



KRC134

LOT 200 (#3B) BARFIELD PL, BEACONSFIELD



DRAWING NO:	DESCRIPTION
1	COVER PAGE
2	GROUND FLOOR
3	ELEVATIONS 1&2
4	ELEVATIONS 3&4
5	SECTIONS
6	ELECTRICAL
7	INTERIORS 1
8	INTERIORS 2
9	INTERIORS 3
10	ROOF PLAN
11	SURVEY
12	SITE PLAN

CITY OF FREMANTLE
These Plans Form Part of

DA0255/26

1 Jul 2026

LEGEND

BRICK WALL

TIMBER FRAME WALL

ADDENDUM NOTE:

DRAWINGS TO BE READ IN CONJUNCTION WITH ADDENDUM TO THE SPECIFICATION AND COLOUR ADDENDUM

SITE CLASS:

WIND CLASS:

CORROSION CLASS:

ROOF COVER:

BUSHFIRE AREA:

A

N1

R3

METAL

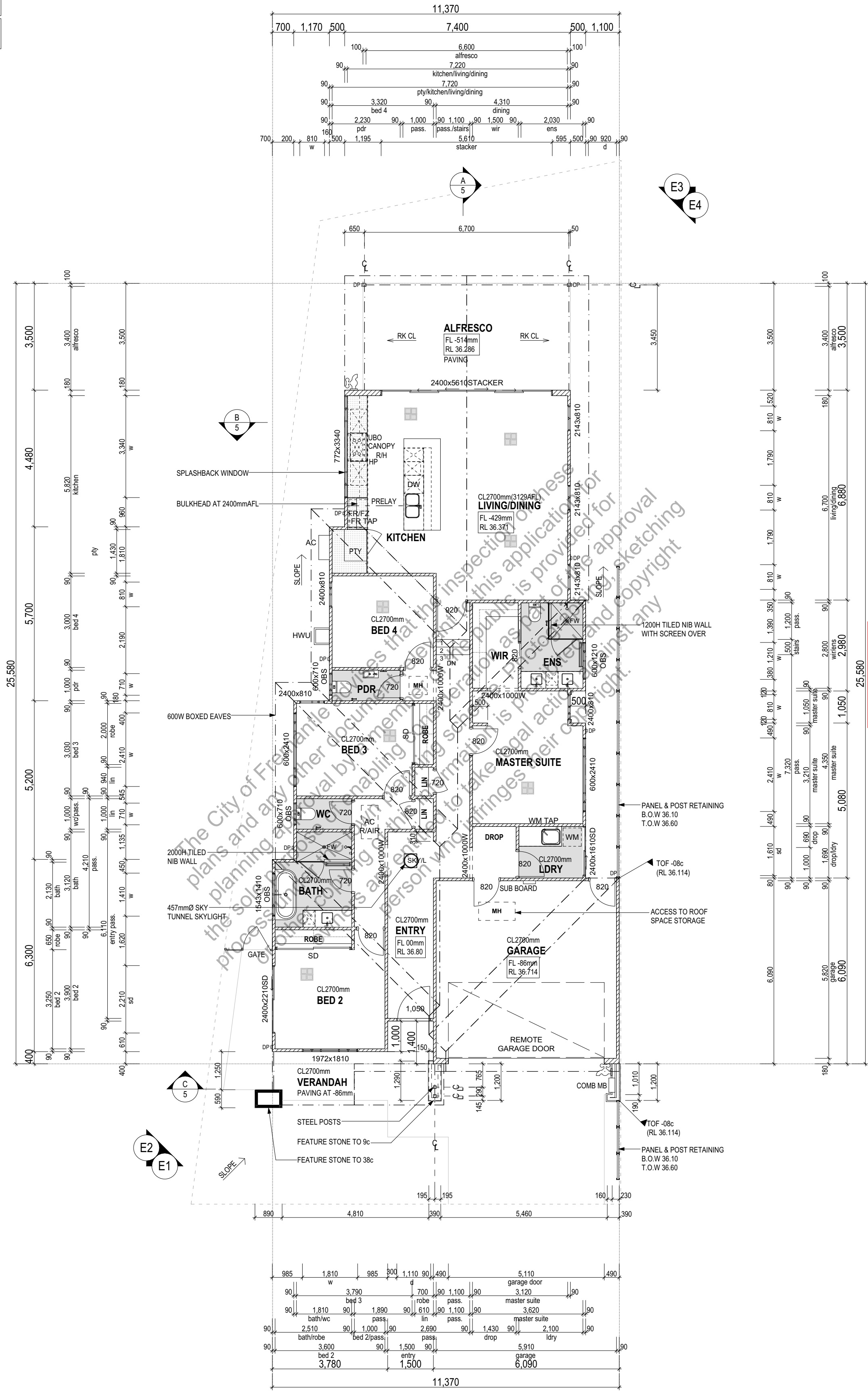
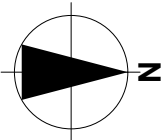
N/A

STAIR NOTE:

STAIR CONSTRUCTION TO COMPLY WITH BCA 3.9.1. BALUSTRADE AND HANDRAILS TO COMPLY WITH BCA 3.9.2

DOOR NOTE:

2340H INTERNAL METAL DOOR FRAMES THROUGHOUT UNLESS NOTED OTHERWISE



CITY OF FREMANTLE
These Plans Form Part of

DA0255/26

1 Jul 2026

GROUND FLOOR PLAN

1:100



ALL DIMENSIONS TO BE VERIFIED ON SITE BEFORE COMMENCING ANY WORK.
ANY DISCREPANCIES WHICH MAY ARISE ARE TO BE ADVISED WITH THE BUILDER AND THIS OFFICE BEFORE CONTINUING.
ANY DISCREPANCIES MUST BE REFERRED TO THE BUILDER AND THIS OFFICE OR THE SUBCONTRACTOR SHALL BEAR FULL RESPONSIBILITY FOR SAME.
ANY VARIATIONS OR EXTRAS SHALL BE REFERRED TO THE BUILDER AND THIS OFFICE PRIOR TO CARRYING OUT FOR AUTHORISATION OR OTHERWISE.
THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEERS DETAILS OR ANY OTHER CONSULTANTS DETAILS OR THIS OFFICE INSTRUCTIONS AS MAY ARISE FROM TIME TO TIME.
ROOM DIMENSIONS ARE TO BRICKWORK AND DO NOT ALLOW FOR RENDER OR PLASTER. PLEASE CHECK PLANS CAREFULLY. ALL DIMENSIONS STRICTLY TO TAKE PREFERENCE OVER CALLING.
REFER TO ENGINEERS DETAIL FOR CONCRETE SLAB & CONCRETE FOOTING SPECIFICATIONS.
RAINWATER DOWN PIPE LOCATIONS SHALL BE DETERMINED BY ROOF PLUMBER ON SITE & COMPLY WITH BCA CLAUSE 3.2.5.
NEW SMOKE ALARMS TO BE ADDED. SMOKE ALARM DEVICES SHALL BE INSTALLED TO COMPLY WITH AS1878-1993.
ALL WORK TO BE CARRIED OUT TO RELEVANT AUSTRALIAN STANDARDS, AUTHORITIES, ETC. WORK TO BE DONE IN A GOOD AND WORKMANLIKE MANNER AND TO THE SATISFACTION OF THE BUILDING DESIGNER (THIS OFFICE), BUILDER OR APPOINTED REPRESENTATIVE.

* COPYRIGHT * ©2023 THIS PLAN SHALL REMAIN THE SOLE PROPERTY OF KINGS RD CONSTRUCTION PTY LTD. NEITHER THIS PLAN OR THE MANUFACTURE OF ITS CONTENTS SHALL BE REPRODUCED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF KINGS RD CONSTRUCTION.

SHEET:
GROUND FLOOR

DATE:	REV:	DESCRIPTION:	BY:
02/04/26	A	PPA	JE
02/06/26	B	DESIGN ADJUSTMENTS	JE
17/06/26	C	WORKING DRAWINGS	JE

JOB NO.:
KRL303

ISSUE:
C

SHEET N°:
2 OF 12

CLIENT:

PROPOSED RESIDENCE AT:
LOT 200(#3B) BARFIELD PL,
BEACONSFIELD

CLIENT SIGNATURE:

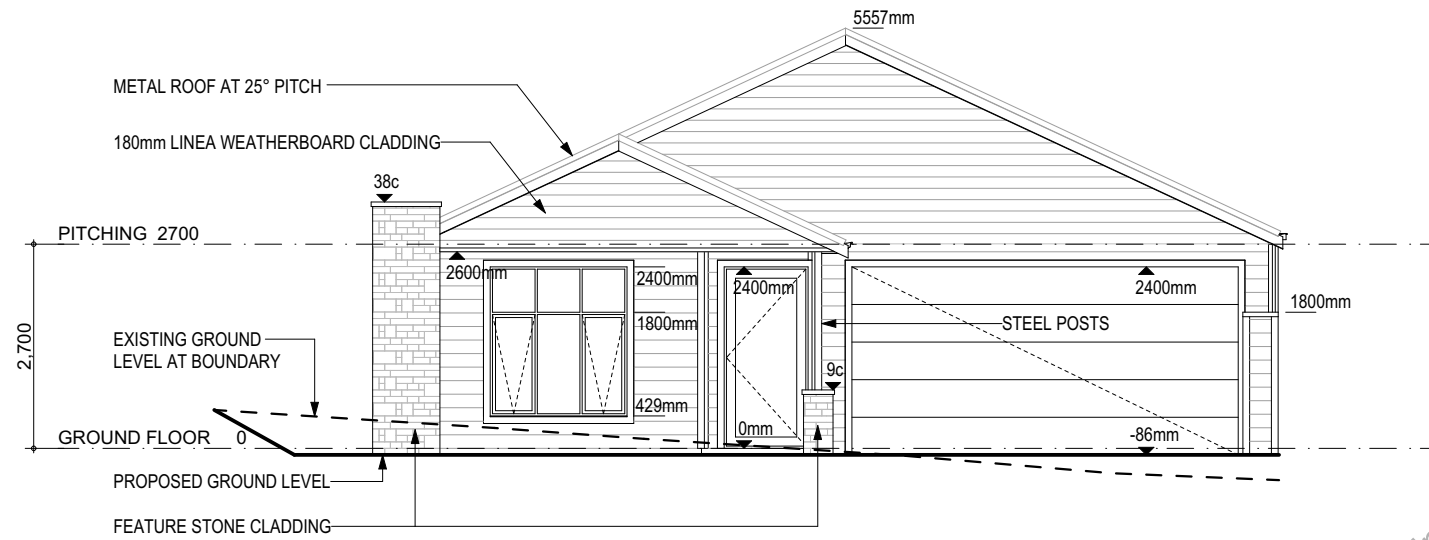
DATE:

BUILDER SIGNATURE:

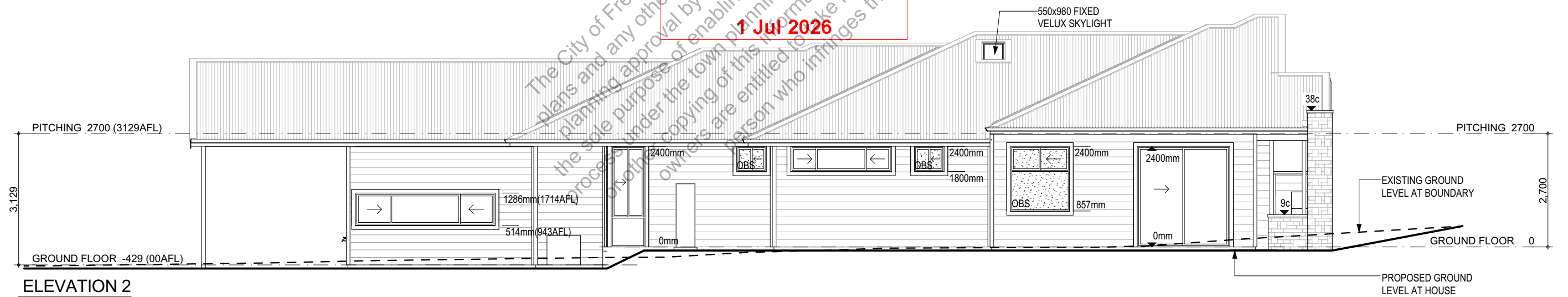
DATE:

ROOF AREA	AREA (sqm)	PERIMETER (m)
HOME STORY	23.80	20.60
GARAGE	36.23	24.36
GROUND FLOOR	164.74	64.90
VERANDAH	9.44	15.74
	234.21 m²	

ZONE	AREA (sqm)	PERIMETER (m)
ALFRESCO	23.80	20.60
GARAGE	36.23	24.36
GROUND FLOOR	164.74	64.90
VERANDAH	9.44	15.74
	234.21 m²	



ELEVATION 1
1:100



ELEVATION 2
1:100

CITY OF FREMANTLE
These Plans Form Part of
DA0255/26
1 Jul 2026



- ALL DIMENSIONS TO BE VERIFIED ON SITE BEFORE COMMENCING ANY WORK.
- ANY DISCREPANCIES WHICH MAY ARISE ARE TO BE QUERIED WITH THE BUILDER AND THIS OFFICE BEFORE CONTINUING
- ANY DISCREPANCIES MUST BE REFERRED TO THE BUILDER AND THIS OFFICE OR THE SUBCONTRACTOR SHALL BEAR FULL RESPONSIBILITY FOR SAME.
- ANY VARIATIONS OR EXTRAS SHALL BE REFERRED TO THE BUILDER AND THIS OFFICE PRIOR TO CARRYING OUT FOR AUTHORISATION OR OTHERWISE
- THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEERS DETAILS OR ANY OTHER CONSULTANTS DETAILS OR THIS OFFICE INSTRUCTIONS AS MAY ARISE FROM TIME TO TIME.
- ROOM DIMENSIONS ARE TO BRICKWORK AND DO NOT ALLOW FOR RENDER OR PLASTER. PLEASE CHECK PLANS CAREFULLY. ALL DIMENSIONS STRICTLY TO TAKE PREFERENCE OVER SCALING.
- REFER TO ENGINEERS DETAIL FOR CONCRETE SLAB & CONCRETE FOOTING SPECIFICATIONS.
- RAINWATER DOWN PIPE LOCATIONS SHALL BE DETERMINED BY ROOF PLUMBER ON SITE & COMPLY WITH BCA CLAUSE 3.5.2.5.
- NEW SMOKE ALARMS TO BE ADDED. SMOKE ALARM DEVICES SHALL BE INSTALLED TO COMPLY WITH AS3786-1993.
- ALL WORK TO BE CARRIED OUT TO RELEVANT AUSTRALIAN STANDARDS, AUTHORITIES, ETC. WORK TO BE DONE IN A GOOD AND WORKMANLIKE MANNER AND TO THE SATISFACTION OF THE BUILDING DESIGNER (THIS OFFICE), BUILDER OR APPOINTED REPRESENTATIVE.

* COPYRIGHT * ©2023 THIS PLAN SHALL REMAIN THE SOLE PROPERTY OF KINGS RD CONSTRUCTION PTY LTD. NEITHER THIS PLAN OR THE MANUFACTURE OF ITS CONTENTS SHALL BE REPRODUCED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF KINGS RD CONSTRUCTION.

SHEET:
ELEVATIONS 1&2

DATE:	REV:	DESCRIPTION:	BY:
02/04/26	A	PPA	JE
02/06/26	B	DESIGN ADJUSTMENTS	JE
17/06/26	C	WORKING DRAWINGS	JE

JOB NO.:
KRL303

ISSUE:
C

SHEET N°:
3 OF 12

CLIENT SIGNATURE:

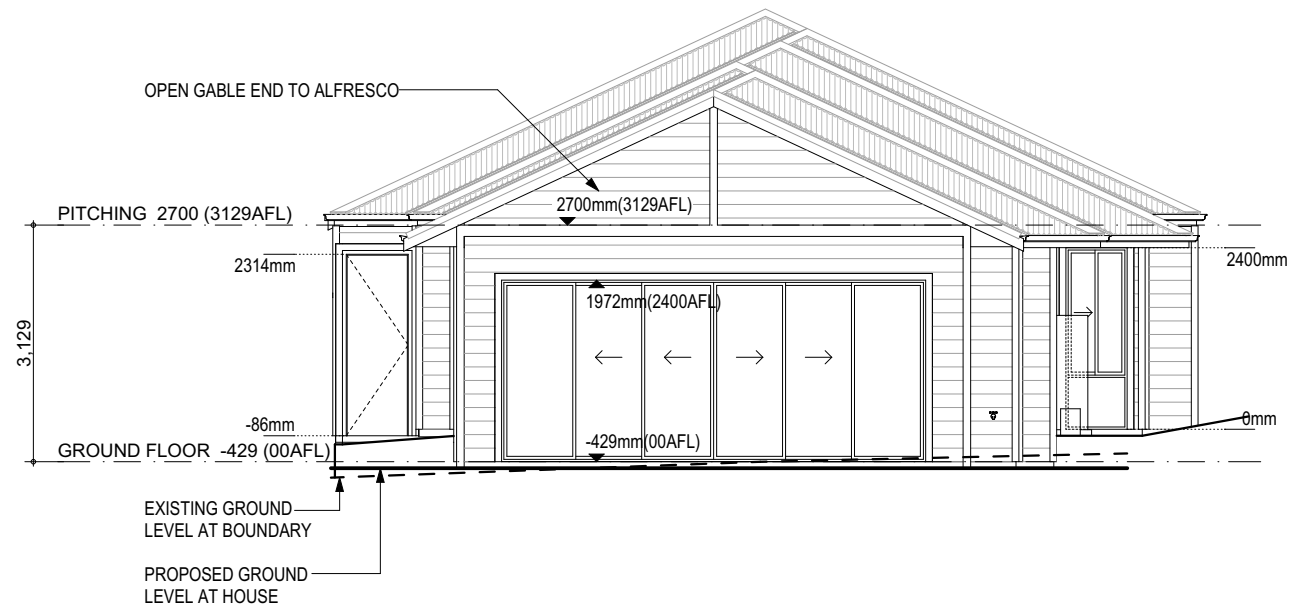
DATE:

CLIENT:

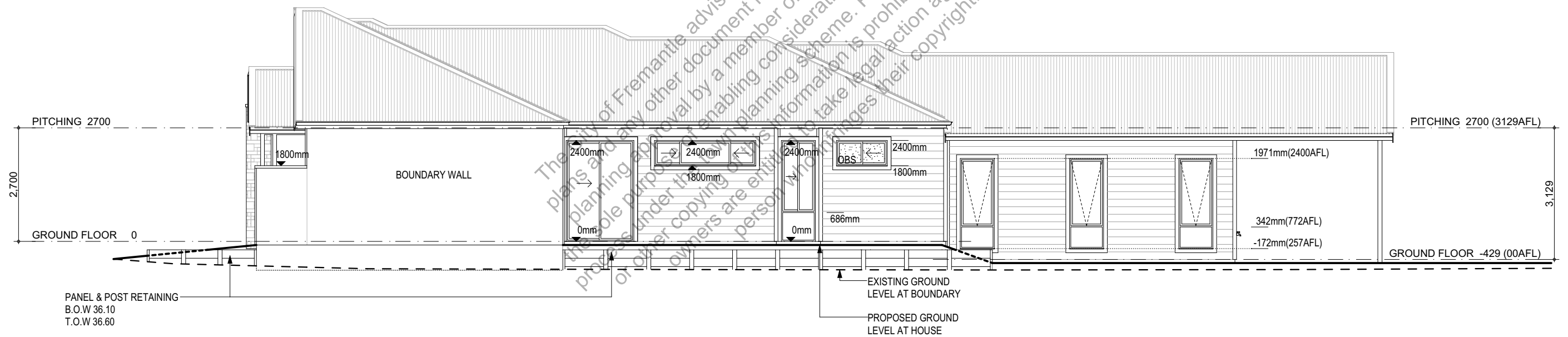
PROPOSED RESIDENCE AT:
**LOT 200(#3B) BARFIELD PL,
BEACONSFIELD**

BUILDER SIGNATURE:

DATE:



ELEVATION 3
1:100



ELEVATION 4
1:100

CITY OF FREMANTLE
These Plans Form Part of

DA0255/26

1 Jul 2026



ALL DIMENSIONS TO BE VERIFIED ON SITE BEFORE COMMENCING ANY WORK.
ANY DISCREPANCIES WHICH MAY ARISE ARE TO BE QUERIED WITH THE BUILDER AND THIS OFFICE BEFORE CONTINUING.
ANY DISCREPANCIES MUST BE REFERRED TO THE BUILDER AND THIS OFFICE OR THE SUBCONTRACTOR SHALL BEAR FULL RESPONSIBILITY FOR SAME.
ANY VARIATIONS OR EXTRAS SHALL BE REFERRED TO THE BUILDER AND THIS OFFICE PRIOR TO CARRYING OUT FOR AUTHORISATION OR OTHERWISE.
THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEERS DETAILS OR ANY OTHER CONSULTANTS DETAILS OR THIS OFFICE INSTRUCTIONS AS MAY ARISE FROM TIME TO TIME.
ROOM DIMENSIONS ARE TO BE BRICKWORK AND DO NOT ALLOW FOR RENDER OR PLASTER. PLEASE CHECK PLANS CAREFULLY. ALL DIMENSIONS STRICTLY TO TAKE PREFERENCE OVER SCALING.
REFER TO ENGINEERS DETAIL FOR CONCRETE SLAB & CONCRETE FOOTING SPECIFICATIONS.
RAINWATER DOWN PIPE LOCATIONS SHALL BE DETERMINED BY ROOF PLUMBER ON SITE & COMPLY WITH BCA CLAUSE 3.5.2.5.
NEW SMOKE ALARMS TO BE ADDED. SMOKE ALARM DEVICES SHALL BE INSTALLED TO COMPLY WITH AS3786-1993.
ALL WORK TO BE CARRIED OUT TO RELEVANT AUSTRALIAN STANDARDS, AUTHORITIES, ETC. WORK TO BE DONE IN A GOOD AND WORKMANLIKE MANNER AND TO THE SATISFACTION OF THE BUILDING DESIGNER (THIS OFFICE), BUILDER OR APPOINTED REPRESENTATIVE.

* COPYRIGHT * ©2023 THIS PLAN SHALL REMAIN THE SOLE PROPERTY OF KINGS RD CONSTRUCTION PTY LTD. NEITHER THIS PLAN OR THE MANUFACTURE OF ITS CONTENTS SHALL BE REPRODUCED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF KINGS RD CONSTRUCTION.

SHEET:
ELEVATIONS 3&4

DATE:	REV:	DESCRIPTION:	BY:
02/04/26	A	PPA	JE
02/06/26	B	DESIGN ADJUSTMENTS	JE
17/06/26	C	WORKING DRAWINGS	JE

JOB NO.:
KRL303

ISSUE:
C

SHEET N°:
4 OF 12

CLIENT SIGNATURE:

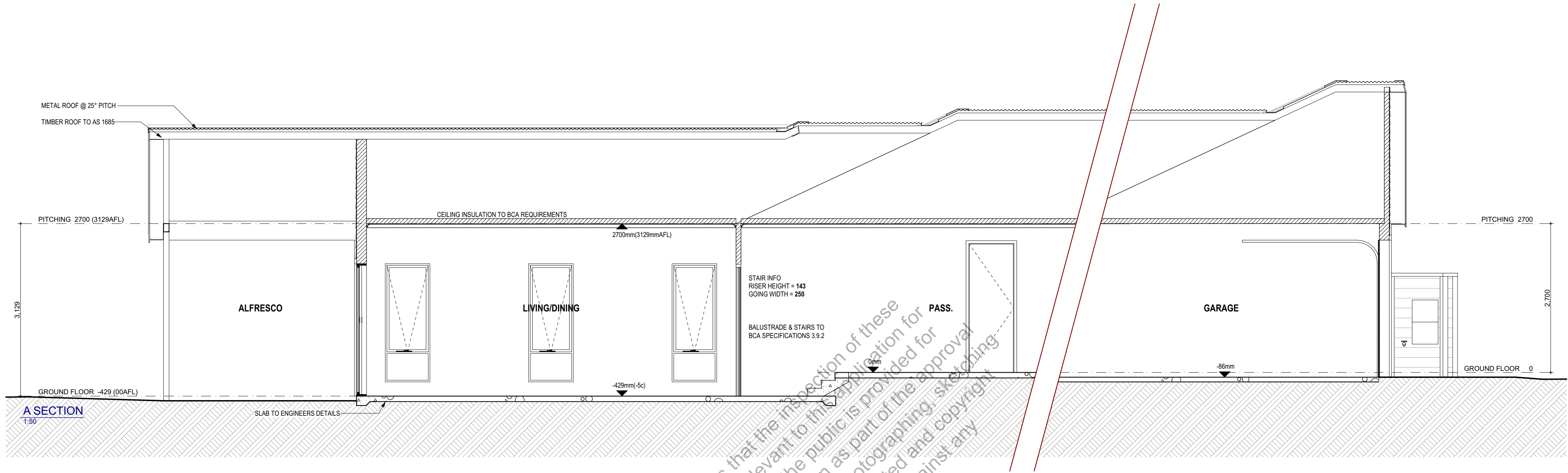
DATE:

CLIENT:

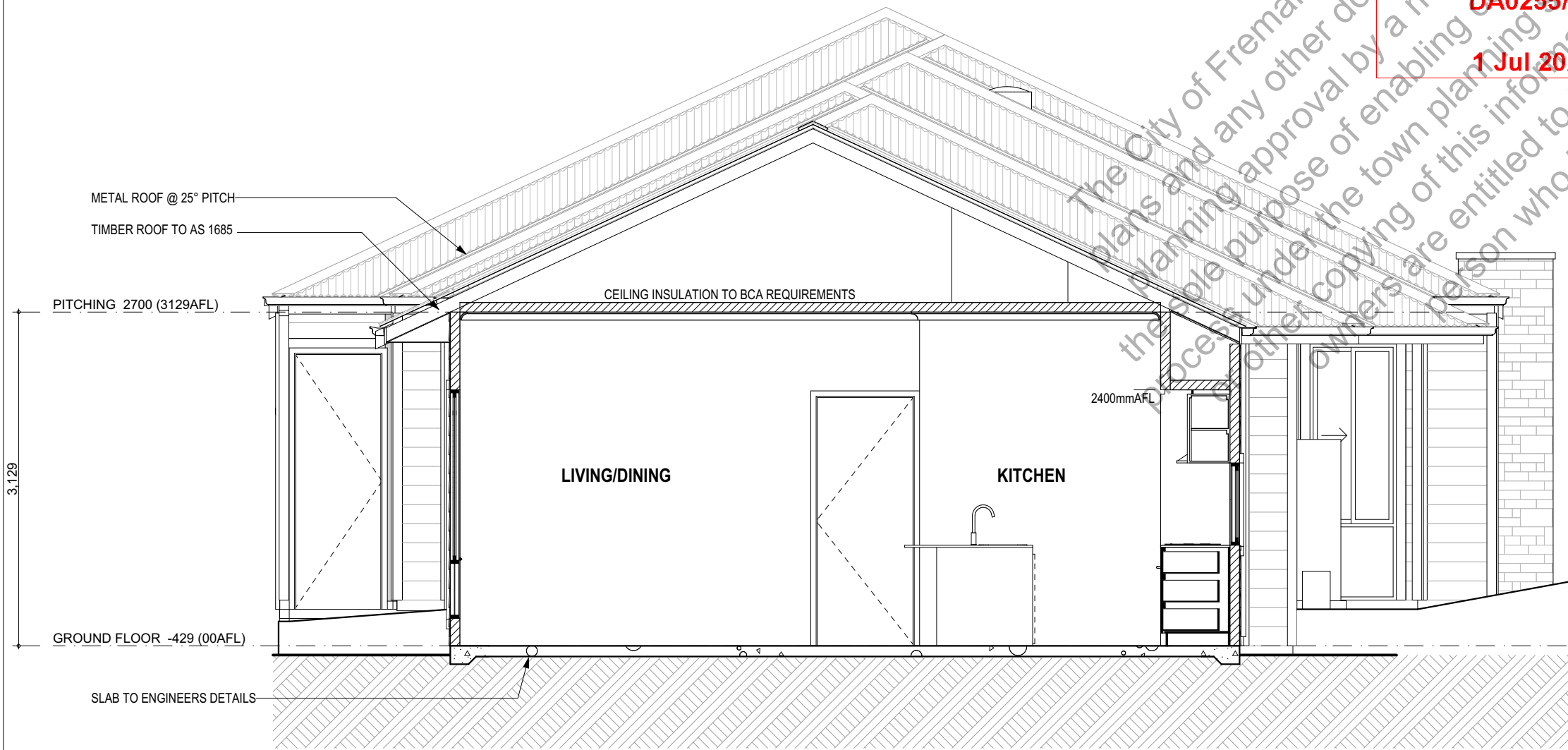
PROPOSED RESIDENCE AT:
**LOT 200(#3B) BARFIELD PL,
BEACONSFIELD**

BUILDER SIGNATURE:

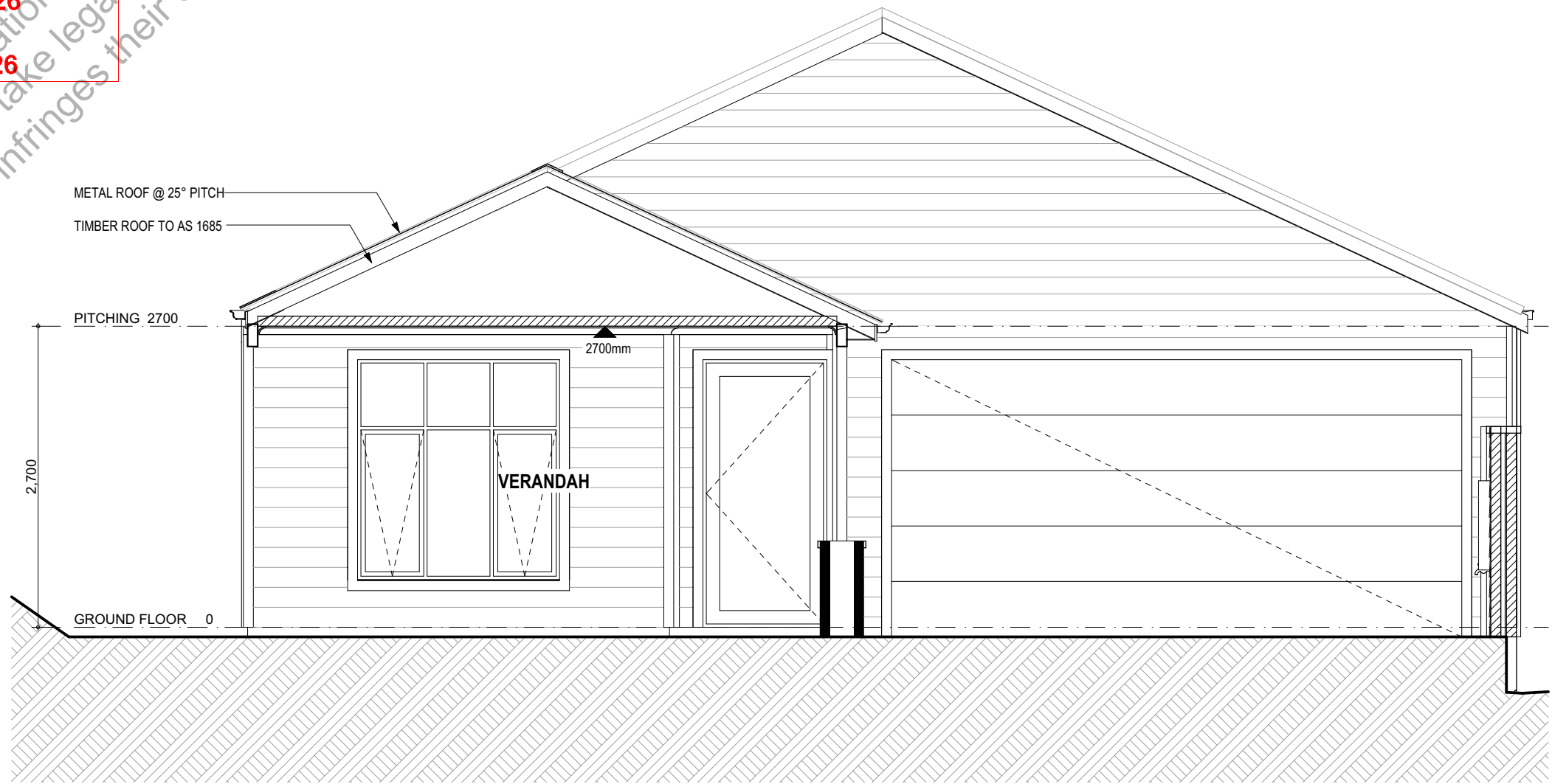
DATE:



A SECTION
1:50



B SECTION
1:50



C SECTION
1:50



- ALL DIMENSIONS TO BE VERIFIED ON SITE BEFORE COMMENCING ANY WORK.
- ANY DISCREPANCIES WHICH MAY ARISE ARE TO BE QUERIED WITH THE BUILDER AND THIS OFFICE BEFORE CONTINUING.
- ANY DISCREPANCIES MUST BE REFERRED TO THE BUILDER AND THIS OFFICE OR THE SUBCONTRACTOR SHALL BEAR FULL RESPONSIBILITY FOR SAME.
- ANY VARIATIONS OR EXTRAS SHALL BE REFERRED TO THE BUILDER AND THIS OFFICE PRIOR TO CARRYING OUT FOR AUTHORISATION OR OTHERWISE.
- THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEERS DETAILS OR ANY OTHER CONSULTANTS DETAILS OR THIS OFFICE INSTRUCTIONS AS MAY ARISE FROM TIME TO TIME.
- ROOM DIMENSIONS ARE TO BROCKWORK AND DO NOT ALLOW FOR RENDER OR PLASTER. PLEASE CHECK PLANS CAREFULLY. ALL DIMENSIONS STRICTLY TO TAKE PREFERENCE OVER SCALING.
- REFER TO ENGINEERS DETAIL FOR CONCRETE SLAB & CONCRETE FOOTING SPECIFICATIONS.
- RAINWATER DOWN PIPE LOCATIONS SHALL BE DETERMINED BY ROOF PLUMBER ON SITE & COMPLY WITH BCA CLAUSE 3.5.2.5.
- NEW SMOKE ALARMS TO BE ADDED. SMOKE ALARM DEVICES SHALL BE INSTALLED TO COMPLY WITH AS1686-1993.
- ALL WORK TO BE CARRIED OUT TO RELEVANT AUSTRALIAN STANDARDS, AUTHORITIES, ETC. WORK TO BE DONE IN A GOOD AND WORKMANLIKE MANNER AND TO THE SATISFACTION OF THE BUILDING DESIGNER (THIS OFFICE), BUILDER OR APPOINTED REPRESENTATIVE.

* COPYRIGHT © 2023 THIS PLAN SHALL REMAIN THE SOLE PROPERTY OF KINGS RD CONSTRUCTION PTY LTD. NEITHER THIS PLAN OR THE MANUFACTURE OF ITS CONTENTS SHALL BE REPRODUCED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF KINGS RD CONSTRUCTION.

SHEET: SECTIONS			DATE:	REV:	DESCRIPTION:	BY:
			02/04/26	A	PPA	JE
			02/06/26	B	DESIGN ADJUSTMENTS	JE
			17/06/26	C	WORKING DRAWINGS	JE

JOB NO:
KRL303

ISSUE:
C

SHEET NO:
5 OF 12

CLIENT:

PROPOSED RESIDENCE AT:
LOT 200(#3B) BARFIELD PL,
BEACONSFIELD

CLIENT SIGNATURE:

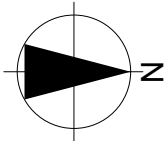
DATE:

BUILDER SIGNATURE:

DATE:

Electrical Legend
GROUND FLOOR

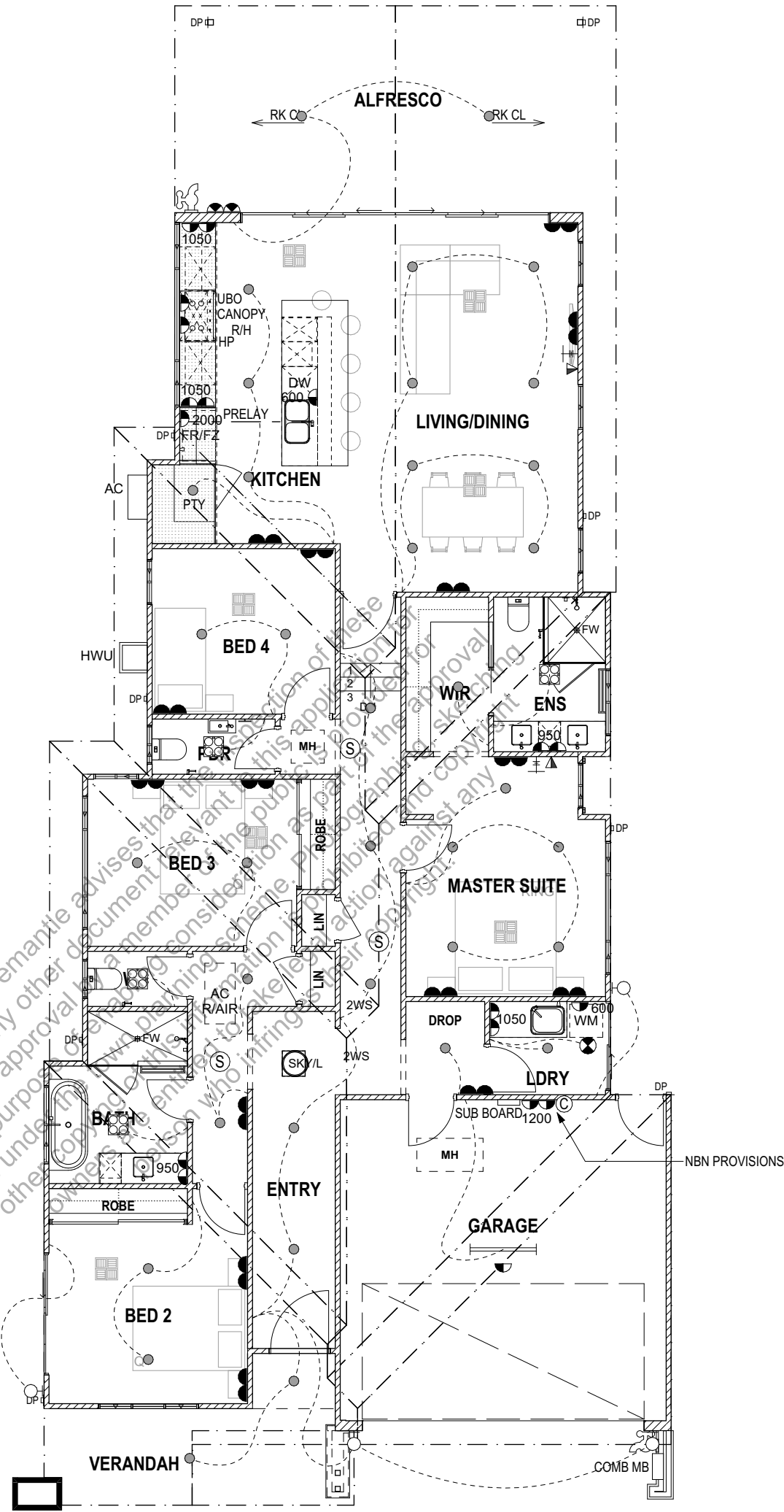
Description	Sym.	Qty
WALL LIGHT @ 1800		4
LED BATTEN		1
HEATER/FAN/LIGHT		4
H.WIRED SMOKE DETECTOR		3
EXHAUST FAN		1
DOWNLIGHT		37
CONDUIT		1
TV POINT		2
SINGLE GPO AT NOMINATED HT		6
DOUBLE WATER PROOF GPO AT NOMINATED HT		1
DOUBLE GPO AT NOMINATED HT		6
DOUBLE GPO @ 300 AFL		15
DATA POINT		2
2 Way Switch	2WS	2



CITY OF FREMANTLE
These Plans Form Part of

DA0255/26

1 Jul 2026



ELECTRICAL PLAN
1:100



- ALL DIMENSIONS TO BE VERIFIED ON SITE BEFORE COMMENCING ANY WORK.
- ANY DISCREPANCIES WHICH MAY ARISE ARE TO BE QUERIED WITH THE BUILDER AND THIS OFFICE BEFORE CONTINUING
- ANY DISCREPANCIES MUST BE REFERRED TO THE BUILDER AND THIS OFFICE OR THE SUBCONTRACTOR SHALL BEAR FULL RESPONSIBILITY FOR SAME.
- ANY VARIATIONS OR EXTRAS SHALL BE REFERRED TO THE BUILDER AND THIS OFFICE PRIOR TO CARRYING OUT FOR AUTHORISATION OR OTHERWISE.
- THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEERS DETAILS OR ANY OTHER CONSULTANTS DETAILS OR THIS OFFICE INSTRUCTIONS AS MAY ARISE FROM TIME TO TIME.
- ROOM DIMENSIONS ARE TO BRICKWORK AND DO NOT ALLOW FOR RENDER OR PLASTER. PLEASE CHECK PLANS CAREFULLY, ALL DIMENSIONS STRICTLY TO TAKE PREFERENCE OVER SCALING.
- REFER TO ENGINEERS DETAIL FOR CONCRETE SLAB & CONCRETE FOOTING SPECIFICATIONS.
- RAINWATER DOWN PIPE LOCATIONS SHALL BE DETERMINED BY ROOF PLUMBER ON SITE & COMPLY WITH BCA CLAUSE 3.5.2.5.
- NEW SMOKE ALARMS TO BE ADDED. SMOKE ALARM DEVICES SHALL BE INSTALLED TO COMPLY WITH AS3786-1993.
- ALL WORK TO BE CARRIED OUT TO RELEVANT AUSTRALIAN STANDARDS, AUTHORITIES, ETC. WORK TO BE DONE IN A GOOD AND WORKMANLIKE MANNER AND TO THE SATISFACTION OF THE BUILDING DESIGNER (THIS OFFICE), BUILDER OR APPOINTED REPRESENTATIVE.

* COPYRIGHT * ©2023 THIS PLAN SHALL REMAIN THE SOLE PROPERTY OF KINGS RD CONSTRUCTION PTY LTD. NEITHER THIS PLAN OR THE MAUFACTURE OF ITS CONTENTS SHALL BE REPRODUCED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF KINGS RD CONSTRUCTION.

SHEET: ELECTRICAL			
DATE:	REV:	DESCRIPTION:	BY:
02/04/26	A	PPA	JE
02/06/26	B	DESIGN ADJUSTMENTS	JE
17/06/26	C	WORKING DRAWINGS	JE

JOB NO.: KRL303	ISSUE: C	SHEET N°: 6 OF 12
--------------------	-------------	----------------------

CLIENT:

PROPOSED RESIDENCE AT:
LOT 200(#3B) BARFIELD PL,
BEACONSFIELD

CLIENT SIGNATURE:

DATE:

BUILDER SIGNATURE:

DATE:



Technical drawing of a kitchen unit. The left side shows a side view of a sink with a curved faucet. The right side shows a top view of a cabinet with two drawers. The drawing is a line drawing with no shading.

Technical drawing of a kitchen layout showing a U-shaped arrangement. The drawing includes dimensions and door swing indicators.

Dimensions:

- Overall width: 2,360
- Overall height: 40
- Section width: 645
- Section width: 772
- Section width: 943
- Internal width: 1,850

Door Swing Indicators:

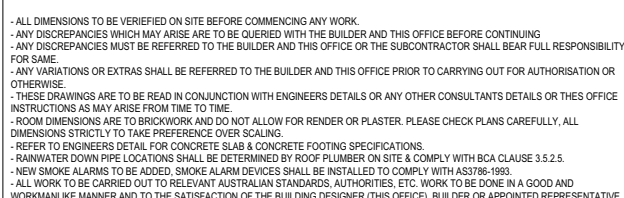
- Top left door: Swings out (indicated by an 'X' and dashed lines).
- Top right door: Swings in (indicated by an arrow pointing right).
- Bottom right door: Swings in (indicated by an arrow pointing left).

Other Features:

- A central island unit with a sink and a stove.
- A dashed line indicating a partition or opening in the lower section.

A technical line drawing of a kitchen layout. The drawing shows a sink area on the left with a faucet, a central countertop with a stove, and a row of cabinets below. Dashed lines indicate dimensions and structural elements. A large dashed 'X' is drawn across the entire layout. The drawing is oriented horizontally, with the sink and stove on the left and the cabinets on the right. The drawing is a black and white line drawing with dashed lines for dimensions and structural elements.

KITCHEN 05



* COPYRIGHT * ©2023 THIS PLAN SHALL REMAIN THE SOLE PROPERTY OF KINGS RD CONSTRUCTION PTY LTD. NEITHER THIS PLAN OR THE MAUFACTURE OF ITS CONTENTS SHALL BE REPRODUCED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF KINGS RD CONSTRUCTION.

DATE:	REV:	DESCRIPTION:
02/04/26	A	PPA
02/06/26	B	DESIGN ADJUSTMENTS
17/06/26	C	WORKING DRAWINGS

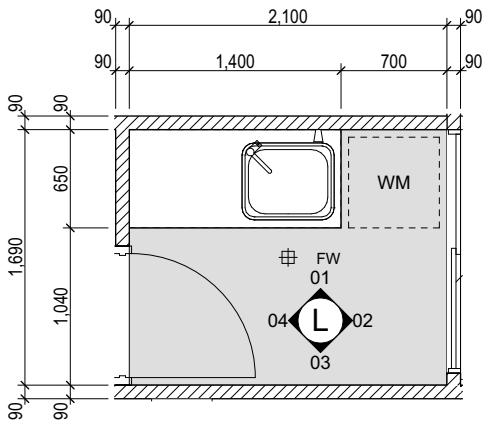
CLIENT SIGNATURE:

JE
JE
JE

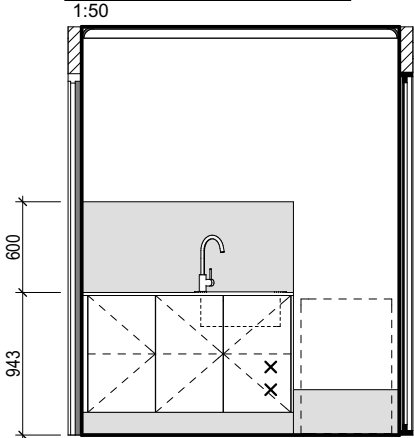
PROPOSED RESIDENCE AT:
LOT 200(#3B) BARFIELD PL,
BEACONSFIELD

DATE:
BUILDER SIGNATURE:

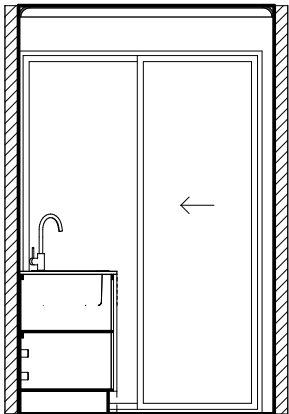
DATE:



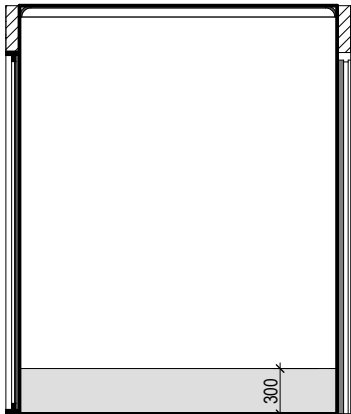
LAUNDRY LAYOUT



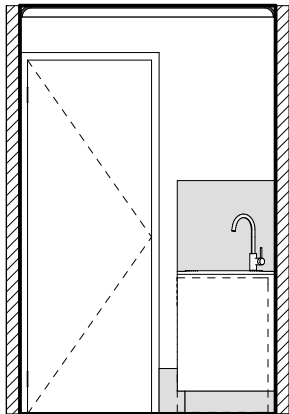
LAUNDRY 01



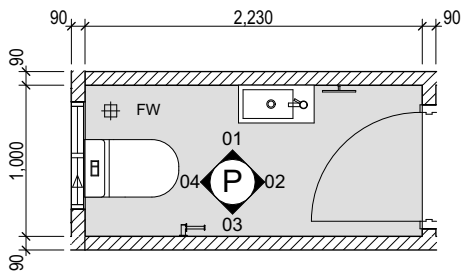
LAUNDRY 02



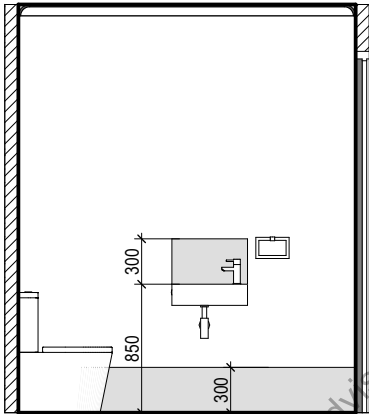
LAUNDRY 03



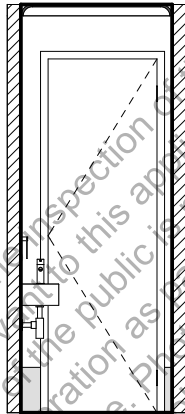
LAUNDRY 04



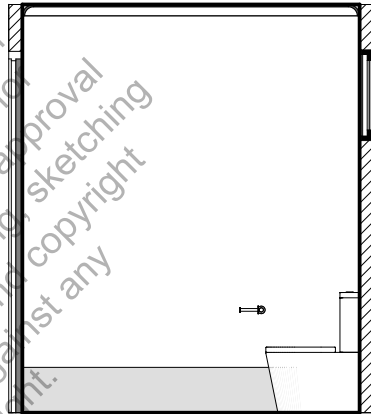
PDR LAYOUT



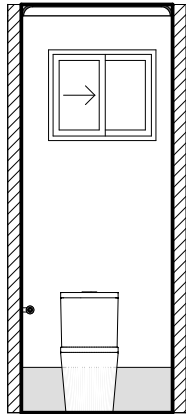
PDR 01



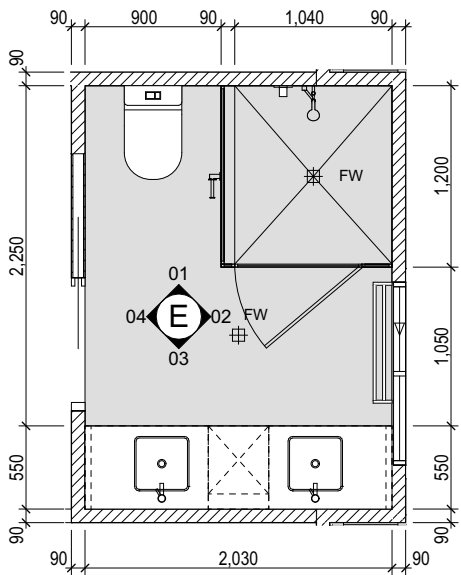
PDR 02



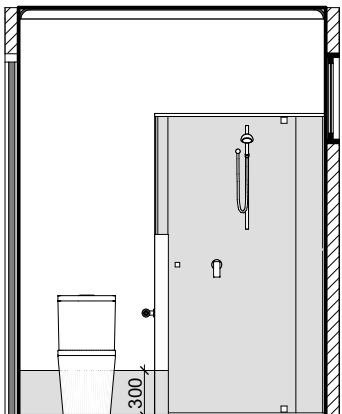
PDR 03



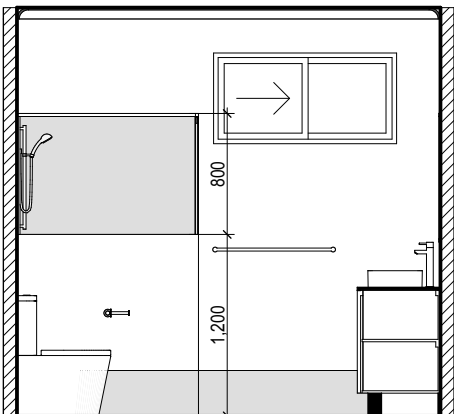
PDR 04



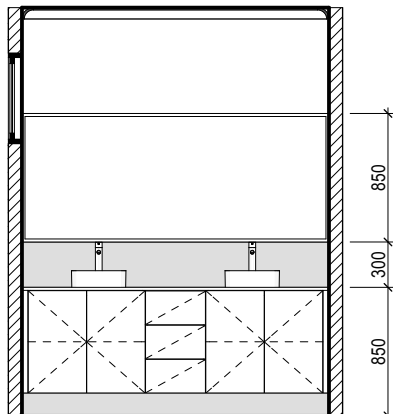
ENSUITE LAYOUT



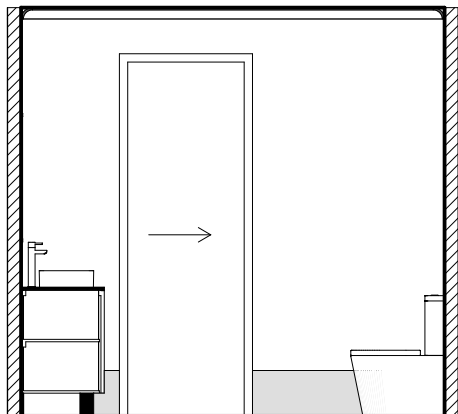
ENSUITE 01



ENSUITE 02



ENSUITE 03



ENSUITE 04

CITY OF FREMANTLE
These Plans Form Part of

DA0255/26

1 Jul 2026



- ALL DIMENSIONS TO BE VERIFIED ON SITE BEFORE COMMENCING ANY WORK.
- ANY DISCREPANCIES WHICH MAY ARISE ARE TO BE QUERIED WITH THE BUILDER AND THIS OFFICE BEFORE CONTINUING
- ANY DISCREPANCIES MUST BE REFERRED TO THE BUILDER AND THIS OFFICE OR THE SUBCONTRACTOR SHALL BEAR FULL RESPONSIBILITY FOR SAME.
- ANY VARIATIONS OR EXTRAS SHALL BE REFERRED TO THE BUILDER AND THIS OFFICE PRIOR TO CARRYING OUT FOR AUTHORISATION OR OTHERWISE.
- THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEERS DETAILS OR ANY OTHER CONSULTANTS DETAILS OR THIS OFFICE INSTRUCTIONS AS MAY ARISE FROM TIME TO TIME.
- ROOM DIMENSIONS ARE TO BRICKWORK AND DO NOT ALLOW FOR RENDER OR PLASTER. PLEASE CHECK PLANS CAREFULLY. ALL DIMENSIONS STRICTLY TO TAKE PREFERENCE OVER SCALING.
- REFER TO ENGINEERS DETAIL FOR CONCRETE SLAB & CONCRETE FOOTING SPECIFICATIONS.
- RAINWATER DOWN PIPE LOCATIONS SHALL BE DETERMINED BY ROOF PLUMBER ON SITE & COMPLY WITH BCA CLAUSE 3.5.2.5.
- NEW SMOKE ALARMS TO BE ADDED. SMOKE ALARM DEVICES SHALL BE INSTALLED TO COMPLY WITH AS3786-1993.
- ALL WORK TO BE CARRIED OUT TO RELEVANT AUSTRALIAN STANDARDS, AUTHORITIES, ETC. WORK TO BE DONE IN A GOOD AND WORKMANLIKE MANNER AND TO THE SATISFACTION OF THE BUILDING DESIGNER (THIS OFFICE), BUILDER OR APPOINTED REPRESENTATIVE.

* COPYRIGHT * ©2023 THIS PLAN SHALL REMAIN THE SOLE PROPERTY OF KINGS RD CONSTRUCTION PTY LTD. NEITHER THIS PLAN OR THE MAUFACTURE OF ITS CONTENTS SHALL BE REPRODUCED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF KINGS RD CONSTRUCTION.

SHEET:
INTERIORS 2

DATE:
02/04/26
02/06/26
17/06/26

REV:
A
B
C

DESCRIPTION:
PPA
DESIGN ADJUSTMENTS
WORKING DRAWINGS

BY:
JE
JE
JE

JOB NO.:
KRL303

ISSUE:
C

SHEET Nº:
8 OF 12

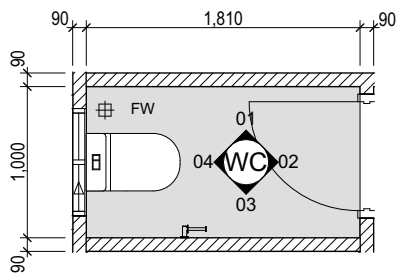
CLIENT SIGNATURE:

DATE:

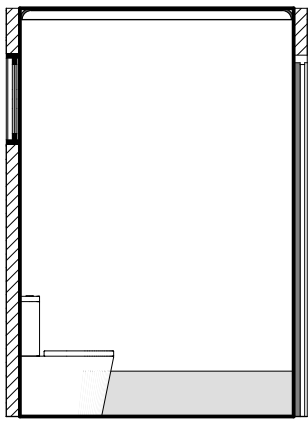
BUILDER SIGNATURE:

DATE:

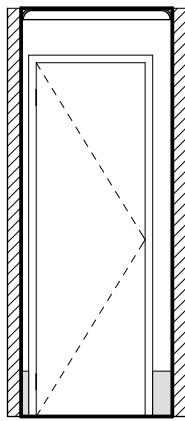
PROPOSED RESIDENCE AT:
LOT 200(#3B) BARFIELD PL,
BEACONSFIELD



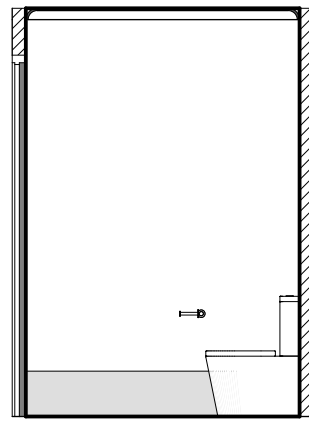
WC LAYOUT
1:50



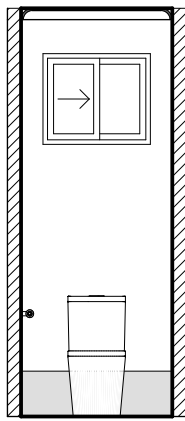
WC 01
1:50



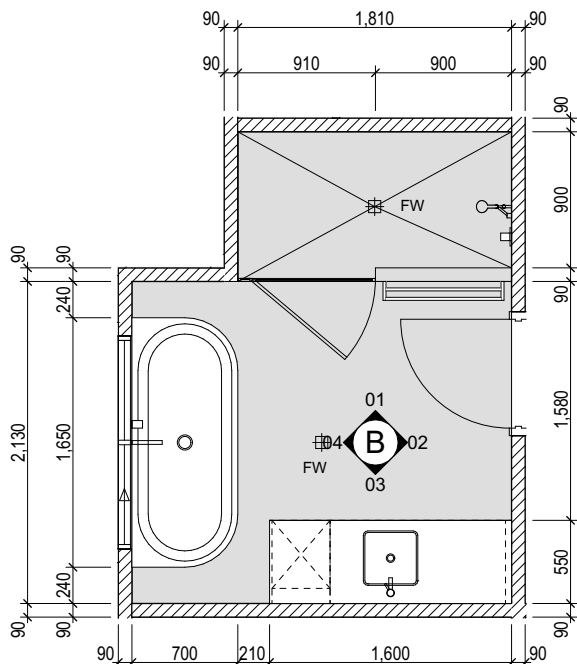
WC 02
1:50



WC 03
1:50

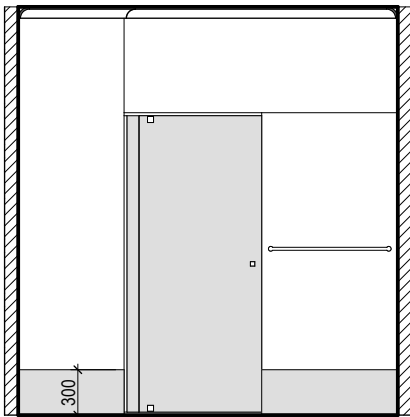


WC 04
1:50

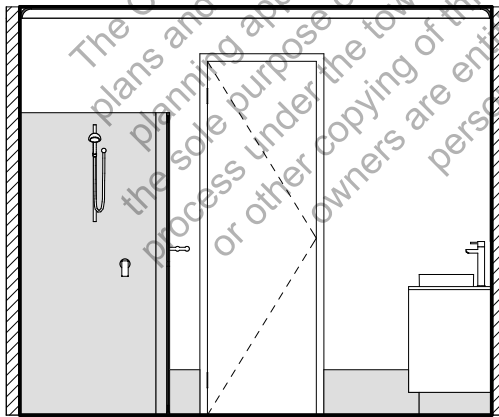


BATH LAYOUT
1:50

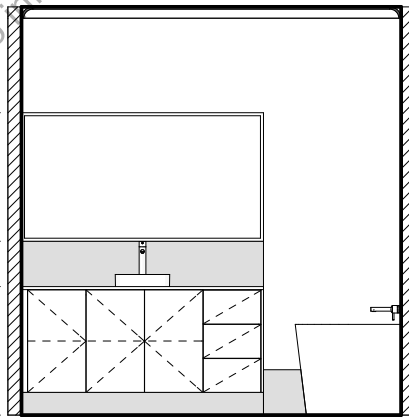
CITY OF FREMANTLE
These Plans Form Part of
DA0255/26
1 Jul 2026



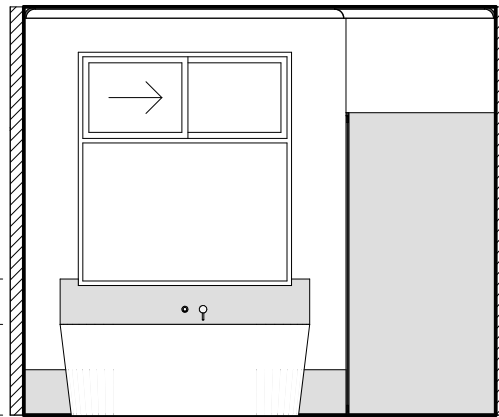
BATH 01
1:50



BATH 02
1:50



BATH 03
1:50



BATH 04
1:50



- ALL DIMENSIONS TO BE VERIFIED ON SITE BEFORE COMMENCING ANY WORK.
- ANY DISCREPANCIES WHICH MAY ARISE ARE TO BE QUERIED WITH THE BUILDER AND THIS OFFICE BEFORE CONTINUING
- ANY DISCREPANCIES MUST BE REFERRED TO THE BUILDER AND THIS OFFICE OR THE SUBCONTRACTOR SHALL BEAR FULL RESPONSIBILITY FOR SAME.
- ANY VARIATIONS OR EXTRAS SHALL BE REFERRED TO THE BUILDER AND THIS OFFICE PRIOR TO CARRYING OUT FOR AUTHORISATION OR OTHERWISE
- THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEERS DETAILS OR ANY OTHER CONSULTANTS DETAILS OR THIS OFFICE INSTRUCTIONS AS MAY ARISE FROM TIME TO TIME.
- ROOM DIMENSIONS ARE TO BRICKWORK AND DO NOT ALLOW FOR RENDER OR PLASTER. PLEASE CHECK PLANS CAREFULLY. ALL DIMENSIONS STRICTLY TO TAKE PREFERENCE OVER SCALING.
- REFER TO ENGINEERS DETAIL FOR CONCRETE SLAB & CONCRETE FOOTING SPECIFICATIONS.
- RAINWATER DOWN PIPE LOCATIONS SHALL BE DETERMINED BY ROOF PLUMBER ON SITE & COMPLY WITH BCA CLAUSE 3.5.2.5.
- NEW SMOKE ALARMS TO BE ADDED. SMOKE ALARM DEVICES SHALL BE INSTALLED TO COMPLY WITH AS3786-1993.
- ALL WORK TO BE CARRIED OUT TO RELEVANT AUSTRALIAN STANDARDS, AUTHORITIES, ETC. WORK TO BE DONE IN A GOOD AND WORKMANLIKE MANNER AND TO THE SATISFACTION OF THE BUILDING DESIGNER (THIS OFFICE), BUILDER OR APPOINTED REPRESENTATIVE.

* COPYRIGHT * ©2023 THIS PLAN SHALL REMAIN THE SOLE PROPERTY OF KINGS RD CONSTRUCTION PTY LTD. NEITHER THIS PLAN OR THE MAUFACTURE OF ITS CONTENTS SHALL BE REPRODUCED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF KINGS RD CONSTRUCTION.

SHEET:
INTERIORS 3

DATE:	REV:	DESCRIPTION:	BY:
02/04/26	A	PPA	JE
02/06/26	B	DESIGN ADJUSTMENTS	JE
17/06/26	C	WORKING DRAWINGS	JE

JOB NO.:
KRL303

ISSUE:
C

SHEET Nº:
9 OF 12

CLIENT:

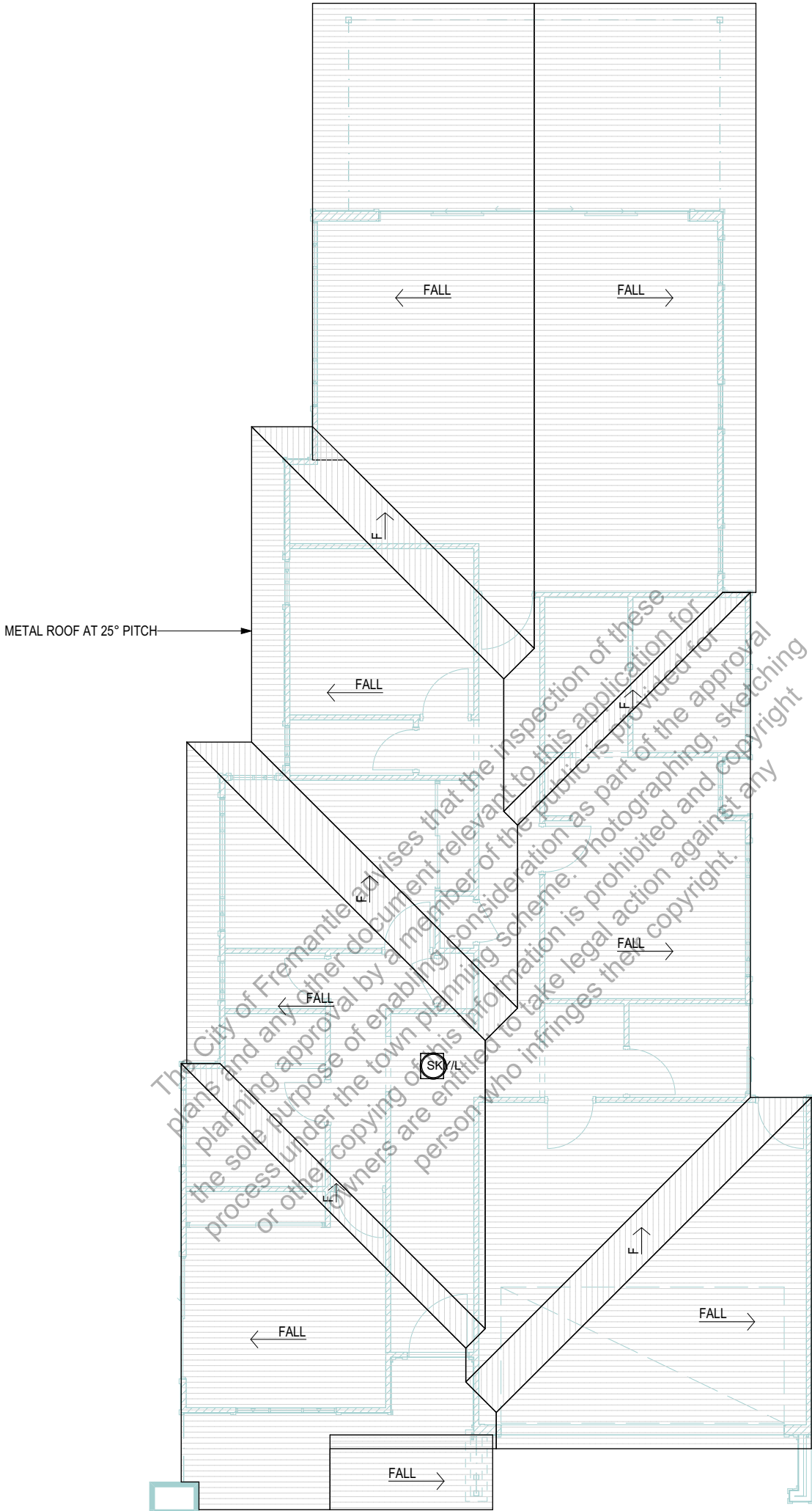
PROPOSED RESIDENCE AT:
LOT 200(#3B) BARFIELD PL,
BEACONSFIELD

CLIENT SIGNATURE:

DATE:

BUILDER SIGNATURE:

DATE:



CITY OF FREMANTLE
These Plans Form Part of

DA0255/26

1 Jul 2026

ROOF PLAN

1:100



- ALL DIMENSIONS TO BE VERIFIED ON SITE BEFORE COMMENCING ANY WORK.
- ANY DISCREPANCIES WHICH MAY ARISE ARE TO BE QUERIED WITH THE BUILDER AND THIS OFFICE BEFORE CONTINUING
- ANY DISCREPANCIES MUST BE REFERRED TO THE BUILDER AND THIS OFFICE OR THE SUBCONTRACTOR SHALL BEAR FULL RESPONSIBILITY FOR SAME.
- ANY VARIATIONS OR EXTRAS SHALL BE REFERRED TO THE BUILDER AND THIS OFFICE PRIOR TO CARRYING OUT FOR AUTHORISATION OR OTHERWISE
- THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEERS DETAILS OR ANY OTHER CONSULTANTS DETAILS OR THIS OFFICE INSTRUCTIONS AS MAY ARISE FROM TIME TO TIME.
- ROOM DIMENSIONS ARE TO BRICKWORK AND DO NOT ALLOW FOR RENDER OR PLASTER. PLEASE CHECK PLANS CAREFULLY. ALL DIMENSIONS STRICTLY TO TAKE PREFERENCE OVER SCALING.
- REFER TO ENGINEERS DETAIL FOR CONCRETE SLAB & CONCRETE FOOTING SPECIFICATIONS.
- RAINWATER DOWN PIPE LOCATIONS SHALL BE DETERMINED BY ROOF PLUMBER ON SITE & COMPLY WITH BCA CLAUSE 3.5.2.5.
- NEW SMOKE ALARMS TO BE ADDED. SMOKE ALARM DEVICES SHALL BE INSTALLED TO COMPLY WITH AS3786-1993.
- ALL WORK TO BE CARRIED OUT TO RELEVANT AUSTRALIAN STANDARDS, AUTHORITIES, ETC. WORK TO BE DONE IN A GOOD AND WORKMANLIKE MANNER AND TO THE SATISFACTION OF THE BUILDING DESIGNER (THIS OFFICE), BUILDER OR APPOINTED REPRESENTATIVE.

* COPYRIGHT * ©2023 THIS PLAN SHALL REMAIN THE SOLE PROPERTY OF KINGS RD CONSTRUCTION PTY LTD. NEITHER THIS PLAN OR THE MAUFACTURE OF ITS CONTENTS SHALL BE REPRODUCED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF KINGS RD CONSTRUCTION.

SHEET:
ROOF PLAN

DATE:	REV:	DESCRIPTION:	BY:
02/04/26	A	PPA	JE
02/06/26	B	DESIGN ADJUSTMENTS	JE
17/06/26	C	WORKING DRAWINGS	JE

JOB NO.:
KRL303

ISSUE:
C

SHEET N°:
10 OF 12

CLIENT SIGNATURE:

DATE:

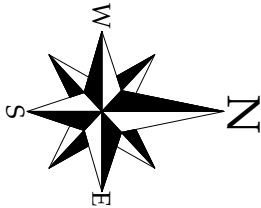
BUILDER SIGNATURE:

DATE:

CLIENT:

PROPOSED RESIDENCE AT:
LOT 200(#3B) BARFIELD PL,
BEACONSFIELD

LOT 200



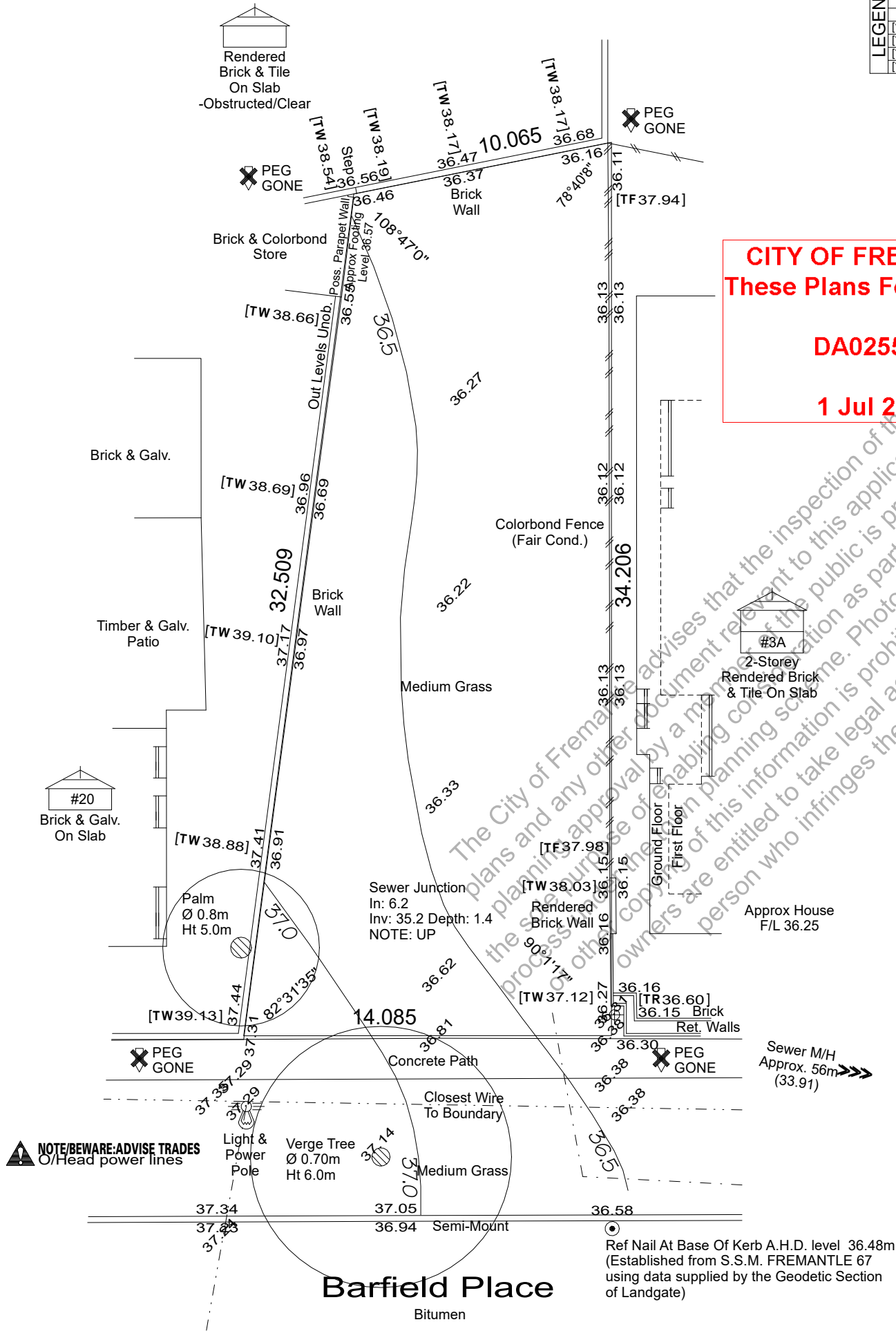
DISCLAIMER:
Lot boundaries drawn on survey are based on landgate plan only. Survey does not include title search and as such may not show easements or other interests not shown on plan. Title should be checked to verify all lot details and for any easements or other interests which may affect building on the property.

DISCLAIMER:
Survey does not include verification of cadastral boundaries. All features and levels shown are based on orientation to existing pegs and fences only which may not be on correct cadastral alignment. Any designs based or dependent on the location of existing features should have those features' location verified in relation to the true boundary.

DISCLAIMER:
Survey shows visible features only and will not show locations of underground pipes or conduits for internal or mains services. Verification of the location of all internal and mains services should be confirmed prior to finalisation of any design work.

DISCLAIMER:
Cottage & Engineering surveys accept no responsibility for any physical on site changes to the parcel or portion of the parcel of land shown on this survey including any adjoining neighbours levels and features that have occurred after the date on this survey. All Sewer details plotted from information supplied by Water Corporation.

Latitude -32°4'23.825" Longitude 115°46'35.683"



+	SEC Dome
⊙	Power Pole
⊕	Phone Pits
W	Water Conn.
[TP 10.00]	Top Pillar/Post
[TW 10.00]	Top Wall
[TR 10.00]	Top Retaining
[TF 10.00]	Top Fence

CITY OF FREMANTLE
These Plans Form Part of
DA0255/26
1 Jul 2026

CLIENT : _____ CONTRACT / JOB NO. _____

MAP REF. 431 A9

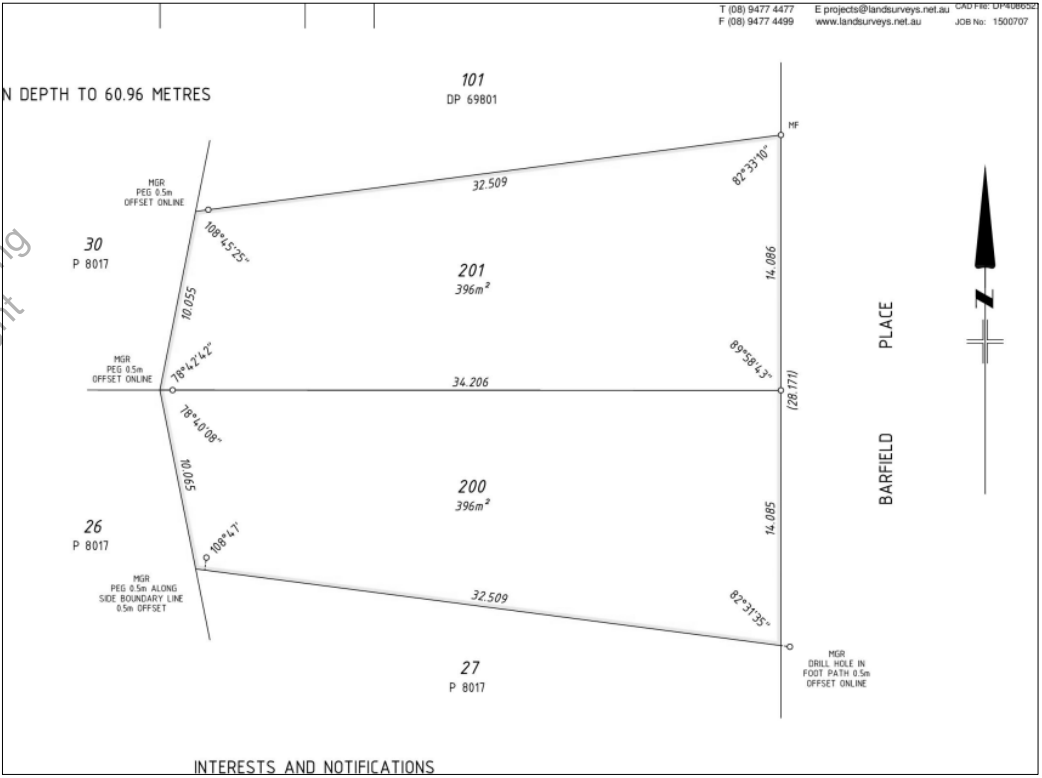
SITE SURVEY **LOT 200** COASTAL NO. (Scaled from StreetSmart Directory Only - Confirm With Site) **OLD AREA**

Suburb Beaconsfield

Loc.Auth. CITY OF FREMANTLE

D.Plan 408652 Volume 2902 Folio 684

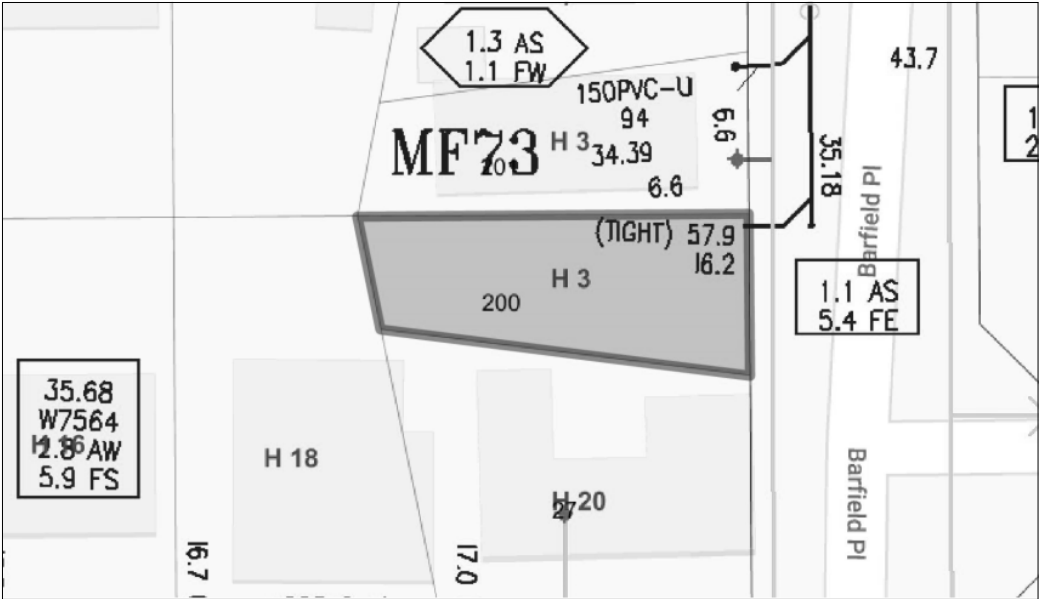
Location Check Title



Elec. ☐ U/Ground / ☐ Head ☐ Water Yes Sewer Yes

Gas Check Your Lot With Alinta Call 13 13 58 Phone Comms. ☐ Not Loc. Footpath Concrete

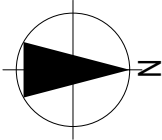
Road Bitumen Kerb Semi-Mount Drainage Good



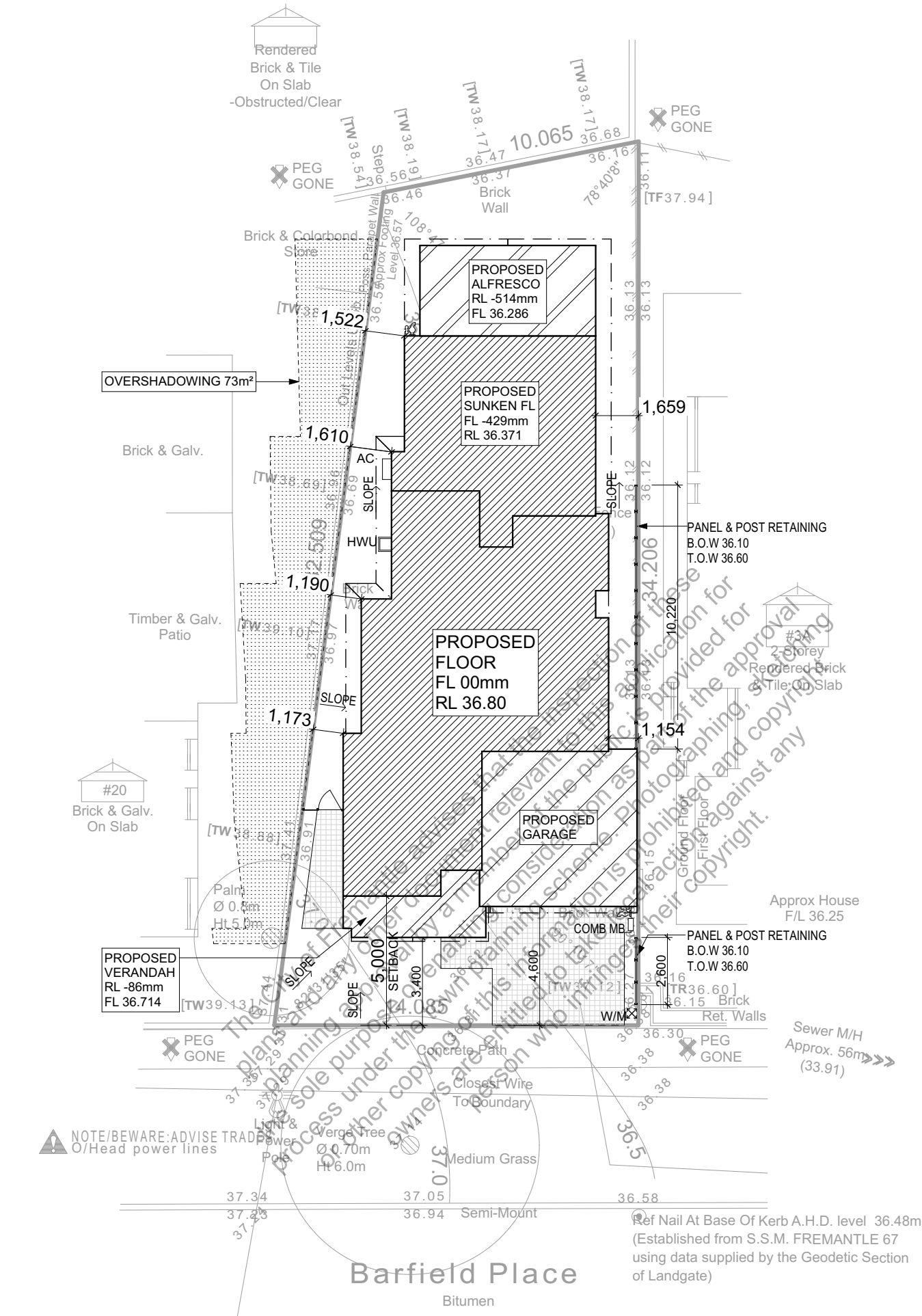
COTTAGE & ENGINEERING
SURVEYS
Licensed Surveyors ©

NOTE:
TELSTRA/COMMS. PIT NOT LOCATED ADJACENT TO LOT AT TIME OF SURVEY. VERIFY AVAILABILITY WITH TELSTRA.

NOTE : EARTHWORKS / SET-OUT DIMENSIONS MAY VARY ON SITE AT BUILDERS DISCRETION. SEWER / DRAINAGE MAY VARY FROM SCHEMATIC PRESENTATION / CHECK MINIMUM CLEARANCES, RETAINING. CHECK TITLE FOR EASEMENTS / COVENANTS ETC.



Latitude -32°4'23.825" Longitude 115°46'35.683"



CITY OF FREMANTLE
These Plans Form Part of

DA0255/26

1 Jul 2026

SITE INFO	
LOT AREA	396m²
ZONING	R20/25
OPEN SPACE	196m² / 49.5%
TOTAL OVERSHADOWING AS SHOWN SHADED	73m² / 9%

SITE PLAN

1:200

 KINGS RD	- ALL DIMENSIONS TO BE VERIFIED ON SITE BEFORE COMMENCING ANY WORK. - ANY DISCREPANCIES WHICH MAY ARISE ARE TO BE QUERIED WITH THE BUILDER AND THIS OFFICE BEFORE CONTINUING - ANY DISCREPANCIES MUST BE REFERRED TO THE BUILDER AND THIS OFFICE OR THE SUBCONTRACTOR SHALL BEAR FULL RESPONSIBILITY FOR SAME. - ANY VARIATIONS OR EXTRAS SHALL BE REFERRED TO THE BUILDER AND THIS OFFICE PRIOR TO CARRYING OUT FOR AUTHORISATION OR OTHERWISE. - THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEERS DETAILS OR ANY OTHER CONSULTANTS DETAILS OR THIS OFFICE INSTRUCTIONS AS MAY ARISE FROM TIME TO TIME. - ROOM DIMENSIONS ARE TO BE TO BRICKWORK AND DO NOT ALLOW FOR RENDER OR PLASTER. PLEASE CHECK PLANS CAREFULLY. ALL DIMENSIONS STRICTLY TO TAKE PREFERENCE OVER SCALING. - REFER TO ENGINEERS DETAIL FOR CONCRETE SLAB & CONCRETE FOOTING SPECIFICATIONS. - RAINWATER DOWN PIPE LOCATIONS SHALL BE DETERMINED BY ROOF PLUMBER ON SITE & COMPLY WITH BCA CLAUSE 3.5.2.5. - NEW SMOKE ALARMS TO BE ADDED. SMOKE ALARM DEVICES SHALL BE INSTALLED TO COMPLY WITH AS3786-1993. - ALL WORK TO BE CARRIED OUT TO RELEVANT AUSTRALIAN STANDARDS, AUTHORITIES, ETC. WORK TO BE DONE IN A GOOD AND WORKMANLIKE MANNER AND TO THE SATISFACTION OF THE BUILDING DESIGNER (THIS OFFICE), BUILDER OR APPOINTED REPRESENTATIVE. * COPYRIGHT * ©2023 THIS PLAN SHALL REMAIN THE SOLE PROPERTY OF KINGS RD CONSTRUCTION PTY LTD. NEITHER THIS PLAN OR THE MAUFACTURE OF ITS CONTENTS SHALL BE REPRODUCED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF KINGS RD CONSTRUCTION.	SHEET: SITE PLAN		JOB NO.: KRL303	ISSUE: C	SHEET N°: 12 OF 12	CLIENT SIGNATURE:		
		DATE: 02/04/26 02/06/26 17/06/26	REV: A B C	DESCRIPTION: PPA DESIGN ADJUSTMENTS WORKING DRAWINGS	BY: JE JE JE	CLIENT:			DATE:
		PROPOSED RESIDENCE AT: LOT 200(#3B) BARFIELD PL, BEACONSFIELD							
		BUILDER SIGNATURE:							DATE: