



39 SWANBOURNE ST- FREMANTLE
PROPOSED TWO STOREY DWELLING

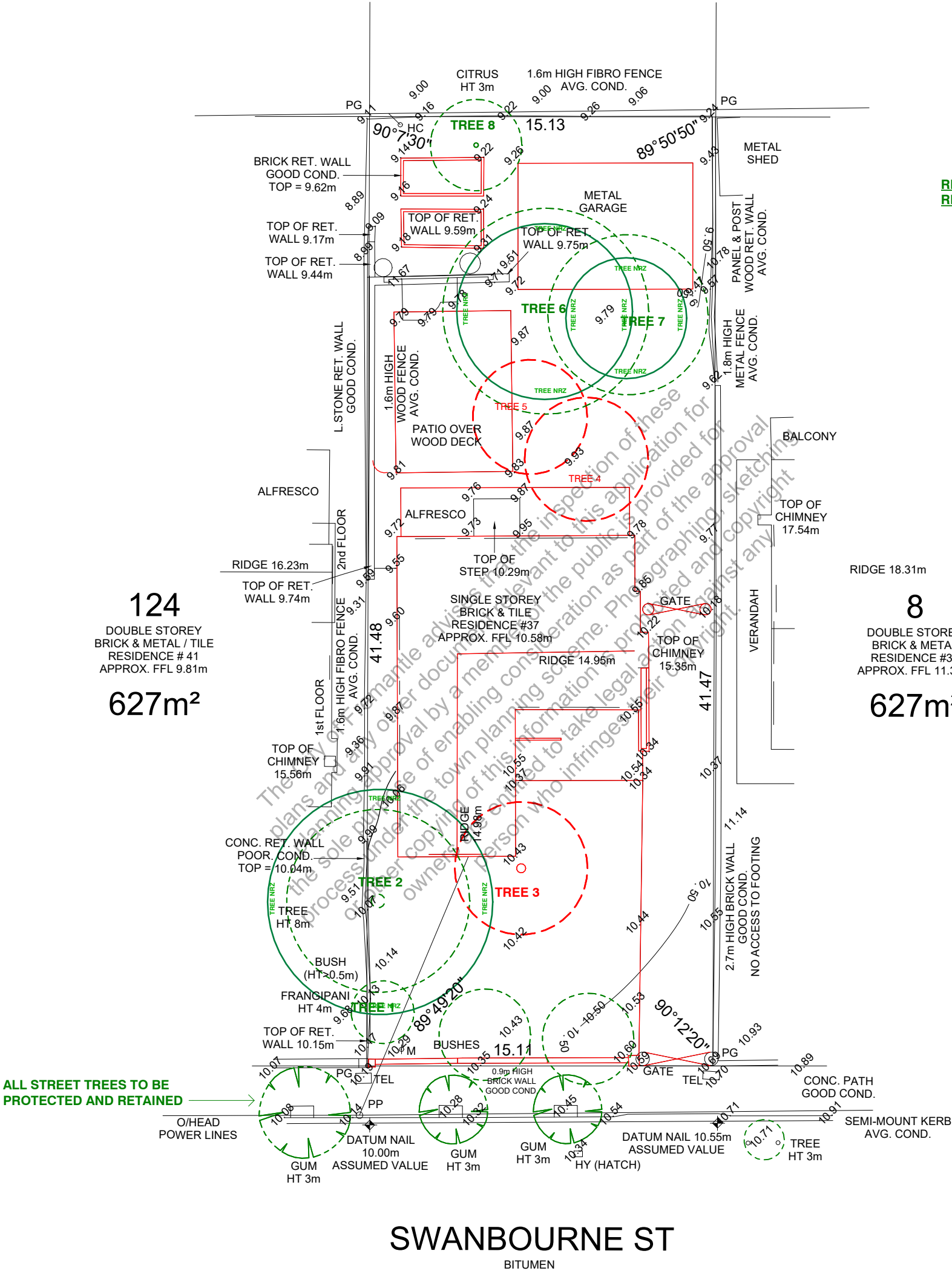
SHEET LIST			
Sheet Name	Sheet Number	Drawn By	Checked By
COVER PAGE	A000	JR	CB
EXISTING SURVEY	A001	JR	CB
SITEPLAN	A002	JR	CB
GROUND FLOOR PLAN	A010	JR	CB
FIRST FLOOR PLAN	A011	JR	CB
ROOF PLAN	A012	JR	CB
ELEVATIONS	A031	JR	CB
ELEVATIONS	A032	JR	CB

CITY OF FREMANTLE
These Revised Plans Form Part of

DA0195/26

24 June 2026

793
DOUBLE STOREY
BRICK & TILE
RESIDENCE #50
WELL CLEAR
RIDGE 15.81m
627m²



REFER TO ARBORICULTURIST
REPORT FOR TREE DETAILS

EXISTING FEATURE SURVEY
SCALE: 1 : 200

39 SWANBOURNE ST ST OPEN SPACE

SITE AREA = 628m2

PERMITTED OPEN SPACE = 50% OR
314m2

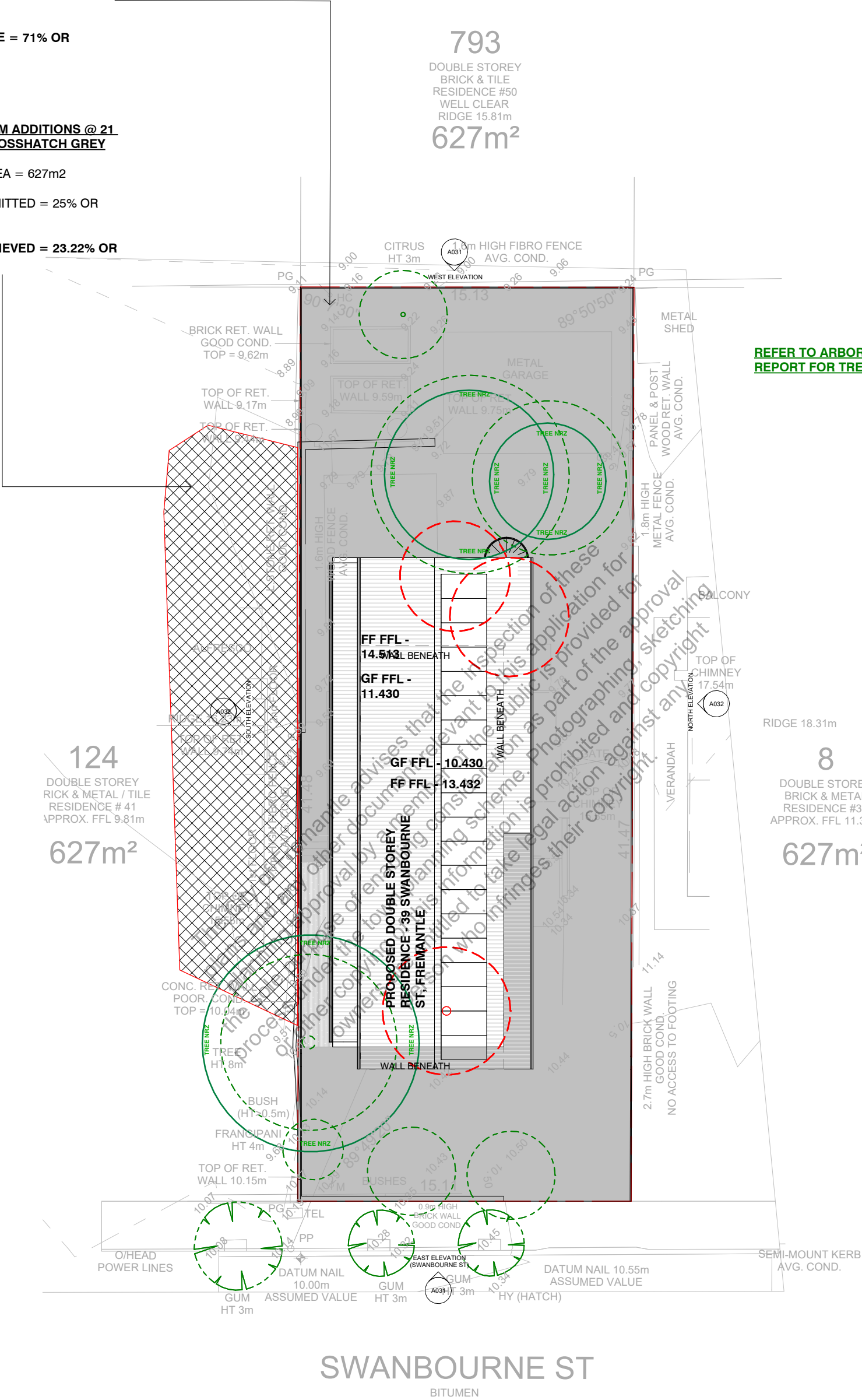
ACHIEVED OPEN SPACE = 71% OR
441.374m2

OVERSHADOWING FROM ADDITIONS @ 21 JUNE 12PM SHOWN CROSSHATCH GREY

3 SOLOMON ST SITE AREA = 627m2

OVERSHADOWING PERMITTED = 25% OR
156.75m2

OVERSHADOWING ACHIEVED = 23.22% OR
145.572m2



SITEPLAN

SCALE: 1 : 200

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STAY POLE
S. WIRE ANCI
UNI PILLAR
EXPOSED CA
GAS
PRE-LAID CO
METER
SEWERA
MANHOLE
INSPECT. SH
INSPECT. OP
HOUSE CON
HOUSE CON
INDICATOR
INSPECT. SH
CONNECTION
TELE.
PIT
PRE-LAID CO
DRAINAG
MANHOLE
GULLY PIT
LOT PIT
HOUSE CON
SIDE ENTRY
COMBINATIO
ENTRY PIT
WATER
STOP VALVE
HYDRANT
FLUSH POINT
WATER TAP
WATER METE
PRE-LAID CO
SURVEY
DATUM NAIL
PEG FOUND
PEG DISTURI
PEG GONE
STAKE FOUN
LOT F
STATU
LOT
SERVICE
WATER
SEWERA
GAS
TELE.
DRAINAG
POWER U
Q
AREA: E
COASTAL
DISTANC
LOT:
AREA:
APPROX.
AHD
SERVICES MARK
BUILDER / CLIE
POSITION & / OR
APPROXIMATE A



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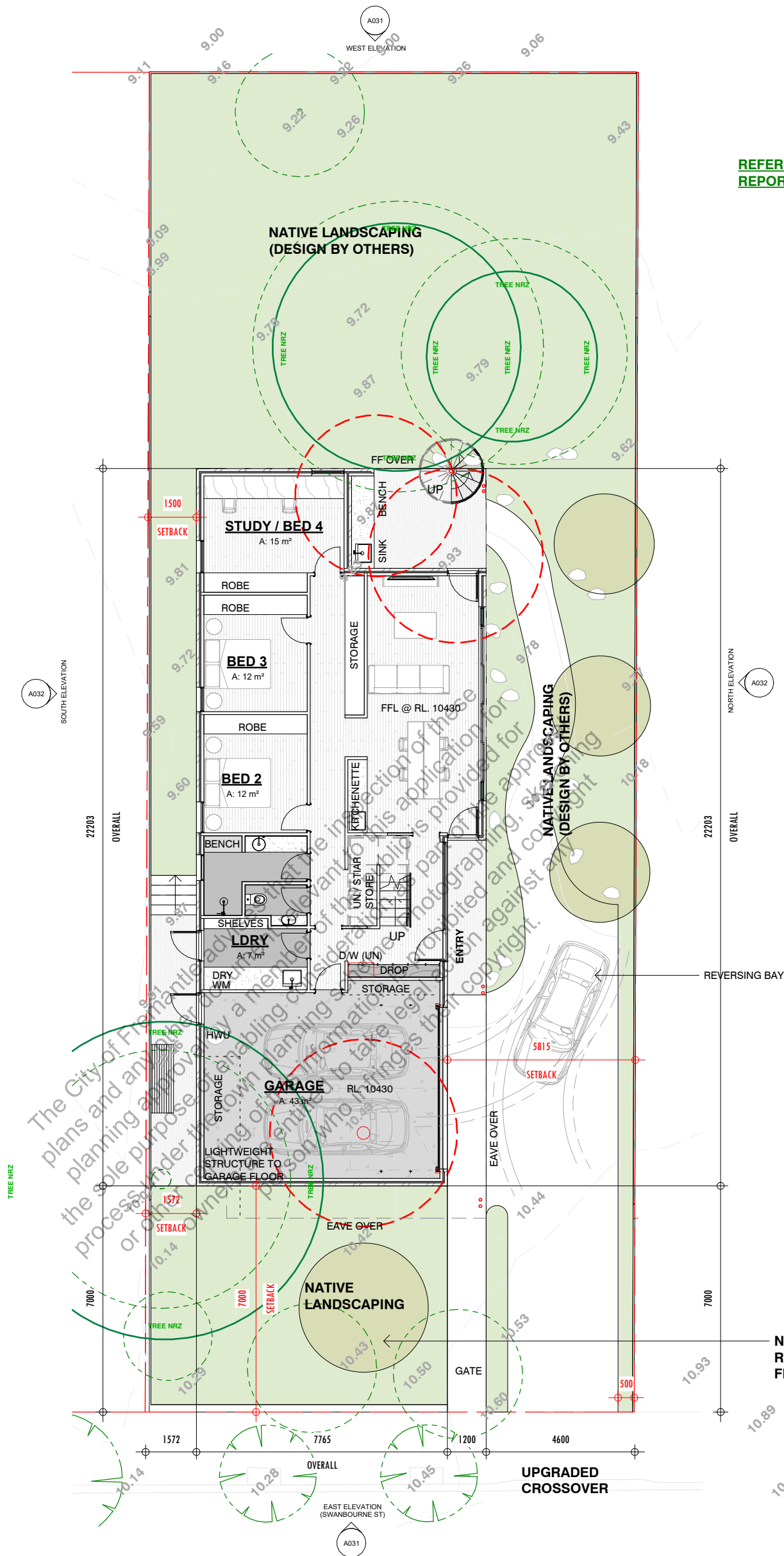
CLIENT:	SITE: 39 SWANBOURNE ST, FREMANTLE		
ARCHITECT ECOVISION HOMES	TITLE: SITEPLAN		
STATUS: DA	SCALE AT A3: 1 : 200	DRAWN: JR	CHECKED: CB
	REVISION -	DRAWING NO: A002	REVISION:
CONTACT:			

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REFER TO ARBORICULTURIST
REPORT FOR TREE DETAILS



GROUND FLOOR PLAN
SCALE:1 : 150

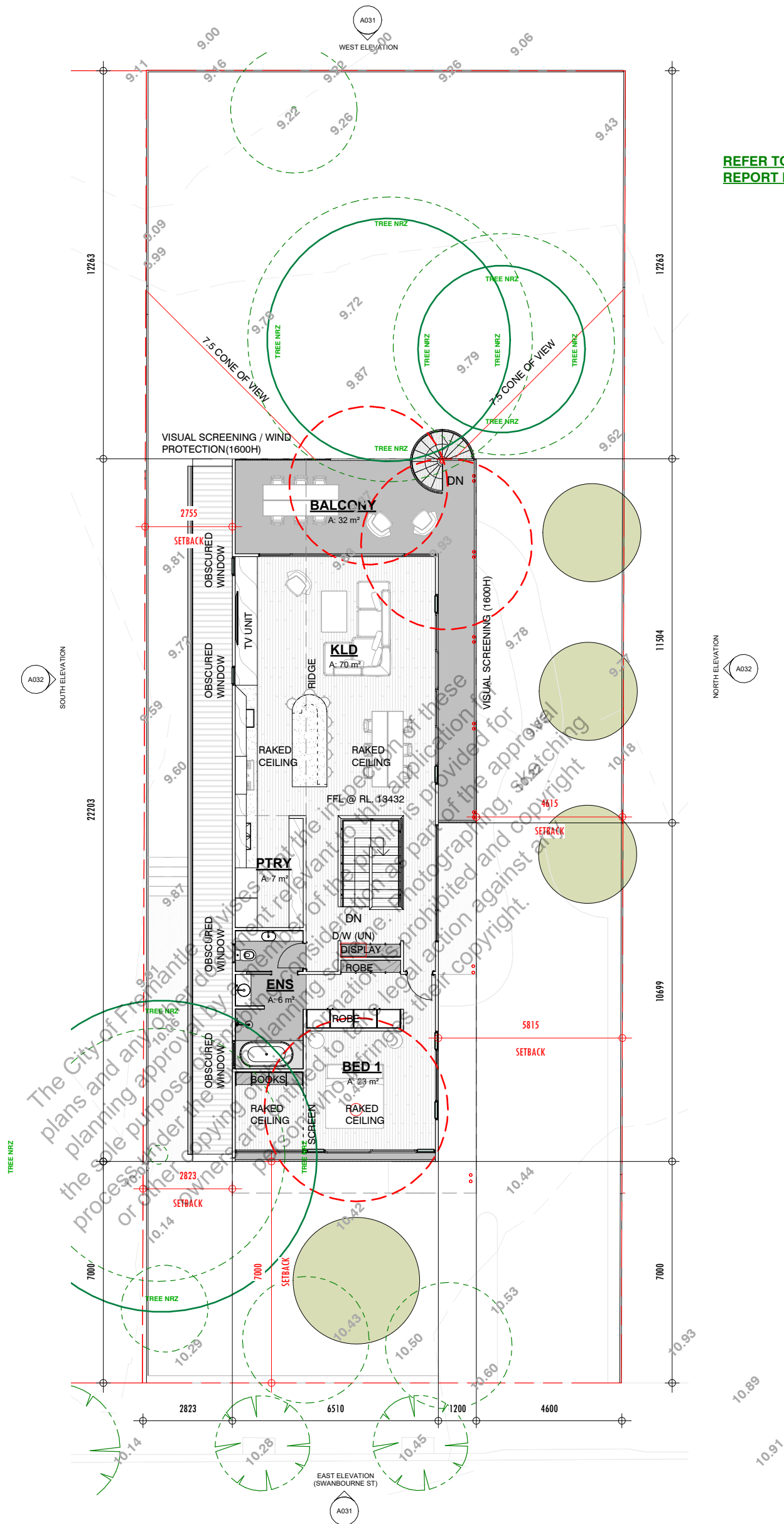
GROSS FLOOR AREA	
Name	INTERNAL AREA
GF AREA	184 m²
FF AREA	120 m²
Grand total: 2	304 m²

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REFER TO ARBORICULTURST
REPORT FOR TREE DETAILS



FIRST FLOOR PLAN

SCALE:1 : 150

GROSS FLOOR AREA	
Name	INTERNAL AREA
GF AREA	184 m ²
FF AREA	120 m ²
Grand total: 2	304 m ²



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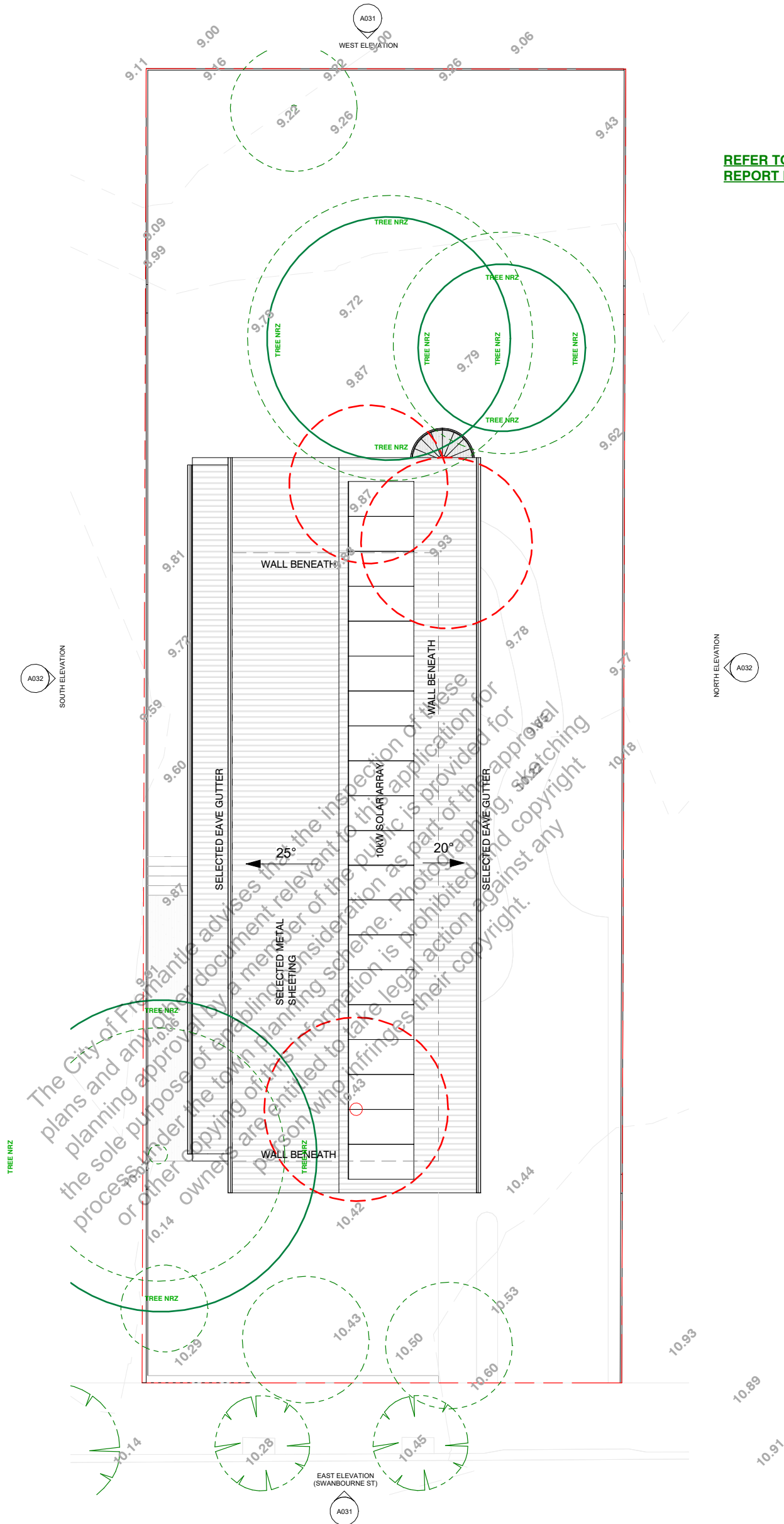
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ARCHITECT ECOVISION HOMES	TITLE: FIRST FLOOR PLAN		
STATUS: DA	SCALE AT AS: 1 : 150	DRAWN: JR	CHECKED: CB
	REVISION -	DRAWING NO: A011	REVISION:
CONTACT:			

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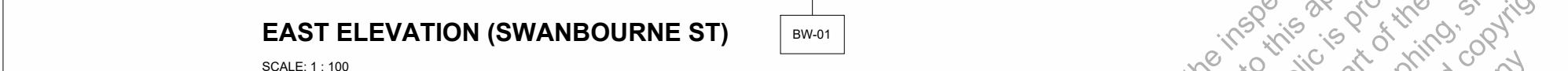
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REPORT FOR TREE DETAILS



ROOF PLAN
SCALE:1 : 150



24 June 2026



<u>MATERIAL LEGEND</u>	
BW-01	BRICKWORK - FACEBRICK (CREAM)
FC-01	FIBRE CEMENT - PAINT FINISH (WHITE)
BA / SCR-01	BALUSTRADE - METAL, POWDERCOAT FINISH
RS-01	ROOF SHEETING - METAL, ZINCALUME FINISH



- All dimensions are to structure, wall linings are depicted but not dimensioned.
- Contractors must check all dimensions on site before starting any work or shop drawings. figured dimensions to take precedence over scale reading.

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DA

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A03:

CONTACT:

