<p>Why was the property identified for review?</p>	<p>Review of places described as demolished</p>
<p>City of Fremantle Heritage List – Existing</p>	<p>House (Demolished), 65 Tuckfield Street</p>
<p>Heritage Area</p>	<p>No</p>
<p>Local Heritage Survey – Existing in Inherit</p>	<p>12853</p>
<p>Management Category - Existing</p>	<p>Historic/ Archaeological Site</p>
<p>Statement of significance - Existing</p>	<p><i>DEMOLISHED- retained on MHI database for historical information purposes only.</i></p>
<p>Mapping – ESRI</p>	<p>Mapping - Inherit</p>
<p>Background</p>	<p>Part of the first Municipal Heritage Inventory in 2000</p>

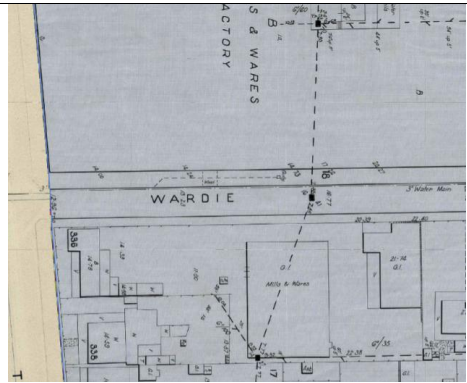
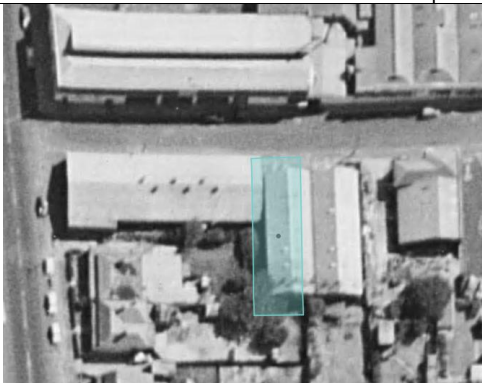
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History	Inherit - A house was erected on the lot in 1903/04 for Frederick Burwell and occupied by James Burwell, an architect. The house was demolished after 2004.
	
Metropolitan Sewerage, Sheet 2041	Aerial phot 2006
Physical description existing:	Demolished
Authenticity	Low
Integrity	Low
Comment	Demolished
Recommendation	Remove from Heritage List Change Management Category from Historic/ Archaeological site to Level 4.
Proposed new statement of significance	<i>DEMOLISHED- retained on MHI database for historical information purposes only.</i>

39. Site Of Former Mills & Ware Factory-Shed, 5 Wardie St South Fremantle

	
ESRI Mapping 2026	INERIT MAPPING
	
CURRENT PHOTO	HISTORIC PHOTO Fremantle Society Survey, 1978
Why was the property identified for review?	Review of places described as demolished
City of Fremantle Heritage List – Existing	Site of Former Mills and Ware Factory Shed

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Heritage Area	South Fremantle Precinct Heritage Area
Local Heritage Survey – Existing in Inherit	22271
Management Category - Existing	Historic/ Archaeological Site
Statement of significance - Existing	<i>DEMOLISHED- retained on MHI database for historical information purposes only.</i>
Mapping – ESRI	Mapping - Inherit
Background	Part of the first Municipal Heritage Inventory in 2000
History	Metropolitan Sewerage plans show that the Mills and Ware factory building at 5 Wardie Street was constructed between 1914 and 1954. Historic Aerial photos and sewerage plans show that the building spread across 5 and 7 Wardie Street. Aerial photos show that the factory was demolished and subdivided and two new houses constructed between 1989 and 1999 when the Mills and Ware site was redeveloped.
	
Metropolitan Sewerage, Sheet 2096, 1954	Aerial photo 1954
Physical description existing:	Demolished
Authenticity	Low
Integrity	Low
Comment	The site of the demolished building included 5 and 7 Wardie Street.
Recommendation	Remove from Heritage List Change address from 5 Wardie Street to 5-7 Wardie Street Change Management Category from Historic/ Archaeological site to Level 4. Make Child place to Mills and Ware Factory
Proposed new statement of significance	<i>DEMOLISHED- retained on MHI database for historical information purposes only.</i>

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Attachment 4

Assessment of Places to change on Local Heritage Survey

1. House (Demolished), 16 Alfred Road, North Fremantle
2. House (Demolished), 26 Ainslie Road, North Fremantle
- 3 House (Demolished), 28 Ainslie Road, North Fremantle
- 4 House (Demolished), 30 Ainslie Road, North Fremantle
- 5 Duplex (Demolished), 18 John Street, North Fremantle
6. Duplex (Demolished), 20 John Street, North Fremantle





Deferred Places

Note: Bold indicates place nominated for review by owner



1. House (Demolished) 16 Banister Street
2. **Houses 64B Attfield and 64C Attfield and 1-5/ 47 Wray Avenue**

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1. House (Demolished), 26 Ainslie Road, North Fremantle

	
<p>CURRENT PHOTO Google Streetview 2024</p>	<p>HISTORIC PHOTO Vacant site on the corner of Ainslie and Corkhill Streets, 1979</p>
<p>Why was the property identified for review?</p>	<p>To check listing and update management category</p>
<p>City of Fremantle Heritage List - Existing Heritage Area</p>	<p>House (demolished) 26 Ainslie Road North Fremantle Heritage Area</p>
<p>Local Heritage Survey - Existing</p>	<p>House (demolished) 26 Ainslie Road</p>
<p>Management Category - Existing</p>	<p>Historic/ Archaeological Site</p>
<p>Statement of significance - Existing</p>	<p><i>Demolished</i></p>
<p>Background</p>	<p>In 1999 24, 26, 28 and 30 Ainslie Road and Myuna Flats were demolished and the site redeveloped. The existing house numbers do not relate to the historic places. The historic house at 26 Ainslie Road was not located on the current 26 Ainslie Road site but correlates more closely with 9 Cypress Lane.</p>
<p>History</p>	<p>Prior to 2000 the corner site which is now numbered 26 Ainslie was not numbered and was not developed. In 1999 24, 26, 28 and 30 Ainslie Road and Myuna Flats were demolished and the site redeveloped. The corner site was then numbered 26 Ainslie and in 2005 the existing house was built on the site.</p>
	
<p>Metropolitan Sewerage, Sheet 2019, 1940</p>	<p>Historic house 26 Ainslie Street (now 9 Cypress Lane), Fremantle Society 1979</p>





2026 UPDATE of Heritage List and Local Heritage Survey

	
<p>26 Ainslie Road, Aerial photograph 1898 prior to redevelopment in 2000</p>	<p>26 Ainslie Road, 2025</p>
<p>Physical description existing:</p>	<p>Demolished</p>
<p>Authenticity</p>	<p>Low</p>
<p>Integrity</p>	<p>Low</p>
<p>Comment</p>	<p>The heritage listing for 26 Ainslie Road was originally compiled prior to the subdivision of the site so the information included in the 2000 Fremantle Municipal Heritage Inventory is incorrect.</p>
<p>Recommendation</p>	<p>Consolidate 26, 28 & 30 Ainslie Road into a new place, <i>4 Houses (Demolished), Ainslie Road</i>. Change management category from Historic/ Archaeological Site to Level 4 Change mapping to include 28 & 30 Ainslie Road and 9, 12, 14 Cypress Lane</p>
<p>Proposed new statement of significance</p>	<p><i>DEMOLISHED- retained on MHI database for historical information purposes only.</i></p>

2. House (Demolished), 28 Ainslie Road, North Fremantle

	
<p>CURRENT PHOTO 28 Ainslie Road, Google Streetview 2024</p>	<p>HISTORIC PHOTO 28 Ainslie Road (originally numbered 24 Ainslie Road), Fremantle Society 1979</p>

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Why was the property identified for review?	To check listing and update management category
City of Fremantle Heritage List - Existing	House (demolished) 28 Ainslie Road
Heritage Area	North Fremantle Heritage Area
Local Heritage Survey - Existing	House (demolished) 28 Ainslie Road
Management Category - Existing	Historic/ Archaeological Site
Statement of significance - Existing	<i>Demolished</i>
Background	In 1999 24, 26, 28 and 30 Ainslie Road and Myuna Flats were demolished and the site redeveloped. The existing house numbers do not relate to the historic places. The historic house at 28 Ainslie Road does not relate to the current 28 Ainslie Road but to 14 and 16 Cypress Lane.
History	Prior to 2000 28 Ainslie Road was numbered 26 Ainslie Road but it was never developed. In 1999 24, 26, 28 and 30 Ainslie Road and Myuna Flats were demolished and the site redeveloped. The existing house was constructed in 2005 and renumbered 26 Ainslie Road.
	
In 1940 the existing 28 Ainslie Street was numbered 24 Ainslie. Metropolitan Sewerage Plan, Sheet 2019, 1940	Historic house 28 Ainslie Street before redevelopment (now 14 and 16 Cypress Lane) Fremantle Society 1979
	
28 Ainslie Street, 1989	28 Ainslie Street, 2025
Physical description existing:	Demolished

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Authenticity	Low
Integrity	Low
Comment	The heritage listing for 26 Ainslie Road was originally compiled prior to the subdivision of the site so the information included in the 2000 Fremantle Municipal Heritage Inventory is incorrect.
Recommendation	Consolidate 26, 28 & 30 Ainslie Road into a new place, <i>4 Houses (Demolished), Ainslie Road</i> . Change management category from Historic/ Archaeological Site to Level 4 Change mapping to include 28 & 30 Ainslie Road and 9, 12, 14 Cypress Lane
Proposed new statement of significance	<i>DEMOLISHED- retained on MHI database for historical information purposes only.</i>

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3. House (Demolished), 30 Ainslie Road, North Fremantle





	<p>- HISTORIC PHOTO 30 Ainslie Road (originally part of 24 and 26 Ainslie Road),</p>
<p>CURRENT PHOTO 30 Ainslie Road, Google Streetview 2024</p>	
<p>Why was the property identified for review?</p>	<p>To check listing and update management category</p>
<p>City of Fremantle Heritage List - Existing</p>	<p>House (demolished) 30 Ainslie Road</p>
<p>Heritage Area</p>	<p>North Fremantle Heritage Area</p>
<p>Local Heritage Survey - Existing</p>	<p>House (demolished) 30 Ainslie Road</p>
<p>Management Category - Existing</p>	<p>Historic/ Archaeological Site</p>
<p>Statement of significance - Existing</p>	<p><i>Demolished</i></p>
<p>Background</p>	<p>In 1999 24, 26, 28 and 30 Ainslie Road and Myuna Flats were demolished and the site redeveloped. The existing house numbers do not relate to the historic places. The historic house 30 Ainslie Road does not relate to the current 30 Ainslie Road but was created from part of 24 and 26 Ainslie.</p>
<p>History</p>	<p>Prior to 2000 30 Ainslie Road was part of part of 24 and 26 Ainslie Road. In 1999 24, 26, 28 and 30 Ainslie Road and Myuna Flats were demolished and the site redeveloped. The new Site was created in 2000 and house was existing house was constructed in 2005 and renumbered 30 Ainslie Road.</p>
	
<p>In 1940 the existing 30 Ainslie Street was part of 24 and 26 Ainslie Road. Metropolitan Sewerage, Sheet 2019, 1940</p>	<p>Historic house 30 Ainslie Street before redevelopment (now 14 and 16 Cypress Lane) Fremantle Society 1979</p>

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<p>30 Ainslie Street, 1989</p>	<p>30 Ainslie Street, 2025</p>
<p>Physical description existing:</p>	<p>Demolished</p>
<p>Authenticity</p>	<p>Low</p>
<p>Integrity</p>	<p>Low</p>
<p>Comment</p>	<p>The heritage listing for 26 Ainslie Road was originally compiled prior to the subdivision of the site so the information included in the 2000 Fremantle Municipal Heritage Inventory is incorrect.</p>
<p>Recommendation</p>	<p>Consolidate 26, 28 & 30 Ainslie Road into a new place, <i>4 Houses (Demolished), Ainslie Road</i>. Change management category from Historic/ Archaeological Site to Level 4 Change mapping to include 28 & 30 Ainslie Road and 9, 12, 14 Cypress Lane</p>
<p>Proposed new statement of significance</p>	<p><i>DEMOLISHED- retained on MHI database for historical information purposes only.</i></p>

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4. House (demolished) 16 Alfred Road

 <p>CURRENT PHOTO Google Streetview 2023</p>	 <p>HISTORIC PHOTO Fremantle History Centre</p>
<p>Why was the property identified for review?</p>	<p>To check listing and update management category</p>
<p>City of Fremantle Heritage List - Existing Heritage Area</p>	<p>House (demolished) 16 Alfred Road North Fremantle Heritage Area</p>
<p>Local Heritage Survey - Existing</p>	<p>House (demolished) 16 Alfred Road</p>
<p>Management Category - Existing</p>	<p>Historic Record Only</p>
<p>Statement of significance - Existing</p>	<p><i>none</i></p>
<p>Background</p>	
<p>History</p>	<p>No history in Inherit place record. Site vacant 1947. Existing Flats on site built between 1948 and 1953. Historic aerial photographs confirm that the Post-War buildings on site are extant and not demolished.</p>
 <p>1965</p>	 <p>2024</p>
<p>Physical description existing:</p>	<p>A pair of modest brick residential buildings with hipped tile roofs from the Post-War era. These buildings express the simple, austere and functional design of the period with no decorative features. The flats are largely intact except for the replacement of the roof tiles with corrugated steel sheeting.</p>
<p>Authenticity</p>	<p>High</p>
<p>Integrity</p>	<p>High</p>
<p>Comment</p>	<p>The is not the site of an earlier building.</p>

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	The buildings were part of an area of development that was not developed until the Post-War Era.
Recommendation	Retain on Heritage List but with new heritage values and statement of significance Change Management Category from Historic/ Archaeological Site to Level 3
Proposed new statement of significance	Modify to reflect new values

5. Duplex (Demolished), 18 John Street

 <p>ESRI Mapping 2026</p>	 <p>INERIT MAPPING</p>
 <p>CURRENT PHOTO</p>	 <p>HISTORIC PHOTO</p>
<p>Why was the property identified for review?</p>	<p>Officer nomination</p>
<p>City of Fremantle Heritage List – Existing</p>	<p>No</p>
<p>Heritage Area</p>	<p>North Fremantle Heritage Area</p>
<p>Local Heritage Survey – Existing in Inherit</p>	<p>Duplex (Demolished), 18 John Street</p>
<p>Management Category - Existing</p>	<p>Historic/ Archaeological Site</p>
<p>Statement of significance - Existing</p>	<p>No</p>
<p>Background</p>	<p>-</p>
<p>History</p>	<p>Four residences were constructed c.1898 on Lot 42 adjacent to and probably associated with Gresham Hotel (then called Bruce Town Hotel). It is likely that the cottages were</p>


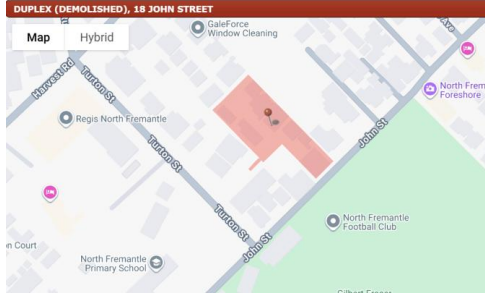

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	<p>constructed in relation to the hotel as either staff quarters or additional rooms to rent. A weatherboard duplex (18-20) faced John Street, with two stone cottages behind each other at the rear of the Lot (14 and 16). All four residences continued to be transferred on a single title, to John Alfred Bick in 1908, and after his death in 1916 to Clara May Coughlin, Ellen Cameron and Henry John Bick (railway officer). Camerons had lived in this section of John Street, possibly at the hotel or in these cottages, since early in the century. From 1920 to 1945 Clara May Coughlin was the sole owner of the place. The residences appear to have been mostly rented out. In 1988, Roger Pateman undertook to redevelop Lots 41 and 42, the site of 14-20 John Street and Gresham Hotel. The redevelopment included restoring the hotel, constructing 11 new residences using recycled materials to create an 'old-style' character, and retaining the two stone cottages at 14 and 16. Duplex, 18-20 John Street was demolished at this time.</p>
	
Aerial 1985	Aerial 2001
Physical description existing:	Demolished
Authenticity	Low
Integrity	Low
Comment	The timber duplex originally numbered 18-20 John Street was demolished in the 1980s and the site was subdivided and renumbered. The property address is now 1-3/ 18 John Street
Recommendation	Remove from Heritage List

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	Change name from Duplex (Demolished) 18 John Street to Duplex (Demolished), 18 – 20 John Street Change Management Category from Historic/ Archaeological site to Level 4.
Proposed new statement of significance	<i>DEMOLISHED- retained on MHI database for historical information purposes only.</i>

6. Duplex (Demolished), 20 John Street

 <p>ESRI Mapping 2026 Incorrect – this is Former Gresham Hotel, 20 John Street</p>	 <p>DUPLEX (DEMOLISHED), 18 JOHN STREET Map Hybrid GaleForce Window Cleaning Regis North Fremantle North Fremantle Primary School North Fremantle Football Club North Fremantle Foreshore</p> <p>INERIT MAPPING</p>
 <p>CURRENT PHOTO</p>	 <p>HISTORIC PHOTO</p>
<p>Why was the property identified for review?</p>	<p>Officer nomination</p>
<p>City of Fremantle Heritage List – Existing</p>	<p>No</p>
<p>Heritage Area</p>	<p>North Fremantle Heritage Area</p>
<p>Local Heritage Survey – Existing in Inherit</p>	<p>Duplex (Demolished), 18 John Street</p>
<p>Management Category - Existing</p>	<p>Historic/ Archaeological Site</p>
<p>Statement of significance - Existing</p>	<p>No</p>
<p>Background</p>	<p>Part of original Municipal Heritage Inventory.</p>
<p>History</p>	<p>Four residences were constructed c.1898 on Lot 42 adjacent to and probably associated with Gresham Hotel (then called Bruce Town Hotel). It is likely that the cottages were</p>


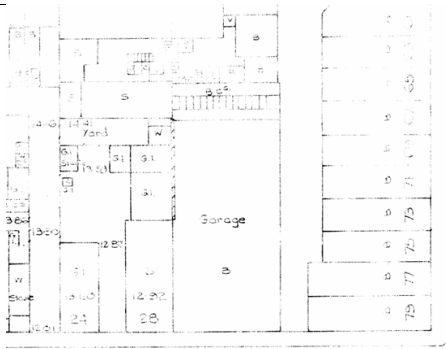
2026 UPDATE of Heritage List and Local Heritage Survey

	<p>constructed in relation to the hotel as either staff quarters or additional rooms to rent. A weatherboard duplex (18-20) faced John Street, with two stone cottages behind each other at the rear of the Lot (14 and 16). All four residences continued to be transferred on a single title, to John Alfred Bick in 1908, and after his death in 1916 to Clara May Coughlin, Ellen Cameron and Henry John Bick (railway officer). Camerons had lived in this section of John Street, possibly at the hotel or in these cottages, since early in the century. From 1920 to 1945 Clara May Coughlin was the sole owner of the place. The residences appear to have been mostly rented out. In 1988, Roger Pateman undertook to redevelop Lots 41 and 42, the site of 14-20 John Street and Gresham Hotel. The redevelopment included restoring the hotel, constructing 11 new residences using recycled materials to create an 'old-style' character, and retaining the two stone cottages at 14 and 16. Duplex, 18-20 John Street was demolished at this time.</p>
	
Aerial 1985	Aerial 2001
Physical description existing:	Demolished
Authenticity	Low
Integrity	Low
Comment	<p>Remove from Heritage List Change name from Duplex (Demolished) 20 John Street to Duplex (Demolished), 18 – 20 John Street Change Management Category from Historic/ Archaeological site to Level 4.</p>
Recommendation	Remove from Heritage List
Proposed new statement of significance	<i>DEMOLISHED- retained on MHI database for historical information purposes only.</i>



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Places to be deferred for further investigation:

1. House (demolished) 16 Banister Street





 <p>CURRENT PHOTO Google Streetview 2024</p>	<p>N/A HISTORIC PHOTO</p>
<p>Why was the property identified for review?</p>	<p>To check listing and update management category</p>
<p>City of Fremantle Heritage List - Existing</p>	<p>House (demolished) 16 Bannister Street</p>
<p>Heritage Area</p>	<p>West End Non-contributory</p>
<p>Local Heritage Survey - Existing</p>	<p>House (demolished) 16 Bannister Street</p>
<p>Management Category - Existing</p>	<p>Historic/ Archaeological Site</p>
<p>Statement of significance - Existing</p>	<p><i>Demolished</i></p>
<p>Background</p>	<p>House demolished 1960s for new commercial building. Place recorded on original Fremantle Municipal Heritage Inventory but then added to Heritage List in 2008 with the intention that it would be reviewed later.</p>
<p>History History removed from Inherit place record.</p>	 <p>Buildings at 24 and 28 Banister Street separated by a ROW leading to a yard. Metropolitan Sewerage Sheet 54, 1916.</p>

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<p>Early buildings removed and replaced, 1947 - 1974</p>	<p>Brian Klopper development, 1981</p>
<p>Physical description existing:</p>	<p>Original building demolished New buildings may have heritage significance as an example of Late 20th Century Architecture</p>
<p>Authenticity</p>	<p>Low</p>
<p>Integrity</p>	<p>Low</p>
<p>Comment</p>	<p>Further investigation warranted</p>
<p>Recommendation</p>	<p>Retain on Heritage List but with new heritage values and statement of significance Change Management Category from Historic/ Archaeological Site to Level 3</p>
<p>Proposed new statement of significance</p>	<p>Modify to reflect new values</p>

7. House 64B Attfield. 64C Attfield and 1-5/ 47 Wray Avenue

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 <p>1-5/47 Wray Avenue</p>	 <p>64B Attfield Street with the adjacent affected properties 1-5/ 47 Wray Avenue, 64A Attfield and 64C Attfield, ESRI Mapping 2023</p>
 <p>64A Attfield Street</p>	
 <p>64B & 64C Attfield Street</p>	
<p>Why was the property identified for review?</p>	<p>The owner of 64B Attfield Street requested that the heritage listing for their house be reviewed because the heritage listing House (Demolished), 47 Wray Avenue applies to all the properties that were historically part of the site 47 Wray Avenue even those redeveloped in the 1980s. As part of this review the following properties are being investigated</p> <ul style="list-style-type: none"> - 64A Attfield 64B Attfield 64C Attfield 1-5/ 47 Wray Avenue
<p>City of Fremantle Heritage List - Existing</p>	<p>House (Demolished), 47 Wray Avenue</p>
<p>Heritage Area</p>	<p>No</p>
<p>Local Heritage Survey - Existing</p>	<p>Yes – Inherit -</p>
<p>Management Category - Existing</p>	<p>Historic/ Archaeological Site</p>

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Statement of significance - Existing	<i>DEMOLISHED- retained on MHI database for historical information purposes only.</i>
Background	<p>47 Wray Avenue was included on the first Fremantle Municipal Inventory in 2000.</p> <p>The house originally numbered 47 Wray Avenue House has not been demolished and is now numbered 64A Attfield Street. The land around the house has been subdivided and redeveloped and no longer contains any elements associated with the original house. This review is recommending that 64A remain on the Heritage List and the other houses are removed from this listing once consideration has been given to their individual heritage listing.....</p>
History	<p>The original house at 47 Wray Avenue was constructed for Alec McCallum, JP, MLA (Min Public Works). The McCallum family lived at 47 Wray Avenue until 1947.</p> <p>In 1978 J.B. Dethridge purchased the property and it was subdivided and developed in 1980. The Architect Brian Klopper designed the development which included a terrace of five townhouses facing Wray Avenue and two separate houses facing Attfield Street. The original house was left largely intact in the centre of the site and was accessed from Attfield Street.</p>
 <p>Aerial Photograph 1947 showing the house at 64A Attfield Street</p>	 <p>Aerial Photograph 1981 showing infill development being constructed around the original house at 47 Wray Avenue.</p>
Physical investigation	<p>64A Attfield Street is a single storey Californian Bungalow style house from 1928. It has rough cast render walls with a dado of face brickwork and a hip and gabled roof with several chimneys. The tile roof has been replaced with corrugated</p>

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	<p>steel sheeting. The front verandah has tapered masonry columns and is continuous with the main roof of the house. The timber windows are casement sashes with sunhoods and there is a feature rondel window on the side wall. The front elevation of the house faces towards Wray Avenue but is concealed by the later development built in the front garden. The side elevation faces Attfield Street.</p> <p>The contemporary single storey houses facing Wray Avenue have been inspired by the style and form of tradition housing in the street but have been constructed with modern materials and detailing.</p> <p>The two houses facing Attfield Street are representative examples of the houses designed by Brian Klopper in the 1980s – 2000s and exhibit his distinctive aesthetics, construction techniques and material selection including the use of recycled brickwork, salvaged timbers and railway rails together with unusual, shaped feature windows and leadlights.</p>
Authenticity	High/ Moderate
Integrity	High
Comment	<p>The original 1928 house has Cultural Heritage significance for Fremantle and should be heritage protected.</p> <p>The contemporary development does not contribute to the significance of the place and should not be included in this place. However, before the heritage protection is removed from the contemporary buildings consideration should be given to the potential heritage value of these Late 20th Century houses and the contribution that they have made to the character and sense of place of modern Fremantle.</p>
Recommendation	<p>Retain on Heritage List</p> <p>Change name of place from House (demolished), 47 Wray Avenue to House, 64A Attfield Street.</p> <p>Retain as Level 3</p> <p>Defer the decision to remove 64B and 64C Attfield Street and 1-5/47 Wray Avenue from the listing to allow for further research, consultation and consideration of the value of these places.</p>
Proposed new statement of significance	<p>64A Attfield Street, Inter-War house has aesthetic value as a good example of the Californian Bungalow style. It has historic and social significance as the home of Alec McCallum,</p>

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Attachment 5

BACKGROUND: Heritage protected places in the City of Fremantle

Places on the Heritage List or in a Heritage Area have special protection under the planning scheme to facilitate the conservation of places of heritage value and ensure that development occurs with due regard to identified heritage values in the interest of the community.

The Heritage List contains approximately 2,380 places that are considered to have some heritage value to the City of Fremantle for their individual aesthetic, historic, social or scientific significance (Burra Charter values), and/or their contribution to the streetscape, local area and Fremantle.

The Heritage List attached to the planning scheme contains only a name and address. Management Categories and other information including historical background, physical description and statement of significance are included in the Local Heritage Survey (LHS), formerly known as the Municipal Inventory. The LHS information is recorded in Inherit, a statewide heritage information database, and more recently in our own heritage and history database, Recollect. The LHS place record is a useful guide to understand the heritage significance of a place, but it does not have any legal implications for the development of land within the City of Fremantle.

Heritage Areas are places where special planning control is needed to conserve and enhance the cultural heritage significance and character of an area. There are 18 Heritage Areas in Fremantle. Heritage Areas often include places on the Heritage List, but even places not significant enough to go on the Heritage List can contribute to the significance of a heritage area.

Places within Heritage Areas can be defined as either 'contributory' or 'non-contributory' to the significance of the area. Contributory places are determined by an assessment against the Burra Charter values and may include representative or rare examples of a place type, period or style, places which contribute to the streetscape; and/or be places which combine with other related places to demonstrate the historic development of a heritage area. Where mapping of contributory places has not been undertaken for a Heritage Area or has not been completed due to the inaccessibility of the site or the inability to fully assess the existence of fabric of cultural significance, this will be assessed upon receipt of a planning application.

The City is currently undertaking a staged review of all heritage areas which includes the identification of all contributory places.

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Development of Heritage protected places

Heritage protection does not prohibit the development; it means that changes should respect and be sympathetic to the heritage values of the place. In most circumstances, development within a heritage place requires planning approval so that the City's heritage staff can assess the impact of a proposal on the heritage significance of a particular place and ensure that this principle is met. The assessment will consider:

- The objectives and provisions of the planning scheme.
- State Planning Policy 3.5 - Historic Heritage Conservation (SPP 3.5), which contains broad principles on historic heritage conservation and development control principles (clause 6.6).
- Any applicable local planning policies – e.g. LPP3.6 Heritage Protected Places, LPP3.26 West End Heritage Area etc
- The specific attributes and significance of the place, including information in the Local Heritage Survey and archived at the Fremantle History Centre together with an assessment of the existing building fabric to determine the relative levels of significance of its constituent parts.

Works to heritage protected places that require Development Approval

To prevent the loss of significant heritage fabric or heritage values, the State Government and the City of Fremantle require the owners of Heritage Protected places to obtain planning approval for a range of building and maintenance works that are usually exempt if they are not heritage-protected.

Places on the Heritage List require planning approval for most works including demolition, alterations and additions. Exceptions include:

- Internal modifications including: Kitchen, bathroom or laundry fit out with no structural alterations; Replacement of light fitting(s); Painting/wall papering/plastering of internal walls; Retiling; Construction of new internal non-masonry, non-load bearing walls; New floor covering placed over but not replacing existing floor surface materials; and Electrical and plumbing works.
- Wall mounted external fixtures such as air-conditioning units that do not exceed 1.8m in height and which do not face the primary or secondary street.
- Roof mounted external fixtures such as air-conditioning units and solar panels fixed to a plane of the roof of a building which does not face the primary or secondary street and are not visible above the highest point of the roof.
- Water tanks fixed to a wall of a building which do not face a primary or secondary street and do not exceeding the eaves height and free-standing water tanks that are not located in a primary or secondary street setback and which are no greater than 2.4m in height if more than 1m from any boundary, or 1.8m in height if less than 1m from any boundary.
- Free-standing flagpoles less than 6m high and not used for advertising.

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- Minor structures in primary street setback that are less than 2m high or clothes lines less than 3m in height.

Places in a Heritage Area but not on the Heritage List require planning approval for works that could adversely affect the contribution that the place makes to the values of the heritage area or local streetscape. Generally, development applications are required for changes to the exterior of heritage buildings visible from the surrounding streets. As places in a Heritage Area have a lower degree of heritage significance than places on the Heritage List, there are more exemptions (*in italics*):

- *Demolition of Outbuildings not of masonry or limestone construction and with a floor area less than 25sqm.*
- *Demolition of minor structures, patios, shade structures, carports, external fixtures, carports, air conditioners, pools, spas, flagpoles, and water tanks.*
- *Demolition of Internal and boundary dividing fences.*
- *Single storey (ground level) additions and all alterations that are not located within the primary or secondary street setback.*
- Internal works including Kitchen, bathroom or laundry fit out with no structural alterations; Replacement of light fitting(s); Painting/wall papering/plastering of internal walls; Retiling; Construction of new internal non-masonry, non-load bearing walls; New floor covering placed over but not replacing existing floor surface materials; and Electrical and plumbing works.
- Wall mounted external fixtures such as air-conditioning units that do not exceed 1.8m in height and which do not face the primary or secondary street.
- Roof mounted external fixtures such as air-conditioning units and solar panels fixed to a plane of the roof of a building which does not face the primary or secondary street, and which are not visible above the highest point of the roof.
- *Outbuildings located between dwelling and side or rear lot boundary.*
- *Patio located between dwelling and side or rear lot boundary.*
- *Shade Structure located between dwelling and side or rear lot boundary.*
- *Swimming Pools located between dwelling and rear lot boundary.*
- *Building maintenance including painting or application of render on external surfaces of any building or structure and the replacing or altering of roofing materials on a building where there is no change to the roof form and pitch.*
- Free-standing flagpoles less than 6m high and not used for advertising.
- Minor structures in primary street setback that are less than 2m high or for clotheslines less than 3m high.

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Local Heritage Survey Management Categories

The LHS is an information database that records and provides information on all places of cultural heritage significance in Fremantle. However, not all places on the LHS are heritage protected and the information in the LHS does not have any legal implications for the development of land within the City of Fremantle.

The information in the LHS, including the Management Category, is used as background information for the heritage impact assessment of the development of places that are identified on the Heritage List and in a Heritage Area. Because of their greater heritage significance, the significant heritage fabric of places with higher management categories requires a greater level of protection and conservation. However, most heritage places usually contain buildings and fabric of different levels of heritage significance. Items of high significance need to be protected and items of low significance can be changed or even removed. These levels of significance are usually determined when a planning application is received and generally, the significant fabric includes the original or early part of the building.

During the assessment process LHS information is generally checked for accuracy in case change has occurred since it was written, or the original data is inconsistent.

There are five main management categories in the LHS plus some older categories that are slowly being updated as areas of Fremantle are being reviewed.

Management category - Level 1a – Exceptional Significance – State Listed

The City of Fremantle has identified this place as being of exceptional cultural heritage significance in its own right within the context of Fremantle. This place is entered onto the State Heritage Office of Western Australia's Register of Heritage Places. All development applications must be referred to the State Heritage Office for approval.

Management category - Level 1b – Exceptional Significance – Not State Listed

The City of Fremantle has identified this place as being of exceptional cultural heritage significance in its own right within the context of Fremantle and its conservation is required. It is recommended that this place be considered for entry in the Heritage Council of Western Australia's Register of Heritage Places.

Management category - Level 2 – Considerable Significance

The City of Fremantle has identified this place as being of considerable cultural heritage significance in its own right within the context of Fremantle and its conservation is a priority.

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Management category - Level 3 – Some Significance

The City of Fremantle has identified this place as being of some cultural heritage significance for its contribution to the heritage of Fremantle in terms of its individual or collective aesthetic, historic, social or scientific significance, and/or its contribution to the streetscape, local area and Fremantle. Its contribution to the urban context should be maintained and enhanced.

Management category - Level 4 – Historic Record Only

The City of Fremantle has identified places on this place as being of interest for historical reasons and/or for structures that no longer exist. These places are part of Fremantle's rich cultural heritage but are not included on the Heritage List.

LEVEL 1 places are of Some Significance to Western Australia and Exceptional Significance to Fremantle. These places exhibit very high aesthetic, historic, social or scientific values or are rare or representative places within the context of Western Australia. Level 1 places include substantial houses, very important commercial and community buildings, places with important historical connections and fine examples of a particular architectural style. There are 291 Level 1 places in Fremantle of which 158 are included on the State Register (1A) and a further 81 of the 1B places are also part of the State Registered West End. Examples include Samson House, Fremantle Town Hall, Trades Hall (6 Collie Street), Dalgetty Wool Stores, Fremantle Passenger Terminal, St Patrick's Basilica, and the National Hotel.

LEVEL 2 places are of Considerable Significance to Fremantle. These places exhibit high aesthetic, historic, social, or scientific values or are rare or representative places within the context of Fremantle. Level 2 places include larger houses, important commercial and community buildings, places with local historical connections and good or unusual examples of a particular architectural style or craftsmanship. Terrace houses and duplexes are usually graded as Level 2 as they are an unusual and distinctive type in Fremantle. There are 437 Level 2 Places in Fremantle. Examples include the Beacon Theatre, House 94 South Street, Duplex 40-42 Bellevue Terrace, Terrace 2-12 Price Street, 20 Moran Street, the Caledonian Hall and the Weeties Factory in Harvest Road.

LEVEL 3 places are of Some Significance to Fremantle. These places exhibit typical aesthetic, historic, scientific or social values in the context of Fremantle and are representative of the local traditional, vernacular housing stock. While they are important as individual places, their importance is often enhanced by being part of a grouping of similar places that form significant heritage streetscapes. There are 1603 Level 3 places in Fremantle, and they make up the bulk of places on the Heritage List. Examples include traditional four room

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houses with a central corridor and front and rear verandas and three room houses with a side corridor and front and rear verandahs. Single storey parades of shops with a street verandah/awning and corner shop houses are also typical examples.

OTHER – there are about 180 places on the Heritage List with older management categories which will be updated as areas are progressively reviewed. Other categories include Limestone Features, Historic Sites, Archaeological Sites and Shipwrecks.

InHerit database #	Name and address	Heritage List and Management Category RECOMMENDATION
NEW	House, 31 Amherst Street (now addressed 31 Stevens Street)	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 35 Amherst Street (now addressed 35 Stevens Street)	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 35A Amherst Street (now addressed 35A Stevens Street)	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 41 Amherst Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 45 Amherst Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 53 Amherst Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 57 Amherst Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 61 Amherst Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 63 Amherst Street	To be considered for advertising for possible listing at Level 3 - review after consultation
22582	House, 56 Amherst Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 60 Amherst Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 68 Amherst Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 70 Amherst Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 72 Amherst Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 2 Bostock Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 4 Bostock Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 161 Carrington Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 163 Carrington Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 165 Carrington Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 169 Carrington Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 171 Carrington Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 173 Carrington Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 1 Darling Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 2 Darling Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 3 Darling Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 4 Darling Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 6 Darling Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 8 Darling Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 10 Darling Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 11 Darling Street	To be considered for advertising for possible listing at Level 3 - review after consultation

NEW	House, 12 Darling Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 13 Darling Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 15B Darling Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 19 Darling Street	To be considered for advertising for possible listing at Level 3 - review after consultation
22585	House, 102 Edmund Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 4 Elizabeth Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 6 Elizabeth Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 7 Elizabeth Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 8 Elizabeth Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 9 Elizabeth Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 10 Elizabeth Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 12 Elizabeth Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 13 Elizabeth Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 14 Elizabeth Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 16 Elizabeth Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 17 Elizabeth Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 18 Elizabeth Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 19 Elizabeth Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 20 Elizabeth Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 21 Elizabeth Street	To be considered for advertising for possible listing at Level 3 - review after consultation
20641	Stable (fmr), 8 Ferres Street	Retain at level 3 and retain on Heritage List
NEW	Flats, 10 Ferres Street (95 Samson Street)	To be considered for advertising for possible listing at Level 3 - review after consultation - oldest flats in White Gum Valley
23250	House, 2 Hope Street	To be considered for advertising for possible listing at Level 3 - review after consultation
23251	House, 4 Hope Street	To be considered for advertising for possible listing at Level 3 - review after consultation
23587	House, 6 Hope Street	To be considered for advertising for possible listing at Level 3 - review after consultation
2258	House, 9 Hope Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 8 Hope Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 10 Hope Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 11B Hope Street	To be considered for advertising for possible listing at Level 3 - review after consultation
24638	White Gum Valley Primary School, Hope Street	To be considered for advertising for possible listing at Level 3 - review after consultation
20946	House, 16 Hope Street	To be considered for advertising for possible listing at Level 3 - review after consultation

17046	House, 18 Hope Street	To be considered for advertising for possible listing at Level 3 - review after consultation
17058	House, 20 Hope Street	To be considered for advertising for possible listing at Level 3 - review after consultation
17059	House, 22 Hope Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 24 Hope Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 26 Hope Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 28 Hope Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 30 Hope Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 32 Hope Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 34 Hope Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 36 Hope Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 37 Hope Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 39 Hope Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 40 Hope Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 40A Hope Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 42 Hope Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 43 Hope Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 44 Hope Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 45 Hope Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 46 Hope Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 46A Hope Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 47 Hope Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 48 Hope Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 49 Hope Street	To be considered for advertising for possible listing at Level 3 - review after consultation
22589	House, 50 Hope Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 51 Hope Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 53 Hope Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 54 Hope Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 55 Hope Street	To be considered for advertising for possible listing at Level 3 - review after consultation
23252	House, 57 Hope Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	Church, 58 Hope Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 60B Hope Street	To be considered for advertising for possible listing at Level 3 - review after consultation

NEW	House, 61 Hope Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 62 Hope Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 63 Hope Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 64 Hope Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 66 Hope Street	To be considered for advertising for possible listing at Level 3 - review after consultation
23419	House, 67-69 Hope Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 68 Hope Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 70 Hope Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 71 Hope Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 72 Hope Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 74 Hope Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 75 Hope Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 76 Hope Street	To be considered for advertising for possible listing at Level 3 - review after consultation
22590	House, 77 Hope Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 78 Hope Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 79 Hope Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 83 Hope Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 85 Hope Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 89 Hope Street	To be considered for advertising for possible listing at Level 3 - review after consultation
22591	House, 91 Hope Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House 92 Hope Street	To be considered for advertising for possible listing at Level 3 - review after consultation
22592	House, 93 Hope Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House 94 Hope Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House 96 Hope Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House 98 Hope Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House 100 Hope Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House 102 Hope Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House 104A Hope Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House 104 Hope Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 105 Hope Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House 106 Hope Street	To be considered for advertising for possible listing at Level 3 - review after consultation

NEW	House, 107 Hope Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House 108 Hope Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 109 Hope Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House 110 Hope Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House 112 Hope Street	To be considered for advertising for possible listing at Level 3 - review after consultation
25369	House, 113 Hope Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House 114 Hope Street	To be considered for advertising for possible listing at Level 3 - review after consultation
23637	House, 115 Hope Street	Remove - Demolished
NEW	House 116 Hope Street	To be considered for advertising for possible listing at Level 3 - review after consultation
23434	House, 117 Hope Street	Remove - Demolished
NEW	House, 120A Hope Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 122 Hope Street	To be considered for advertising for possible listing at Level 3 - review after consultation
24638	Duplex, 123-125 Hope Street	Remove - Demolished
NEW	House, 124 Hope Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 126 Hope Street	To be considered for advertising for possible listing at Level 3 - review after consultation
25365	House, 129 Hope Street	Remove - Demolished
NEW	House, 131 Hope Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 133A Hope Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 134 Hope Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 135 Hope Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 136 Hope Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 141 Hope Street	Remove - Demolished
NEW	House, 155 Hope Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 157 Hope Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 2 Minilya Avenue	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 3 Minilya Avenue	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 4 Minilya Avenue	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 5 Minilya Avenue	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 6 Minilya Avenue	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 7 Minilya Avenue	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 9 Minilya Avenue	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 11 Minilya Avenue	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 13B Minilya Avenue	To be considered for advertising for possible listing at Level 3 - review after consultation

NEW	House, 17 Minilya Avenue	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 19 Minilya Avenue	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 22 Minilya Avenue	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 24 Minilya Avenue	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 26 Minilya Avenue	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 27 Minilya Avenue	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 28A Minilya Avenue	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 30 Minilya Avenue	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 34 Minilya Avenue	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 38 Minilya Avenue	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 43 Montreal Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 45A Montreal Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 47 Montreal Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 49A Montreal Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 49B Montreal Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 51 Montreal Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 53 Montreal Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 55 Montreal Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 122 Montreal Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 124 Montreal Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 126 Montreal Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 128 Montreal Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 1 Nannine Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 3 Nannine Street	To be considered for advertising for possible listing at Level 3 - review after consultation
22583	Sullivan Halls, 2-4 Nannine Avenue	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 12 Nannine Avenue	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 14 Nannine Avenue	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 18 Nannine Avenue	To be considered for advertising for possible listing at Level 3 - review after consultation
21217	House (demolished), 25 Nannine Avenue	Remove from Heritage List - Level 4 Historic Record only
NEW	House, 1 Newbold Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 2 Newbold Street	To be considered for advertising for possible listing at Level 3 - review after consultation

NEW	House, 3A Newbold Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 4 Newbold Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 5 Newbold Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 6 Newbold Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 7 Newbold Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 8 Newbold Street	To be considered for advertising for possible listing at Level 3 - review after consultation
21522	House, 1 Pilbarra Street	Retain on Heritage List Retain at Level 2
21523	House, 3 Pilbarra Street	Retain on Heritage List Retain at Level 3
21524	House, 5 Pilbarra Street	Retain on Heritage List Retain at Level 3
21525	House, 7 Pilbarra Street	Retain on Heritage List Retain at Level 3
21526	House, 8 Pilbarra Street	Retain on Heritage List Retain at Level 3
21527	House, 10 Pilbarra Street	Retain on Heritage List Retain at Level 3
21528	House, 11 Pilbarra Street	Retain on Heritage List Retain at Level 3
21529	House, 12 Pilbarra Street	Retain on Heritage List Retain at Level 3
21530	House, 15 Pilbarra Street	Retain on Heritage List Retain at Level 3
21531	House, 16 Pilbarra Street	Retain on Heritage List Retain at Level 3
21532	House, 17 Pilbarra Street	Retain on Heritage List Retain at Level 3
21651	House, 28 Samson Street	Retain on Heritage List Retain at Level 3
21652	House, 30 Samson Street	Retain on Heritage List Retain at Level 3
21653	House, 32 Samson Street	Retain on Heritage List Retain at Level 3
21654	House, 34 Samson Street	Retain on Heritage List Retain at Level 3
25685	House, 35 Samson Street	Retain on Heritage List Retain at Level 3
22617	House, 36 Samson Street	Retain on Heritage List Retain at Level 3
NEW	House, 37 Samson Street	To be considered for advertising for possible listing at Level 3 - review after consultation
22522	House, 38 Samson Street	Demolished change to Level 4
22908	House, 40 Samson Street	Retain on Heritage List Retain at Level 3
21655	Bakery, 41 Samson Street	Retain on Heritage List Retain at Level 2
21656	House, 43 Samson Street	Retain on Heritage List Retain at Level 3
21627	House, 45 Samson Street	Retain on Heritage List Retain at Level 3
NEW	House, 46 Samson Street	To be considered for advertising for possible listing at Level 3 - review after consultation
21658	House, 49 Samson Street	Retain on Heritage List Retain at Level 3

22597	House, 51 Samson Street	Retain on Heritage List Retain at Level 3
23221	House, 53 Samson Street	To be considered for advertising for possible listing at Level 3 - review after consultation
21659	House, 55 Samson Street	Retain on Heritage List Retain at Level 3
NEW	House, 56 Samson Street	To be considered for advertising for possible listing at Level 3 - review after consultation
21660	House, 57 Samson Street	Retain on Heritage List Retain at Level 3
NEW	House, 58 Samson Street	To be considered for advertising for possible listing at Level 3 - review after consultation
21661	House, 59 Samson Street	Retain on Heritage List Retain at Level 3
NEW	House, 60 Samson Street	To be considered for advertising for possible listing at Level 3 - review after consultation
21662	House, 61 Samson Street	Retain on Heritage List Retain at Level 3
NEW	House, 62 Samson Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 64 Samson Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 65 Samson Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 66 Samson Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 67 Samson Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 68 Samson Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 69 Samson Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 70 Samson Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 71 Samson Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 73 Samson Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 75 Samson Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 77 Samson Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 81 Samson Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 85 Samson Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 85A Samson Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 85B Samson Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 85C Samson Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	Pump Station, 93 Samson Street	To be considered for advertising for possible listing at Level 3 - review after consultation
22670	Hazel Orme Kindergarten, 96 Samson Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 103 Samson Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 105 Samson Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 109 Samson Street	To be considered for advertising for possible listing at Level 3 - review after consultation

NEW	House, 115 Samson Street	To be considered for advertising for possible listing at Level 3 - review after consultation
26271	House, 117 Samson Street	Retain on Heritage List Retain at Level 3
23218	House, 121 Samson Street	Retain on Heritage List Retain at Level 3
NEW	House, 122 Samson Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 124 Samson Street	To be considered for advertising for possible listing at Level 3 - review after consultation
23200	House, 125 Samson Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 126 Samson Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 127 Samson Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 128 Samson Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 129 Samson Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 130 Samson Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 133 Samson Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 134 Samson Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 136 Samson Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 137 Samson Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 138 Samson Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 139 Samson Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 140 Samson Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 142 Samson Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 143 Samson Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 144 Samson Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 145 Samson Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 146 Samson Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 147 Samson Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 148 Samson Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 150 Samson Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 151 Samson Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 152 Samson Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 153 Samson Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 154 Samson Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 155 Samson Street	To be considered for advertising for possible listing at Level 3 - review after consultation

NEW	House, 156 Samson Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 158 Samson Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 159 Samson Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 160 Samson Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 161 Samson Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 163 Samson Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 164 Samson Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 167 Samson Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 169 Samson Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 171 Samson Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 174 Samson Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 176 Samson Street	To be considered for advertising for possible listing at Level 3 - review after consultation
17048	House, 1 Simper Crescent	To be considered for advertising for possible listing at Level 3 - review after consultation
17049	House, 3 Simper Crescent	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 4 Simper Crescent	To be considered for advertising for possible listing at Level 3 - review after consultation
17050	House, 5 Simper Crescent	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 6 Simper Crescent	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 7 Simper Crescent	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 8 Simper Crescent	To be considered for advertising for possible listing at Level 3 - review after consultation
17051	House, 9 Simper Crescent	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 10 Simper Crescent	To be considered for advertising for possible listing at Level 3 - review after consultation
17061	House, 11 Simper Crescent	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 12 Simper Crescent	To be considered for advertising for possible listing at Level 3 - review after consultation
17062	House, 13 Simper Crescent	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 14 Simper Crescent	To be considered for advertising for possible listing at Level 3 - review after consultation
17063	House, 15 Simper Crescent	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 16 Simper Crescent	To be considered for advertising for possible listing at Level 3 - review after consultation
17052	House, 17 Simper Crescent	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 18 Simper Crescent	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 19 Simper Crescent	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 20 Simper Crescent	To be considered for advertising for possible listing at Level 3 - review after consultation

NEW	House, 21 Simper Crescent	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 22 Simper Crescent	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 23 Simper Crescent	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 24 Simper Crescent	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 25 Simper Crescent	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 26 Simper Crescent	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 28 Simper Crescent	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 29 Simper Crescent	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 31 Simper Crescent	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 32 Simper Crescent	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 33 Simper Crescent	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 34 Simper Crescent	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 35 Simper Crescent	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 36 Simper Crescent	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 37 Simper Crescent	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 39 Simper Crescent	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 43 Simper Crescent	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 45 Simper Crescent	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 118 South Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 120 South Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 126 South Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 130 South Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 134 South Street	To be considered for advertising for possible listing at Level 3 - review after consultation
6113	Shop & Residence, 140 South Street	Retain on Heritage List Retain at Level 3
17076	House, 142 South Street	Retain on Heritage List Retain at Level 2
17053	House, 144 South Street	To be considered for advertising for possible listing at Level 3 - review after consultation
17077	House, 150 South Street	To be considered for advertising for possible listing at Level 3 - review after consultation
17066	House, 152 South Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 154 South Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 156 South Street	Retain on Heritage List Retain at Level 3
NEW	House, 158 South Street	Retain on Heritage List Retain at Level 3

NEW	House, 162 South Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 164 South Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 166 South Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 168 South Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 170 South Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 172 South Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 176 South Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 178 South Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 184 South Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 186 South Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 188 South Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	Flats, 190 South Street [Yarrabin]	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 192 South Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 194 South Street	To be considered for advertising for possible listing at Level 3 - review after consultation
22658	House, 196 South Street	Retain on Heritage List Retain at Level 3
26273	House, 200 South Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 208 South Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House (fmr), 226 South Street [Liquor Barons]	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House and Shop, 230 South Street [was Retro Joes]	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House 234 South Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 240 South Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 244 South Street [Day Care]	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	Shop, 242 South Street [behind Day Care]	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 246 South Street [house faces Taylor Street; behind Day Care]	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 252 South Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 254 South Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 256 South Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 258 South Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 260 South Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 262 South Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 266 South Street	To be considered for advertising for possible listing at Level 3 - review after consultation

NEW	House, 270A South Street (38 Minilya)	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 272 South Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 274 South Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 276 South Street (19 Darling)	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 278 South Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 280 South Street	To be considered for advertising for possible listing at Level 3 - review after consultation
21909	House, 282 South Street	Retain on Heritage List Retain at Level 3
NEW	House, 284 South Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 286 South Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 288 South Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 37 Stevens Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 41 Stevens Street	To be considered for advertising for possible listing at Level 3 - review after consultation
22084	House, 43 Stevens Street	Retain on Heritage List Retain at Level 3
22084	House, 43A Stevens Street	New house to rear of lot - remove
22084	House, 45 Stevens Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 47 Stevens Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 49 Stevens Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 71 Stevens Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 73 Stevens Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 75 Stevens Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 93 Stevens Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 135 Stevens Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 137 Stevens Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 139 Stevens Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 141 Stevens Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 143 Stevens Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 145A Stevens Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 147 Stevens Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 149 Stevens Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 155 Stevens Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 159 Stevens Street	To be considered for advertising for possible listing at Level 3 - review after consultation

NEW	House, 167 Stevens Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 169 Stevens Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 171 Stevens Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 173A Stevens Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 175 & 177 Stevens Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 179 Stevens Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 1 Stokes Street	To be considered for advertising for possible listing at Level 3 - review after consultation
22603	House, 2 Stokes Street	Retain on Heritage List Retain at Level 3
22675	House, 3 Stokes Street	Retain on Heritage List Retain at Level 3
22604	House, 4 Stokes Street	Retain on Heritage List Retain at Level 3
22605	House, 6 Stokes Street	Retain on Heritage List Retain at Level 3
22606	House, 8 Stokes Street	Retain on Heritage List Retain at Level 3
NEW	House, 12 Stokes Street	To be considered for advertising for possible listing at Level 3 - review after consultation
22598	House, 14 Stokes Street	Retain on Heritage List Retain at Level 3
22599	House, 16 Stokes Street	Retain on Heritage List Retain at Level 3
22600	House, 18 Stokes Street	Retain on Heritage List Retain at Level 3
22602	House, 20 Stokes Street	Retain on Heritage List Retain at Level 3
23257	House, 21 Stokes Street	Retain on Heritage List Retain at Level 3
23258	House, 23 Stokes Street	Retain on Heritage List Retain at Level 3
NEW	House, 1 Sweetman Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 2 Sweetman Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 4 Sweetman Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 5 Sweetman Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 6 Sweetman Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 8 Sweetman Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 10 Sweetman Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 11 Sweetman Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 12 Sweetman Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 13 Sweetman Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 15 Sweetman Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 16 Sweetman Street	To be considered for advertising for possible listing at Level 3 - review after consultation

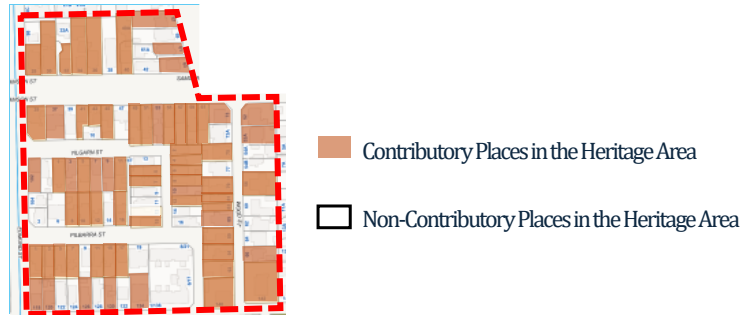
NEW	House, 17 Sweetman Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 1 Tapper Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 2 Tapper Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 5 Tapper Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 7 Tapper Street	To be considered for advertising for possible listing at Level 3 - review after consultation
22672	House, 1 Taylor Street	Retain on Heritage List Retain at Level 3
NEW	House, 2 Taylor Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 4 Taylor Street	To be considered for advertising for possible listing at Level 3 - review after consultation
22673	House, 5 Taylor Street	Retain on Heritage List Retain at Level 3
22674	House, 7 Taylor Street	Retain on Heritage List Retain at Level 3
NEW	House, 9 Taylor Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 10 Taylor Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 11 Taylor Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 12 Taylor Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 13 Taylor Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 15 Taylor Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 17 Taylor Street	To be considered for advertising for possible listing at Level 3 - review after consultation
26272	House, 18 Taylor Street	Retain on Heritage List - Retain at Level 3
NEW	House, 19 Taylor Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 20 Taylor Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	Limestone walls, 27 & 29 Trusting Lane	To be further considered
NEW	House, 18 Watkins Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 22 Watkins Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 31 Watkins Street	To be considered for advertising for possible listing at Level 3 - review after consultation
22278	House, 32 Watkins Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 33 Watkins Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 35 Watkins Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 37 Watkins Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 39 Watkins Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 47 Watkins Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 49 Watkins Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 51 Watkins Street	To be considered for advertising for possible listing at Level 3 - review after consultation

22614	House, 52 Watkins Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 55 Watkins Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 57 Watkins Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 58 Watkins Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 60 Watkins Street	To be considered for advertising for possible listing at Level 3 - review after consultation
22610	House, 61 Watkins Street	To be considered for advertising for possible listing at Level 3 - review after consultation
22616	House, 62 Watkins Street	To be considered for advertising for possible listing at Level 3 - review after consultation
22671	House, 64 Watkins Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 66 Watkins Street	To be considered for advertising for possible listing at Level 3 - review after consultation
22613	House, 67a Watkins Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 68 Watkins Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 69 Watkins Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 70 Watkins Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 71 Watkins Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 73 Watkins Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 75 Watkins Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 76 Watkins Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 78 Watkins Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 79 Watkins Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 80 Watkins Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 82 Watkins Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 81 Watkins Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 83 Watkins Street	To be considered for advertising for possible listing at Level 3 - review after consultation
22617	House, 84 Watkins Street	To be considered for advertising for possible listing at Level 3 - review after consultation
22618	House, 86 Watkins Street	To be considered for advertising for possible listing at Level 3 - review after consultation
22619	House, 88 Watkins Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 89 Watkins Street	To be considered for advertising for possible listing at Level 3 - review after consultation
22620	House, 90 Watkins Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 91 Watkins Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 92 Watkins Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 94 Watkins Street	To be considered for advertising for possible listing at Level 3 - review after consultation

23304	House, 36 Wood Street	Retain on Heritage List - Retain at Level 3
22307	Shop (fmr) & House, 38 Wood Street	Retain on Heritage List - Retain at Level 3
NEW	House, 46 Wood Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 48 Wood Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 50 Wood Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 52 Wood Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 52A Wood Street	To be considered for advertising for possible listing at Level 3 - review after consultation
22308	House, 56 Wood Street	Retain on Heritage List - Retain at Level 3
23305	House, 59 Wood Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 63 Wood Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 65 Wood Street	To be considered for advertising for possible listing at Level 3 - review after consultation
NEW	House, 66 Wood Street	To be considered for advertising for possible listing at Level 3 - review after consultation
22309	House, 69 Wood Street	Retain on Heritage List Retain at Level 3
	House, 71A Wood Street	New house to rear - remove
NEW	House, 73 Wood Street	To be considered for advertising for possible listing at Level 3 - review after consultation
22310	House, 75 Wood Street	Retain on Heritage List Retain at Level 2
22311	House, 79 Wood Street	Retain on Heritage List Retain at Level 2
22312	House, 81 Wood Street	Retain on Heritage List Retain at Level 2
22313	House, 83 Wood Street	Retain on Heritage List Retain at Level 2
NEW	House, 85 Wood Street	To be considered for advertising for possible listing at Level 3 - review after consultation
22314	House, 89 Wood Street	Retain on Heritage List Retain at Level 3
22315	House, 91 Wood Street	Retain on Heritage List Retain at Level 3
22316	House, 93 Wood Street	Retain on Heritage List Retain at Level 3
22367	House, 2 Wright Street	Retain on Heritage List Retain at Level 3
22368	House, 4 Wright Street	Retain on Heritage List Retain at Level 3
22369	House, 5 Wright Street	Retain on Heritage List Retain at Level 3
22370	House, 6 Wright Street	Retain on Heritage List Retain at Level 3
22371	House, 7 Wright Street	Retain on Heritage List Retain at Level 2
22372	House, 8 Wright Street	Retain on Heritage List Retain at Level 2
22622	House, 10 Wright Street	To be considered for advertising for possible listing at Level 2 - review after consultation
22373	House, 12 Wright Street	Retain on Heritage List Retain at Level 2
22374	Limestone features, 15 Wright Street	Retain on Heritage List Change to level 3 Change name to HOUSE & LIMESTONE FEATURE (S)

WGV – Proposed Heritage Area

Area 1 – Pilbarra, Yilgarn, Samson, Edmund, Wood, Wright and South Streets



Statement of Significance

WGV Heritage Area 1 (Pilbarra/Yilgarn Heritage Area) has cultural heritage significance as:

*an area located to the immediate east of the city centre of Fremantle with a history of settlement dating back to the late 1800s;
being the oldest section of White Gum Valley;
its concentration of mainly modest workers accommodation dating from the gold boom era through to the post WWII era;
demonstrating the beginnings of the suburban expansion of Fremantle; and,
retaining relatively intact residential heritage streetscapes.*

WGV – Proposed Heritage Area

Area 2 – Darling, Samson, Minilya, Carrington and South Streets



- Contributory Places in the Heritage Area
- Non-Contributory Places in the Heritage Area

Statement of Significance

WGV Heritage Area 2 (Darling Street Heritage Area) has cultural heritage significance as:

an area located to the eastern end of White Gum Valley with a history of settlement dating back to the mid 1930s Inter War period during a time of recovery, severe economic hardship, and the development occurring between the end of World War I and the outbreak of World War II;

being the second section of White Gum Valley to be developed;

its concentration of mainly modest workers accommodation dating from the Inter War era through to the post WWII era;

demonstrating the ongoing suburban expansion of Fremantle and the development of suburbs relying on the more prevalent use of the motor car; and,

retaining relatively intact residential heritage streetscapes.

WGV – Proposed Heritage Area

Area 3 – Amherst, Wood, Hope, Montreal, Watkins, Wiluna, Nannine Streets



WGV Heritage Area 3 (Hope Street Heritage Area) has cultural heritage significance as:

an area located in the heart of White Gum Valley with a history of settlement dating back to the 1940s, predominantly the immediate Post War period during a time of reconstruction and development bringing significant population growth, migration, and urban expansion to Fremantle;

its concentration of mainly modest suburban housing dating from the immediate Post War era;

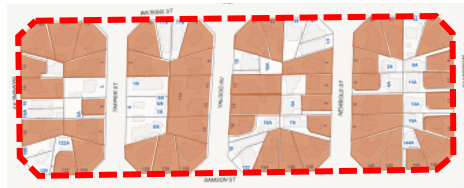
demonstrating the ongoing suburban expansion of Fremantle and the development of suburbs relying on the more prevalent use of the motor car;

including the White Gum Valley Primary School and Sullivan Hall which demonstrates the growing White Gum Valley community and the development of the suburb's own identity; and,

retaining relatively intact residential heritage streetscapes.

WGV – Proposed Heritage Area

Area 4 – Nanine, Tapper, Yalgoo, Newbold, Wongan, Samson & Watkins Streets



-  Contributory Places in the Heritage Area
-  Non-Contributory Places in the Heritage Area

Statement of Significance

WGV Heritage Area 4 (Nanine, Tapper, Yalgoo, Newbold, Wongan Heritage Area) has cultural heritage significance as:

an area located in the heart of White Gum Valley with a history of settlement dating back to the 1950s, predominantly the Post War period during a time of post-war reconstruction, a large influx of European migrants, and a shift toward suburban expansion and port modernisation;

its concentration of low density, larger suburban lots (with triangular corner lots) intended to provide working-class families with ample backyard space for vegetable gardens and outdoor living;

demonstrating the ongoing suburban expansion of Fremantle and the development of suburbs relying heavily on the use of the motor car; and

its high concentration of original homes constructed during the same short period.

WGV – Proposed Heritage Area

Area 5 – Simper Crescent, Samson Street and Wiluna Avenue



-  Contributory Places in the Heritage Area
-  Non-Contributory Places in the Heritage Area

Statement of Significance

WGV Heritage Area 5 (Simper Crescent Heritage Area) has cultural heritage significance as:

- an area located on the southern edge of White Gum Valley with a history of settlement dating from the 1960s, predominantly defined as the late Post War period with growing European migration, continuing suburban expansion and port modernisation;*
- its concentration of low density, larger suburban lots intended to provide working-class families with ample backyard space for vegetable gardens and outdoor living;*
- its concentration of large suburban brick homes, with similar characteristics, often with undercroft garages, salmon brick and open, non-fenced, grassed front gardens;*
- its highly intact streetscapes of very similar houses built within the same short period of time;*
- the design influence of the growing European immigrants of the 1960s as Fremantle became the primary passenger gateway into Australia; and*
- demonstrating the ongoing suburban expansion of Fremantle and the development of suburbs relying heavily on the use of the motor car.*



Local Planning Policy 3.6.1

Heritage Areas Listings

fremantle.wa.gov.au



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Heritage Areas Listings

Citation

This is a Local Planning Policy prepared under Schedule 2 of the Planning and Development (Local Planning Schemes) Regulations 2015. This policy may be cited as Local Planning Policy 3.6.1 – Heritage Areas Listings (LPP 3.6.1).

Introduction

The Planning and Development (Local Planning Schemes) Regulations 2015, Schedule 2 – Deemed provisions for local planning schemes, clause 9, sets out that a heritage area designation is to be accompanied by a local planning policy setting out:

- a map of each heritage area;
- a statement of significance for each heritage area; and
- a record of places of heritage significance in each area.

This Policy is intended to fulfill the above statutory requirements for all designated heritage areas within the City of Fremantle.

Contributory Places

Places within heritage areas can be defined as either ‘contributory’ or ‘non-contributory’ to the significance of the area. A contributory property may or may not also be individually listed on the City’s Heritage List.

Contributory places are determined by Council having due regard to an assessment against the criteria of the Burra Charter and may include representative examples of a place type, period or style of places which contribute to the streetscape; and/or one which combines with other related places to demonstrate the historic development of a heritage area.

This Policy does not identify properties for their individual significance and the appendices generally exclude individual properties that are on the State heritage register.

Where mapping of contributory places has not been undertaken for a Heritage Area, or has not been completed due to the inaccessibility of the site or the inability to fully reveal the existence of potential fabric of cultural significance, this will be assessed upon receipt of a planning application.

For built form and design guidance within heritage areas, refer to Local Planning Policy 3.6: Heritage-Protected Places Built Form and Land Use (LPP 3.6).

Objective

The objective of this policy is to preserve the cultural heritage significance of heritage areas within the local government area by setting out a map and a statement of significance for each heritage area, as well as identifying properties that contribute to the significance of each area.



Application of this Policy

This policy applies to all area within the Scheme and identifies the map, the statement of significance, and sets out the contributory properties (where known) for each designated heritage area. General built form controls and design guidance for properties within heritage areas are available in Local Planning Policy 3.6: Heritage-Protected Places Built Form and Land Use (LPP 3.6).

The following areas have been designated heritage areas:

1. Arthur Head
2. Cantonment Hill
3. Fremantle Museum & Arts Centre
4. Victoria Quay
5. Memorial Reserve
6. Central Fremantle
7. Convict Establishment
8. Fothergill Street
9. Hilton Garden Suburb
10. Holland and Forrest Street
11. Howard Street
12. Inner Harbour
13. North Fremantle
14. Ord and Bateman Streets
15. Ord Street
16. South Fremantle
17. West End

18. White Gum Valley Heritage Areas:

- a) Area 1 – Pilbarra & Yilgarn Heritage Area
- b) Area 2 – Darling Street Heritage Area
- c) Area 3 – Hope Street Heritage Area
- d) Area 4 – Nanine, Watkins, Wongan and Samson Heritage Area
- e) Area 5 – Simper Crescent Heritage Area

The boundaries of these areas and a statement of significance for each is set out below. Statements of Significance are derived from Conservation Management Plans and/or State

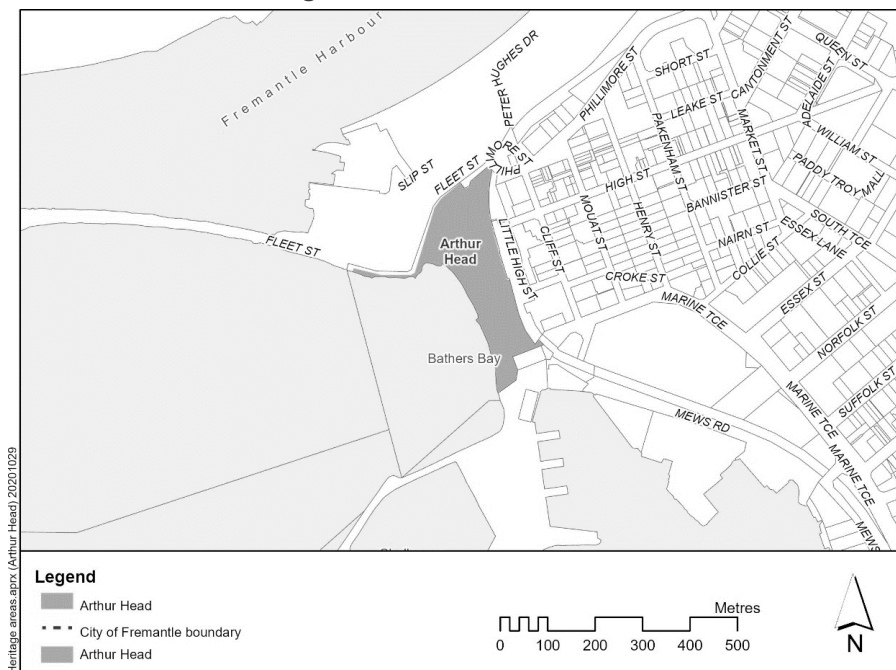


Register of Heritage Places Assessment Documentation where applicable, and City of Fremantle Local Heritage Survey documentation.

The list of contributory properties for each area (where such work has been carried out) are provided in the Appendices of this Policy.

Policy Provisions

1. Arthur Head Heritage Area



Statement of Significance

The Arthur Head Reserve, a natural and culturally modified landscape and historic townscape with historic features related to all periods post European contact to the present day, both on the land and in the adjacent waters, has cultural heritage value for the following reasons:

Primary Significance

- as a remnant of coastal limestone feature, originally separated from the mainland by ancient channels of the Swan River and built up of windblown sand on top of a fossil coral reef, Arthur Head Reserve is a feature of great geological and scientific significance, unique in Australia;



- the Round House, as a component of Arthur Head Reserve, is of exceptional significance as the first permanent public building constructed in the Swan River Colony. As the earliest gaol in Western Australia, it is the benchmark of the evolution of the State's penal system;
- Bathers Bay is of high historic value as an early landing and immigration point for Western Australia. The first Western Australian settlement was positioned adjacent to this beach;
- the landform has considerable significance to the south-west Indigenous (Nyungar) community as an integral part of the mythological interpretation of the landscape. It was an important place of early interaction between Aborigines and British colonists, with the Round House being of particular importance as the site of incarceration of Indigenous prisoners, including Yagan;
- Arthur Head Reserve has high aesthetic significance as a collective experience of important periods of successive development in relation to the natural marine and cultural terrestrial environment;
- Arthur Head Reserve and its highland have considerable significance as a focal point in the design and layout of the City of Fremantle, with the Round House and cliff formation being a dominant landmark;
- the archaeological and visible elements of the Whaling Station at Arthur Head demonstrate the history of Western Australia's former primary industries of whaling and sealing, which greatly contributed to the development of the Swan River Colony. The Whalers' Tunnel is of exceptional significance as the State's first underground engineering construction project and only tunnel,
- until the 1895 Jane Brook railway tunnel; the history of Arthur Head Reserve reflects directly the history of Fremantle and those components of the history of Western Australia which relate to settlement, colonial government, administration, law and penal, early industrial development, port development, signalling, freight transport and handling, and Commonwealth defence;
- the Pilots' Cottages are of considerable significance as a group of purpose built residences in the Federation Bungalow style of architecture, representing the pilot services for the early Port in Fremantle; the structures and archaeological deposits associated with the Arthur Head Battery are of considerable significance as a group of elements that represent the development of defence services from 1905 to the 1940s;
- the Kerosene Store together with the Sea Wall and the Long Jetty piles are of considerable significance as the only visible structures that remain from the original focus of port activities on the southern end of the site, and are vital in retaining a sense of this preceding context;
- Arthur Head Reserve has considerable significance for its association with the early maritime, navigational and defence facilities located at the site. All important navigational aids for the Port of Fremantle stood on this headland site until the turn of the 19th century;
- the built fabric of the Arthur Head Reserve has considerable significance for its close associations with Captain James Stirling, Henry William Reveley, Surveyor-General J.S. Roe, James Austin, Hilson Beasley, The Rt. Hon. John Forrest, and Hon. Sir Walter



Hartwell James, all of whom were involved with the early design and development of the area;

- Arthur Head Reserve contributes to the Western Australian community's sense of place as a readily identifiable and easily accessible site that helps tell a story about the settlement of the Swan River Colony. It plays a major part in the traditional and contemporary identity of Fremantle, and the number of visitors to the site are testimony to the high regard held for the place by the local and wider population of the State; and

Secondary Significance

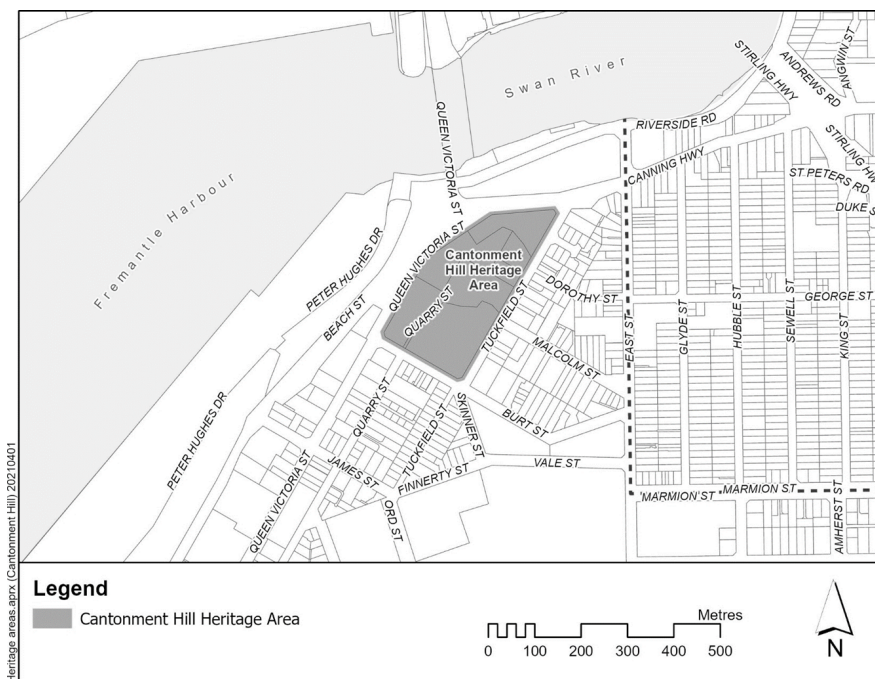
- J Shed has some significance for its association with the adjacent early development of Port activities at Victoria Quay and because it marks the site of the last period of extensive quarrying of the cliff landform of the Arthur Head Reserve.
- Conservation, restoration, stabilisation and heritage interpretation works to buildings, structures and the landscape of Arthur Head Reserve contribute to the significance of the place through improved amenity and presentation, thus providing a greater understanding and appreciation of the historic site and its heritage significance.
- Bathers Beach is a rare example of a reconstructed 1870s beach in close proximity to a city centre.
- Stabilisation works to the Whalers' Tunnel and cliff faces were undertaken through the innovative adaptation of mainstream mining technology to stabilise the limestone tunnel and to reveal the original surface presentation of a section of the tunnel adding to the area's scientific values.

Area Specific Development Guidance refer:

- Arthur Head Strategy Plan DGF5
- Arthur Head (west of High Street) DGF6
- Arthur Head Conservation Plan



2. Cantonment Hill Heritage Area



Statement of Significance

Cantonment Hill Heritage Area has cultural heritage significance for the following reasons:

- the association with the defence of Fremantle Harbour, and with the early defence efforts of the Commonwealth following Federation in 1901;
- the place has historic value in its associations with the quarrying of limestone in the early years of Fremantle's development, with the story of the development of the State's military history and the development of professional military forces in Western Australia following Federation, and with the development of a national coastal defence system prior to World War II;
- the place has aesthetic value in its topography, its plantings, and in the buildings and spaces created mainly by Hillson Beasley in his original concept of 1911, together with the subsequent buildings outside the immediate army precinct, including the Navy Store and the former Fremantle Harbour Signal Station;
- the former Fremantle Harbour Signal Station and the Naval Store are Fremantle landmarks for everyone approaching the city from the north;



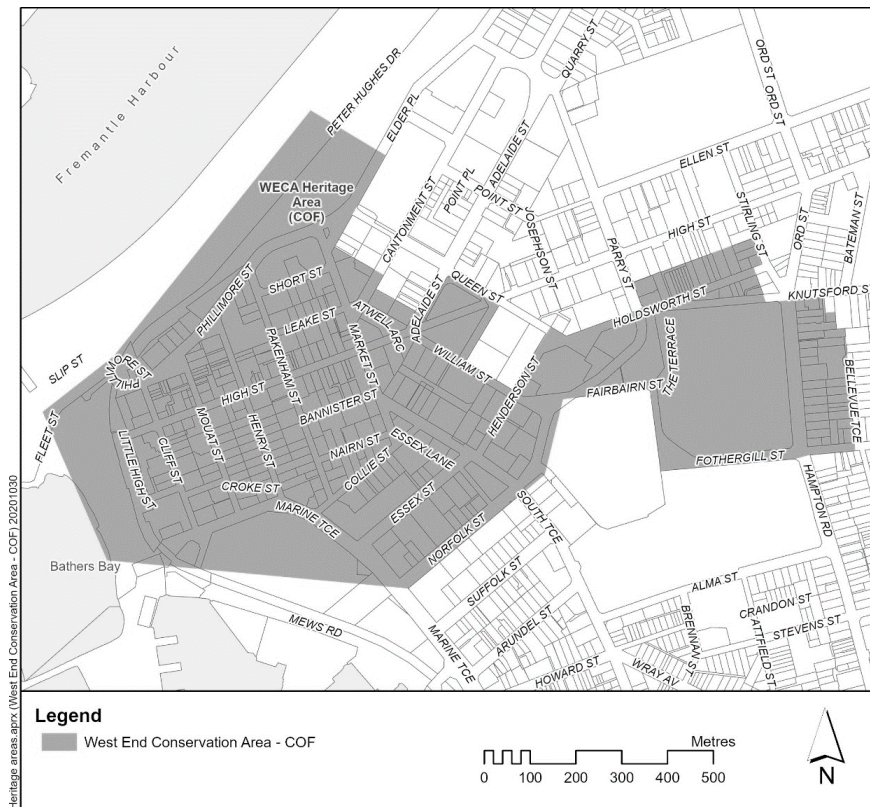
- the association with the Army Museum of WA and its significant collection which is housed within the complex;
- the Artillery Barracks building group, which remains as a major, intact, extant marker of the Coastal Defences of Fremantle for the period between 1910-63 following the dismantling or removal of many elements of Coastal Defence; and
- it is associated with the life and development of Fremantle and contributes to the sense of place of Fremantle and its people by its long-standing establishment and landmark qualities.

Area Specific Development Guidance refer:

- Fremantle Artillery Barracks and Cantonment Hill Reserve DGF 30



3. Central Fremantle Heritage Area (Former West End Conservation Area)



Statement of Significance

Central Fremantle Heritage Area (Former West End Conservation Area), including a substantial portion of the central area of Fremantle and occupying a partially triangular site with its apex at Arthur Head, the northern boundary formed by the Inner Harbour extending to include the Fremantle Train Station, the south-west boundary being the Indian Ocean and the Fishing Boat Harbour, the base of the triangle to the east formed by Kings Square and the limestone ridge and extended to include the Fremantle Prison and sites along Bellevue Terrace, has cultural heritage significance for the following reasons:

- It is a cohesive townscape formed by both natural and man-made features. Within the boundaries the city centre is identifiable from several vantage points as a cohesive



whole. The Town Centre is a precinct of considerable significance within the Central Fremantle Heritage Area (Former West End Conservation Area) because it retains the original town plan for Fremantle relatively intact and a number of significant buildings dating from the early to mid-twentieth century. Developed according to the 1829 survey by Surveyor General John Septimus Roe, with the street layout east of Market Street running approximately parallel with the original shoreline. Central to this area were two main squares - King's Square and Queen's Square located in the alignment of High Street;

- Arthur Head and Esplanade is a precinct of exceptional significance within the Central Fremantle Heritage Area (Former West End Conservation Area) because it contains the site of first settlement in the Swan River colony and the first law and order buildings. It also contains the site of the colony's first port.
- The Arthur Head and Esplanade precinct comprises the Round House, constructed in 1830-31 and designed by Henry Willey Reveley, an architect and Civil Engineer to the Colony, and associated buildings at Arthur Head. The Esplanade is the site of the first jetty, built 1830;
- The Old Port City is a precinct of exceptional significance within the Central Fremantle Heritage Area (Former West End Conservation Area) because it has been recognised as the core of commercial activity associate with Fremantle as a port city from the time of earliest settlement, it contains a high concentration of former warehouse and industrial buildings dating from the late nineteenth and early twentieth century and as such continues to provide a rare and intact example of an industrial urban centre in Western Australia.
- The area has changed over time however and currently features a predominance of buildings dating from the gold boom of the 1890s to the 1910s. These buildings were mainly constructed as warehouses, commercial premises, hotels and boarding houses associated with the shipping industry, and replaced the cottages and terraces that had previously characterised the area. After experiencing a resurgence of popularity in the 1970s and '80s and America's Cup preparations, when the area was characterised by restaurants and other places of entertainment, a significant proportion of the area is now owned and used by Notre Dame University;
- The Convict Establishment is a precinct of exceptional significance within the Central Fremantle Heritage Area (Former West End Conservation Area) because it covers the area of the original land grant provided for convict purposes in the 1850s. Over time the area was developed for the Convict Establishment, subsequently Fremantle Prison, the Fremantle Police Station and Court House, the Fremantle Hospital and Fremantle Oval. All these places are considered to be of State significance in their own right;
- The convicts were integral to the development and survival of Fremantle and the Swan River Colony and constructed public buildings, roads, bridges, and water systems. On the 40-acre convict grant, the convicts built the prison and houses for the prison hierarchy including 'The Knowle' for Superintendent Henderson (still standing in the grounds of the Fremantle Hospital complex). They went on to build the commissariat stores, the lunatic asylum, the police station, the barracks, the warders' cottages, the boys' school, and Fremantle bridge;



- The Fremantle Port is a precinct of exceptional significance within the Central Fremantle Heritage Area (Former West End Conservation Area) because it includes the Fremantle harbour, designed by C Y O'Connor and built from 1894–96, Victoria Quay and the associated warehouse area that developed between the harbour and the town centre in the early decades of the Twentieth Century.

It is noted that the Central Fremantle Heritage Area (Former West End Conservation Area) contains:

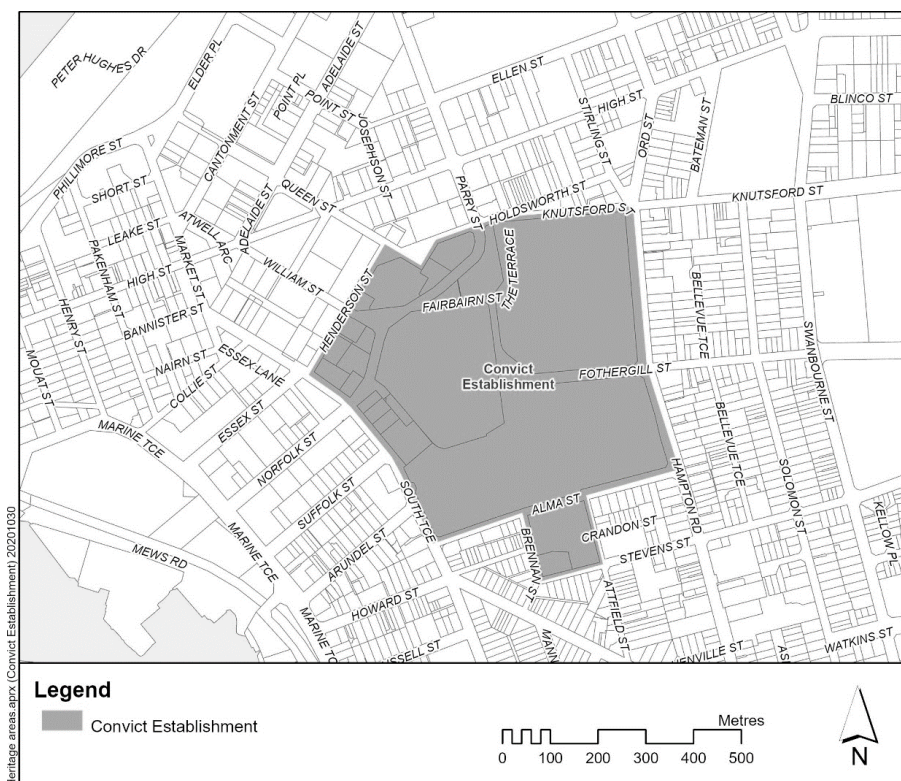
- the State Heritage Listed West End Heritage Area
- Arthur Head Heritage Area
- Portion of the Convict Establishment Heritage Area.

Area Specific Development Guidance Refer:

- Policies and Conservation Plans applicable to sub-areas including:
 - West End Heritage Area
 - Arthur Head Heritage Area
 - Convict Establishment Heritage Area
 - Precinct 5 Local Planning Policy



4. Convict Establishment Area



Heritage areas approx (Convict Establishment) 20201030

Statement of Significance

The Convict Establishment is a precinct of exceptional significance for the following reasons:

- It covers the area of the original land grant provided for convict purposes in the 1850s and developed in a different form to the rest of Fremantle. It was walled with open green spaces and gardens and buildings in the round, rather than street fronting buildings;
- Initially including the Fremantle Prison, The Knowle, the Fairbairn Street Ramp, Barrack’s Field (Fremantle Oval), Pensioner Barracks (now demolished), the Warder’s Cottages and remnant sections of boundary walls and archaeological sites (all part of the Convict Establishment);
- The Convict Establishment area further provides a zone that contributes to the World Heritage Listed elements;



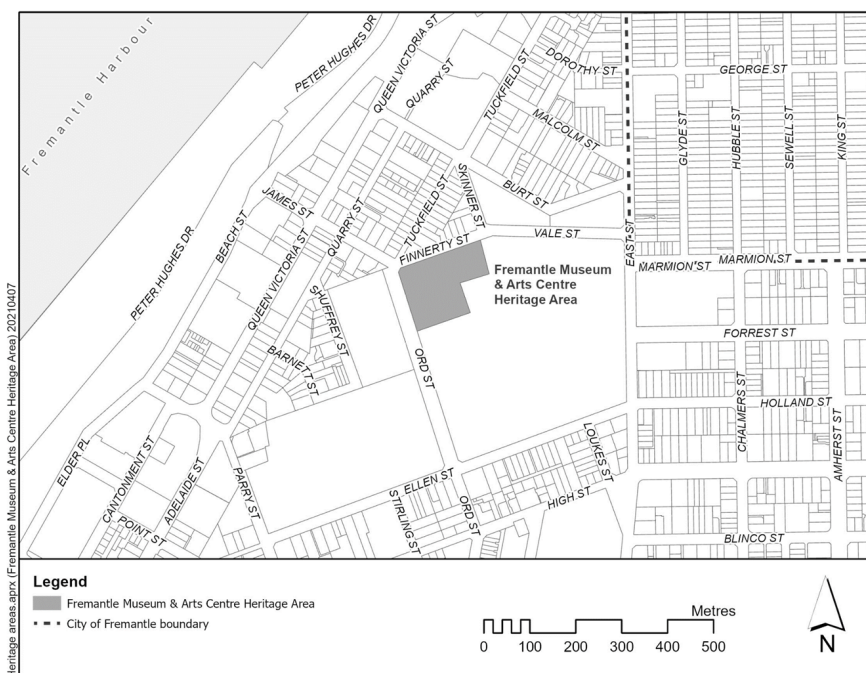
- During the Gold Rush era (and after the land was handed to the Colonial Government) it was subdivided to allocate land for civic and community purposes to meet the needs of the rapidly expanding population of Fremantle. This period saw the construction of Fremantle Police Station and Court House, the Fremantle Hospital, Fremantle Markets, Artillery Drill Hall, Scot's Church, the Fremantle Synagogue and Fremantle Oval and the Victoria Pavilion;
- The former Alma Street Cemetery is included in the curtilage;
- The establishment is the most intact such complex in Australia. The prison and the Convict Establishment is the outstanding symbol of the period in which Western Australia was developed using convict labour and it is a memorial to the design and supervision of the royal engineers including Jebb (surveyor general of the [English] prisons, Henderson (comptroller general of convicts), Wray (acting comptroller general), Manning (clerk of works in the royal engineer office) and to the work of the sappers and miners, artisan pensioners and, not least, the prisoners;
- The association of the persons who left their mark in its fabric or made an impact on its discipline and reputation, in particular, the governors Fitzgerald and Hampton; and, superintendents Lefroy, Stone, George and Hann; as well as the prisoners;
- The austere and monumental quality of the longest and tallest cell range in Australia set in a precinct characterised by a homogeneity of form, materials, texture and colour make it a landmark feature of Fremantle.

Area-Specific Development Guidance refer:

- Fremantle Prison Conservation Plan
- Victoria Pavillion Conservation Plan
- Fremantle Markets Conservation Plan



5. Fremantle Museum and Arts Centre Heritage Area



Statement of Significance

The Fremantle Museum and Arts Centre complex has cultural significance for the following reasons:

- it has historic significance as a major demonstration of the building program undertaken in the colony during the convict era;
- it has strong associations with the treatment of mental health and women in 19th century colonial society;
- it is an outstanding local example of colonial gothic architecture, demonstrating the design capabilities of E.Y.W. Henderson and George Temple Poole;
- it has social significance as the first major restoration project in Western Australia; and
- the place is held in high regard for its colonial architecture and its more recent use as a focal point for cultural activities in Fremantle.

Area-Specific Development Guidance refer:

- Fremantle Arts Centre Conservation Plan



6. Fothergill Street Heritage Area



Statement of Significance

Fothergill Street Precinct, a streetscape comprising 11 residences and a vacant lot in Fothergill Street, Fremantle, between Solomon Street and Swanbourne Street, the majority of which were constructed in the decade 1898-1908, of limestone and brick with iron roofs, has cultural heritage significance for the following reasons:

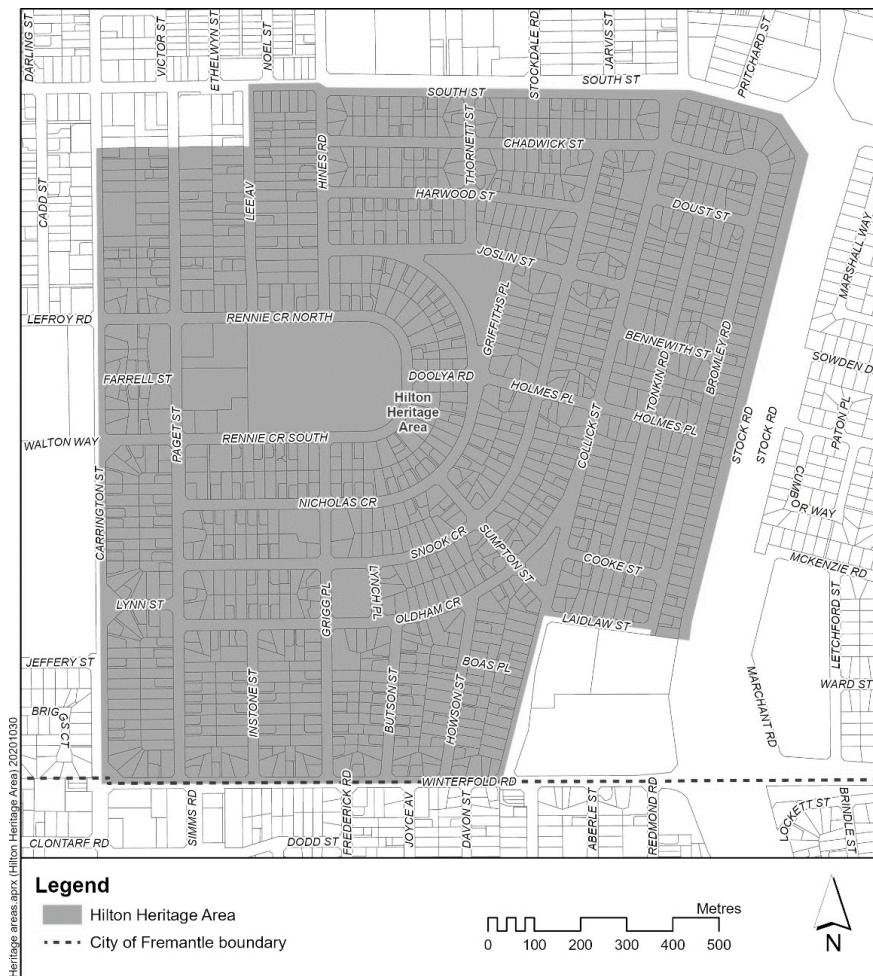
- the houses and streetscape of the historic precinct have a strong collective and visually cohesive aesthetic presence, reflecting a narrow range of late nineteenth and early twentieth century architectural styles and palette of materials that form a significant streetscape;
- as an almost complete example of an early twentieth century streetscape, the historic precinct is a good historical record of how Western Australians lived in the early years of the twentieth century, and the way in which the residences of the elite, the middle class and the working class existed side by side in that period;
- the historic precinct demonstrates changing demographics, the need for replacing deteriorating material, changing technology, and changes in lifestyle without the loss of the overall Federation period character;
- the historic precinct reflects a pattern of development whereby pressures for higher density development led to the area’s decline, and the subsequent removal of this pressure saw significant conservation and development of the area; and
- residents of the historic precinct, Sir Henry Briggs, Edith Higham and her husband, J. J. Higham; and George Henderson and George Thorpe, who built five of the residences



at the north side of the street, and Frederick Instone, who built 30 Solomon Street, are all significant Fremantle figures.



7. Hilton Garden Suburb Heritage Area



Statement of Significance

The “Hilton Garden Suburb Precinct” Heritage Area is of cultural heritage significance within the City of Fremantle for the following reasons:



- as an example of a substantially intact 'Garden Suburb' dating from the immediate post World War II period and characterised by its curvilinear road layout, parks, large and irregular shaped lots.
- It has historical value as an area developed by the State Housing Commission to provide affordable housing at a time of increased housing demand in Australia, particularly to house new arrivals: returned servicemen and immigrants. It also has historical significance for its association with the importation of prefabricated homes from Austria and for the timber homes designed by prominent architect Marshall Clifton.
- Hilton has aesthetic value for its parks, streetscapes, mature trees, areas of indigenous vegetation and birdlife. Its stock of relatively intact modest housing, including both timber and brick cottages, set on large lots, many with mature trees and gardens, contribute to the ambiance of the area and create a distinct and cohesive streetscape character.
- It has social value to the people who live there for the range of community facilities provided and the diversity of the local community including private owners, Department of Housing tenants, elderly people and families.

Development Guidance refer:

- Local Planning Policy 3.6: Heritage-Protected Places Built Form and Land Use



8. Holland and Forrest Streets Heritage Area



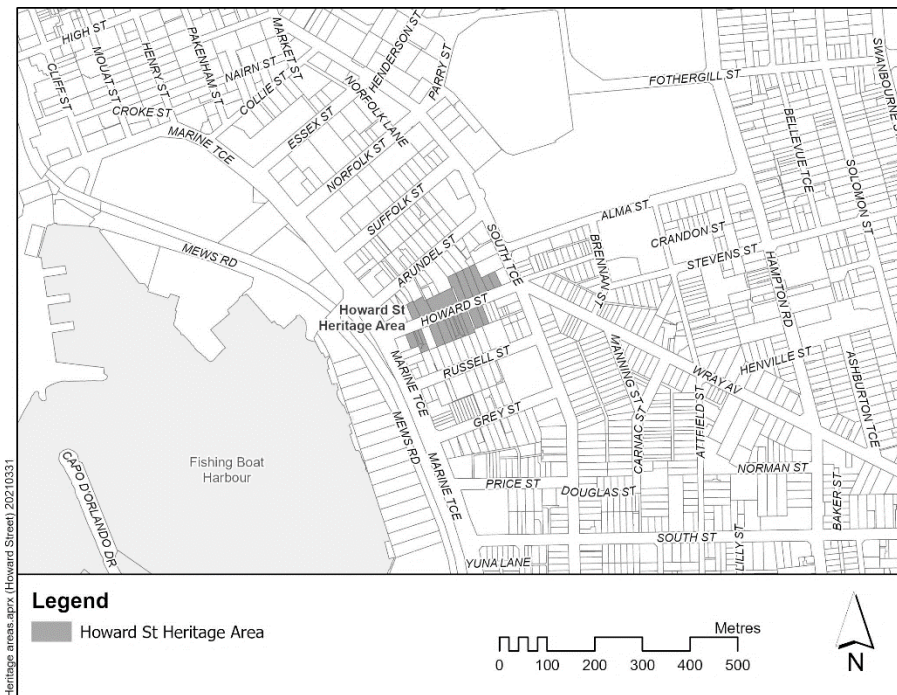
Statement of Significance

Holland and Forrest Streets Heritage Area is significant as an area located to the immediate east of the City of Fremantle with a history of settlement dating back to the mid nineteenth century. The area has cultural heritage significance for the following reasons:

- its concentration of mainly modest workers accommodation dating from the gold boom era through to the beginning of WWI;
- containing an excellent representation of all three phases of government subsidised housing in Western Australia by the State and Commonwealth during the first half of the twentieth century: early 1913/14 WHB housing (pre-WWI), 1920s War Service Homes houses and later 1930s/40s WHB houses (inter-war/pre-WWII); and,
- its expansion into Beaconsfield in the 1930s and the subsequent working class residential development of these areas.



9. Howard Street Heritage Area



Heritage_areas.aprx (Howard Street) 20210331

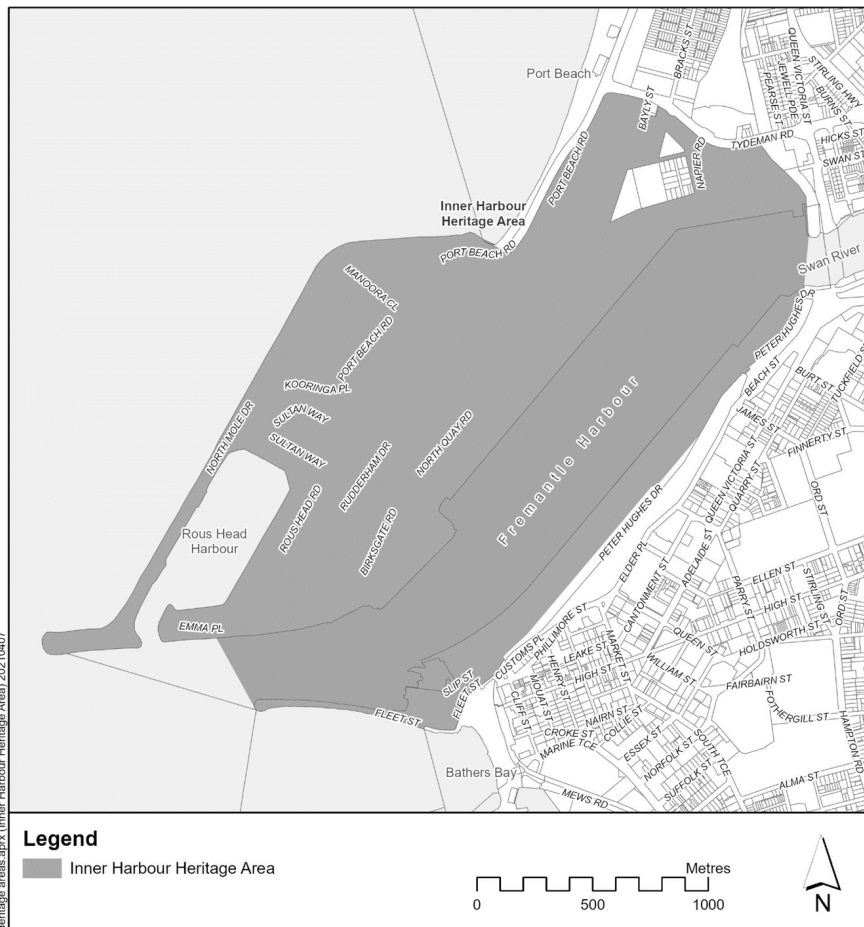
Statement of Significance

The Howard Street Heritage Area, comprising one and two storey residences, has cultural heritage significance for the following reasons:

- It demonstrates the residential evolution of Fremantle with one and two storey residences constructed from the 1890s to the post war period;
- It demonstrates the architectural influence both in new construction of the time and the overlay on earlier residences that the European Migrants (particularly in the Post War period) bought from their homelands.



10. Inner Harbour Heritage Area



Statement of Significance

Fremantle Inner Harbour has played a fundamental role in the broader context of development of the Australian nation and is significant for the following reasons:

- The Fremantle Inner Harbour is one of the most intact - and still working 19th century industrial ports, with direct linkages to a port town in Australia and internationally;



- The Fremantle Inner Harbour was the main strategic port for Allied Forces during World War II in the southern hemisphere and as such played an integral role in Australia's and the Allies defence operations;
- The Fremantle Inner Harbour was the point of entry for hundreds of thousands of people who arrived in Australia as part of the massive post World War II immigration program undertaken by the Commonwealth Government;
- Since its major redevelopment in the 19th century, the Fremantle Inner Harbour has provided employment for many thousand of 'wharfies' and 'lumpers' who not only made significant contribution to the development of Fremantle but also formed part of what is now the Maritime Union of Australia; one of the strongest and most organised unions in the history of Australia;
- The Fremantle Inner Harbour was the first of the major breakwater ports in Australia and has been recognised by Engineers Australia (formerly The Institution of Engineers, Australia) as a National Historical Engineering Landmark for its innovative design, technological achievement and contribution to the engineering profession; and
- The development of the Fremantle Inner Harbour saw it become known nationally and internationally as the Western Gateway into the Australian nation (extracted from Australian Heritage database for nomination of National Listing).

Area Specific Development Guidance refer:

- Victoria Quay Conservation Plan
- Victoria Quay Commercial Precinct Plan
- Planning Policy for the West End of Victoria Quay DGF26



11. Memorial Reserve Heritage Area



Statement of Significance

Memorial Reserve, Fremantle, comprising the prominent hill overlooking Fremantle, eleven memorial structures and landscaping and planting used both as parklands and as a place of remembrance, and dwellings facing the Reserve, has cultural heritage significance for the following reasons:

- the place, together with Fort Clarence, Albany, and Kings Park, is one of the three most impressive monumental war memorials in Western Australia; since the 19th century, the place has been a popular lookout and beauty spot for both locals and visitors of Fremantle;
- the place is one of the most significant landmarks within Fremantle; the place is held sacred by many people, including members of various ex-service organisations associated with the place, and since the erection of the Fallen Sailors' and Soldiers' Memorial in 1929 the place has been the chosen site both for various memorials commemorating other wars and for many commemorative ceremonies;
- the complete panorama (and the view of Fremantle and Gage Roads in particular) afforded from the place, its urban parkland containing mature trees and open spaces,



and the open character and almost constant breeze at its summit (particularly in the warmer months) are all aesthetic characteristics of the place that continue to attract visitors and locals alike and contribute to the community's sense of place;

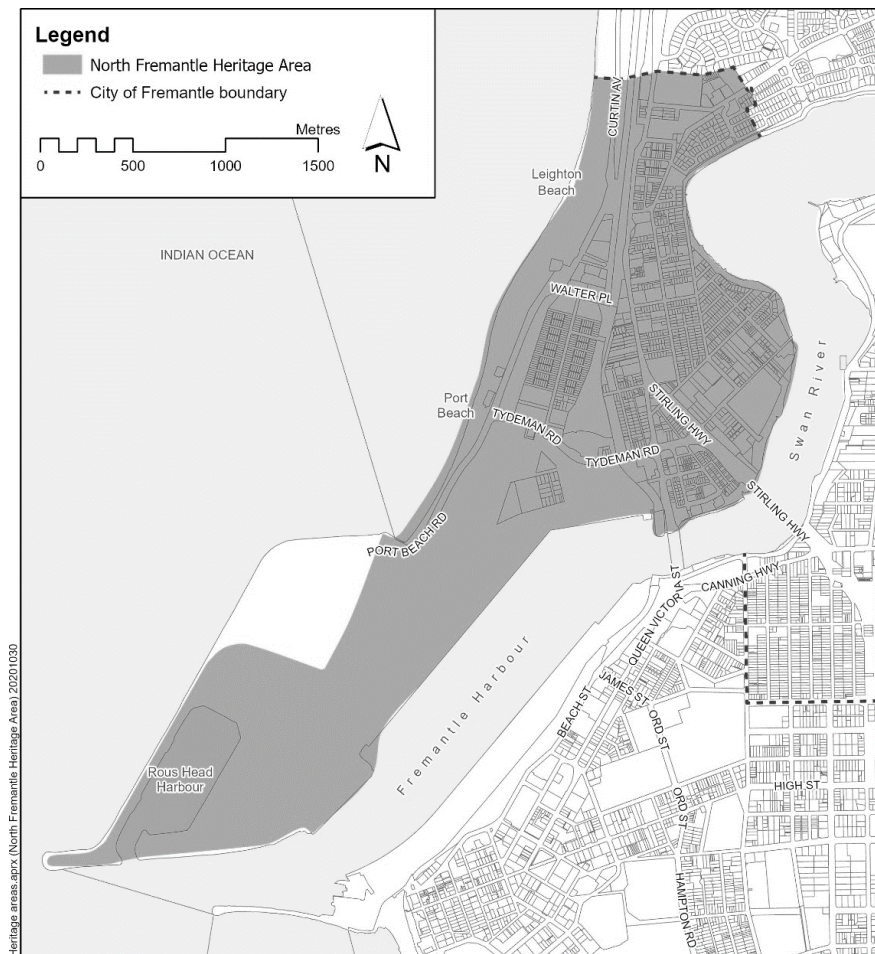
- the Fallen Sailors' and Soldiers' Memorial within the setting of the place is a cultural landscape valued for its aesthetic characteristics including the monumentality of the sandstone masonry pillar and podium, its siting on the summit of the hill, the symbolism of the structures and plantings, and the aspects (sequential and static);
- the place has been the site of a main Fremantle landmark or trig from before 1874; and
- the place has been the vantage point of a number of artistic works depicting the developing settlement of Fremantle; and, the place contains the first memorial to the personnel of the Royal Navy in Australia.

Area Specific Development Guidance refer:

- Monument Hill Memorial Reserve Conservation Plan



12. North Fremantle Heritage Area



Statement of Significance

North Fremantle is significant as an area located to the north of the Swan River and the Port of Fremantle with a history of settlement dating back to the Pensioner Guards in the mid nineteenth century. The area is significant for:

- Its connection with the Pensioner Guards whose former Barracks was located in the area and Captain J. Bruce, commanding officer of the pensioner guards who was



granted 150 acres in the area. Allotments were surveyed and allocated to the pensioner guards, who accompanied the convicts;

- its unique topography located between the river and the ocean which contributes to its unique character;
- its role in World War II defences with the establishment of the Leighton Battery;
- its concentration of mainly modest workers accommodation dating from the Federation and Inter-War periods;
- its focus on the industries relating to the Port of Fremantle, the railways and associated industries established in the area;
- its former industrial character resulting from the former Leighton Marshalling Yards industries such as the Dingo Flour Mill located in the area;
- its cultural diversity resulting from successive periods of migrant settlement in the area; and
- With the impact of the goldrushes in the 1890s and 1900s, in particular the huge growth in population and the increase in prosperity, North Fremantle began to develop as a residential area. Since the first decades of the twentieth century, North Fremantle has functioned as a mixed residential and medium to light industrial area and the area retains some of that mix today

Area Specific Development Guidance refer:

- Thompson Road, Craig Street and Lime Street Development Guidelines Local Planning Policy
- Minim Cove North Fremantle Local Planning Policy
- Northbank Development Guidelines DGN6
- Rocky Bay Estate DGN10
- Cypress Hill DGN11



13. Ord and Bateman Streets Heritage Area



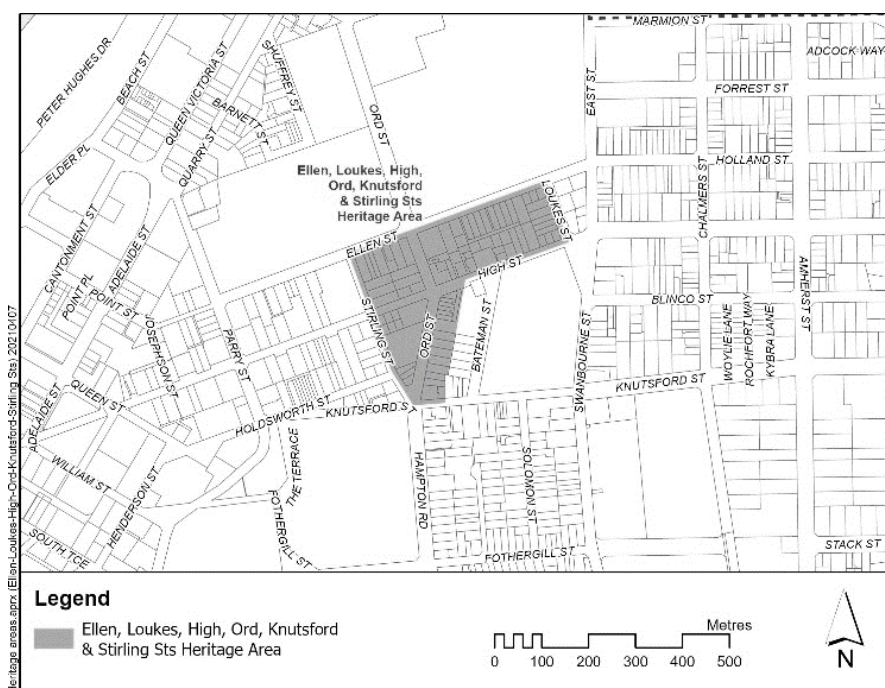
Statement of Significance

Ord and Bateman Streets Precinct, comprising of a group of 18 one- and two storey residences constructed from 1891 to 1903 in the Federation Bungalow and Federation Filigree styles, has cultural heritage significance for the following reasons:

- the precinct is rare as an intact group of Federation period residences; the early owners and developers of the precinct were prominent Fremantle businessmen Lionel Holdsworth (expiree, accountant and mercantile clerk) and Henry Dixson (tobacco merchant);
- the precinct contributes to the Fremantle community's sense of place through its distinctive streetscape;
- the houses between 20 and 24 Ord Street have strong landmark qualities as fine two-storey examples of Federation Filigree architecture, accentuated by their location above street level; and
- the precinct contains a rare collection of fine Federation Filigree style residences.



14. Ord Street Heritage Area



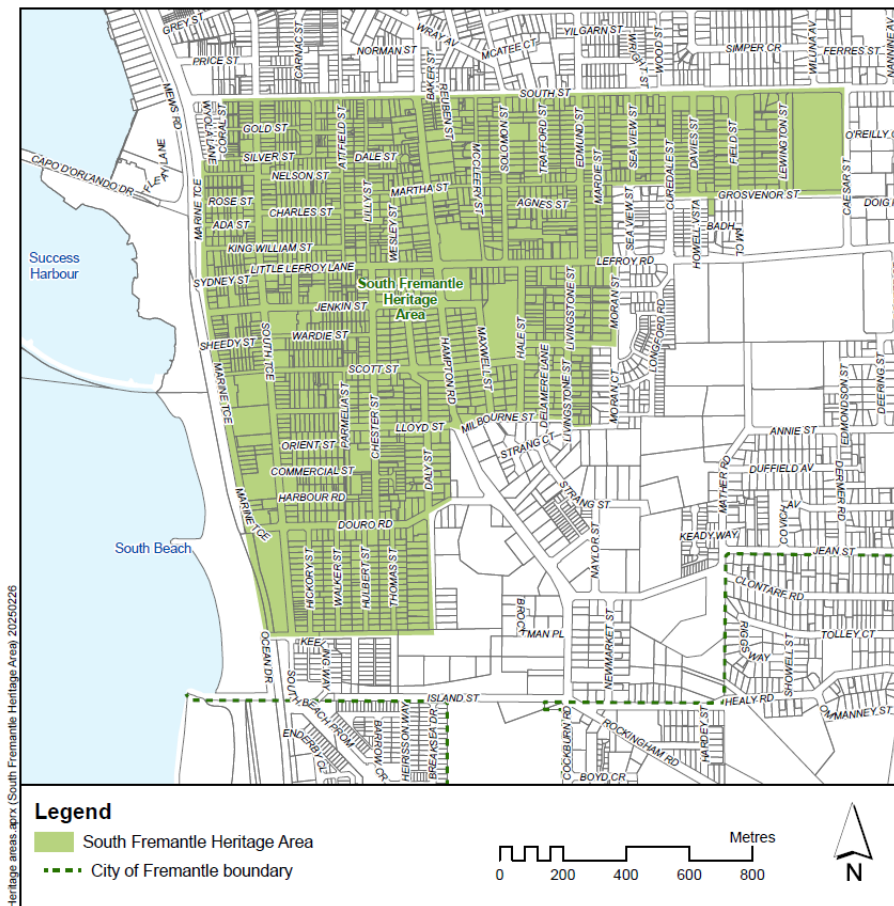
Statement of Significance

Ord Street Heritage Area, including places in the Ord and Bateman Street Heritage Area and extending further north to include Ellen, Loukes, High, Knutsford and Stirling Streets, has cultural heritage significance for the following reasons:

- the precinct is rare as an intact group of Federation period residences;
- the early owners and developers of the precinct were prominent Fremantle businessmen Lionel Holdsworth (expiree, accountant and mercantile clerk) and Henry Dixon (tobacco merchant);
- the precinct contributes to the Fremantle community's sense of place through its distinctive streetscape; and
- the precinct contains a rare collection of fine Federation Filigree style residences.



15. South Fremantle Heritage Area



Heritage areas.aprx (South Fremantle Heritage Area) 20250226

Statement of Significance

South Fremantle is located to the south of the City of Fremantle and has a history of settlement dating back to the mid-Nineteenth Century. It is significant as a heritage area for:

- the continued legibility of the original landforms of limestone ridges and valleys and sand dunes;
- its layout of key transport routes which clearly follow the early Bidi (tracks) of the Whadjuk Nyoongar people;



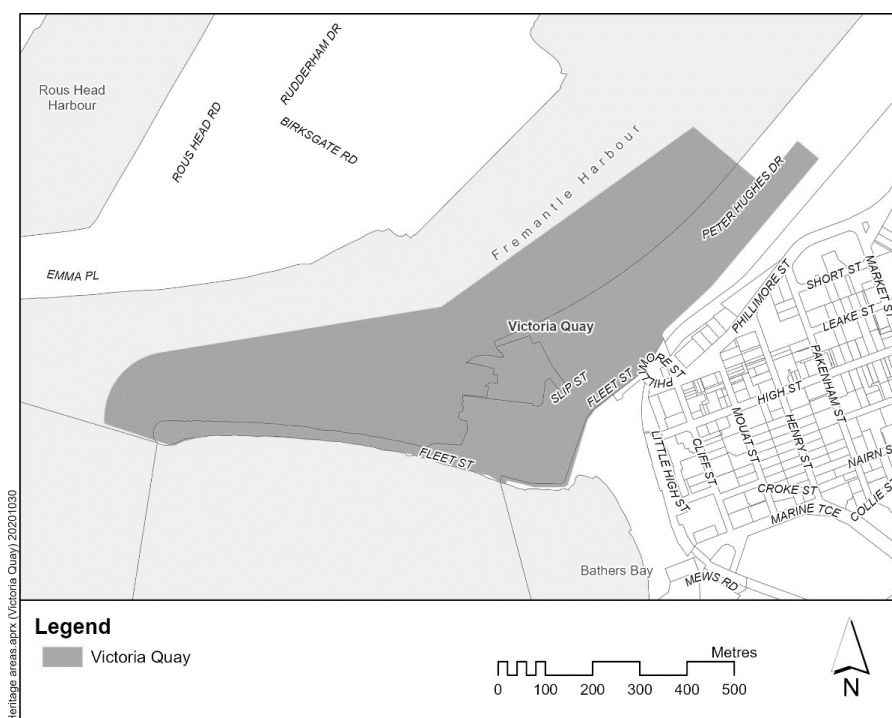
- its traditional mix of commercial, industrial, and residential land uses from prior to the introduction of zoning controls in Western Australia, which segregated different land uses;
- its mix of small, simple, workers' cottages through to the larger homes of the wealthy, incorporating varying levels of design and decorative detail, yet forming a cohesive area using common materials and architectural styles;
- its concentration of small, simple houses in both timber and masonry (limestone and brick) with little or no decorative detailing, dating predominantly from the Victorian and Federation periods;
- its concentration of modestly sized houses in both timber and masonry (limestone and brick) with a moderate level of decorative detailing, dating predominantly from the Victorian and Federation periods;
- the fine examples of large houses, generally in limestone and brick with a high degree of decorative detailing, typically located on large lots on the ocean-facing side of ridges and hills;
- its variety of former industrial land uses mixed in with residences;
- its concentration of industrial land uses and buildings relating to marine industries, including fishing and boatbuilding, particularly along Marine Terrace;
- its extensive associations with, and remaining elements of the horse racing industry;
- the concentration of Interwar and Postwar suburban homes, generally of red brick and later of salmon brick, which mark the expansion into Beaconsfield and what was known as Chesterfield in the 1930s, and the subsequent working class residential development of these areas;
- its cultural diversity, houses of the Postwar era, and physical changes to existing houses resulting from successive periods of European migrant settlement in the area;
- its former small farming character and the Postwar, European migrant-influenced home garden farming and food production practices; and
- its late-Twentieth Century conversion of industrial buildings to residential units.

Area Specific Development Guidance:

- Local Planning Area 5 Local Planning Policy
- Clontarf Road Area Local Planning Policy
- Wills Transport Site – 122 Marine Terrace & 3 South Street, South Fremantle DGS5
- South Beach Village DGS6



16. Victoria Quay Heritage Area



Statement of Significance

Victoria Quay, a landmark industrial urban landscape and townscape, comprising a wharf structure with berths, transit and work sheds, jetties and slipways, the Passenger Terminal, Immigration Buildings and associated South Mole and Inner Harbour and associated adjacent buildings along Elder Place and Beach Street, has cultural heritage significance for the following reasons:

- the place has national significance as the first landfall and entry point for tens of thousands of migrants to Australia; the place is representative of the development pattern of Australian harbours and has national significance as a mostly intact, industrial townscape that remains connected to a working port;
- the place, valued by special interest groups, the local community and wider public for its port and river related activities and cultural facilities, contributes to the identity of Fremantle;
- the establishment of the Harbour and associated facilities at Fremantle led to Fremantle's emergence over Albany as the State's premier port and facilitated



economic growth through improved trade and communications for industry, commerce and agriculture;

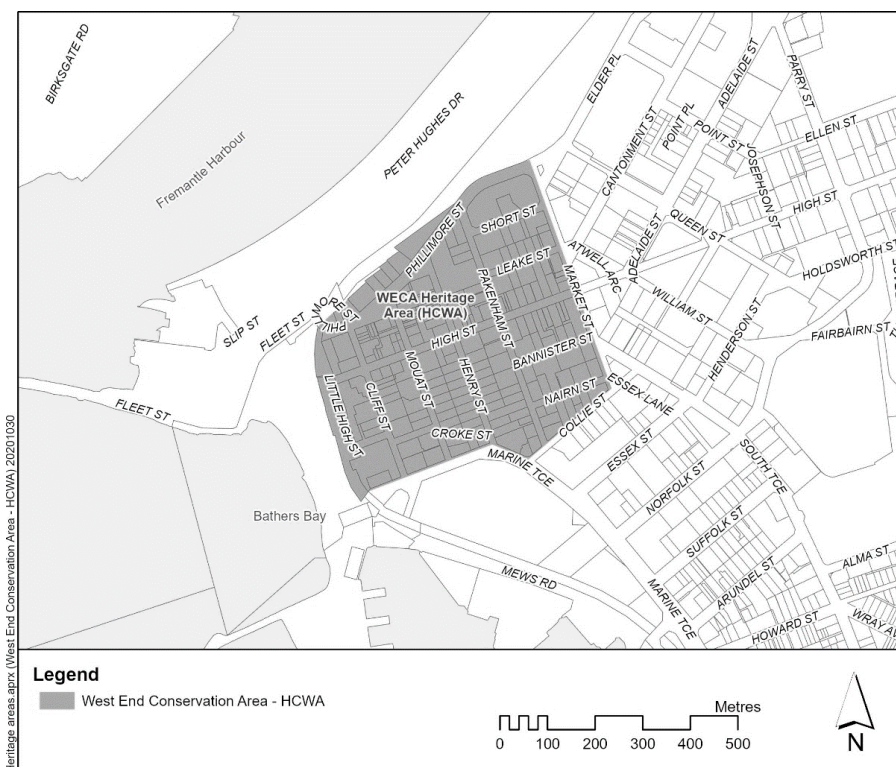
- both individually and collectively, the buildings and structures on Victoria Quay display aesthetic characteristics and form groups of related buildings within the larger industrial precinct. The buildings and structures reflect the various phases of Western Australia's development from the late 1800s;
- the innovative wharf structure exhibits a high degree of engineering accomplishment and technical proficiency;
- the place has associations with a number of individuals and groups, including its designer, C. Y. O'Connor, its construction workforce, the Public Works Department and the maritime workers who have been employed at the place. Victoria Quay was the site of the 'Bloody Sunday' battle between police forces and waterside workers in May 1919;
- the place played a major role in Australia's defence operations during World War Two, with Australian, American, British and Dutch wartime service groups operating from the Quay. Many structures from this period remain;
- the place is a major archaeological resource as the development of Victoria Quay necessitated reclamation works, rapid construction and subsequent recycling and replacement of buildings as the operational needs of the port developed;
- the place is valued by the general community as the main port, once the only port, connecting the mainland with Rottnest Island, a highly patronised and valued holiday destination; and,
- the place is a significant element in the wider precincts of the West End of Fremantle, Fremantle Harbour and the mouth of the Swan River. Victoria Quay is linked to these areas through visual, functional and historic associations.

Area Specific Development Guidance: Refer:

- Victoria Quay Conservation Plan
- Victoria Quay Commercial Precinct Plan
- Planning Policy for the West End of Victoria Quay DGF26



17. West End Heritage Area



Statement of Significance

West End, Fremantle, bounded by Market Street to the east, Collie Street and Marine Terrace to the south, Little High Street to the west and Phillimore Street to the north, and including the lots on the northern side of Phillimore Street between Cliff and Henry Streets, has cultural heritage significance for the following reasons:

- the place is rare in Western Australia as a highly intact port city business district, retaining a range of buildings predominantly dating from the gold boom expansion era (1890s-1900s), along with some evidence of earlier and later periods, that retains an ongoing connection with maritime industries;
- the place is characterised by a very fine collection of predominantly Federation era buildings in a variety of classically-influenced styles, many of which retain substantial original features, which together form a cohesive precinct featuring common detailing, scaling, siting, construction materials and historical functions, and includes many individually significant buildings;



- the place has been associated with Fremantle’s maritime operations from 1829 to the present and, through the range of premises in the precinct, demonstrates the operations of a port city including banks, customs, import and export businesses, ship-related trades, policing, prostitution, accommodation, unions and migrant services;
- the development of the place was in response to the opening of the inner harbour in 1897, which reoriented the West End towards its northern face, established Fremantle as the State’s main port and saw an increase in the size and number of shipping companies operating out of the area, and its twentieth-century economic decline was a result of modernisation and northern expansion of the port in the 1950s and 1960s;
- in its built fabric, the place, particularly the imposing or opulent buildings and streetscapes of the 1890s and 1900s, the precinct demonstrates the impact of the Gold Boom period on the State, when money and population flooded into the Colony, and Fremantle became a flourishing, prosperous port town;
- the place policed, and was partially constructed by convicts and is intrinsically linked with the nineteenth century convict history of Western Australia;
- the port associated with the place was the main arrival point for migrants to Western Australia from 1829 until the second half of the twentieth century, and the place was a major part of their first experience of the State;
- the place is a landmark area defining the western end of Fremantle, with strong entry statement buildings at several points, views to and from Fremantle landmarks and, historically, views from the sea;
- the archaeology of the place has a high degree of potential to reveal information about the history and occupation of the West End from 1829 to the present, particularly with regard to deposits dating to the pre-Gold Rush era;
- the place was rejuvenated in the mid-1980s as part of preparations for hosting the America’s Cup yachting event in 1987, which brought international attention to Fremantle;
- the place is associated with many significant individuals, including government and private architects, merchants and other business people of the area, union leaders, former residents and the original surveyor, John Septimus Roe, whose 1830s plans for the town continue to dictate the precinct’s road layout and lot boundaries; and,
- the place is significant to the local community as an historic area that contributes to the community’s sense of place, as evidenced by the work of the Fremantle Society since 1972 to protect and restore the precinct, and is representative of the role of community activism in protecting and restoring many heritage sites in Western Australia prior to the introduction of heritage legislation in 1990.

Area Specific Development Guidance refer:

- LPP 3.21: West End Heritage Area policy



18. White Gum Valley Heritage Areas



Area 1 – Pilbarra & Yilgarn Heritage Area

Statement of Significance

The area bound by Edmund Street, Watkins Street further to the north, Amherst Street, Samson Street, the eastern side of Wood Street, and South Street has cultural heritage significance as:

- an area located to the immediate east of the city centre of Fremantle with a history of settlement dating back to the late 1800s;
- being the oldest section of White Gum Valley;
- its concentration of mainly modest workers accommodation dating from the gold boom era through to the post WWII era;
- demonstrating the beginnings of the suburban expansion of Fremantle; and



- demonstrating the ongoing suburban expansion of Fremantle and the development of suburbs relying on the more prevalent use of the motor car; and
- retaining relatively intact residential heritage streetscapes.

Area 3 – Hope Street Heritage Area



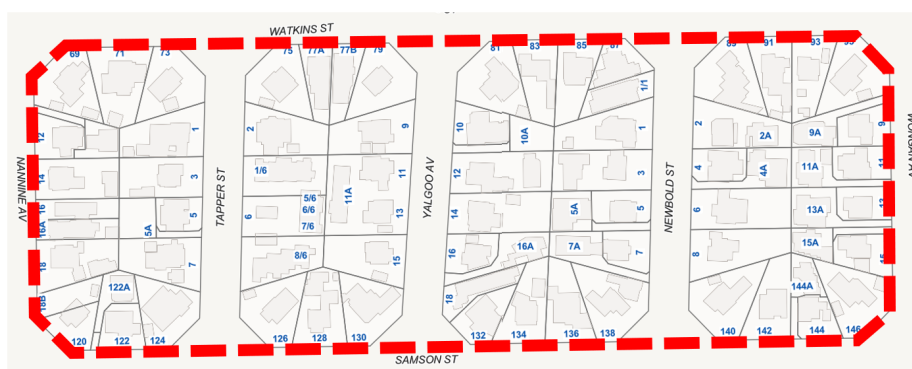
Statement of Significance

The area bound to the west by Amherst Street, the east by Yalgoo Avenue, the north by Stevens Street and the south by Watkins Street and Mulberry Farm Lane, has cultural heritage significance as:

- an area located in the heart of White Gum Valley with a history of settlement dating back to the 1940s, predominantly the immediate Post War period during a time of reconstruction and development bringing significant population growth, migration, and urban expansion to Fremantle;
- its concentration of mainly modest suburban housing dating from the immediate Post War era;
- demonstrating the ongoing suburban expansion of Fremantle and the development of suburbs relying on the more prevalent use of the motor car;
- including the White Gum Valley Primary School and Sullivan Hall which demonstrates the growing White Gum Valley community and the development of the suburb's own identity; and,
- retaining relatively intact residential heritage streetscapes.



Area 4 – Nanine, Watkins, Wongan and Samson Heritage Area



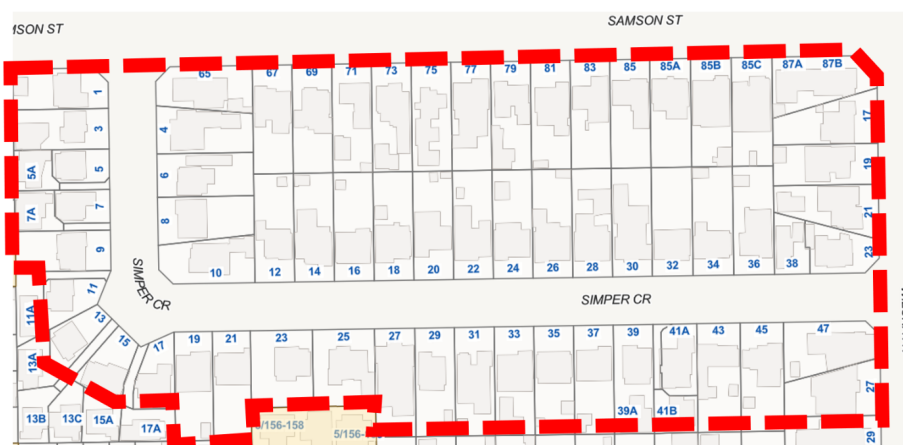
Statement of Significance

This area bound by Nanine Avenue, Watkins Street, Wongan Avenue and Samson Street has cultural heritage significance as:

- an area located in the heart of White Gum Valley with a history of settlement dating back to the 1950s, predominantly the Post War period during a time of post-war reconstruction, a large influx of European migrants, and a shift toward suburban expansion and port modernisation;
- its concentration of low density, larger suburban lots (with triangular corner lots) intended to provide working-class families with ample backyard space for vegetable gardens and outdoor living;
- demonstrating the ongoing suburban expansion of Fremantle and the development of suburbs relying heavily on the use of the motor car; and
- its high concentration of original homes constructed during the same short period.



Area 5 – Simper Crescent Heritage Area



Statement of Significance

The area includes the houses north and south of Simper Crescent as well as the houses on the southern side of Samson Street extending from Wiluna Avenue to one lot east of Wood Street. The area has cultural heritage significance as:

- an area located on the southern edge of White Gum Valley with a history of settlement dating from the 1960s, predominantly defined as the late Post War period with growing European migration, continuing suburban expansion and port modernisation;
- its concentration of low density, larger suburban lots intended to provide working-class families with ample backyard space for vegetable gardens and outdoor living;
- its concentration of large suburban brick homes, with similar characteristics, often with under croft garages, salmon brick and open, non fenced, grassed front gardens;
- its highly intact streetscapes of very similar houses built within the same short period of time;
- the design influence of the growing European immigrants of the 1960s as Fremantle became the primary passenger gateway into Australia; and
- demonstrating the ongoing suburban expansion of Fremantle and the development of suburbs relying heavily on the use of the motor car.



Local Planning Policy – Document Control			
Responsible Officer		Previous Policy Title	Next Review Date
Manager City Planning		N/A	(four years)
Version	Decision to Adopt/Amend	Brief Details of Modifications	
1	27 August 2025 – OCM – C2508-15	Adoption	
2	TBD	Add White Gum Valley Heritage Areas	
Public Consultation		Yes	
WAPC Approval Required?		No	
		Date approved by WAPC	N/A



Appendix 1 – Contributory Places

The identification of contributory places in heritage areas has not yet been carried out for any areas not listed below. Each building within such an unlisted area will be assessed for significance when a development application is submitted.

The following properties have been identified as being places of significance and are considered to be contributory properties:

A. South Fremantle Heritage Area

Place name	Date
House, 1 Ada Street	c. 1905
House, 3 Ada Street	c. 1915
House, 5 Ada Street	1898
House, 6 Ada Street	c. 1905
House (former factory), 7 Ada Street	c. 1940
House, 8 Ada Street	c. 1900
Duplex (former factory), 10a Ada Street	c. 1950
Duplex (former factory), 10b Ada Street	c. 1950
House, 12 Ada Street	c. 1910
House, 14 Ada Street	c. 1900
House, 1 Agnes Street	c. 1940
Duplex, 2 Agnes Street	c. 1905
Duplex, 4 Agnes Street	c. 1905
House, 5 Agnes Street	c. 1950
Duplex, 6 Agnes Street	c. 1900

Place name	Date
House, 7 Agnes Street	c. 1955
Duplex, 8 Agnes Street	c. 1900
House, 9 Agnes Street	1918
House, 13 Agnes Street	1900
House, 15 Agnes Street	c. 1905
Duplex, 78 Attfield Street	c. 1900
Duplex, 80 Attfield Street	c. 1900
House, 82 Attfield Street	c. 1900
Duplex, 88 Attfield Street	1900
Duplex, 90 Attfield Street	1900
House, 91 Attfield Street	c. 1920
House, 92 Attfield Street	c. 1900
House, 95 Attfield Street	c. 1898
House, 96 Attfield Street	c. 1897
House, 97 Attfield Street	c. 1908

Place name	Date
House, 98 Attfield Street	1898
Duplex, 99 Attfield Street	1898
House, 100 Attfield Street	1900
Duplex, 101 Attfield Street	1898
House, 102 Attfield Street	c. 1910
House, 104 Attfield Street	c. 1900
House, 106 Attfield Street	c. 1900
House, 108 Attfield Street	c. 1900
House, 110 Attfield Street	c. 1940
Stable (former) and house, 116 Attfield Street and 37 Lilly Street	c. 1900
House, 117 Attfield Street	c. 1900
House, 118 Attfield Street	c. 1900
House, 121 Attfield Street	c. 1955
House, 123 Attfield Street	c. 1927



Place name	Date
House, 125 Attfield Street	c. 1928
Duplex, 126 Attfield Street	c. 1905
House, 127 Attfield Street	c. 1905
Duplex, 128 Attfield Street	c. 1905
House, 131 Attfield Street	c. 1928
House, 132 Attfield Street	c. 1927
House, 133 Attfield Street	c. 1898
House, 3 Belmont Street	1920
House, 3 Charles Street	c. 1898
House, 4 Charles Street	c. 1898
Duplex, 5 Charles Street	c. 1895
House, 6 Charles Street	c. 1895
Duplex, 7 Charles Street	c. 1895
House, 8 Charles Street	c. 1895
House, 9 Charles Street	c. 1895
House, 10 Charles Street	1900
House, 11 Charles Street	c. 1895
House, 13 Charles Street	c. 1895
House, 14 Charles Street	c. 1895
House, 15 Charles Street	c. 1895
House, 16 Charles Street	1900
House, 17 Charles Street	1891
House, 19 Charles Street	1891
Duplex, 20 Charles Street	c. 1902

Place name	Date
Duplex, 22 Charles Street	c. 1902
House, 24 Charles Street	c. 1930
House, 26 Charles Street	c. 1895
House, 1 Chester Street	c. 1950
House, 2 Chester Street	c. 1926
House, 3 Chester Street	c. 1949
House, 4 Chester Street	c. 1937
House, 5 Chester Street	c. 1935
House, 7 Chester Street	c. 1935
House, 8 Chester Street	c. 1954
House, 11 Chester Street	c. 1950
House, 13 Chester Street	1925
House, 15 Chester Street	1905
House, 16 Chester Street	c. 1950
House, 19 Chester Street	c. 1900
House, 21 Chester Street	c. 1900
House, 26 Chester Street	c. 1935
House, 27 Chester Street	c. 1923
House, 28 Chester Street	c. 1930
House, 30 Chester Street	1924
House, 32 Chester Street	1923
House, 34 Chester Street	1927
House, 36 Chester Street	c. 1940
House, 40 Chester Street	1930

Place name	Date
House, 44 Chester Street	c. 1930
House, 50 Chester Street	1898
House, 52 Chester Street	1898
House, 56 Chester Street	c. 1920
House, 58 Chester Street	1893
House, 3 Commercial Street	1896
House, 4 Commercial Street	1905
Duplex, 5 Commercial Street	c. 1990
Duplex, 7 Commercial Street	c. 1900
House, 8 Commercial Street	c. 1905
House, 9 Commercial Street	c. 1905
House, 13 Commercial Street	1932
Duplex, 15 Commercial Street	1903
Duplex, 17 Commercial Street	1903
House, 19 Commercial Street	c. 1900
House, 21 Commercial Street	c. 1940
House, 2 Coral Street	c. 1900
House, 6 Coral Street	c. 1900
House, 8 Coral Street	c. 1900
House, 10 Coral Street	c. 1900
House, 1C Curedale Street	c. 1935
House, 3 Curedale Street	c. 1935
House, 5 Curedale Street	c. 1935
House, 6 Curedale Street	c. 1915



Place name	Date
House, 7 Curedale Street	1950 +
House, 9 Curedale Street	1950 +
House, 11 Curedale Street	c. 1905
House, 13 Curedale Street	c. 1905
House, 14 Curedale Street	c. 1903
Duplex, 15 Curedale Street	c. 1905
Duplex, 17 Curedale Street	c. 1905
House, 18 Curedale Street	c. 1905
House, 19 Curedale Street	c. 1905
House, 21 Curedale Street	c. 1900
House, 24 Curedale Street	c. 1900
House, 30 Curedale Street	c. 1903
House, 13 Daly Street	1948
House, 16 Daly Street	c. 1900
House, 17 Daly Street	c. 1937
House, 24 Daly Street	c. 1905
House, 26 Daly Street	1935
House, 28 Daly Street	1938
J.D. Cockrell's Stables (former), 39-43 Daly Street	1929
House, 47 Daly Street	1925
House, 49 Daly Street	c. 1910
House, 51 Daly Street	1935
House, 55 Daly Street	1888

Place name	Date
Duplex, 59A Daly Street	1928
Duplex, 59B Daly Street	1928
Collinson's House and stables (former), 77 Daly Street	c. 1950
House, 2 Davies Street	1904
House, 4 Davies Street	1903
House, 6 Davies Street	1900
House, 8 Davies Street	1902
House, 14 Davies Street	1900
House, 22 Davies Street	1917
House, 24 Davies Street	1900
House, 26 Davies Street	1900
House, 28 Davies Street	1900
House, 7 Douro Road	1916
House, 9 Douro Road	1934
House, 14 Douro Road	c. 1923
House, 15 Douro Road	1899
House, 16 Douro Road	c. 1900
Bartholomew Daly's Stables (former), 17 Douro Road	1902
House, 23 Douro Road	c. 1900
House, 24 Douro Road	c. 1945
Shop and house, 25 Douro Road	c. 1900
House (former shop), 26 Douro Road	1898

Place name	Date
House, 27 Douro Road	c. 1910
House, 32 Douro Road	1897
House, 33 Douro Road	c. 1895
Shop and house, 34 Douro Road	c. 1900
House, 36 Douro Road	c. 1950
House, 38 Douro Road	c. 1950
House, 40 Douro Road	1935
House, 42 Douro Road	1933
House, 112 Edmund Street	c. 1905
House, 117 Edmund Street	c. 1915
Duplex, 118 Edmund Street	c. 1900
House, 119 Edmund Street	1900
Duplex, 120 Edmund Street	c. 1900
House, 122 Edmund Street	c. 1910
House, 125 Edmund Street	c. 1905
House, 127 Edmund Street	c. 1905
House, 128 Edmund Street	c. 1901
House, 129 Edmund Street	c. 1935
House, 130 Edmund Street	c. 1900
House, 132 Edmund Street	c. 1906
House, 133 Edmund Street	c. 1900
House, 134 Edmund Street	c. 1900
House, 135 Edmund Street	c. 1935
House, 137 Edmund Street	c. 1915



Place name	Date
Duplex, 139 Edmund Street	c. 1905
Duplex, 141 Edmund Street	c. 1905
House, 142 Edmund Street	c. 1925
House, 144 Edmund Street	c. 1925
House, 145 Edmund Street	c. 1920
House, 149 Edmund Street	c. 1902
House, 151 Edmund Street	c. 1905
House, 154 Edmund Street	1900
House, 155 Edmund Street	c. 1905
House, 160 Edmund Street	c. 1905
House, 161 Edmund Street	c. 1930
Duplex, 162 Edmund Street	c. 1900
Duplex, 164 Edmund Street	c. 1900
House, 165 Edmund Street	c. 1900
House, 167 Edmund Street	c. 1900
House 1 Francisco Street	1902
House, 5 Francisco Street	1898
House, 6 Francisco Street	1896
House, 7 Francisco Street	1896
House, 8 Francisco Street	1896
House, 10 Francisco Street	1896
House, 11 Francisco Street	1899
House, 12 Francisco Street	1955
Gold Street Park, Francisco Street	

Place name	Date
House, 1 Gold Street	c. 1905
Duplex, 2 Gold Street	c. 1905
House, 3 Gold Street	c. 1905
Duplex, 4 Gold Street	c. 1905
Duplex, 5 Gold Street	c. 1905
Terrace, 6 Gold Street	c. 1900
Duplex, 7 Gold Street	c. 1905
Terrace, 8 Gold Street	c. 1900
Terrace, 9 Gold Street	c. 1905
Terrace, 10 Gold Street	c. 1900
House, 11 Gold Street	c. 1900
House, 12 Gold Street	c. 1910
House, 13 Gold Street	c. 1898
House, 14 Gold Street	c. 1902
House, 15 Gold Street	c. 1902
House, 16 Gold Street	c. 1902
House, 18 Gold Street	c. 1898
House, 20 Gold Street	c. 1898
House, 21 Gold Street	c. 1898
Terrace, 25 Gold Street	c. 1902
Duplex, 26 Gold Street	c. 1898
Terrace, 27 Gold Street	c. 1902
Duplex, 28 Gold Street	c. 1898
Terrace, 29 Gold Street	c. 1902

Place name	Date
House, 31 Gold Street	c. 1898
House, 33 Gold Street	c. 1898
House, 1 Grosvenor Road	c. 1910
House, 2 Hale Street	c. 1900
House, 4 Hale Street	c. 1900
House, 6 Hale Street	c. 1900
House, 10 Hale Street	c. 1900
House, 30 Hale Street	1899
House, 34 Hale Street	1921
Commercial building, 109 Hampton Road	c. 1950
House, 111 Hampton Road	1912
House and limestone feature(s), 113 Hampton Road	1939
Duplex, 115 Hampton Road	c. 1910
Duplex, 115A Hampton Road	c. 1910
House and former forge, 117 -121 Hampton Road	c. 1900
House, 125 Hampton Road	c. 1900
Commercial building, 127 Hampton Road	1898
Glennifer Cottage, 129A Hampton Road	1887
House, 131 Hampton Road	1892
House, 133 Hampton Road	1887
House, 135 Hampton Road	1895
House, 137 Hampton Road	1895



Place name	Date
House, 139 Hampton Road	c. 1900
House, 141 Hampton Road	c. 1930
Duplex, 147 Hampton Road	c. 1900
Duplex, 149 Hampton Road	c. 1900
Duplex, 150 Hampton Road	1902
House, 151 Hampton Road	c. 1950
Duplex, 152 Hampton Road	1902
Duplex, 153 Hampton Road	1890
House, 154 Hampton Road	c. 1900
Duplex, 155 Hampton Road	1890
House, 157 Hampton Road	1903
House, 158 Hampton Road	1893
House, 159 Hampton Road	1903
House, 160 Hampton Road	c. 1905
House, 161 Hampton Road	c. 1920
House, 163 Hampton Road	c. 1920
St Paul's Anglican Church, Presbytery and Hall, 162-164 Hampton Road	1892
Commercial building, 165 Hampton Road	c. 1906
Shop and house (former), 167 Hampton Road	c. 1920
House, 168 Hampton Road	1942
Beaconsfield Police Station, quarters and lockup (former), 170 Hampton Road	1898
House, 171 Hampton Road	c. 1920

Place name	Date
House, 172 Hampton Road	c. 1900
House, 173 Hampton Road	c. 1923
South Fremantle Post Office (former) [Martha Hampton Clinic], 174 Hampton Road	1896
Duplex, 175 Hampton Road	1926
Duplex, 175B Hampton Road	1926
House, 176 Hampton Road	c. 1900
House, 177 Hampton Road	1917
Commercial building, 178a and 178b Hampton Road	1898
House, 179 Hampton Road	1917
House, 180 Hampton Road	c. 1894
House, 181 Hampton Road	c. 1940
House, 182 Hampton Road	c. 1940
House, 183 Hampton Road	c. 1920
Beaconsfield Primary School (former), 188 Hampton Road	1894
House, 189 Hampton Road	c. 1940
House, 191 Hampton Road	c. 1925
James Moore Pioneer Park	c. 1900
House, 192 Hampton Road	c. 1940
House, 193 Hampton Road	c. 1930
House, 194 Hampton Road	c. 1910
House, 196 Hampton Road	c. 1900

Place name	Date
House, 200 Hampton Road	c. 1900
House, 202 Hampton Road	1929
House, 204 Hampton Road	c. 1920
House, 206 Hampton Road	c. 1920
House, 208 Hampton Road	c. 1940
House, 210 Hampton Road	c. 1920
House, 212 Hampton Road	c. 1920
House, 214 Hampton Road	1923
House, 216 Hampton Road	c. 1923
House, 218 Hampton Road	c. 1920
House, 222 Hampton Road	1917
House, 224 Hampton Road	c. 1930
House, 1 Harbour Road	1960s
House, 2 Harbour Road	c. 1905
House, 3 Harbour Road	c. 1950s
House, 4 Harbour Road	c. 1920
House, 6 Harbour Road	1897
House, 8 Harbour Road	c. 1910
House, 9 Harbour Road	1937/38
House, 11 Harbour Road	c. 1900
House, 14 Harbour Road	c. 1950
House, 15 Harbour Road	c. 1943
House, 16 Harbour Road	1897
House, 18 Harbour Road	1897



Place name	Date
House, 20 Harbour Road	1897
House, 2 Hickory Street	c. 1930
House, 10 Hickory Street	c. 1900
House, 12 Hickory Street	c. 1920
House, 18 Hickory Street	c. 1900
House, 20 Hickory Street	c. 1940
House, 22 Hickory Street	1927
House, 32 Hickory Street	c. 1920s
House, 3 Hulbert Street	1924
House, 4 Hulbert Street	c. 1925
House, 12 Hulbert Street	c. 1905
House, 16 Hulbert Street	c. 1930
House, 17 Hulbert Street	1900
House, 18 Hulbert Street	1889
House, 20 Hulbert Street	1936
House, 23 Hulbert Street	c. 1900
House, 25 Hulbert Street	c. 1900
House, 26 Hulbert Street	c. 1905
House, 27 Hulbert Street	c. 1905
House, 28 Hulbert Street	c. 1900
House, 29 Hulbert Street	1904
House, 31 Hulbert Street	1900
House, 1 Inverleith Street	c. 1940
House, 3 Inverleith Street	c. 1900

Place name	Date
House, 5 Inverleith Street	c. 1900
House, 6 Inverleith Street	c. 1927
House, 8 Inverleith Street	c. 1930
House, 1 Jenkin Street	c. 1900
Terrace, 2 Jenkin Street	1902
Terrace, 4 Jenkin Street	1902
Terrace, 6 Jenkin Street	1902
Terrace, 7 Jenkin Street	1900
Terrace, 8 Jenkin Street	1902
Terrace, 10 Jenkin Street	1902
House, 18 Jenkin Street	c. 1903
House, 20 Jenkin Street	c. 1900
Mills & Ware flour loft, 21 Jenkin Street	c. 1960
House, 28 Jenkin Street	c. 1900
House, 30a Jenkin Street	1902
House, 33a Jenkin Street	c. 1900
House, 40 Jenkin Street	1895
House, 42 Jenkin Street	1899
House, 44 Jenkin Street	1898
House, 46 Jenkin Street	c. 1910
House, 60 Jenkin Street	c. 1900
Florence Park, King William Street (corner Marine Terrace)	1931
House, 1 King William Street	c. 1895

Place name	Date
House, 3 King William Street	c. 1895
House, 5 King William Street	c. 1895
House, 7 King William Street	c. 1895
House, 9 King William Street	c. 1930
House, 11 King William Street	c. 1937
House, 12 King William Street	c. 1960
House, 13 King William Street	c. 1895
House, 15 King William Street	c. 1900
House, 16 King William Street	c. 1902
House, 17 King William Street	c. 1902
House, 18 King William Street	c. 1895
House and limestone feature(s), 19 King William Street	c. 1902
House, 20 King William Street	c. 1900
House and limestone feature(s), 21 King William Street	c. 1940
House, 22 King William Street	c. 1898
House, 23 King William Street	c. 1898
House, 26 King William Street	c. 1950
House, 28 King William Street	c. 1936
House, 31 King William Street	c. 1895
Duplex, 33 King William Street	1896
Duplex, 33A King William Street	1896
House, 4 Lefroy Road	1898



Place name	Date
House, 8 Lefroy Road	1926
House, 10 Lefroy Road	1899
House, 12 Lefroy Road	1899
House, 13A Lefroy Road	1904
House, 15 Lefroy Road	1905 c
House, 16 Lefroy Road	1900 c
House, 17 Lefroy Road	1900 c
House, 19 Lefroy Road	1900 c
Limestone Feature, 20 Lefroy Road	
House, 21 Lefroy Road	1904
House, 23 Lefroy Road	1904
Limestone Feature, 24 Lefroy Road	1905 c
House, 26 Lefroy Road	c. 1910
House, 27 Lefroy Road	c. 1900
House, 28 Lefroy Road	c. 1905
House, 30 Lefroy Road	c. 1905
House, 31 Lefroy Road	c. 1920s
House, 32 Lefroy Road	c. 1905
House, 33 Lefroy Road	1933
House, 35 Lefroy Road	c. 1940
House, 36 Lefroy Road	c. 1905
House, 37 Lefroy Road	1926
House, 38 Lefroy Road	1930
House, 40 Lefroy Road	c. 1905

Place name	Date
Shop and House, 47 Lefroy Road	c. 1905
House, 50 Lefroy Road	c. 1900
House, 51 Lefroy Road	1895
House, 53 Lefroy Road	c. 1900
House, 55 Lefroy Road	1900
Christ the King Church, 59 Lefroy Road	1935
South Fremantle High School, Lefroy Road	
House, 1 Lilly Street	1898
Duplex, 2 Lilly Street	1902
Duplex, 4 Lilly Street	1902
House, 5 Lilly Street	c. 1900
House, 6 Lilly Street	c. 1900
House, 7 Lilly Street	c. 1900
House, 8 Lilly Street	c. 1900
House, 9 Lilly Street	c. 1900
House, 11 Lilly Street	c. 1900
House, 12 Lilly Street	c. 1900
House, 13 Lilly Street	c. 1906
House, 14 Lilly Street	c. 1910
House, 15 Lilly Street	c. 1917
House, 16 Lilly Street	c. 1928
House, 17 Lilly Street	c. 1900
House, 18 Lilly Street	1935
House, 19 Lilly Street	c. 1900

Place name	Date
House, 20 Lilly Street	c. 1900
House, 21 Lilly Street	c. 1900
House, 22 Lilly Street	c. 1900
House, 23 Lilly Street	c. 1917
House, 25 Lilly Street	c. 1928
House, 28 Lilly Street	c. 1900
Stable (former) and house, 37 Lilly Street and 116 Attfield Street	c. 1900
House, 38 Lilly Street	c. 1892
House, 40 Lilly Street	1902
House, 41 Lilly Street	c. 1950
House, 42 Lilly Street	c. 1902
House, 44 Lilly Street	1898
House, 46 Lilly Street	1902
Duplex, 48 Lilly Street	1902
House, 49 Lilly Street	c. 1900
Duplex, 50 Lilly Street	1902
House, 52 Lilly Street	c. 1902
House, 53 Lilly Street	1925
House, 1 Livingston Street	c. 1935
House, 3 Livingston Street	1901
House, 6 Livingston Street	c. 1910
House, 12 Livingston Street	1931
House, 14 Livingston Street	1935



Place name	Date
House, 20 Livingston Street	c. 1950
House, 3 Lloyd Street	c. 1933
House, 5 Lloyd Street	1921
House, 8 Lloyd Street	c. 1900
House, 13 Lloyd Street	c. 1900
Commercial building, 1 Louisa Street	c. 1947
House, 3 Louisa Street	1896
House, 4 Louisa Street	c. 1900
House, 5 Louisa Street	1900
House, 6 Louisa Street	1897
House, 7 Louisa Street	c. 1895
House, 8 Louisa Street	c. 1895
House, 9 Louisa Street	c. 1927
House, 10 Louisa Street	c. 1905
House, 11 Louisa Street	c. 1917
House, 13 Louisa Street	c. 1915
House, 15 Louisa Street	c. 1905
House, 10 Mardie Street	c. 1920
House, 12 Mardie Street	c. 1940
House, 14 Mardie Street	c. 1940
House, 24 Mardie Street	c. 1920
House, 26 Mardie Street	c. 1920
House, 28 Mardie Street	c. 1920
House, 30 Mardie Street	c. 1900

Place name	Date
House, 32 Mardie Street	c. 1900
House, 34 Mardie Street	c. 1950
House, 128 Marine Terrace	1928
Duplex, 130 Marine Terrace	c. 1900
Duplex, 132 Marine Terrace	c. 1900
House, 146 Marine Terrace	1902
House, 148 Marine Terrace	1902
Duplex, 152 Marine Terrace	1904
Duplex, 154 Marine Terrace	1904
House, 156 Marine Terrace	1902
House, 162 Marine Terrace	c. 1900
M.W.S.S. & D.B. Pumping Station, 166 Marine Terrace	c. 1913
House, 172 Marine Terrace	1944
Warehouses, 176 Marine Terrace	c. 1950
House, 1 Martha Street	c. 1960
House, 3 Martha Street	c. 1900
House, 4 Martha Street	c. 1920
House, 6 Martha Street	c. 1950
House, 7 Martha Street	1896
House, 8 Martha Street	c. 1900
House, 9 Martha Street	1892
House, 10 Martha Street	c. 1920
Duplex, 11 Martha Street	c. 1900

Place name	Date
Duplex, 11a Martha Street	c. 1900
House, 12 Martha Street	c. 1900
House, 15 Martha Street	1910
House, 18 Martha Street	c. 1900
House, 20 Martha Street	c. 1950
House, 22 Martha Street	c. 1905
House, 23 Martha Street	1902
House, 26 Martha Street	c. 1910
House, 27 Martha Street	c. 1900
House, 30 Martha Street	c. 1900
House, 32 Martha Street	c. 1940
House, 38 Martha Street	1907
House, 40 Martha Street	c. 1915
House, 42 Martha Street	c. 1900
House, 3 Maxwell Street	c. 1920
House, 5 Maxwell Street	c. 1920
House, 9 Maxwell Street	c. 1920
House, 15 Maxwell Street	c. 1920
House, 17 Maxwell Street	c. 1920
House, 1 McCleery Street	1900
Duplex, 2 McCleery Street	c. 1900
House, 3 McCleery Street	1930
House, 4 McCleery Street	1900
House, 6 McCleery Street	c. 1925



Place name	Date
House, 7a McCleery Street	1900
House, 8 McCleery Street	1900
House, 9 McCleery Street	c. 1900
Duplex, 11c McCleery Street	1900
Duplex, 1/11 McCleery Street	1900
House, 12 McCleery Street	1905
House, 13 McCleery Street	1900
House, 15 McCleery Street	c. 1900
House, 17 McCleery Street	c. 1900
House, 19 McCleery Street	c. 1902
House, 21 McCleery Street	1902
House, 23 McCleery Street	1900
House, 24 McCleery Street	c. 1930
House, 26 McCleery Street	c. 1902
House, 27 McCleery Street	1902
House, 34 McCleery Street	1905
House, 36 McCleery Street	c. 1905
House, 38 McCleery Street	c. 1900
House, 40 McCleery Street	1903
House, 46 McCleery Street	c. 1903
House, 1 McLaren Street	c. 1900
House, 2 McLaren Street	1903
House, 3 McLaren Street	c. 1930
House, 4 McLaren Street	c. 1955

Place name	Date
Duplex, 7 McLaren Street	c. 1902
Duplex, 9 McLaren Street	1902
House, 11 McLaren Street	1931
House, 12 McLaren Street	c. 1913
House, 13 McLaren Street	c. 1928
House, 14 McLaren Street	c. 1900
House, 15 McLaren Street	c. 1900
House, 16 McLaren Street	c. 1896
House, 17 McLaren Street	c. 1903
House, 19 McLaren Street	1914
House, 20 McLaren Street	c. 1898
House, 21 McLaren Street	c. 1910
Duplex, 22 McLaren Street	c. 1897
Duplex, 24 McLaren Street	c. 1897
House, 20 Moran Street	c. 1960
House, 2 Nelson Street	1898
House, 3 Nelson Street	c. 1940
House, 4 Nelson Street	c. 1901
House, 6 Nelson Street	c. 1898
House, 7 Nelson Street	c. 1910
House, 8 Nelson Street	c. 1898
House, 9 Nelson Street	c. 1900
House, 10 Nelson Street	c. 1990
House, 11 Nelson Street	c. 1908

Place name	Date
House, 12 Nelson Street	c. 1908
House, 13 Nelson Street	c. 1908
House, 15 Nelson Street	c. 1903
House, 17 Nelson Street	c. 1908
House, 18 Nelson Street	1919
House, 19 Nelson Street	1912
House, 20 Nelson Street	c. 1927
House, 22 Nelson Street	c. 1930
House, 1 Orient Street	c. 1920
House, 2 Orient Street	c. 1930
House, 3 Orient Street	c. 1897
House, 4 Orient Street	1905
House, 6 Orient Street	c. 1940
House, 7 Orient Street	c. 1950
House, 8 Orient Street	1898
House, 11 Orient Street	c. 1900
House, 12 Orient Street	c. 1910
House, 13 Orient Street	c. 1922
House, 14 Orient Street	1897
House, 15 Orient Street	c. 1940
Duplex, 16 Orient Street	1898
House, 17 Orient Street	c. 1937
Duplex, 18 Orient Street	1898
Duplex, 22 Orient Street	1898



Place name	Date
Duplex, 24 Orient Street	1898
Parmelia Park	1939
House, 2 Parmelia Street	1912
House, 4 Parmelia Street	c. 1930
House, 6 Parmelia Street	1934
House, 8 Parmelia Street	1926
House, 12 Parmelia Street	c. 1920
House, 14 Parmelia Street	c. 1930
House, 16 Parmelia Street	1898
House, 18 Parmelia Street	1898
House, 44 Parmelia Street	c. 1907
House, 4 Porcelli Close	c. 1900
Duplex, 3 Reuben Street	1899
Duplex, 5 Reuben Street	1899
House, 7 Reuben Street	1899
House, 8 Reuben Street	1899
House, 9 Reuben Street	1899
House, 11 Reuben Street	1899
House, 1 Rose Street	c. 1927
House, 3 Rose Street	1895
House, 4 Rose Street	1892
Terrace, 5 Rose Street	1898
House, 6 Rose Street	1908
Terrace, 7 Rose Street	1898

Place name	Date
House, 8 Rose Street	1912
Terrace, 9 Rose Street	1898
House, 10 Rose Street	c. 1905
House, 12 Rose Street	c. 1935
House, 13 Rose Street	c. 1905
House, 14 Rose Street	1902
House, 15 Rose Street	c. 1897
Duplex, 16 Rose Street	1902
Duplex, 18 Rose Street	1902
House, 2 Scott Street	c. 1940
House, 6 Scott Street	c. 1943
House, 10 Scott Street	c. 1900
House, 12 Scott Street	1903
House and limestone feature(s), 14 Scott Street	1898
House, 15 Scott Street	c. 1930
House, 16 Scott Street	1937
House, 18 Scott Street	1927
House, 19 Scott Street	1921
House, 22 Scott Street	1898
House, 23 Scott Street	c. 1903
House, 24 Scott Street	c. 1913
House, 25N Scott Street	1904
House, 30 Scott Street	1904

Place name	Date
Wool stores (former), 31 Scott Street	1912
House, 32 Scott Street	c. 1900
House, 33 Scott Street	c. 1917
House, 35 Scott Street	1920
House, 36 Scott Street	c. 1915
House, 37 Scott Street	1928
House, 38 Scott Street	1927
House, 39 Scott Street	c. 1917
House, 42 Scott Street	1923
House, 1/50 Scott Street	c. 1920
House, 2 Seaview Street	c. 1900
House, 5 Seaview Street	c. 1940
House, 6 Seaview Street	c. 1940
House, 7 Seaview Street	c. 1925
House, 9 Seaview Street	c. 1915
House, 10 Seaview Street	c. 1915
House, 11 Seaview Street	c. 1915
House, 13 Seaview Street	c. 1900
House, 18 Seaview Street	c. 1915
Duplex, 20 Seaview Street	c. 1900
Duplex, 20A Seaview Street	c. 1900
House, 1 Sheedy Street	c. 1898
House, 5 Sheedy Street	c. 1899
House, 6 Sheedy Street	c. 1903



Place name	Date
House, 7 Sheedy Street	1900
House, 8 Sheedy Street	1900
House, 9 Sheedy Street	1899
House, 2 Silver Street	1913
House, 3 Silver Street	c. 1903
House, 4 Silver Street	c. 1903
House, 8 Silver Street	c. 1926
House, 10 Silver Street	1918
House, 19 Silver Street	c. 1900
House, 121 Solomon Street	1900
House, 123 Solomon Street	c. 1920
Duplex, 125 Solomon Street	1900
Duplex, 127 Solomon Street	1900
House, 130 Solomon Street	c. 1935
House, 132 Solomon Street	c. 1910
House, 133 Solomon Street	c. 1900
Ocean View (house), 134 Solomon Street	1887
House, 135 Solomon Street	c. 1950
House, 136 Solomon Street	c. 1935
House, 137 Solomon Street	1927
House, 138 Solomon Street	c. 1935
Duplex (former), 139 Solomon Street	1904
House, 140 Solomon Street	1939
House, 141 Solomon Street	c. 1940

Place name	Date
House, 143 Solomon Street	1912
House, 144 Solomon Street	c. 1935
House, 146 Solomon Street	c. 1935
House, 147 Solomon Street	1900
House, 148 Solomon Street	c. 1910
House, 149 Solomon Street	1904
House, 150 Solomon Street	c. 1915
Duplex, 151 Solomon Street	c. 1900
House, 152 Solomon Street	c. 1915
Duplex, 153 Solomon Street	1908
House, 154 Solomon Street	c. 1915
House, 156 Solomon Street	c. 1915
House, 157 Solomon Street	c. 1900
House, 158 Solomon Street	1950
House, 159 Solomon Street	1900
House, 160 Solomon Street	1950 on
House, 162 Solomon Street	1893
Natural limestone feature, 164 Solomon Street	
Natural limestone feature, 166 Solomon Street	
Natural limestone feature, 168 Solomon Street	
House, 7 South Street	c. 1905

Place name	Date
House, 9 South Street	c. 1905
House, 11 South Street	1902
House, 13 South Street	1900
House, 15 South Street	c. 1908
House, 17 South Street	1902
House, 19 South Street	c. 1900
House, 21 South Street	c. 1900
Terrace, 27 South Street	c. 1900
Terrace, 29 South Street	c. 1900
Terrace, 31 South Street	c. 1900
Terrace, 33 South Street	c. 1900
House, 39 South Street	c. 1900
House, 45 South Street	c. 1900
House, 47 South Street	1902
House, 49 South Street	1899
House, 51 South Street	c. 1900
House, 53 South Street	c. 1900
Shop and house (former), 55 South Street	c. 1900
House, 57 South Street	c. 1930
House, 59 South Street	c. 1955
House, 61 South Street	c. 1955
House & Shop, 69 South Street	c. 1895
Duplex, 75 South Street	c. 1903
Duplex, 77 South Street	c. 1903



Place name	Date
House, 79 South Street	1898
Commercial building, 83 South Street	c. 1900
Shop and house, 85 South Street	c. 1935
House, 87 South Street	c. 1935
House, 89 South Street	c. 1930
House, 91 South Street	c. 1925
House, 99 South Street	c. 1905
House, 101 South Street	c. 1935
House, 103 South Street	c. 1930
Shop and house, 105-107 South Street	c. 1920
House, 117 South Street	c. 1955
House, 119 South Street	c. 1955
House, 125 South Street	c. 1960
House, 127 South Street	c. 1940
House, 129 South Street	c. 1950
House, 131 South Street	c. 1900
House, 133 South Street	c. 1900
House, 161 South Terrace	c. 1930
House, 163 South Terrace	c. 1920
House, 165 South Terrace	c. 1910
House, 167 South Terrace	c. 1900
House, 169 South Terrace	c. 1915
House, 171 South Terrace	c. 1915
Duplex, 185 South Terrace	1904

Place name	Date
Duplex, 187 South Terrace	1904
House, 189 South Terrace	c. 1900
House, 193 South Terrace	1892
House, 195 South Terrace	c. 1922
House, 197 South Terrace	1893
Commercial building, 207 South Terrace	c. 1904
Shop and house, 211 South Terrace	c. 1930
Commercial buildings, 213-217 South Terrace	1904
Wool stores (former), 219-221 South Terrace	1930
Shop and house, 223 South Terrace	c. 1920
Commercial building, 227-229 South Terrace	1899
Commercial building, 231-233 South Terrace	c. 1940
Commercial buildings, 235-239 South Terrace	c. 1900
House, 241 South Terrace	c. 1900
Commercial building, 244 South Terrace	c. 1900
The Meeting Place Community Centre, 245 South Terrace	1896
Shop and house, 247-249 South Terrace	c. 1900
Shop and house, 250 South Terrace	c. 1900
Shop, 251 South Terrace	1897
House, 252-256 South Terrace	c. 1930
House, 253 South Terrace	c. 1900
Shop and house, 258 South Terrace	c. 1900
Duplex, 259 South Terrace	c. 1900

Place name	Date
Commercial buildings, 260-266 South Terrace	c. 1900
Duplex, 261 South Terrace	c. 1900
Duplex, 263 South Terrace	c. 1900
Duplex, 265 South Terrace	c. 1900
House, 267 South Terrace	1899
House, 269 South Terrace	1898
Shop, 271 South Terrace	c. 1900
House, 273 South Terrace	1901
Duplex, 276 South Terrace	1899
Duplex, 278 South Terrace	1899
House, 280 South Terrace	c. 1900
Seaview Tavern (Seaview Hotel), 282 South Terrace	1898
House, 296 South Terrace	c. 1898
Duplex, 298 South Terrace	1898
Duplex, 300 South Terrace	1898
Shop and house, 302 South Terrace	c. 1900
Wool stores (former), 303 South Terrace	c. 1920?
Commercial building, 305 South Terrace	1909
House, 307 South Terrace	1914
Commercial building, 306-310 South Terrace	c. 1900
Garage (former), 312 South Terrace	c. 1950
Arnott's Mills & Ware Biscuit Factory (former), 330-336 South Terrace	c. 1950



Place name	Date
Commercial building, 335 South Terrace	1935
Commercial building, 337 South Terrace	1935
House, 338 South Terrace	c. 1900
House, 340 South Terrace	1896
Commercial building, 346 South Terrace	c. 1900
Duplex, 350 South Terrace	c. 1898
Duplex, 352 South Terrace	c. 1898
Duplex, 354 South Terrace	c. 1900
Duplex, 356 South Terrace	c. 1900
House, 358 South Terrace	1897
Duplex, 360 South Terrace	c. 1900
Duplex, 360A South Terrace	c. 1900
House, 362 South Terrace	c. 1900
Shops and house (former), 370 South Terrace	c. 1903
House, 374 South Terrace	c. 1895
Duplex, 376 South Terrace	c. 1940
Duplex, 378 South Terrace	c. 1940
Shop and house, 384 South Terrace	c. 1903
Commercial building (shops), 386 South Terrace	c. 1950
Commercial building, 390 South Terrace	c. 1900
Davilak Hotel (South Beach Hotel), 396 South Terrace	1903
Shop and house (former), 408 South Terrace	1937

Place name	Date
House, 414 South Terrace	1921
House, 418 South Terrace	1927
House, 420 South Terrace	1898
House, 422 South Terrace	1926
Duplex, 424 South Terrace	1898
Duplex, 424A South Terrace	1898
Easternholme (CWA holiday home), 426-428 South Terrace	1944
House, 438 South Terrace	c. 1900
Duplex, 440 South Terrace	1902
Duplex, 442 South Terrace	1902
Terrace, 448 South Terrace	1903
Terrace, 450 South Terrace	1903
Terrace, 452 South Terrace	1903
Terrace, 454 South Terrace	1903
Terrace, 456 South Terrace	1903
Terrace, 458 South Terrace	1903
House, 8 Sydney Street	c. 1910
House, 10b Sydney Street	c. 1900
House, 13 Sydney Street	c. 1900
House, 14 Sydney Street	c. 1915
House, 2a Thomas Street	c. 1940
House, 2 Thomas Street	c. 1900
House, 3 Thomas Street	c. 1907

Place name	Date
House, 4 Thomas Street	c. 1940
House, 6 Thomas Street	1941
House, 8 Thomas Street	1898
House, 9 Thomas Street	1898
House, 10 Thomas Street	1913
House, 12 Thomas Street	c. 1897
House, 13 Thomas Street	1899
House, 14 Thomas Street	c. 1919
House, 15 Thomas Street	1898
House, 17 Thomas Street	c. 1897
House, 18 Thomas Street	1898
House, 19 Thomas Street	c. 1898
House, 23 Thomas Street	c. 1897
House, 25 Thomas Street	c. 1960
House, 27 Thomas Street	c. 1903
House, 1 Trafford Street	1926
Stables (former), 5 Trafford Street	c. 1880
House, 6 Trafford Street	c. 1925
House, 10 Trafford Street	c. 1935
House, 11 Trafford Street	c. 1925
House, 12 Trafford Street	1950 on
House, 13 Trafford Street	1950 on
House, 14 Trafford Street	c. 1935
House, 15 Trafford Street	1927



Place name	Date
House, 18 Trafford Street	1950 on
House, 22 Trafford Street	1914
House, 24 Trafford Street	1905
Duplex, 26 Trafford Street	c. 1905
Duplex, 28 Trafford Street	c. 1905
House, 30 Trafford Street	c. 1905
House, 1 Walker Street	1897
House, 4 Walker Street	1935
House, 5 Walker Street	c. 1945
House, 6 Walker Street	1905
House, 7 Walker Street	c. 1899
House, 8 Walker Street	c. 1900
House, 9 Walker Street	c. 1945
House, 10 Walker Street	1900
House, 11 Walker Street	c. 1930
House, 14 Walker Street	c. 1900
House, 15 Walker Street	1926
Duplex, 16 Walker Street	c. 1903
Duplex, 18 Walker Street	c. 1903
House, 19 Walker Street	c. 1925
House, 20 Walker Street	c. 1910
House, 22 Walker Street	c. 1900
House, 23 Walker Street	c. 1910
House, 24 Walker Street	1921

Place name	Date
House, 26 Walker Street	1931
House, 27 Walker Street	1913
House, 28 Walker Street	c. 1940
House, 29 Walker Street	c. 1940
House, 34 Walker Street	c. 1930
House, 36 Walker Street	c. 1935
Mills & Ware Administration Building façade, 10 Wardie Street	c. 1950
Mills & Ware Factory, 11 Wardie Street	c. 1950
House, 30 Wardie Street	1912
House, 32 Wardie Street	1915
House, 34 Wardie Street	c. 1920
House, 35 Wardie Street	1904
House, 36 Wardie Street	c. 1900
House, 6 Wesley Street	c. 1900
House, 7 Wesley Street	c. 1920
House, 8 Wesley Street	c. 1903
House, 9 Wesley Street	c. 1903
House, 10 Wesley Street	c. 1903
House, 11 Wesley Street	c. 1903
House, 11a Wesley Street	c. 1900
Duplex, 12 Wesley Street	c. 1903
Limestone feature(s), 13 Wesley Street	c. 1903
Duplex, 14 Wesley Street	c. 1903

Place name	Date
Duplex, 16 Wesley Street	c. 1903
House, 17 Wesley Street	c. 1900
Duplex, 18 Wesley Street	c. 1903
House, 19 Wesley Street	c. 1900
House, 20 Wesley Street	c. 1903
Duplex, 22 Wesley Street	c. 1907
Duplex, 24 Wesley Street	c. 1907
House, 26 Wesley Street	c. 1903



•B. White Gum Valley Heritage
 Areas

• Area 1 - Pilbarra & Yilgarn Heritage Area

Place name
House, 57 Amherst Street
House, 61 Amherst Street
House, 63 Amherst Street
House, 102 Edmund Street
House, 1 Pilbarra Street
House, 3 Pilbarra Street
House, 5 Pilbarra Street
House, 7 Pilbarra Street
House, 8 Pilbarra Street
House, 10 Pilbarra Street
House, 11 Pilbarra Street
House, 12 Pilbarra Street
House, 15 Pilbarra Street

House, 16 Pilbarra Street
House, 17 Pilbarra Street
House, 28 Samson Street
House, 30 Samson Street
House, 32 Samson Street
House, 34 Samson Street
House, 35 Samson Street
House, 36 Samson Street
House, 37 Samson Street
House, 40 Samson Street
Bakery, 41 Samson Street
House, 43 Samson Street
House, 45 Samson Street
House, 49 Samson Street
House, 51 Samson Street
House, 53 Samson Street

House, 55 Samson Street
House, 57 Samson Street
House, 59 Samson Street
House, 61 Samson Street
House, 118 South Street
House, 120 South Street
House, 126 South Street
House, 130 South Street
House, 134 South Street
Shop & Residence, 140 South Street
House, 142 South Street
House, 52 Wood Street
House, 52A Wood Street
House, 56 Wood Street
House, 66 Wood Street
House, 73 Wood Street



House, 75 Wood Street
House, 79 Wood Street
House, 81 Wood Street
House, 83 Wood Street
House, 85 Wood Street
House, 89 Wood Street
House, 91 Wood Street
House, 93 Wood Street
House, 2 Wright Street
House, 4 Wright Street
House, 5 Wright Street
House, 6 Wright Street
House, 7 Wright Street
House, 8 Wright Street
House, 10 Wright Street
House, 12 Wright Street

Limestone features, 15 Wright Street
House, 3 Yilgarn Street
Limestone features, 5 Yilgarn Street
House, 7 Yilgarn Street
House, 9 Yilgarn Street
House, 11 Yilgarn Street

Area 2 - Darling Street Heritage Area

Place Name
House, 161 Carrington Street
House, 163 Carrington Street
House, 165 Carrington Street
House, 169 Carrington Street
House, 171 Carrington Street
House, 173 Carrington Street
House, 1 Darling Street

House, 2 Darling Street
House, 3 Darling Street
House, 4 Darling Street
House, 6 Darling Street
House, 8 Darling Street
House, 10 Darling Street
House, 12 Darling Street
House, 13 Darling Street
House, 15B Darling Street
House, 19 Darling Street
House, 22 Minilya Avenue
House, 24 Minilya Avenue
House, 26 Minilya Avenue
House, 28A Minilya Avenue
House, 30 Minilya Avenue
House, 34 Minilya Avenue



House, 38 Minilya Avenue
House, 153 Samson Street
House, 155 Samson Street
House, 159 Samson Street
House, 161 Samson Street
House, 163 Samson Street
House, 167 Samson Street
House, 169 Samson Street
House, 171 Samson Street
House, 272 South Street
House, 274 South Street
House, 276 South Street (19 Darling)
House, 278 South Street
House, 280 South Street
House, 282 South Street
House, 284 South Street

House, 286 South Street
House, 288 South Street
Area 3 - Hope Street Heritage Area
Place Name
House, 56 Amherst Street
House, 60 Amherst Street
House, 68 Amherst Street
House, 70 Amherst Street
House, 72 Amherst Street
House, 2 Bostock Street
House, 4 Bostock Street
House, 2 Hope Street
House, 4 Hope Street
House, 6 Hope Street
House, 8 Hope Street
House, 9 Hope Street

House, 10 Hope Street
House, 11B Hope Street
White Gum Valley Primary School, Hope Street
House, 16 Hope Street
House, 18 Hope Street
House, 20 Hope Street
House, 22 Hope Street
House, 24 Hope Street
House, 28 Hope Street
House, 30 Hope Street
House, 32 Hope Street
House, 34 Hope Street
House, 36 Hope Street
House, 37 Hope Street
House, 39 Hope Street
House, 40 Hope Street



House, 40A Hope Street
House, 42 Hope Street
House, 43 Hope Street
House, 44 Hope Street
House, 45 Hope Street
House, 46 Hope Street
House, 46A Hope Street
House, 47 Hope Street
House, 47A Hope Street
House, 48 Hope Street
House, 49 Hope Street
House, 50 Hope Street
House, 51 Hope Street
House, 53 Hope Street
House, 54 Hope Street
House, 55 Hope Street

House, 57 Hope Street
Church, 58 Hope Street
House, 60B Hope Street
House, 61 Hope Street
House, 62 Hope Street
House, 63 Hope Street
House, 64 Hope Street
House, 66 Hope Street
House, 67-69 Hope Street
House, 68 Hope Street
House, 70 Hope Street
House, 71 Hope Street
House, 72 Hope Street
House, 74 Hope Street
House, 75 Hope Street
House, 76 Hope Street

House, 77 Hope Street
House, 78 Hope Street
House, 79 Hope Street
House, 83 Hope Street
House, 85 Hope Street
House, 89 Hope Street
House, 91 Hope Street
House, 93 Hope Street
House, 105 Hope Street
House, 107 Hope Street
House, 109 Hope Street
House, 1 Nannine Street
House, 3 Nannine Street
Sullivan Halls, 2-4 Nannine Avenue
House, 37 Stevens Street
House, 41 Stevens Street



House, 43 Stevens Street
House, 45 Stevens Street
House, 47 Stevens Street
House, 49 Stevens Street
House, 32 Watkins Street
House, 52 Watkins Street
House, 55 Watkins Street
House, 57 Watkins Street
House, 58 Watkins Street
House, 60 Watkins Street
House, 61 Watkins Street
House, 62 Watkins Street
House, 64 Watkins Street
House, 66 Watkins Street
House, 67a Watkins Street
House, 68 Watkins Street

House, 70 Watkins Street
House, 76 Watkins Street
House, 78 Watkins Street
House, 80 Watkins Street
House, 82 Watkins Street
House, 84 Watkins Street
House, 86 Watkins Street
House, 88 Watkins Street
House, 88A Watkins Street
House, 90 Watkins Street
House, 92 Watkins Street
House, 94 Watkins Street
House, 102 Watkins Street
House, 1 Wiluna Street
House, 3 Wiluna Street
House, 5 Wiluna Street

House, 36 Wood Street
Shop (fmr) & House, 38 Wood Street
House, 59 Wood Street
House, 63 Wood Street
House, 65 Wood Street
House, 69 Wood Street
House, 7 Yalgoo Avenue

**Area 4 - Nanine, Watkins, Wongan and Samson
 Heritage Area**

Place Name
House, 12 Nannine Avenue
House, 14 Nannine Avenue
House, 18 Nannine Avenue
House, 1 Newbold Street
House, 2 Newbold Street
House, 3 Newbold Street



House, 3A Newbold Street
House, 4 Newbold Street
House, 5 Newbold Street
House, 6 Newbold Street
House, 7 Newbold Street
House, 8 Newbold Street
House, 122 Samson Street
House, 124 Samson Street
House, 126 Samson Street
House, 128 Samson Street
House, 130 Samson Street
House, 134 Samson Street
House, 136 Samson Street
House, 138 Samson Street
House, 140 Samson Street
House, 142 Samson Street

House, 144 Samson Street
House, 146 Samson Street
House, 1 Tapper Street
House, 2 Tapper Street
House, 5 Tapper Street
House, 7 Tapper Street
House, 69 Watkins Street
House, 71 Watkins Street
House, 73 Watkins Street
House, 75 Watkins Street
House, 79 Watkins Street
House, 81 Watkins Street
House, 83 Watkins Street
House, 89 Watkins Street
House, 91 Watkins Street
House, 95 Watkins Street

House, 9 Wongan Avenue
House, 11 Wongan Avenue
House, 13 Wongan Avenue
House, 15 Wongan Avenue
House, 9 Yalgoo Avenue
House, 11 Yalgoo Avenue
House, 12 Yalgoo Avenue
House, 13 Yalgoo Avenue
House, 14 Yalgoo Avenue
House, 15 Yalgoo Avenue
House, 16 Yalgoo Avenue

Area 5 – Simper Crescent Heritage Area

Place Name
House, 65 Samson Street
House, 67 Samson Street
House, 69 Samson Street



<u>House, 71 Samson Street</u>
<u>House, 73 Samson Street</u>
<u>House, 75 Samson Street</u>
<u>House, 77 Samson Street</u>
<u>House, 81 Samson Street</u>
<u>House, 85 Samson Street</u>
<u>House, 85A Samson Street</u>
<u>House, 85B Samson Street</u>
<u>House, 85C Samson Street</u>
<u>House, 1 Simper Crescent</u>
<u>House, 3 Simper Crescent</u>
<u>House, 4 Simper Crescent</u>
<u>House, 5 Simper Crescent</u>
<u>House, 6 Simper Crescent</u>
<u>House, 7 Simper Crescent</u>
<u>House, 8 Simper Crescent</u>

<u>House, 9 Simper Crescent</u>
<u>House, 10 Simper Crescent</u>
<u>House, 11 Simper Crescent</u>
<u>House, 12 Simper Crescent</u>
<u>House, 13 Simper Crescent</u>
<u>House, 14 Simper Crescent</u>
<u>House, 15 Simper Crescent</u>
<u>House, 16 Simper Crescent</u>
<u>House, 17 Simper Crescent</u>
<u>House, 18 Simper Crescent</u>
<u>House, 19 Simper Crescent</u>
<u>House, 20 Simper Crescent</u>
<u>House, 21 Simper Crescent</u>
<u>House, 22 Simper Crescent</u>
<u>House, 23 Simper Crescent</u>
<u>House, 24 Simper Crescent</u>

<u>House, 25 Simper Crescent</u>
<u>House, 26 Simper Crescent</u>
<u>House, 28 Simper Crescent</u>
<u>House, 29 Simper Crescent</u>
<u>House, 31 Simper Crescent</u>
<u>House, 32 Simper Crescent</u>
<u>House, 33 Simper Crescent</u>
<u>House, 34 Simper Crescent</u>
<u>House, 35 Simper Crescent</u>
<u>House, 36 Simper Crescent</u>
<u>House, 37 Simper Crescent</u>
<u>House, 39 Simper Crescent</u>
<u>House, 43 Simper Crescent</u>
<u>House, 45 Simper Crescent</u>
<u>House, 17 Wiluna Street</u>
<u>House, 19 Wiluna Street</u>

White Gum Valley Heritage Review - Consultation 1 - Outcomes				
What you value about White Gum Valley	Heritage values of White Gum Valley	Information, history, stories about White Gum Valley generally	Specific places with heritage value	Information, history, stories about a specific place in White Gum Valley
Community, parks, architecture	Significant values - should do more to promote its heritage. Like sign for significant places, history of Sullivan Hall, history of the Wobblies, diverse architecture	There are great stories to do with the industrial spaces along Wood Street, Sullivan Hall, these are significant community spaces and their stories should be told.	Sullivan Hall, old wooden cottages, federation stone houses, Italian and Portuguese houses, the sheds and industrial areas along Wood Street	
		Rona Okely's memoir that recalls her family living at White Gum Valley		
				<p>The Men's Shed Kim Beazley School WGV Development (bounded by Stevens, Yalgoo, Hope and Nannine) FERN, on the corner of High Streets and Montreal. The history of the stables Is it true that the stables were here because this was where the camel trains used to offload their ore from the Goldfields and put it onto horse & cart for its final journey to the port? When we it zoned as a suburb and why was it named White Gum Valley ... was it always a "treed" place, people name different species as the White Gum - which is the correct one? •Is there a register of heritage houses? •Many dockers (not the team) lived here I understand, and Italians. Do we know the demographics of the area? •What this area meant for the first peoples? Boo Park has an important place in this story I believe</p>

What you value about White Gum Valley	Heritage values of White Gum Valley	Information, history, stories about White Gum Valley generally	Specific places with heritage value	Information, history, stories about a specific place in White Gum Valley
The trees, and the wide median strips with lots of trees on them. It's so beautiful, and I'm always so shocked at how hot and dry newer suburbs are, because they have no trees! I'm so grateful to live here.				
It's compact nature and green spaces allows for and encourages foot traffic through this connectedness and a great sense of community. The diversity of architecture and green spaces is a point of interest and provides a space for everyone to feel 'at home'.	Connections to freos past and future...gardens, buildings, rubbish site - recreation spaces, light industry, architecture, mature trees	Stories of our neighbours playing as kids on the old tip site. Our garden used to have a kangaroo,next door had goats, chooks, rabbits. Lots of stories connected to wgv school. Old man with his wheel barrow. Tight sense of community...valley Park and now Sullivan hall used for valley events eg xmas Carl's, valley feasts.	Many of the portugese/ Italian houses that are being knocked down and replaced by contemporary buildings are a big part of the identity of this suburb. As are the weatherboard cottages and some great examples of solar passive houses.	
The depth of commitment within the community. I like living within walking and bicycling distance of most of the places that I need to go for shopping, entertainment and business. I love Booyeembara Park. I particularly enjoy the bird life. I appreciate the Nannine Common Community Garden project. I like the fact that social housing is to be built in the WGV Eco Village.	Booyeembara Park. Many beautiful older houses. Many years ago, I remember that there were quite a few members of the Communist Party living in WGV. I think that would be an interesting part of our history to highlight.		I think that the WGV Eco Village should be highlighted as an example of ecological housing development	
history, diversity, close community, greenage, location	great diversity of buildings dating from 1930			

What you value about White Gum Valley	Heritage values of White Gum Valley	Information, history, stories about White Gum Valley generally	Specific places with heritage value	Information, history, stories about a specific place in White Gum Valley
The trees and the birds	The trees and the birds	Ron and Rona Okely and family lived in WGV. Rona Okely wrote a family history entitled "Our Story" recalling their married years. It was published in March 2004. The book refers to White Gum Valley, describing their second home. The White Gum Valley home was in Watkins Street built of Limestone and had been the home of the Police Sergeant named 'Sargent'. She gives an interesting account of its condition. I am expecting to receive appropriate pages from that book for you.	Sullivan Halls. Any street Mulberry Trees. Any "White Gums" that the valley is named after. Also if there are no records of the origins of the WGV name Source:Wiki), can we confirm whether WGV is named after the tuart tree Eucalyptus gomphocephala, which is less frequently known as white gum.	
the old character houses, the trees, the verges that people are starting to plant out with natives. The friendly community. The local parks.	The Italian villas have heritage in my opinion with their archways and alfresco areas. the old weather board houses and old limestone houses The school Sullivan hall The mature tuart trees which give the suburb its name		Sullivan Hall, the primary school. All weather board and limestone houses	
the large blocks, the openness, the open spaces, the proximity to many places and things	it's open spaces, it's low density, the few 19th Century houses/buildings			
the trees, friendly community, Boo Park, golf course both of them, like the very old houses, proximity to everything beach, Fremantle, transport, nature still in the suburb, gardens	Sullivan hall, some of the houses, the primary school, little old church corner of hope and wiluna seems abandoned.	it used to have horses and stables and we have found horse shoes in out backyard when gardening	Sullivan hall, some of the houses, the primary school, little old church corner of hope and wiluna seems abandoned. Golf Course, parks	RFGC is over a 100 years old
Beautiful White Gums, bird song - especially the Kookaburras, peace and quiet, rustling of the trees, tight knit community atmosphere	Old limestone cottages and walls dividing properties, wide streets which bring the small community together, leafy trees and native garden spaces for local fauna	Our property is surrounded by limestone walls, with a small gate between ours and the neighbouring property. Apparently the properties would often have backyard access to each other so that market gardens could be shared within the community	The houses on Samson Street towards Solomon are beautiful and old - it would be great to preserve their aesthetic.	

What you value about White Gum Valley	Heritage values of White Gum Valley	Information, history, stories about White Gum Valley generally	Specific places with heritage value	Information, history, stories about a specific place in White Gum Valley
Proximity to the ocean and to Fremantle. The green spaces, tall trees and wide verges. The many birds. The connection with neighbours and community feel.	Protection of older houses and uniform look of front residences.			
The community	Booyeembara Park is such a gem		Booyeembara Park The Old Scout Hall opposite the park	
The trees and birds. The community. I know many people from the suburb. My husband died a few months ago and so many neighbours have offered to help me if I need it.	I think most people care about the suburb. It's quite an item of pride to say "I live in WGV because it's so small. It feels quite exclusive. We lived in Wongan Ave previously for about 15 years and when we downsized, I wanted to stay in WGV. Our current property was vacant for a few years and I watched it until the for sale sign went up and put in an offer immediately.	I don't know much about the history really. Just when we lived in Wongan Ave, my elderly neighbour Bob on Samson St said his block was his returned serviceman's gift. He had a few blocks to choose from and he chose his because back when he built his home (1949 I think), there was a clear view to Garden Island from his front verandah. I also love our house (built 1952) because it faces the corner. It gives such a lovely view. Bob told me all the original corner houses in WGV faces their corners. Its just a cute, quirky thing.	The hall must stay. Hazel Orme kindly also. Valley Park too.	

What you value about White Gum Valley	Heritage values of White Gum Valley	Information, history, stories about White Gum Valley generally	Specific places with heritage value	Information, history, stories about a specific place in White Gum Valley
<p>The character of the houses and the characters who live in them. This is a special place. As someone from Canada, and keen on heritage, we are in a good place to keep something special alive.</p>	<p>Weatherboards, trees, birds (native blacktails are heritage). The local cafes and small businesses. The Italian immigrants who moved here back in the day. The Noonhar history (which I believe needs to be looked at).</p>	<p>Having moved here 12 years ago, and didn't really know much to be honest. Overtime, I learned about the camels and horses that did water breaks here coming from the port and then moving up to the next water stop. I learned that the houses on our street were stable worker homes, I believe. Also, I have spoken to Len Collard who is a Noongar elder and his family lived on Samson. He mentioned this area having deep history for his family. Also, I learned about Samson who was one of the first if not the first person to have a permit to sell alcohol. His family is the family behind Plantagenant wines. You should chat with them as they have an office in Freo and a small family museum which talks about Samson.</p>	<p>Not sure. I'd be curious to know more about these places though.</p>	<p>Connecting with Len Collard would be a good idea. He also went to WG Primary.</p>
				<p>I have black & white photos of my home & the original owners & their children. They're wonderful & I believe they should be shared.</p>



FORESHORES WITHIN THE CITY OF FREMANTLE

OBJECTIVE

The object of this policy is to detail a preliminary structure plan for the foreshores within the City of Fremantle.

POLICY

Below are the brief recommendations endorsed by Council in regard to future foreshore uses:

1. (Rocky Bay to Gilbert Fraser Reserve). Public Foreshore.
2. (Corkhill and John Streets). Replacement of noxious industry by mixed residential and maritime uses.
3. (Upstream of Stirling Bridge). Public Foreshores.
4. (Between the Traffic Bridges). Maritime Industry.
5. Extension of Canning Highway to Beach Street; lowering of Gate 2 to provide principal access to Victoria Quay.
6. (Victoria Quay). Possible future commercial use of Victoria Quay as harbourside extension of Central Business District: maintenance of urban character and height is essential - need to design envelopes with a height up to a maximum of 24 metres.
7. (Western end of Victoria Quay). Investigate suitability for berth and backup for 12 metre yachts.
8. (Rous Head). Investigate suitability for regional boat launching ramp; investigate feasibility for marina.
9. Seek to define municipal boundary to connect seaward extremities.
10. (Arthur Head). The State's most historic Local Area and the city's beach; conserve and develop in accordance with the Arthur Head policy.
11. (Seaward extension of Arthur Beach). That part of the Indian Ocean associated with the State's most significant area; no reclamation or development.
12. (Beach at Fremantle Sailing Club). Public Beach.
13. (South Beach). Public beach to be retained without development; investigate sheltered water at the northern end; investigate improved facilities for the public.

14. Major, multi-lane public boat launching ramp at southern end of Port Beach.
15. Development of boat berthing facilities on the north shore between the bridges.
16. Development of 12m yacht berths at the eastern end of Victoria Quay.
17. Development of 12m yacht berths in the Fishing Boat Harbour, for the later use by the fishing industry.
18. Seaward widening of the north breakwater of the Fishing Boat Harbour to allow commercial development.
19. Development of 12m yacht berths in Success Harbour.
20. Construction of a new marina with berths suitable for 12m yachts and other craft south of the Fremantle Sailing Club without encroaching on South Beach.
21. Extension of the Douro Road groyne to create a sheltered wading beach; improvement of sand quality, landscaping and parking areas.
22. Site of old Hydrodrome: new commercial development of public facilities serving both the sheltered and open beaches.
23. Extension of Robb Jetty effluent pipe to outfall 245m offshore.

Adopted: 21/11/83 and 19/3/84

SCHEDULE OF APPLICATIONS DETERMINED UNDER DELEGATED AUTHORITY

1. HIGH STREET, NO. 285A (LOT 1), FREMANTLE – SINGLE STOREY GROUPED DWELLING AND ANCILLARY DWELLING – (JD DA0096/26)
2. JEAN STREET, NO. 90 (LOT 5), BEACONSFIELD – TWO SINGLE STOREY GROUPED DWELLINGS – (JD DA0049/26)
3. STOCK ROAD, NO. 324 (LOT 33 & LOT 35), O'CONNOR – PYLON SIGNAGE ADDITION TO EXISTING BULKY GOODS SHOWROOM - (LG DA0111/26)
4. MARSHALL WAY, NO. 31 (LOT 176), SAMSON – CARPORT ADDITION TO EXISTING SINGLE HOUSE - (LG DA0139/26)
5. FORREST STREET, NO. 87A (LOT 2), FREMANTLE - SINGLE STOREY GROUPED DWELLING – (JD DA0156/26)
6. SOUTH STREET, NO.239 (LOT 1), BEACONSFIELD – VARIATION TO PLANNING APPROVAL DA0205/26 (PARTIAL DEMOLITION AND ADDITIONS TO EXISTING GROUPED DWELLING) - (CR VA0012/26)
7. HOLLAND STREET, NO. 105 (LOT 2), FREMANTLE – SINGLE STOREY GROUPED DWELLING - (CR DA0105/26)
8. MARKET STREET, NO. 85 (LOT 2), FREMANTLE – INTERNAL FITOUT AND SIGNAGE ADDITIONS TO EXISTING BUILDING - (ED DA0119/26)
9. HIGH STREET, NO. 135 (LOT 383), FREMANTLE – FIRE ESCAPE DOOR ADDITION TO EXISTING BUILDING - (ED DA0130/26)
10. THOMPSON ROAD, NO. 3 (LOT 603), NORTH FREMANTLE – REGULATED TREE REMOVAL - (LG DA0142/26)
11. MINILYA AVENUE, NO. 25 (LOT 1), WHITE GUM VALLEY – CHANGE OF USE TO HOME BUSINESS (HOME-BASED SAUNA BUSINESS) - (JA DA0098/26)
12. FORREST STREET, NO.152 (LOT 1), FREMANTLE – ADDITIONS AND ALTERATIONS TO EXISTING SINGLE HOUSE - (JL DA0103/26)
13. SAMSON STREET, NO. 150 (STRATA LOT 1), WHITE GUM VALLEY – ANCILLARY DWELLING ADDITION AND ALTERATIONS TO EXISTING SINGLE HOUSE - (LG DA0113/26)
14. MORAN COURT, NO.46 (STRATA LOT 1) - PATIO ADDITION (JL DA0168/26)
15. SOUTH TERRACE, NO. 6/330 (LOT 54), SOUTH FREMANTLE - INTERNAL ALTERATIONS TO EXISTING MULTIPLE DWELLING – (JD/ JL DA0137/26)
16. ALMA STREET, NO.2 (LOT 2123), FREMANTLE –GENERATOR BUILDING ADDITIONS TO EXISTING PUBLIC HOSPITAL (PUBLIC WORKS) – (JL PW0001/26)
17. MONTREAL STREET, NO5/116 (LOT 5), WHITE GUM VALLEY – REAR PATIO ADDITION TO EXISTING GROUPED DWELLING - (CR DA0112/26)
18. WOOD STREET, NO.27 (LOT 5), FREMANTLE – SINGLE STOREY GROUPED DWELLING - (CR DA0122/26)
19. SOUTH TERRACE, NO. 36 (LOT 102), FREMANTLE – STEEL GATE ADDITIONS TO EXISTING BUILDINGS - (ED DA0136/26)
20. ALFRED ROAD, NO.4 (LOT 2), NORTH FREMANTLE - CHANGE OF USE TO UNHOSTED SHORT TERM RENTAL ACCOMMODATION - (CR DA0131/26)
21. STEVENS STREET, NO. 63 (LOT 1266), WHITE GUM VALLEY – ADDITIONS AND ALTERATIONS TO EXISTING SINGLE HOUSE - (ED DA0118/26)
22. HAMPTON ROAD, NO. 106 (LOT 5), FREMANTLE – RESTORATION WORKS AND PRIMARY STREET FENCE ADDITION TO EXISTING SINGLE HOUSE (JD/ JL DA0066/26)

23. WELLESLEY WAY, NO. 5 (LOT 78), SAMSON – OUTBUILDING ADDITION TO EXISTING SINGLE HOUSE - (LG DA0123/26)
24. EAST STREET, NO. 156 (LOT 4), FREMANTLE - ALTERATIONS AND ADDITIONS TO EXISTING SINGLE HOUSE - (JA DA0055/26)
25. WATKINS STREET, 95 (LOT 14), WHITE GUM VALLEY - ALTERATIONS AND ADDITIONS TO EXISTING SINGLE HOUSE - (JD DA0012/26)
26. BURT STREET, NO. 9 (LOT 4), FREMANTLE – OVER HEIGHT BOUNDARY FENCE - (JA DA0083/26)
27. SOUTH STREET, NO. 88 (LOT 1), FREMANTLE – RE-ROOF OF EXISTING GROUPED DWELLING - (CR DA0104/26)
28. TAPPER STREET, NO. 2 (LOT 1814), WHITE GUM VALLEY – REGULATED TREE REMOVAL - (ED DA0162/26)
29. WATKINS, NO.126 (LOT 59), WHITE GUM VALLEY – TWO (2) LOT FREEHOLD SUBDIVISION - (JL WAPC203341)
30. WATKINS, NO.138 (LOT 192), WHITE GUM VALLEY – FOUR (4) LOT SURVEY STRATA SUBDIVISION WITH COMMON PROPERTY- (JL WAPC720-26)
31. SOUTH STREET, NO.377 (LOT 1589), HILTON – TWO LOT SURVEY STRATA WITH COMMON PROPERTY – (JL WAPC724-26)
32. FORSYTH STREET, NO.97 (LOT 100), O’CONNOR – TWO LOT SURVEY STRATA – (JL WAPC743-26)



Manjaree – Vision, Purpose, Guiding Principles Engagement Report

November 2025

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Acknowledgement of Country

The City of Fremantle acknowledges the Whadjuk people as the Traditional Owners of the greater Fremantle/Walyalup area and we recognise that their cultural and heritage beliefs are still important today.



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Introduction

The City of Fremantle has been developing a revised vision, purpose and guiding principles to inform planning for the Manjaree area (encompassing Bathers Beach and Arthur Head/Round House precinct). The City asked the community on ways to activate the area best to successfully realise the Vision, Purpose, and Guiding Principles that have been set.

The City has a focus on renewing and activating amenities and precincts, and sees the Manjaree area as a place where life, heritage, culture, art and tourism coexist and thrive. This project builds on previous area- and project-specific consultations completed in 2012 and 2019, as well as further community consultation through the Arts, Culture & Creative Strategy 2024-2034 and the Strategic Community Plan 2024-2034.

The Manjaree area is a key public site with significant cultural and historical importance in Walyalup | Fremantle. The Manjaree area includes Manjaree | Bathers Beach and Arthur Head Reserve, which have long been sites for ceremonies, kinship, and cultural exchange by the Whadjuk Nyoongar people. The headland and nearby islands form part of the ancestral songlines, offering a powerful vantage point to experience culture and heritage. Manjaree is where colonial history began in Walyalup | Fremantle. These deep and intersecting layers create opportunities for truth-telling, cultural continuity and shared understanding.

The Manjaree area features Bathers Beach, the Round House, Western Australia's oldest public building, and significant heritage sites, including the Whalers Tunnel, limestone walls, stairs, and buildings on Captains Lane, Mrs Trivett Place, Kidogo Arthouse and the J-Shed. The Walyalup Aboriginal Cultural Centre has operated in the Manjaree area since 2014.

This site plays a pivotal role in connecting places, including Wadjemup | Rottnest and the Fremantle Prison, while remaining an important public destination in its own right – one that can be welcoming and inclusive to all.

Currently, the primary function of the Manjaree area is cultural, artistic, and creative pursuits. Other community uses were explored through this engagement, such as but not limited to accessibility of the site, recreational uses, types of operators, use of public realm areas, and other general uses. It is noted that the public realm areas at Manjaree will continue to serve as a public recreation and community space.

The findings from this community engagement and previous consultation processes will inform operational planning, future use, and activation of the area.

Key takeaways from this engagement are:

- There is strong community sentiment to acknowledge the Traditional Owners of the area respectfully and ensure the area benefits the Wadjuk community.
- The area is culturally important and of State significance.
- Many people feel connected to the site and want to be part of the decision-making and change processes.
- There is a strong community interest in improving the signage in the area, including wayfinding and interpretation, and ensuring all histories are shared.
- The infrastructure in the area needs to be improved, making the area accessible and safe.
- Strong community acknowledgement of the value of the area remaining as an arts and culture precinct, but as the precinct is publicly owned, people want to see public engagement programs from the tenants.
- There is a high need for shared, affordable, hireable, and mixed tenancy lengths spaces for creative and community use, to benefit more people.
- The area needs a considered, holistic approach, factoring in environmental, social, cultural and economic opportunities.
- The area is interconnected and part of a larger network including Wadjemup | Rottnest, the Port, Fishing Boat Harbour and the West End and the rest of the State.

Engagement context

In conjunction with the [City of Fremantle’s community engagement policy](#), and the [International Association for Public Participation’s \(IAP2\)](#) spectrum of public participation, this engagement program aimed to **CONSULT & INVOLVE** the community throughout the project:

IAP2 Spectrum of Public Participation



IAP2’s Spectrum of Public Participation was designed to assist with the selection of the level of participation that defines the public’s role in any public participation process. The Spectrum is used internationally, and it is found in public participation plans around the world.

		INCREASING IMPACT ON THE DECISION				
		INFORM	CONSULT	INVOLVE	COLLABORATE	EMPOWER
PUBLIC PARTICIPATION GOAL		To provide the public with balanced and objective information to assist them in understanding the problem, alternatives, opportunities and/or solutions.	To obtain public feedback on analysis, alternatives and/or decisions.	To work directly with the public throughout the process to ensure that public concerns and aspirations are consistently understood and considered.	To partner with the public in each aspect of the decision including the development of alternatives and the identification of the preferred solution.	To place final decision making in the hands of the public.
	PROMISE TO THE PUBLIC	We will keep you informed.	We will keep you informed, listen to and acknowledge concerns and aspirations, and provide feedback on how public input influenced the decision.	We will work with you to ensure that your concerns and aspirations are directly reflected in the alternatives developed and provide feedback on how public input influenced the decision.	We will look to you for advice and innovation in formulating solutions and incorporate your advice and recommendations into the decisions to the maximum extent possible.	We will implement what you decide.

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The City of Fremantle conducted a series of in-person, local media, and digital community engagement activities to collect submissions and feedback for phase 1 of this project.

The public was asked to:

- Review the Vision, Purpose, and Guiding Principles, the Frequently Asked Questions (FAQs) and Key Documents section.
- Share their ideas and thoughts by completing the survey on MySay, or submit their comments and feedback via email/in writing.
- Provide any relevant examples that we should be looking at to inform the project.
- Request to meet with city staff to discuss your thoughts via a 1:1 meeting or group meeting.

City officers aimed to:

- Obtain feedback on analysis, alternatives, or decisions.
- Work directly throughout the process to ensure that public concerns and aspirations are consistently understood and considered.

- Work with the public to ensure that their concerns and aspirations are directly reflected in the alternatives developed.
- Provide feedback on how public input influenced the decision.

This engagement report details how we engaged, who we reached, and what we heard. The findings of this report will help City staff and Elected Members to make informed decisions on next steps for this topic.

How we engaged

The City of Fremantle opened public engagement on this topic on 10 June 2025 and collected submissions until close of business on 18 July 2025. Meetings with stakeholders have continued through August and September due to scheduling requirements with State agencies.

City officers promoted the public engagement period in the following ways:

Social Media:

- The public engagement program for this project was mentioned on the City of Fremantle's Facebook page, as well as its Instagram profile throughout the lifespan of the submission period.

Electronic Newsletters:

- The Community Engagement team deployed a "Just Launched" email newsletter announcing the opening of the public consultation period on 10 June, 2025.
- The Community Engagement team advertised this project via its monthly engagement newsletter in June and July, 2024.
- This email is deployed to over 4,000 people who are subscribed to hear engagement updates from the City of Fremantle.

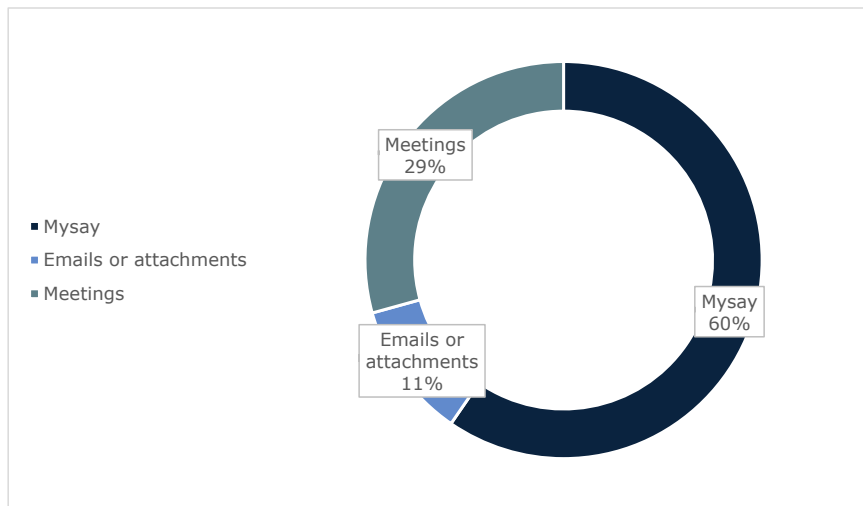
Local Media:

- The public engagement program was advertised in The Fremantle Herald across two editions via a half-page advertisement.

Meetings

- Members of the public were encouraged to meet 1:1 with City Officers throughout the public comment period to discuss their feedback or get clarity on the project and its objectives.
- City Officers conducted twenty-nine 1:1 or group meetings.

How we collected feedback



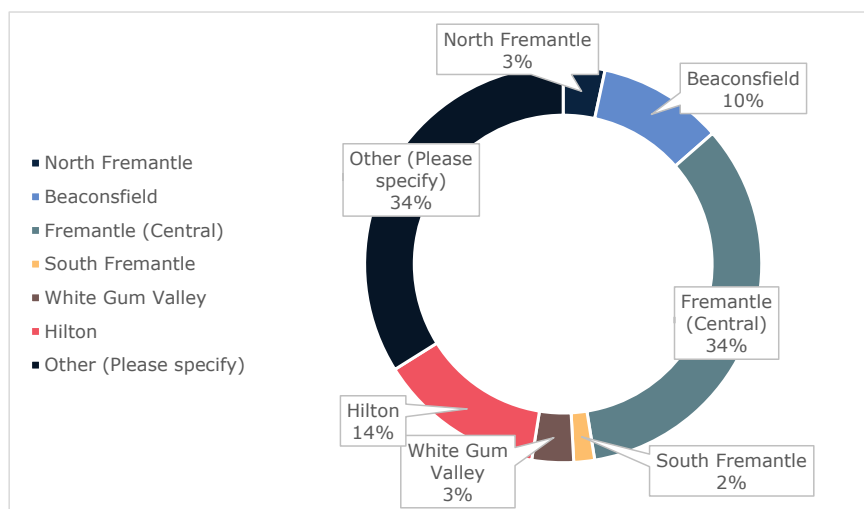
What does this data tell us?

- The public engagement program **reached more than 1,300 people** through face-to-face conversations and online visits to the City's MySay portal.
- The City received a total of **70 formal submissions** of feedback during this public comment period.
- City officers collected submissions in three ways:
 - o 59 of submissions were received via the City's MySay page for this project.
 - o 11 submissions were received as emails or attachments.
 - o 29 meetings where notes were taken
- This resulted in **more than 748 individual pieces of information*** collected through the engagement program.

Note: 1 formal submission via a MySay survey captures multiple comments and data from respondents.

Who we reached

Location Demographics



What does this data tell us?

- Fremantle (Central) made up the largest number of respondents—34%--from the City of Fremantle for this engagement period.
- Other (Please specify) also generated the same number of respondents at 34%. Respondents who selected this option submitted the following information:
 - o **Hamilton Hill (5)**; Leeming; **East Fremantle (2)**; **Fremantle (2)**; Mosman Park; Carlisle; Cottesloe; Wembley Downs; Spearwood; Cockburn; Coolbellup; West Perth; Willagee.
 - o This location data highlights interest in the Manjaree area from outside of the City of Fremantle.

Stakeholders who took part in this engagement include:

- Local Whadjuk Elders and community members
- Current tenants of the Manjaree area
- State government agencies, including the Department of Planning, Lands and Heritage (DPLH); Rottneet Island Authority; Department of Creative Industries, Tourism and Sport, Tourism WA, Lotterywest, South Metropolitan TAFE, with more meetings planned with other agencies
- Relevant community groups, including historians.
- Individuals and organisations from the arts, culture and creative industry

How do you identify?

Identification Type	# of times selected
Resident	37
Ratepayer	22
Business Owner	11
Other (Please specify)	10
Renter	8
Visitor	7

What does this data tell us?

- Respondents were asked to identify themselves through the options above and could select all that applied.
- The top three types of respondents identified as being residents, ratepayers, and business owners.
- Respondents who selected "Other – please specify" submitted the following:
 - o Artist and arts workers (3); business leader; gallery owner; Heritage expert; Community organisation.

What we heard

How do you currently engage with the Manjaree/Bather's Beach area?

Activity	# of times selected
Attend events in or near the area	51
Walk in or through the area	46
Go to bars/restaurants in or near the area	43
Access the ocean	39
Cycle in or through the area	27
Drive or park in or near the area	24
Live in or around the area	19
Walk in or around the area	19
Shop in or around the area	19
Access public transport near the area	13
Other (Please specify)	10

What does this data tell us?

- Respondents were asked how they currently engage with the Manjaree/Bather's Beach area and could select all of the options listed above.
- The top three activity types selected were **attending events in the area, walking in or through the area, and going to bars/restaurants in or near the area.**
- This data highlights that the Manjaree/Bather's beach area is largely engaged through activities centred around hospitality and entertainment.
- Movement (walking or via a mode of transport) is also a key secondary theme from the data highlighted above.

Feedback on the VISION statement

Respondents were asked *"How can the community or the City of Fremantle's planning and activation of the area help to realise the VISION statement?"*

Respondents were asked to provide their comments and ideas via an open text survey question. Their answers have been summarised into themes that appear multiple times with accompanying bullet points below.

Support for Arts, Culture, and Creative Spaces was voiced 61 times. Respondents highlighted the following:

- Strong support for artist-run spaces, especially affordable and accessible ones.
- Calls to revitalise and activate J Shed, Kidogo, and other spaces for community art use.
- Calls for other artists, especially emerging, to have the opportunity for a studio or spaces in the area. This was voiced 90%.
- Finding ways to keep long-standing arts tenants and valuing their ongoing contributions. This was voiced 2.4%.
- Desire for multi-use spaces: exhibitions, performances, residencies, and events.
- Requests for affordable studio rents, rotating residencies, shorter tenancies and community-facing art programs.

Representation and Inclusion of First Nations Culture was voiced 59 times.

Respondents highlighted the following:

- Advocacy for dual naming (e.g. Manjaree / Arthur Head) and truth-telling signage.
- Expansion of the Walyalup Aboriginal Cultural Centre (WACC).
- To see First Nations culture represented beyond just art — including food, tools, architecture, and stories.
- Continued consultation with Elders and First Nations community groups to guide decision-making.
- Expansion of cultural programming, yarning circles, healing activities, and educational signage.

Inclusive Community Planning and Activation was voiced 51 times. Respondents highlighted the following:

- Desire for community-led programming, seasonal events, and local collaboration.
- Opposition to large commercial ventures (e.g., new bars); support for community benefit instead.
- Concerns about over-commercialisation, displacement, and loss of authentic local culture.
- The City should support existing groups while welcoming new grassroots initiatives.

Heritage Protection and Colonial History was voiced 40 times. Respondents highlighted the following:

- Recognition of the area's colonial history, especially the Round House and Arthur Head.
- Concern that early settler history may be overlooked or minimised.
- Updates and refresh to interpretive signage with opportunities for more historic storytelling.
- The City should reference existing conservation and interpretation plans.
- Preference for the area name Arthur Head to be retained by some, to preserve historical continuity.

Public Infrastructure, Access, and Cleanliness was voiced 49 times. Respondents highlighted the following:

- Need for accessible and cleaner public spaces, especially beaches, the Whalers tunnel, and common areas.
- Requests for more public toilets, lighting, safety initiatives at night, and seating and shade structures.
- Concern over parking costs and suggestions for free or better transport access.
- Emphasis on bike paths, pedestrian access, and reducing vehicle dominance.
- Advocating for wayfinding, trail signage, and better connectivity with Fremantle centre and surrounding areas such as Fishing Boat Harbour, Victoria Quay and the West End

Feedback on the PURPOSE statement

Respondents were asked *"How can the community or the City of Fremantle's planning and activation of the area help to realise the PURPOSE statement?"*

Respondents were asked to provide their comments and ideas via an open text survey question. Their answers have been summarised into themes that appear multiple times with accompanying bullet points below.

Reclaiming and Reinventing Creative Spaces was voiced 51 times. Respondents highlighted the following:

- Nurture a thriving, grassroots creative precinct.
- Artist-run studios, workshops, and exhibition spaces that are low-cost and flexible.
- Retention and support of existing creatives, especially those at J Shed.
- Opportunity for other artists, especially emerging, to have a studio at the J-Shed, as the current tenants have benefited from subsidised leases in a community-owned building for a long time.
- Adaptive reuse of the buildings, Whalers Tunnel, and underused buildings for art and performance.
- Long-term thinking that evolves from what's already working.

Embedding First Nations Presence and Practice was voiced 46 times.

Respondents highlighted the following:

- Introduce dual naming (e.g. Arthur Head / Manjaree) and include Nyoongar language in signage.
- Reflect culture through tools, food, healing spaces, and architecture, not just art.
- Ensure that any interpretation is designed and led by local Elders and First Nations creatives.

Space for Care, Learning, and Community was voiced 40 times. Respondents highlighted the following:

- A desire for more than just activation — people want spaces that feel nourishing and connected.
- Yarning circles, nature-based play areas, and open learning spaces.
- Seasonal programming that's family-friendly, inclusive, and collaborative.
- Room for pause, conversation, and slow culture, not just spectacle.

**Practical Improvements for Comfort and Safety was voiced 38 times.
Respondents highlighted the following:**

- More shade, seating, toilets, and night-time lighting.
- Safe pedestrian and bike access, including better connections from Bathers Beach and town centre.
- Clear signage and wayfinding that's both helpful and storytelling-driven.
- Maintaining the site's natural openness while improving access and comfort.

A Process That Listens, Reflects, and Evolves was voiced 10 times. Respondents highlighted the following:

- Concern over the perception of decisions being pre-made.
- Support for ongoing dialogue, not one-off consultation.
- A clear push for shared power, transparency, and long-term commitment.

Feedback on the GUIDING PRINCIPLES

Respondents were asked *"How can the community or the City of Fremantle's planning and activation of the area help to realise the GUIDING PRINCIPLES?"*

Respondents were asked to provide their comments and ideas via an open text survey question. Their answers have been summarised into themes that appear multiple times with accompanying bullet points below.

First Nations Leadership, Truth-Telling, and Cultural Integration was voiced 55 times. Respondents highlighted the following:

- Strong support for Whadjuk Noongar leadership in planning, programming, and storytelling.
- Integrating truth-telling into signage, storytelling, tours, and public art.
- The importance of cultural events, workshops, and co-curation with Elders and artists.
- Concerns about tokenism vs meaningful engagement, and that truth-telling must be inclusive, respectful, and based on evidence.
- Emphasis on the importance of collaboration, not cultural erasure, and recognition of multi-layered histories.

Inclusive Community and Multicultural Participation was voiced 47 times. Respondents highlighted the following:

- Desire to honour all community contributions, including colonial, migrant, and long-term residents.
- Frustration that some proposals may appear exclusive or divisive, with some feeling that colonial stories are being neglected.
- Requests for multicultural events, storytelling from diverse perspectives, and participatory programming.
- Concern that a "First Nations first" policy, if not inclusive, may alienate parts of the community.
- Manjaree/Arthur Head should be a space for everyone: all Australians, all stories.

Arts, Culture, and Creative Economy Support was voiced 45 times. Respondents highlighted the following:

- Emphasis on supporting independent creatives and local talent.
- Recommendations to revitalize underused buildings (e.g., J-Shed) through short-term leases and dynamic programming.
- Strong support for public art, festivals, cultural performances, and arts education.
- Concerns that established cultural initiatives are being replaced, neglected, or underfunded.

Infrastructure, Public Access, and Site Activation was voiced 42 times. Respondents highlighted the following:

- Implement improved signage, walk trails, and interpretive installations connecting the precinct.
- Restoring and maintaining public transport access (e.g., CAT buses).
- Support for open markets, workshops, public programs that activate the area for locals and visitors.
- Advocacy for better accessibility for elders, disabled persons, and the broader public.

Governance, Transparency, and Trust in the City of Fremantle was voiced 10 times. Respondents highlighted the following:

- Concerns about the lack of transparency in planning decisions.
- Complaints about ineffective management of the site.
- Calls for clearer guiding principles and community advisory processes with resourcing for Elders.
- Criticism of wasteful spending, staff competence, and lack of accountability.
- Suggestions to learn from past mistakes and build trust through meaningful consultation and transparency.