

CITY OF FREMANTLE
These Plans Form Part of

DA0240/26

22 June 2026

113B Lefroy Road, Beaconsfield WA 6162

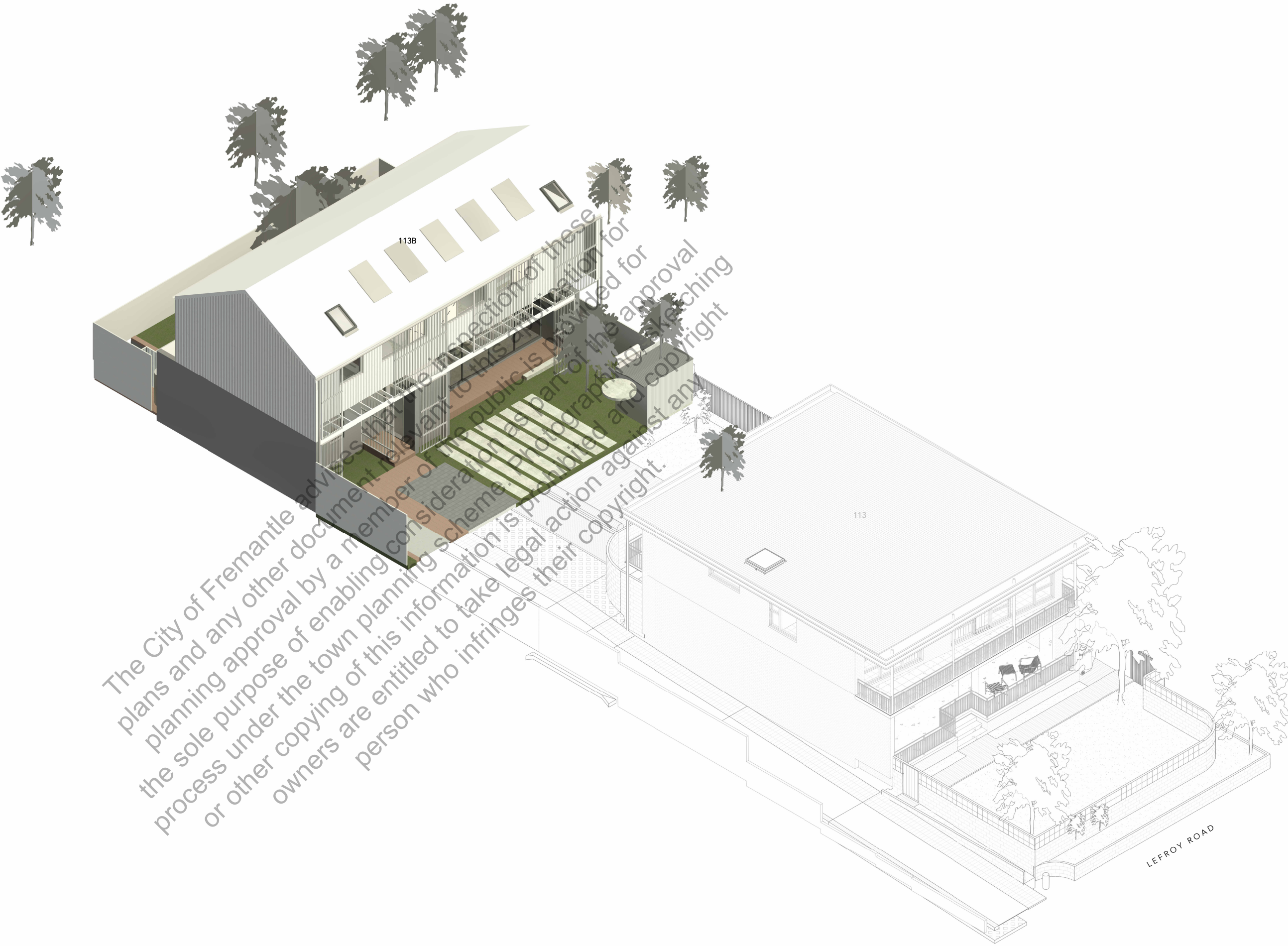
FOR DEVELOPMENT APPROVAL

Rev. A

08/06/2026

DRAWING LIST

No.	TITLE	REV.	DATE
DA00	COVER PAGE	A	08/06/2026
DA01	SITE CONDITIONS	A	08/06/2026
DA02	SUBDIVISION SURVEY	A	08/06/2026
DA03	EXISTING SITE SURVEY	A	08/06/2026
DA04	DEMOLITION PLAN	A	08/06/2026
DA05	PROPOSED SITE PLAN	A	08/06/2026
DA06	PROPOSED FLOOR PLANS	A	08/06/2026
DA07	DIAGRAMS PART B	A	08/06/2026
DA08	DIAGRAMS PART B	A	08/06/2026
DA09	PROPOSED ELEVATIONS	A	08/06/2026
DA10	3D RENDERS	A	08/06/2026
DA11	3D RENDERS	A	08/06/2026
DA12	3D RENDERS	A	08/06/2026
DA13	3D RENDERS	A	08/06/2026

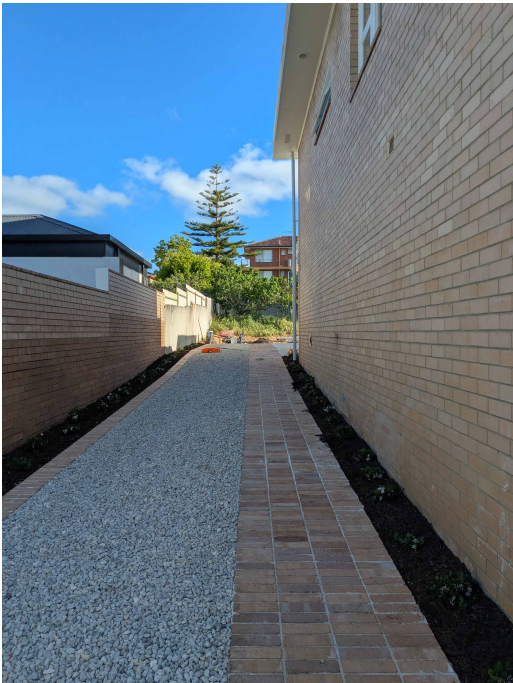




01 VIEW OF 113 LEFROY RD - LOOKING SOUTH



02 VIEW OF 113B LEFROY RD LOT - LOOKING SOUTH



03 VIEW OF COMMON PROPERTY DRIVEWAY

NR04B



NORTH

DA01

113B Lefroy Road,
Beaconsfield WA 6162

TITLE
SITE CONDITIONS

SCALE
@A2

DATE
08/06/2026

ISSUE
FOR DEVELOPMENT APPROVAL

REV. A

NOT FOR
CONSTRUCTION

The copyright of these drawings and all parts thereof remain the property of New Resident Pty Ltd. Registered Architect in Western Australia, registration number 2790. Contractor to verify all dimensions, levels and details on site prior to commencement of any work. All construction work to be in accordance with the building code of Australia, approved documents and relevant Australian Standards.



AERIAL IMAGE OF 113B LEFROY ROAD AND SURROUNDING PROPERTIES

CITY OF FREMANTLE
These Plans Form Part of

DA0240/26

22 June 2026



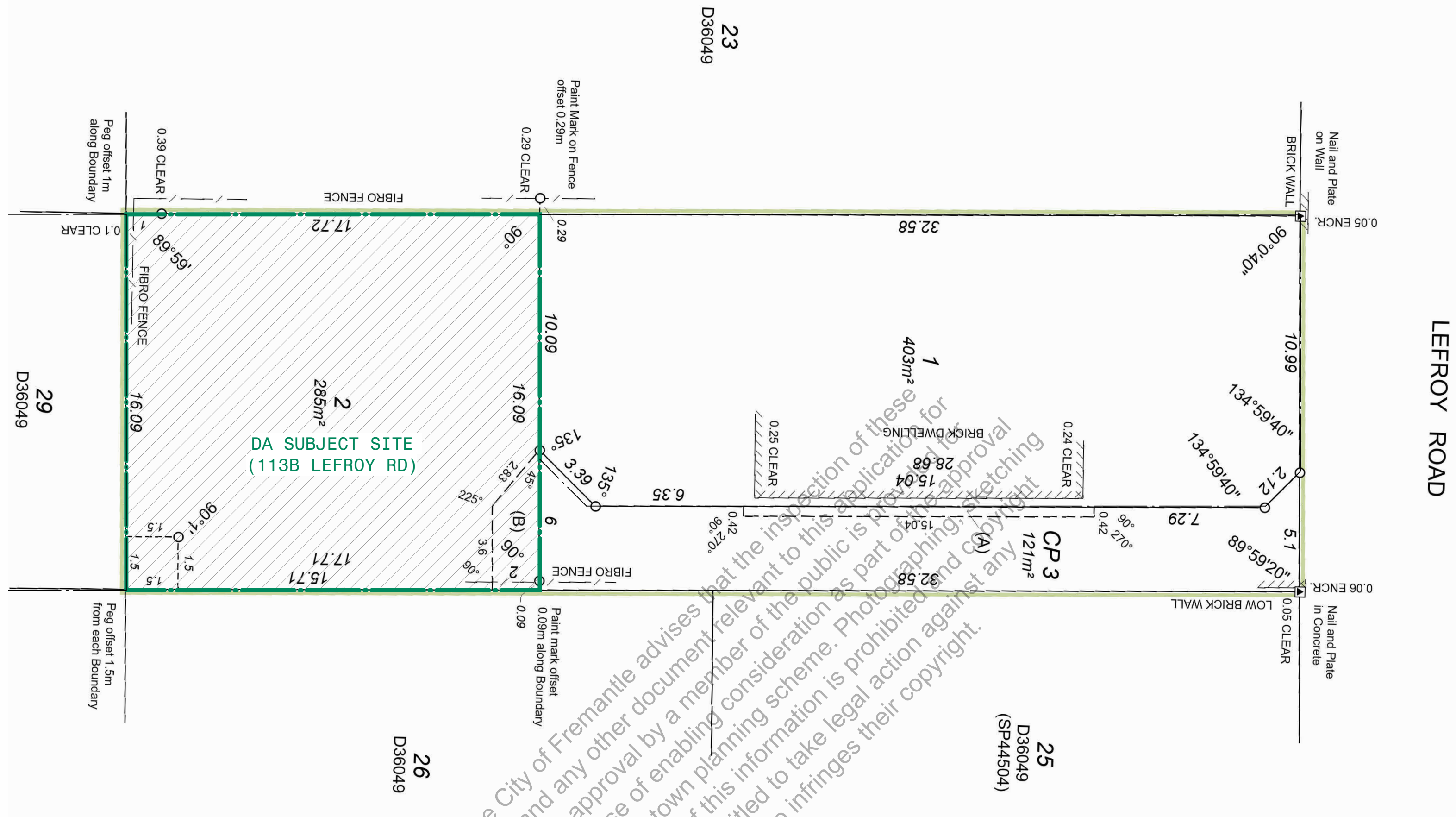
NORTH

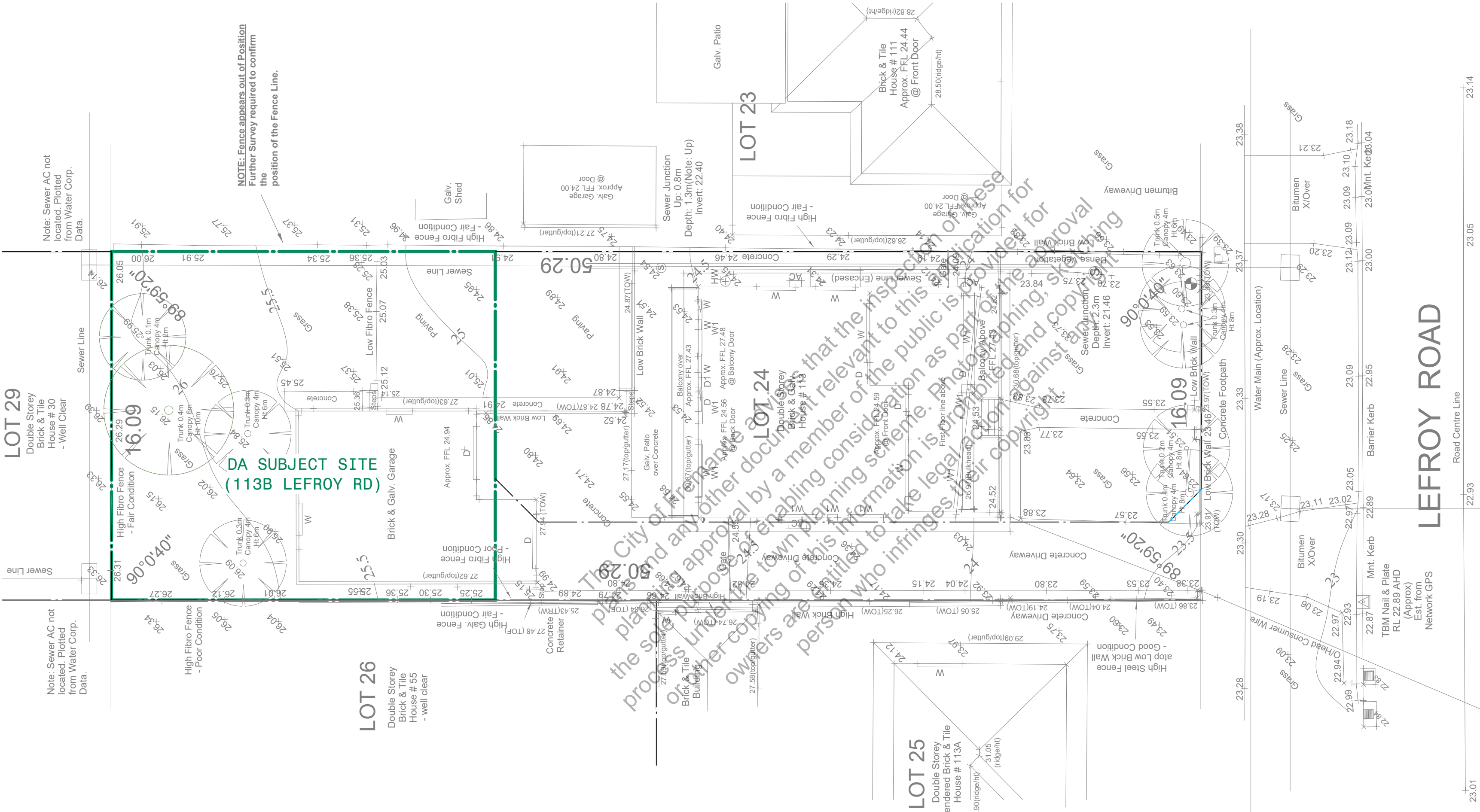
113B Lefroy Road,
Beaconsfield WA 6162

SCALE DATE
As indicated @A2 08/06/2026

REV. A

The copyright of these drawings and all parts thereof remain the property of New Resident Pty Ltd. Registered Architect in Western Australia, registration number 2790. Contractor to verify all dimensions, levels and details on site prior to commencement of any work. all construction work to be in accordance with the building code of Australia, approved documents and relevant Australian Standards

[illegible]



CITY OF FREMANTLE
These Plans Form Part of

DA0240/26

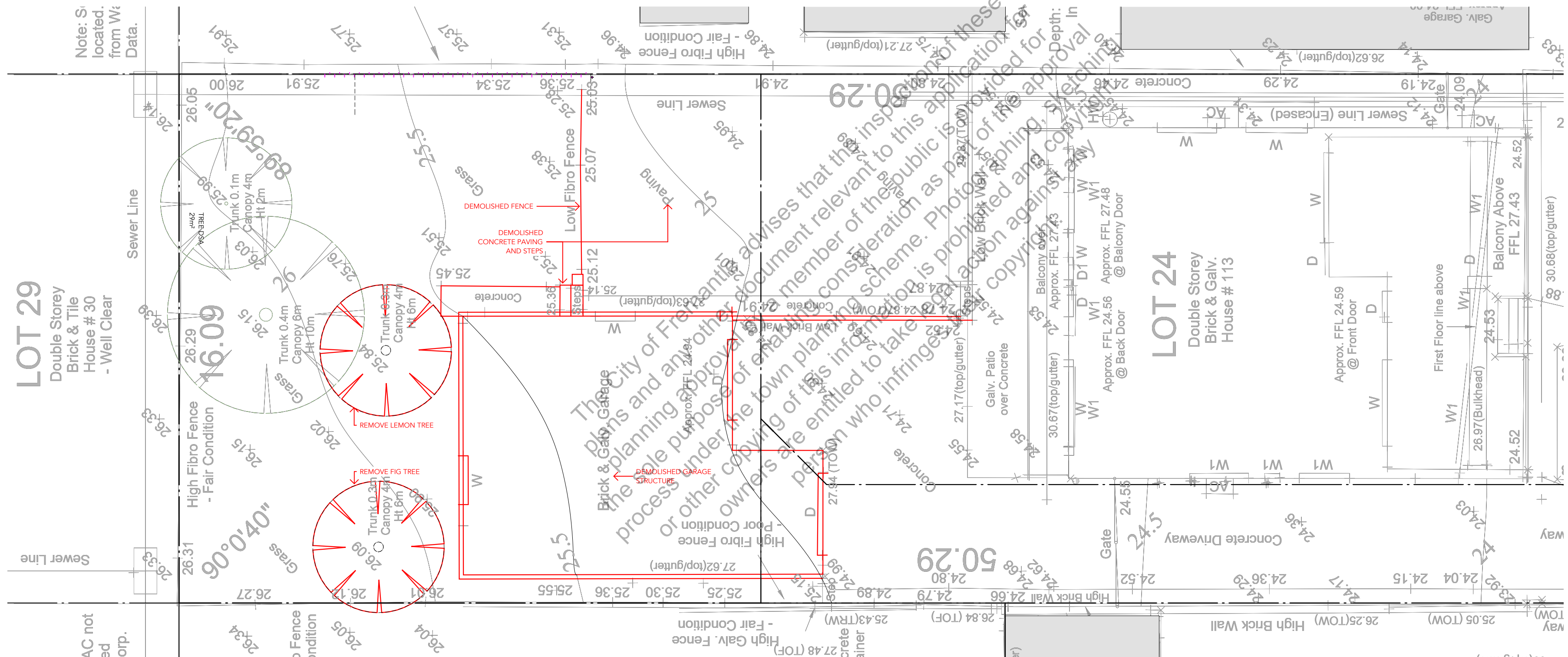
22 June 2026

DEMOLITION NOTE:
DEMOLITION WORK HAS BEEN COMPLETED AS
PREVIOUS WORK. THE DRAWING IS INCLUDED
FOR INFORMATION AS THE SITE FEATURE SURVEY
INDICATES A GARAGE STRUCTURE ON THE
SUBJECT SITE.

CITY OF FREMANTLE
These Plans Form Part of

DA0240/26

22 June 2026



KEY	
GB	GARDEN BED
GL1	CLEAR SINGLE GLAZING
PAV1	EXTERNAL BRICK PAVING
PAV2	PERMEABLE PAVING
PAV4	LANDSCAPE GRAVEL
PV	PV SOLAR PANELS
RF1	PROFILE METAL ROOF SHEETING
RWT	RAIN WATER TANK 3000L

- SITE PLAN NOTES:
- R20/R25
 - SITE AREA 285m²
 - REFER DIAGRAM SHEETS FOR OPEN SPACEM, OUTDOOR LIVING AREAS, AND LANDSCAPING AREAS.
 - STORMWATER TO BE RETAINED ON SITE, ALL WATER DRAINING FROM ROOFS DIRECTED TO 3000L RAIN WATER TANK COLLECTION AND ALL PAVED AREAS TO BE DIRECTED TO GARDEN AREAS / DEEP SOIL TREE ZONES OR IN GROUND SV.
 - AN APPROVED GREYWATER REUSE SYSTEM CONNECTED TO LAUNDRY AND BATHROOMS AND DISTRIBUTED TO GARDEN LAWN AREAS
 - PV SOLAR PANEL ARRAY MINIMUM 3KW TO BE INSTALLED TO ROOF

CITY OF FREMANTLE
These Plans Form Part of

DA0240/26

22 June 2026

NR04B



DA05

113B Lefroy Road,
Beaconsfield WA 6162

TITLE
PROPOSED SITE PLAN

SCALE
1:100 @A2

DATE
08/06/2026

ISSUE
FOR DEVELOPMENT APPROVAL

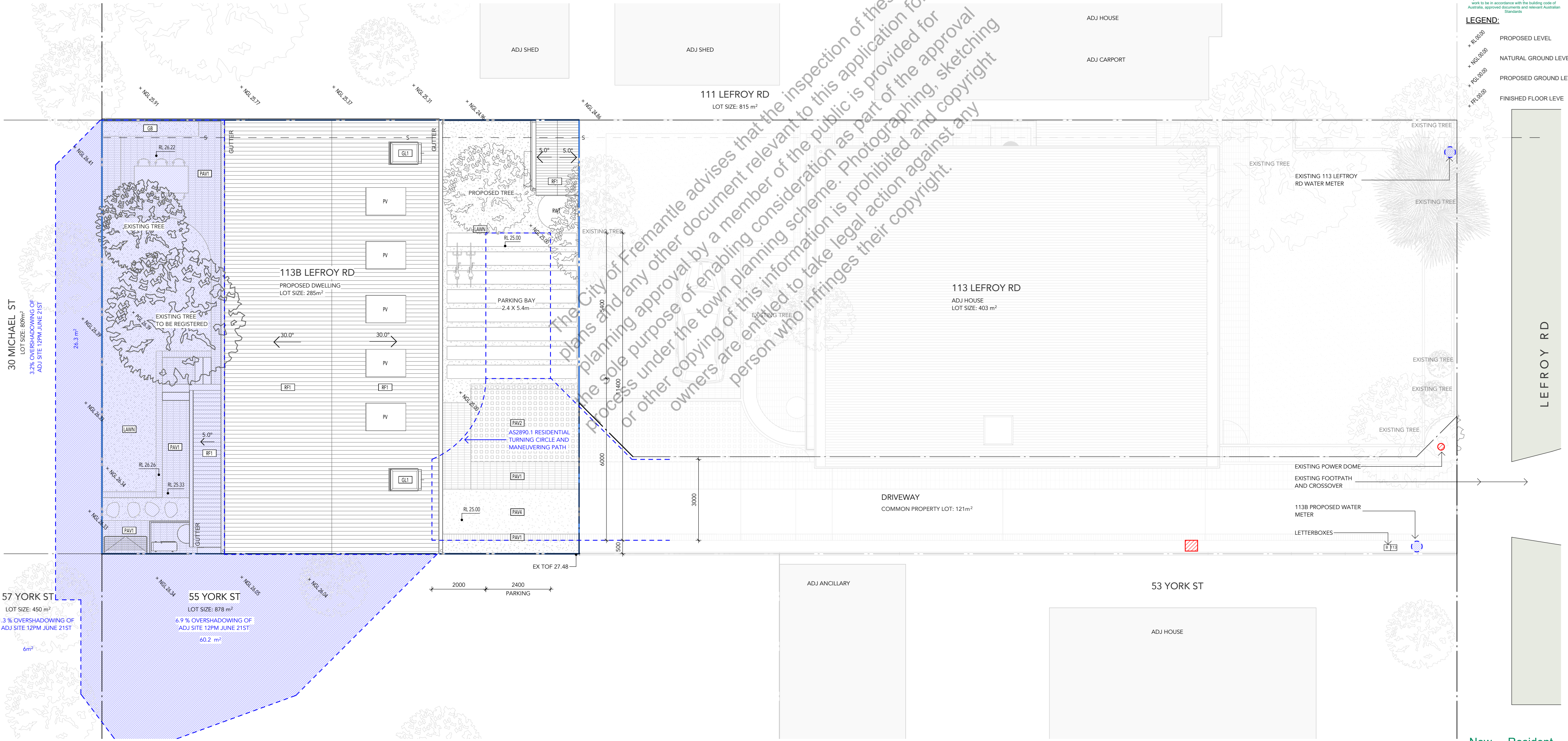
REV. A

NOT FOR
CONSTRUCTION

The copyright of these drawings and all parts thereof remain the property of New Resident Pty Ltd. Registered Architect in Western Australia, registration number 2790. Contractor to verify all dimensions, levels and details on site prior to commencement of any work, all construction work to be in accordance with the building code of Australia, approved documents and relevant Australian Standards

LEGEND:

- * RL0.000 PROPOSED LEVEL
- * NG0.000 NATURAL GROUND LEVEL
- * PG0.000 PROPOSED GROUND LEVEL
- * FL0.000 FINISHED FLOOR LEVEL

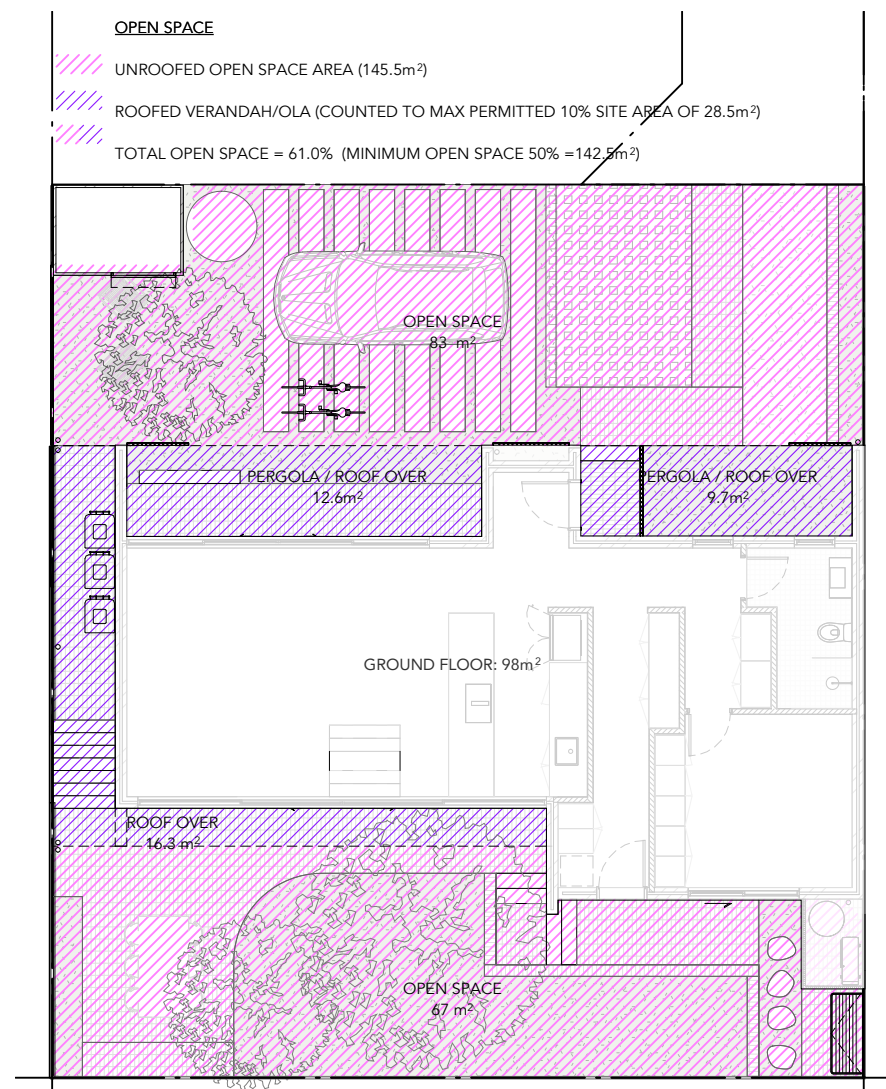


New Resident.

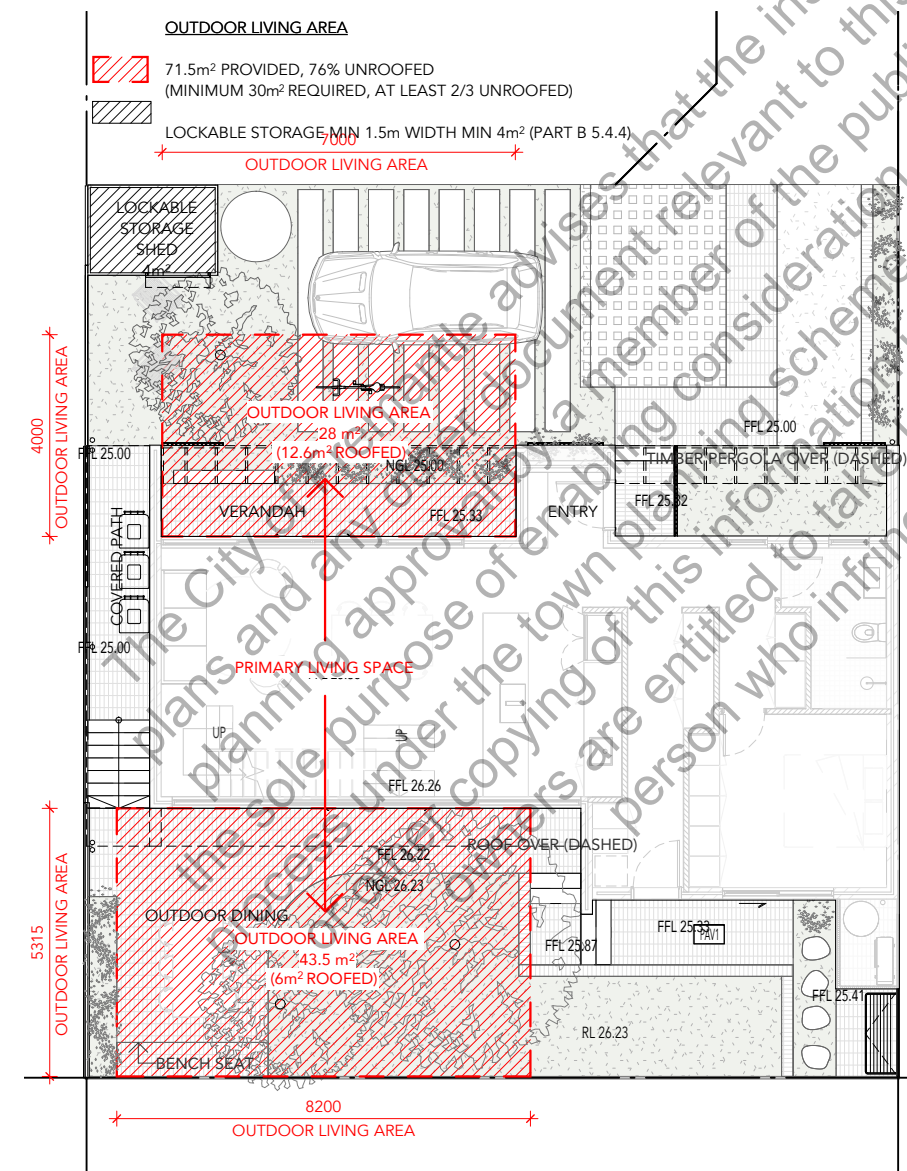
CITY OF FREMANTLE
These Plans Form Part of

DA0240/26

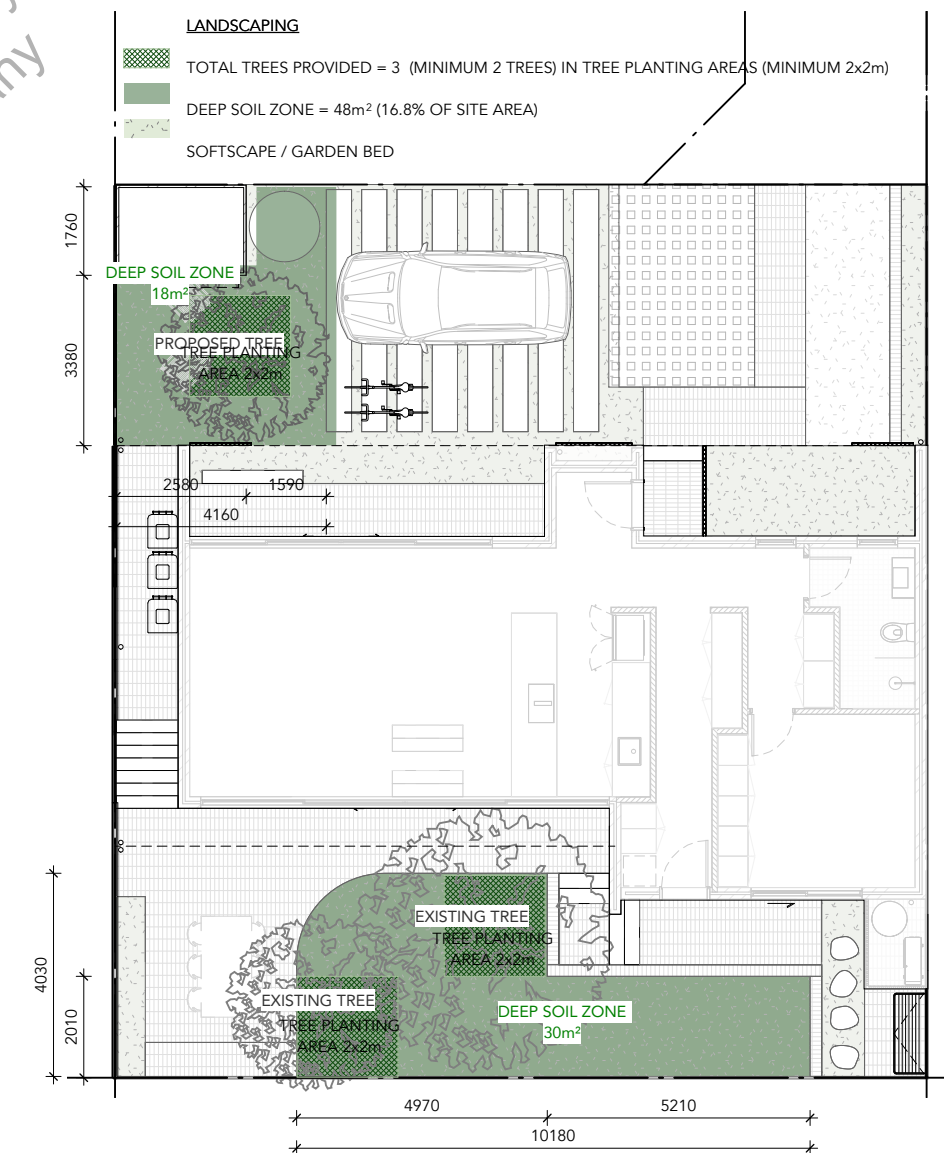
22 June 2026



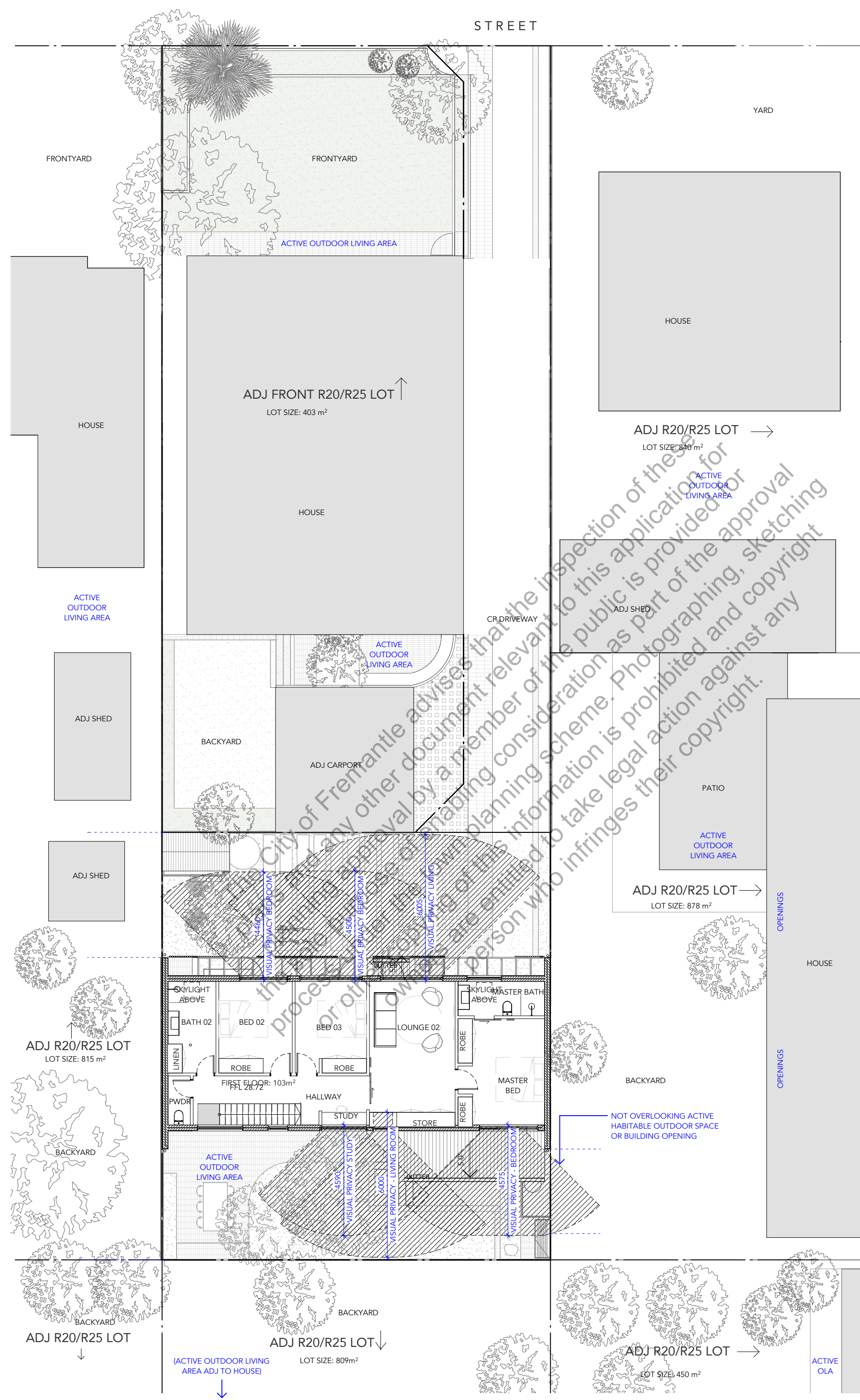
1 DIAGRAM OPEN SPACE (PART B 5.1.4)
1 : 150



2 DIAGRAM OUTDOOR LIVING AREA (PART B 5.3.1)
1 : 150



3 DIAGRAM LANDSCAPING (PART B 5.3.2)
1 : 150



1 DIAGRAM VISUAL PRIVACY
1 : 150

NR04B



DA08

113B Lefroy Road,
Beaconsfield WA 6162

TITLE
DIAGRAMS PART B

SCALE
1 : 150 @A2

DATE
08/06/2026

ISSUE
FOR DEVELOPMENT APPROVAL

REV. A

NOT FOR
CONSTRUCTION

The copyright of these drawings and all parts thereof remain the property of New Resident Pty Ltd. Registered Architect in Western Australia, registration number 2790. Contractor to verify all dimensions, levels and details on site prior to commencement of any work, all construction work to be in accordance with the building code of Australia, approved documents and relevant Australian Standards.

CITY OF FREMANTLE
These Plans Form Part of

DA0240/26

22 June 2026

- KEY
- BK1

DP

EC1

FC2

GL1

GL2

RF1

ST1
- MAXIBRICK - BAGGED WHITE FINISH

EXPOSED RAIN WATER DOWNPIPE

EXTERNAL CLADDING - PROFILED METAL SHEET ZINCALUME

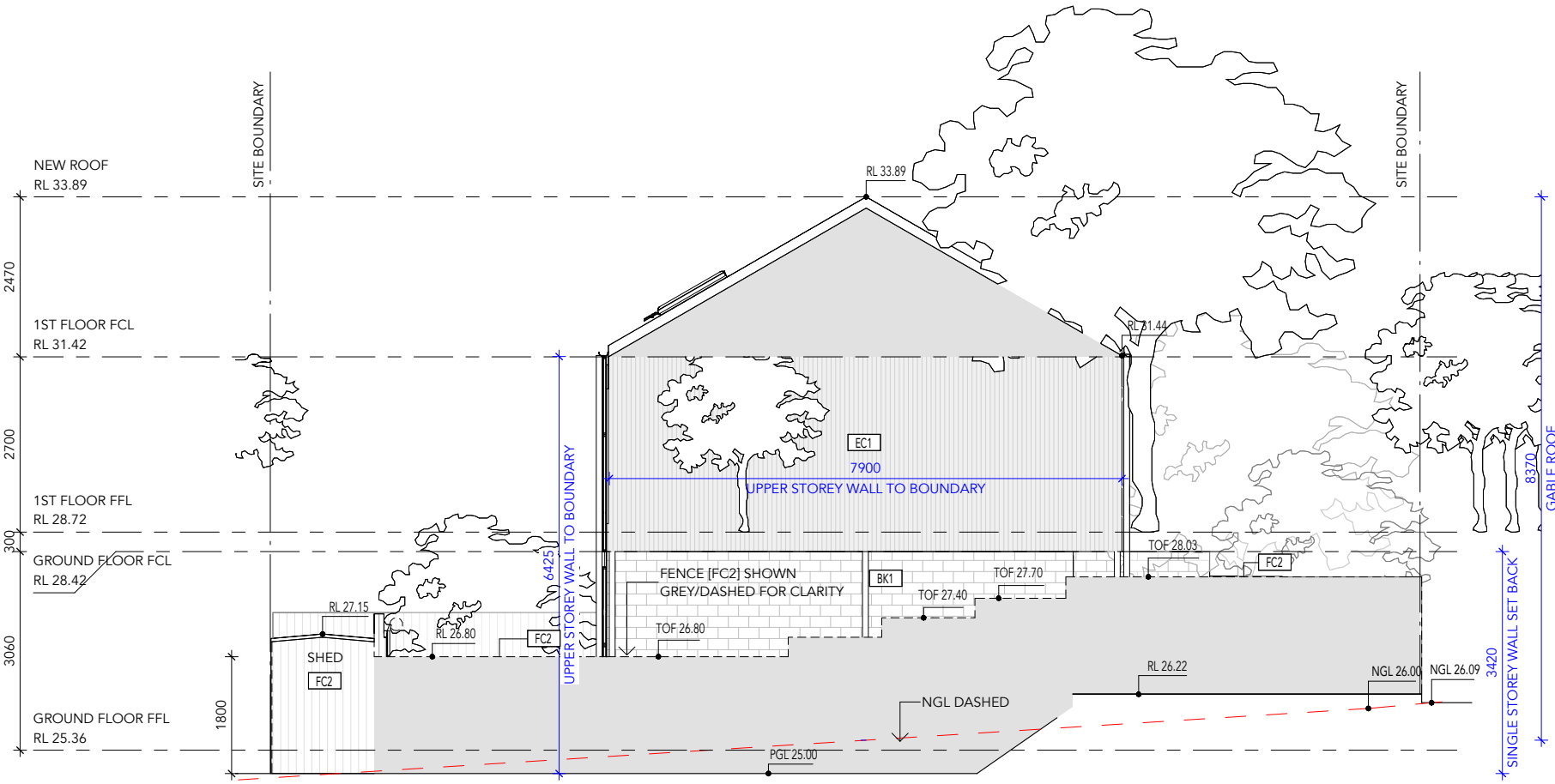
COLOURBOND FENCE

CLEAR SINGLE GLAZING

CLEAR DOUBLE GLAZING

PROFILE METAL ROOF SHEETING

POOL FENCE PANEL PAINTED WHITE



2 PROPOSED ELEVATION - WEST
1:100

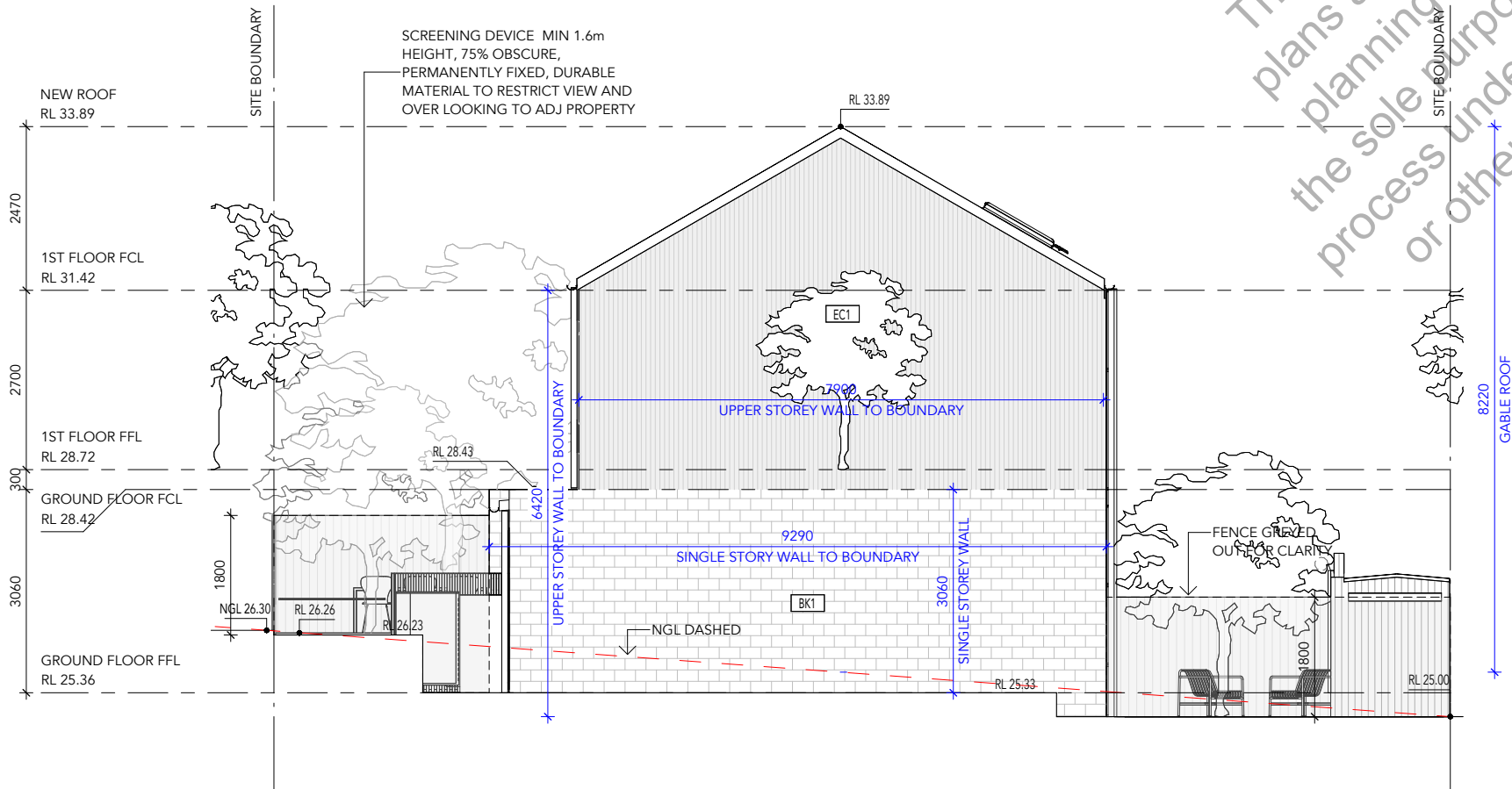
CITY OF FREMANTLE
These Plans Form Part of

DA0240/26

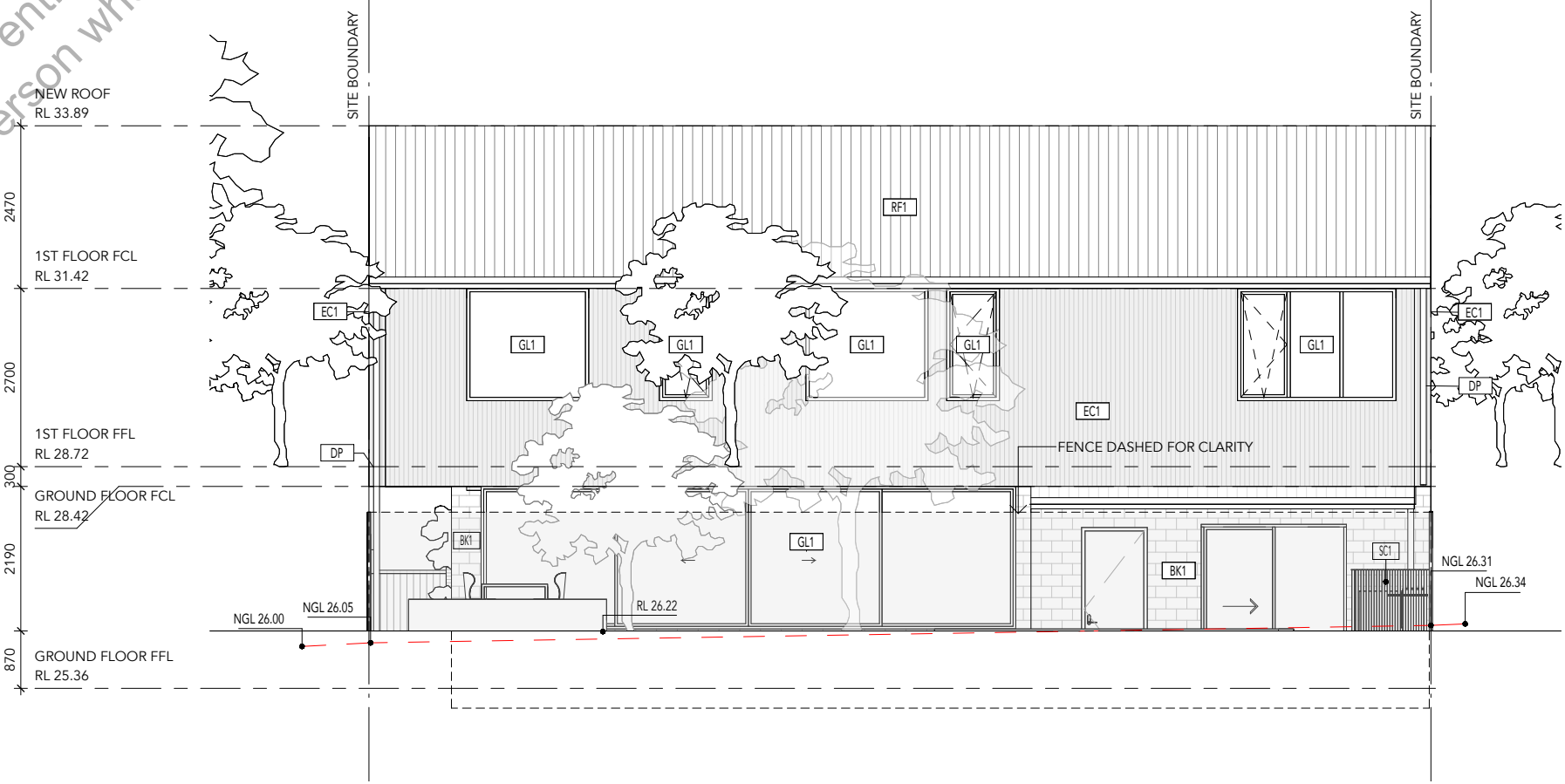
22 June 2026



4 PROPOSED ELEVATION - NORTH
1:100



1 PROPOSED ELEVATION - EAST
1:100



3 PROPOSED ELEVATION - SOUTH
1:100

NR04B



NORTH

DA09

113B Lefroy Road,
Beaconsfield WA 6162

TITLE
PROPOSED ELEVATIONS

SCALE
1:100 @A2

DATE
08/06/2026

ISSUE
FOR DEVELOPMENT APPROVAL

REV. A

NOT FOR
CONSTRUCTION

The copyright of these drawings and all parts thereof remain the property of New Resident Pty Ltd. Registered Architect in Western Australia, registration number 2790. Contractor to verify all dimensions, levels and details on site prior to commencement of any work. All construction work to be in accordance with the building code of Australia, approved documents and relevant Australian Standards.

FINISHES SCHEDULE:

- | | |
|------|------------------------|
| BK1 | BRICKWORK |
| CF1 | CONCRETE FINISH |
| GL1 | CLEAR GLASS |
| GL2 | OBSCURE GLASS |
| FC2 | FIBRECEMENT SHEET |
| RF1 | METAL ROOF SHEETING |
| TL1 | TILING |
| PAV1 | BRICK PAVING |
| PAV2 | PERMEABLE PAVING |
| ST1 | VERTICAL BATTEN SCREEN |
| SB2 | COLORBOND |



113B Lefroy Road,
Beaconsfield WA 6162

TITLE
3D RENDERS

SCALE
@A2

DATE
08/06/2026

ISSUE
FOR DEVELOPMENT APPROVAL

REV. A

NOT FOR
CONSTRUCTION

The copyright of these drawings and all parts thereof remain the property of New Resident Pty Ltd. Registered Architect in Western Australia, registration number 2790. Contractor to verify all dimensions, levels and details on site prior to commencement of any work. All construction work to be in accordance with the building code of Australia, approved documents and relevant Australian Standards.



VIEW 01_ENTRY
Northern elevation, looking south at etny area

CITY OF FREMANTLE
These Plans Form Part of

DA0240/26

22 June 2026



VIEW 02_ MAIN LIVING AREA
View looking south across outdoor living area, indoor living space and outdoor dining beyond.



113B Lefroy Road,
Beaconsfield WA 6162

TITLE
3D RENDERS

SCALE
@A2

DATE
08/06/2026

ISSUE
FOR DEVELOPMENT APPROVAL

REV. A

NOT FOR
CONSTRUCTION

The copyright of these drawings and all parts thereof remain the property of New Resident Pty Ltd. Registered Architect in Western Australia, registration number 2790. Contractor to verify all dimensions, levels and details on site prior to commencement of any work. All construction work to be in accordance with the building code of Australia, approved documents and relevant Australian Standards.



VIEW 03_ KITCHEN LIVING AND DINING
View looking south-east at the kitchen, living and dining area of the dwelling and connection to outdoor living areas and garden.

CITY OF FREMANTLE
These Plans Form Part of

DA0240/26

22 June 2026



113B Lefroy Road,
Beaconsfield WA 6162

TITLE 3D RENDERS		DATE 08/06/2026
SCALE @A2		
ISSUE FOR DEVELOPMENT APPROVAL		
REV.	A	

NOT FOR
CONSTRUCTION

The copyright of these drawings and all parts thereof remain the property of New Resident Pty Ltd. Registered Architect in Western Australia, registration number 2790. Contractor to verify all dimensions, levels and details on site prior to commencement of any work. All construction work to be in accordance with the building code of Australia, approved documents and relevant Australian Standards.



VIEW 04_ KITCHEN
View looking south across the kitchen space through to garden area.

CITY OF FREMANTLE
These Plans Form Part of

DA0240/26

22 June 2026