

126 WATKINS STREET,
WHITE GUM VALLEY



ILLUSTRATION ONLY

CITY OF FREMANTLE
These Plans Form Part of
DA0256/26
1 Jul 2026

PROPOSED GREEN TITLE
SUBDIVISION

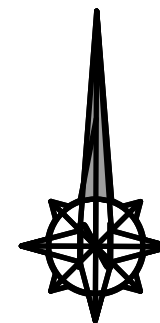
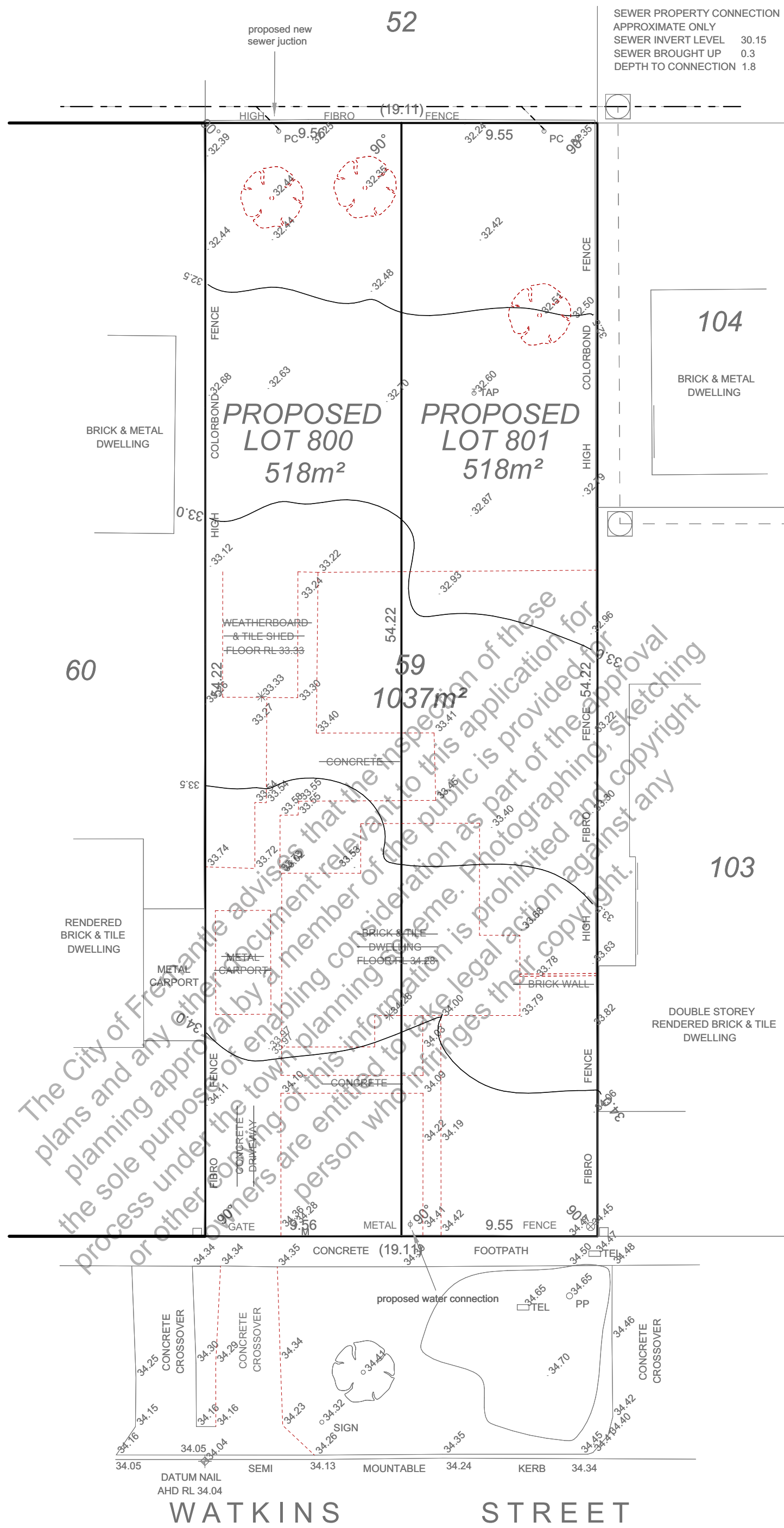
ALL EXISTING STRUCTURES &
VEGETATION TO BE REMOVED
SHOWN DASHED

NOTE: THIS CONTOUR AND FEATURE SURVEY HAS BEEN PREPARED FOR THE PURPOSE OF APPLICATION TO THE WAPC. ALL BUILDINGS AND STRUCTURES TO BE REMOVED

SERVICE LEGEND				
DRAINAGE				
COMBO PIT				
GRATE				
SIDE ENTRY PIT				
STORM WATER MANHOLE				
ELECTRICITY				
CABLE DOME				
CABLE MANHOLE				
CABLE PIT				
CONSUMER POLE				
LIGHT POLE				
POWER POLE				
STAY POLE				
STAY WIRE ANCHOR				
O/H POWER LINE				
GAS				
GAS MANHOLE				
GAS MARKER				
GAS METER				
GAS VALVE				
SEWERAGE				
SEWER MANHOLE				
PROPERTY CONNECTION				
SEWER LINE				
TELECOMMUNICATION				
TEL / COMMS MANHOLE				
TEL / COMMS MARKER				
TEL / COMMS PIT				
WATER				
FLUSH POINT				
HYDRANT				
STOP VALVE				
TAP				
WATER MARKER				
WATER METER				
WATER LINE				
SURVEY				
DATUM				
PEG FOUND				
OTHER				
AWNING / EAVES				
ROOF RIDGE				
FLOOR RL				
WINDOW / DOOR				
BANK - BOTTOM				
BANK - TOP				
SERVICE RECORD				
STATUS	LOCATED	AVAILABLE	NO SERVICE	CONFIRM
SERVICE				
WATER				
SEWERAGE				
GAS				
TEL / COMM				
POWER				
U/G O/H				
SERVICES MARKED CONFIRM REQUIRE BUILDER / CLIENT TO CONFIRM POSITION AND / OR AVAILABILITY ON SITE.				

NOTE:
APPROXIMATE AHD LEVEL DERIVED
FROM SEWERAGE MANHOLE 2453

WARNING!
BOUNDARY RE-ESTABLISHMENT SURVEY
REQUIRED TO CONFIRM LOT BOUNDARY
POSITION AND DIMENSIONS.



CITY OF FREMANTLE
These Plans Form Part of

DA0256/26

1 Jul 2026

CLIENT :		SURVEYED ON : 11 / 03 / 2026			
ADDRESS : LOT 59 (126) WATKINS STREET		SURVEYOR : WJM			
SUBURB : WHITE GUM VALLEY		AUTHORITY : CITY OF FREMANTLE			
		DRAFTER : WJM			
BUILDERS / CLIENTS: SITE SURVEY only. The information shown on this plan is current as at the date of survey. Boundary information, easements etc. to be verified from the Certificate of Title, Plan / Diagram or a Boundary Repeg. Boundary position approximate only. Location of boundary pegs or fences in relation to the boundary lines are not guaranteed. Sewer / Drainage may vary from schematic presentation, clearances to be checked on site. Services information to be confirmed with relevant AUTHORITIES. For underground services - ring "DIAL BEFORE YOU DIG" for confirmation of those services.		LEGAL PLAN : P 6351			
		CERT. / TITLE : 1150 / 460			
SCALE : 1:250 @ A3 Portrait				DRAWING # : PLS26112	
				SHEET 1 OF 1	
				REV. A	

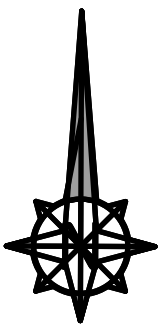
EXISTING SITE / DEMOLITION PLAN
1:200

PROPOSED	126 WATKINS STREET, WHITE GUM VALLEY		DRAWING	EXISTING SITE / DEMOLITION PLAN		A2	REV	DATE	SHEET	DESCRIPTION	DR	CH	REV	DATE	SHEET	DESCRIPTION	DR	CH	REV	DATE	SHEET	DESCRIPTION	DR	CH	REV	DATE	SHEET	DESCRIPTION	DR	CH
			0	16/06/26	ALL	ISSUED FOR DEVELOPMENT APPROVAL	CW																							
CLIENT			JOB NO:	THO146	SCALE	1:200																								
			DWG NO:	THO146.1	REV NO:	0																								
PERMIT AUTHORITY	FREMANTLE		COPY THIS DESIGN DRAWING AND SEND TO THE PROPERTY OF THE WHITE DESIGN AND RITE CONSULTANTS IN A FORMAL TYPE WITH A COVER LETTER						DISCLAIMER: PLEASE NOTE THAT WHILE DUE CARE WAS TAKEN IN PREPARING THIS SET OF PLANS AND ELEVATIONS, ANY CONSTRUCTION WORK, ALTERATIONS OR RENOVATION SHOULD BE RE-CHECKED BEFORE COMMENCING ANY WORK TO ENSURE ACCURACY. DISCREPANCIES SHOULD BE RESOLVED IMMEDIATELY.																					

NOTE: THIS CONTOUR AND FEATURE SURVEY HAS BEEN PREPARED FOR THE PURPOSE OF APPLICATION TO THE WAPC. ALL BUILDINGS AND STRUCTURES TO BE REMOVED

NOTE:
APPROXIMATE AHD LEVEL DERIVED
FROM SEWERAGE MANHOLE 2453

CLIENT :	
ADDRESS : LOT 59 (126) WATKINS STREET	
SUBURB : WHITE GUM VALLEY	AUTHORITY : CITY OF FREMANTLE
BUILDERS / CLIENTS: SITE SURVEY only. The information shown on this plan is current as at the date of survey. Boundary information, easements etc. to be verified from the Certificate of Title, Plan / Diagram or a Boundary Repeg. Boundary position approximate only. Location of boundary pegs or fences in relation to the boundary lines are not guaranteed. Sewer / Drainage may vary from schematic presentation, clearances to be checked on site. Services information to be confirmed with relevant AUTHORITIES. For underground services - ring "DIAL BEFORE YOU DIG" for confirmation of those services.	
SCALE : 1:250 @ A3 Portrait	



CITY OF FREMANTLE
These Plans Form Part of

DA0256/26

1 Jul 2026

<u>SITE COVERAGE</u>	
ZONED	R25
% ALLOWED	50%
SITE AREA	518.35m ²
SITE COV. AREA	230.00m ²
<u>SITE COVER =44.4%</u>	

CLIENT :		SURVEYED ON : 11 / 03 / 2026					
ADDRESS : LOT 59 (126) WATKINS STREET		SURVEYOR : WJM					
SUBURB : WHITE GUM VALLEY	AUTHORITY : CITY OF FREMANTLE	DRAFTER : WJM					
BUILDERS / CLIENTS: SITE SURVEY only. The information shown on this plan is current as at the date of survey. Boundary information, easements etc. to be verified from the Certificate of Title, Plan / Diagram or a Boundary Repeg. Boundary position approximate only. Location of boundary pegs or fences in relation to the boundary lines are not guaranteed. Sewer / Drainage may vary from schematic presentation, clearances to be checked on site. Services information to be confirmed with relevant AUTHORITIES. For underground services - ring "DIAL BEFORE YOU DIG" for confirmation of those services.		LEGAL PLAN : P 6351					
		CERT. / TITLE : 1150 / 460					
SCALE : 1:250 @ A3 Portrait				DRAWING # : PLS26112		SHEET 1 OF 1	REV. A

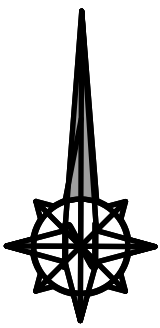
SITE PLAN (COMBINED)
1:200

PROPOSED	126 WATKINS STREET, WHITE GUM VALLEY		DRAWING	SITE PLAN (COMBINED)		A2	REV	DATE	SHEET	DESCRIPTION	DR	CH	REV	DATE	SHEET	DESCRIPTION	DR	CH	REV	DATE	SHEET	DESCRIPTION	DR	CH	REV	DATE	SHEET	DESCRIPTION	DR	CH	
			0	16/06/26	ALL	ISSUED FOR DEVELOPMENT APPROVAL	CW																								
CLIENT			JOB NO:	TH0146	SCALE	1:200																									
			DWG NO:	TH0146.2	REV NO:	0																									
PERMIT AUTHORITY	FREMANTLE		COPYRIGHT: This design & drawing is the sole property of The Weber Design and shall not be copied or duplicated in any form without express written consent of The Weber Design.																									DISCLAIMER: PLEASE NOTE THAT WHILE DUE CARE WAS TAKEN IN PREPARING THIS SET OF PLANS AND ELEVATIONS, ANY CONSTRUCTION WORK, ALTERATIONS OR RENOVATIONS SHOULD BE RE-CHECKED BEFORE COMMENCING ANY WORK TO ENSURE ACCURACY. DISCREPANCIES SHOULD BE RESOLVED IMMEDIATELY.			

NOTE: THIS CONTOUR AND FEATURE SURVEY HAS BEEN PREPARED FOR THE PURPOSE OF APPLICATION TO THE WAPC. ALL BUILDINGS AND STRUCTURES TO BE REMOVED

NOTE:
APPROXIMATE AHD LEVEL DERIVED
FROM SEWERAGE MANHOLE 2453

CLIENT :	
ADDRESS : LOT 59 (126) WATKINS STREET	
SUBURB : WHITE GUM VALLEY	AUTHORITY : CITY OF FREMANTLE
BUILDERS / CLIENTS: SITE SURVEY only. The information shown on this plan is current as at the date of survey. Boundary information, easements etc. to be verified from the Certificate of Title, Plan / Diagram or a Boundary Repeg. Boundary position approximate only. Location of boundary pegs or fences in relation to the boundary lines are not guaranteed. Sewer / Drainage may vary from schematic presentation, clearances to be checked on site. Services information to be confirmed with relevant AUTHORITIES. For underground services - ring "DIAL BEFORE YOU DIG" for confirmation of those services.	
SCALE : 1:250 @ A3 Portrait	



<u>SITE COVERAGE</u>	
ZONED	R25
% ALLOWED	50%
SITE AREA	518.35m ²
SITE COV. AREA	230.00m ²
<u>SITE COVER =44.4%</u>	

CLIENT :		SURVEYED ON : 11 / 03 / 2026					
ADDRESS : LOT 59 (126) WATKINS STREET		SURVEYOR : WJM					
SUBURB : WHITE GUM VALLEY	AUTHORITY : CITY OF FREMANTLE	DRAFTER : WJM					
BUILDERS / CLIENTS: SITE SURVEY only. The information shown on this plan is current as at the date of survey. Boundary information, easements etc. to be verified from the Certificate of Title, Plan / Diagram or a Boundary Repeg. Boundary position approximate only. Location of boundary pegs or fences in relation to the boundary lines are not guaranteed. Sewer / Drainage may vary from schematic presentation, clearances to be checked on site. Services information to be confirmed with relevant AUTHORITIES. For underground services - ring "DIAL BEFORE YOU DIG" for confirmation of those services.		LEGAL PLAN : P 6351					
		CERT. / TITLE : 1150 / 460					
SCALE : 1:250 @ A3 Portrait				DRAWING # : PLS26112		SHEET 1 OF 1	REV. A

PROPOSED	126 WATKINS STREET, WHITE GUM VALLEY		DRAWING	SITE PLAN		A2	REV	DATE	SHEET	DESCRIPTION	DR	CH	REV	DATE	SHEET	DESCRIPTION	DR	CH	REV	DATE	SHEET	DESCRIPTION	DR	CH	REV	DATE	SHEET	DESCRIPTION	DR	CH	
						0	16/06/26	ALL	ISSUED FOR DEVELOPMENT APPROVAL																						
			JOB NO:	TH0146	SCALE	1:200																									
CLIENT			DWG NO:	TH0146.3	REV NO:	0																									
PERMIT AUTHORITY	FREMANTLE		COPYRIGHT: This design drawing remains the sole property of the Webber Design and is not to be copied or included in any format without express written consent of the Webber Design.																												
DISCLAIMER: PLEASE NOTE THAT WHILE DUE CARE WAS TAKEN IN PREPARING THIS SET OF PLANS AND ELEVATIONS, ANY CONSTRUCTION WORK, ALTERATIONS OR RENOVATIONS SHOULD BE RE-CHECKED BEFORE COMMENCING ANY WORK TO ENSURE ACCURACY. DISCREPANCIES SHOULD BE RESOLVED IMMEDIATELY.																															

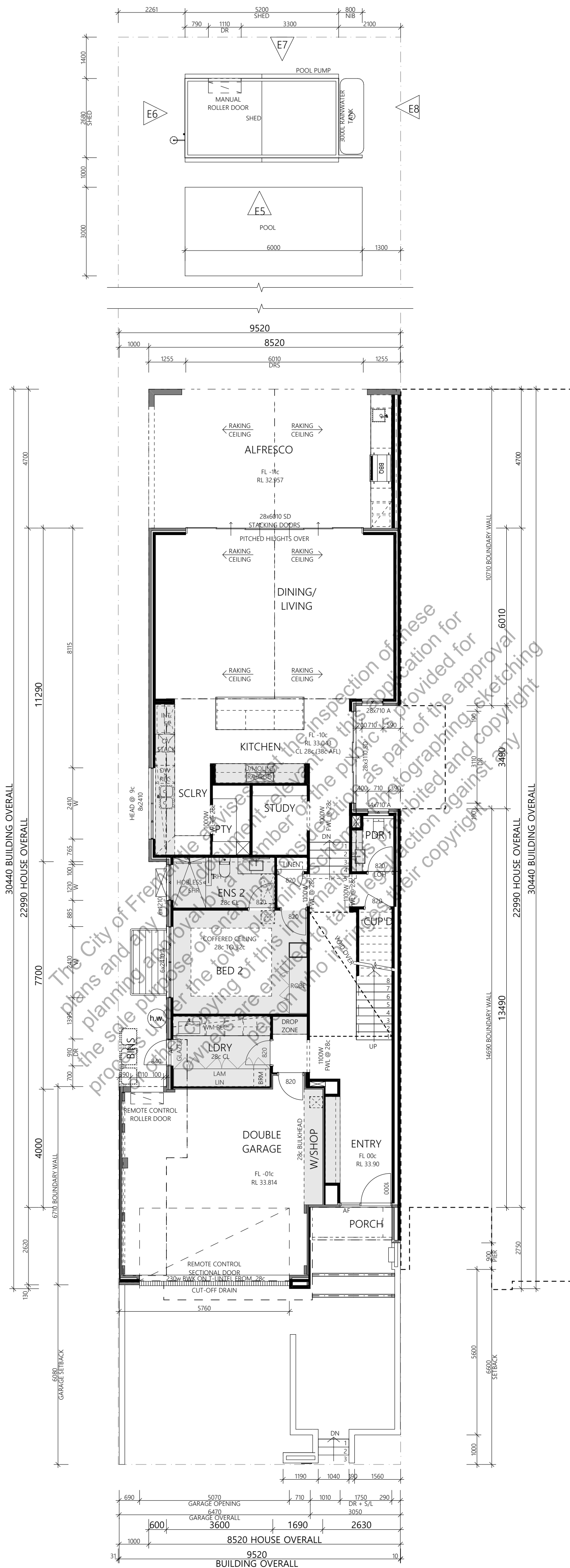
CITY OF FREMANTLE
These Plans Form Part of

DA0256/26

1 Jul 2026



GROUND FLOOR PLAN
1:100



DESIGN NOTES

THE FOLLOWING APPLY UNLESS NOTED OTHERWISE ON THE PLANS.

- IN-SITU SUSPENDED CONCRETE SLAB (FIRST FLOOR)
- CEILING HEIGHTS (AFL):
GF 32c U.O.N.
FF 2657mm U.O.N.
- EXTENT OF RENDERED BRICKWORK SHOWN SHADED

- WINDOW HEAD HEIGHTS (AFL):
GF 28c U.O.N.
FF 2400mm U.O.N.
- INTERNAL DOOR HEIGHTS (AFL):
GF 2340mm U.O.N.
FF 2340mm U.O.N.
- LOCATION OF A/C DUCTS & PENETRATIONS SUBJECT TO INSTALLERS DESIGN

GENERAL NOTES:

- FINAL HOUSE POSITION IS SUBJECT TO COUNCIL AND / OR DEVELOPER APPROVAL
- FINAL DESIGN IS SUBJECT TO COMPLIANCE WITH BCA ENERGY EFFICIENCY REQUIREMENTS
- SMOKE ALARM DEVICE/S SHALL BE INSTALLED TO: COMPLY WITH AS3786-2014 SMOKE ALARMS USING SCATTERED LIGHT, TRANSMITTED LIGHT OR IONISATION - INTER-CONNECTED AND CONNECTED (HARDWIRED) TO THE CONSUMER MAINS AND HAVE A STAND-BY POWER SUPPLY
- LOCATION OF THE SMOKE ALARM DEVICE/S SHALL BE SHOWN ON THE PLAN
- ALL EXHAUST FLUMES / VENTS TO BE EXHAUSTED TO THE EXTERNAL AIR
- REFER TO STRUCTURAL ENGINEERS DRAWINGS FOR STRUCTURAL DETAILS & LAYOUT
- FINAL LOCATION OF BEAMS / COLUMNS / ROOF MEMBERS. REFER TO ENG. DRWS.
- ALL FIRST FLOOR BEDROOM WINDOWS TO HAVE 125mm RESTRICTED OPENINGS AS PER ABCB HOUSING PROVISIONS STANDARD 2022 PART 11.3.7
- SC - DENOTES STRUCTURAL COLUMN
- DP - DENOTES SHS DROPPER/ SHS REFER ENGINEER'S DETAILS

AREAS		
	AREA (m ²)	PERIM (m)
GROUND FLOOR		
FLOOR AREA	161.96	66.96
GARAGE	44.33	
ALFRESCO	40.04	
PORCH	3.68	
TOTAL GF AREA:	250.01 m ²	
FIRST FLOOR		
FLOOR AREA	137.01	56.72
TOTAL FF AREA:	137.01 m ²	
TOTAL OVERALL:	387.02 m ²	

ROOF AREAS		
	AREA (m ²)	PERIM (m)
GF ROOF	124.37	42.19
FF ROOF	136.43	49.77
TOTAL	260.80 m ²	91.96 m

DISCLAIMER:
PLEASE NOTE THAT WHILE DUE CARE WAS TAKEN IN PREPARING THIS SET OF PLANS AND ELEVATIONS, ANY CONSTRUCTION WORK, ALTERATIONS OR RENOVATIONS SHOULD BE RE-CHECKED BEFORE COMMENCING ANY WORK TO ENSURE ACCURACY.
DISCREPANCIES SHOULD BE RESOLVED IMMEDIATELY.

CITY OF FREMANTLE
These Plans Form Part of

DA0256/26

1 Jul 2026



FIRST FLOOR PLAN

1:100

PROPOSED	126 WATKINS STREET, WHITE GUM VALLEY	DRAWING	FIRST FLOOR PLAN		A2	REV	DATE	SHEET	DESCRIPTION	DR	CH	REV	DATE	SHEET	DESCRIPTION	DR	CH	REV	DATE	SHEET	DESCRIPTION	DR	CH	REV	DATE	SHEET	DESCRIPTION	DR	CH
					0	16/06/26	ALL	ISSUED FOR DEVELOPMENT APPROVAL	CW																				
CLIENT	FREMANTLE	JOB NO:	TH0146	SCALE	1:100																								
		DWG NO:	TH0146.5	REV NO:	0																								
PERMIT AUTHORITY		COVER THIS DESIGN DRAWING WITH THE PROPERTY OF THE VENDOR AND NOT BE REPRODUCED IN ANY MANNER WITHOUT THE WRITTEN CONSENT OF THE VENDOR DISCLAIMER: PLEASE NOTE THAT WHILE DUE CARE WAS TAKEN IN PREPARING THIS SET OF PLANS AND ELEVATIONS, ANY CONSTRUCTION WORK, ALTERATIONS OR RENOVATIONS SHOULD BE RE-CHECKED BEFORE COMMENCING ANY WORK TO ENSURE ACCURACY. DISCREPANCIES SHOULD BE RESOLVED IMMEDIATELY.																											

DESIGN NOTES
THE FOLLOWING APPLY UNLESS
NOTED OTHERWISE ON THE PLANS.

- IN-SITU SUSPENDED CONCRETE SLAB (FIRST FLOOR)
- CEILING HEIGHTS (AFL):
GF 32c U.O.N.
FF 2657mm U.O.N.
- EXTENT OF RENDERED BRICKWORK SHOWN SHADED

- WINDOW HEAD HEIGHTS (AFL):
GF 28c U.O.N.
FF 2400mm U.O.N.
- INTERNAL DOOR HEIGHTS (AFL):
GF 2340mm U.O.N.
FF 2340mm U.O.N.
- LOCATION OF A/C DUCTS & PENETRATIONS SUBJECT TO INSTALLERS DESIGN

GENERAL NOTES:

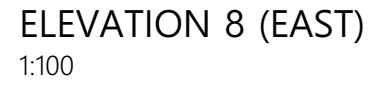
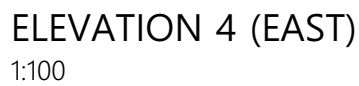
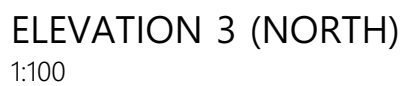
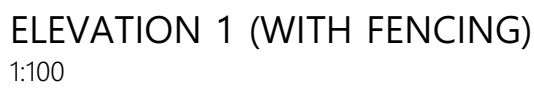
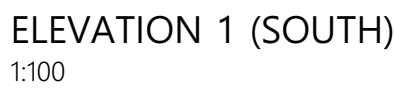
- FINAL HOUSE POSITION IS SUBJECT TO COUNCIL AND / OR DEVELOPER APPROVAL
- FINAL DESIGN IS SUBJECT TO COMPLIANCE WITH BCA ENERGY EFFICIENCY REQUIREMENTS
- SMOKE ALARM DEVICES SHALL BE INSTALLED TO: COMPLY WITH AS3786-2014/MSO4 SMOKE ALARMS USING SCATTERED LIGHT, TRANSMITTED LIGHT OR IONISATION - INTER-CONNECTED AND CONNECTED (HARDWIRED) TO THE CONSUMER MAINS AND HAVE A STANDARD LOCATION OF THE SMOKE ALARM DEVICE/S SHALL BE SHOWN ON THE PLAN
- ALL EXHAUST FLUMES / VENTS TO BE EXHAUSTED TO THE EXTERNAL AIR
- REFER TO STRUCTURAL ENGINEERS DRAWINGS FOR STRUCTURAL DETAILS & LAYERS
- FINAL LOCATION OF BEAMS / COLUMNS / ROOF MEMBERS. REFER TO ENG. DWM'S
- ALL FIRST FLOOR BEDROOM WINDOWS HAVE 125mm RESTRICTED OPENINGS AS PER ABCB HOUSING PROVISIONS
- STANDARD 2022 PART 11.3.7
- SC - DENOTES STRUCTURAL COLUMN
- SD - DENOTES SHS DROPPER/ SHS REFER ENGINEER'S DETAILS

<u>AREAS</u>		
	AREA (m ²)	PERIM (m)
GROUND FLOOR		
FLOOR AREA	161.96	66.96
GARAGE	44.33	
ALFRESCO	40.04	
PORCH	3.68	
TOTAL GF AREA:	250.01 m ²	
FIRST FLOOR AREA	137.01	56.72
TOTAL FF AREA:	137.01 m ²	
TOTAL OVERALL:	387.02 m ²	
<u>ROOF AREAS</u>		
	AREA (m ²)	PERIM (m)
GF ROOF	124.37	42.19
FF ROOF	136.43	49.77
	260.80 m ²	91.96 m

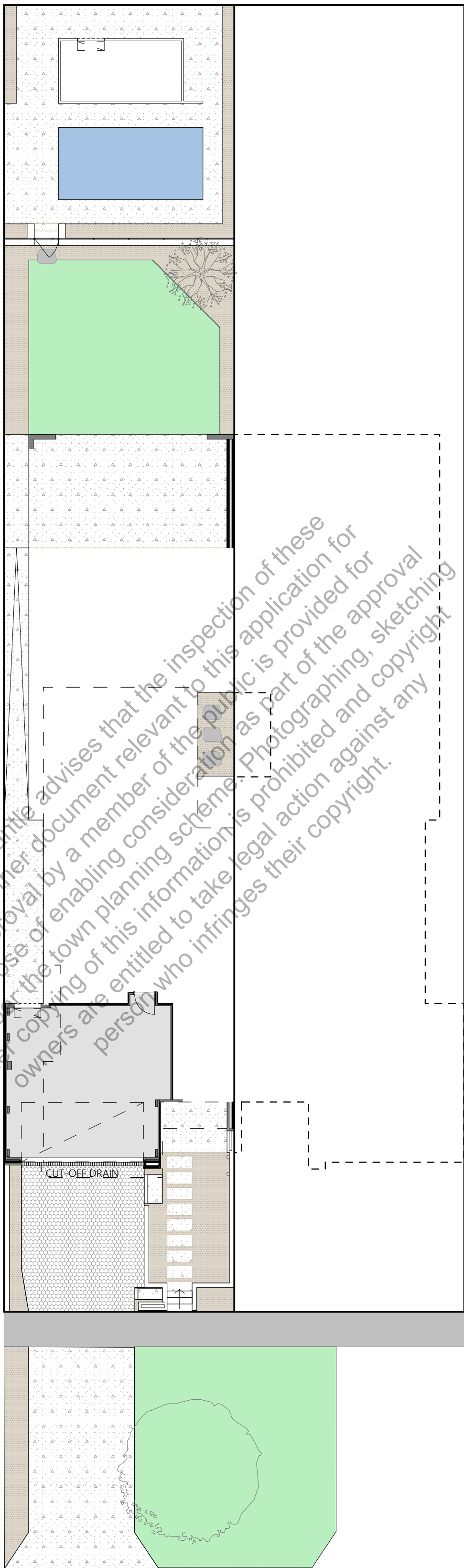
- ROOF COVER : COLORBOND
- ROOF PROFILE: CUSTOM ORB
- ROOF PITCH: 30° PITCH
- EXTERNAL COLOURS SHOWN FOR ILLUSTRATION PURPOSES ONLY
- EXTERNAL DOORS AS PER SPEC
- ALL FIRST FLOOR BEDROOM WINDOWS TO HAVE 125mm RESTRICTED OPENINGS AS PER ABCB HOUSING PROVISIONS STANDARD 2022 PART 11.3.7

EXTERNAL WALL LEGEND

	2c FACE BRICK (1/3 BOND)
	RENDER TONE 1
	RENDER TONE 2
	HARDIES FINE TEXTURE CLADDING OR SIMILAR
	1c FACE BRICK (1/2 BOND)
	HARDIES AXON 133 CLADDING



PROPOSED	126 WATKINS STREET, WHITE GUM VALLEY		DRAWING	ELEVATIONS		A2	REV 0	DATE 16/06/26	SHEET ALL	DESCRIPTION ISSUED FOR DEVELOPMENT APPROVAL	DR CW	CH	REV	DATE	SHEET	DESCRIPTION	DR	CH	REV	DATE	SHEET	DESCRIPTION	DR	CH	REV	DATE	SHEET	DESCRIPTION	DR	CH
CLIENT			JOB NO:	THO146	SCALE	1:100																								
PERMIT AUTHORITY	FREMANTLE		DWG NO:	THO146.6	REV NO:	0																								
			THIS DESIGN AND DRAWING IS THE PROPERTY OF THE WATER DESIGN GROUP AND IS NOT TO BE REPRODUCED OR COPIED IN ANY FORM OR BY ANY MEANS WITHOUT THE WRITTEN CONSENT OF THE WATER DESIGN GROUP.				DISCLAIMER: PLEASE NOTE THAT WHILE DUE CARE WAS TAKEN IN PREPARING THIS SET OF PLANS AND ELEVATIONS, ANY CONSTRUCTION WORK, ALTERATIONS OR RENOVATIONS SHOULD BE RE-CHECKED BEFORE COMMENCING ANY WORK TO ENSURE ACCURACY. DISCREPANCIES SHOULD BE RESOLVED IMMEDIATELY.																							



1 Jul 2026



PROPOSED	126 WATKINS STREET, WHITE GUM VALLEY		DRAWING	LANDSCAPING PLAN		A2	REV	DATE	SHEET	DESCRIPTION	DR	CH	REV	DATE	SHEET	DESCRIPTION	DR	CH	REV	DATE	SHEET	DESCRIPTION	DR	CH	REV	DATE	SHEET	DESCRIPTION	DR	CH
								0	16/06/26	ALL	ISSUED FOR DEVELOPMENT APPROVAL	CW																		
CLIENT			JOB NO:	THO146	SCALE	1:150																								
			DWG NO:	THO146.7	REV NO:	0																								
PERMIT AUTHORITY	FREMANTLE		CONFIDENTIAL - This design & drawing must be the property of The Water Design and it is not to be copied or distributed in any form without express written consent of The Water Design.																											

DISCLAIMER:
PLEASE NOTE THAT WHILE DUE CARE WAS TAKEN IN PREPARING THIS SET OF PLANS AND ELEVATIONS, ANY CONSTRUCTION WORK, ALTERATIONS OR RENOVATIONS SHOULD BE RE-CHECKED BEFORE COMMENCING ANY WORK TO ENSURE ACCURACY. DISCREPANCIES SHOULD BE RESOLVED IMMEDIATELY.

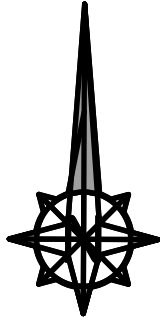
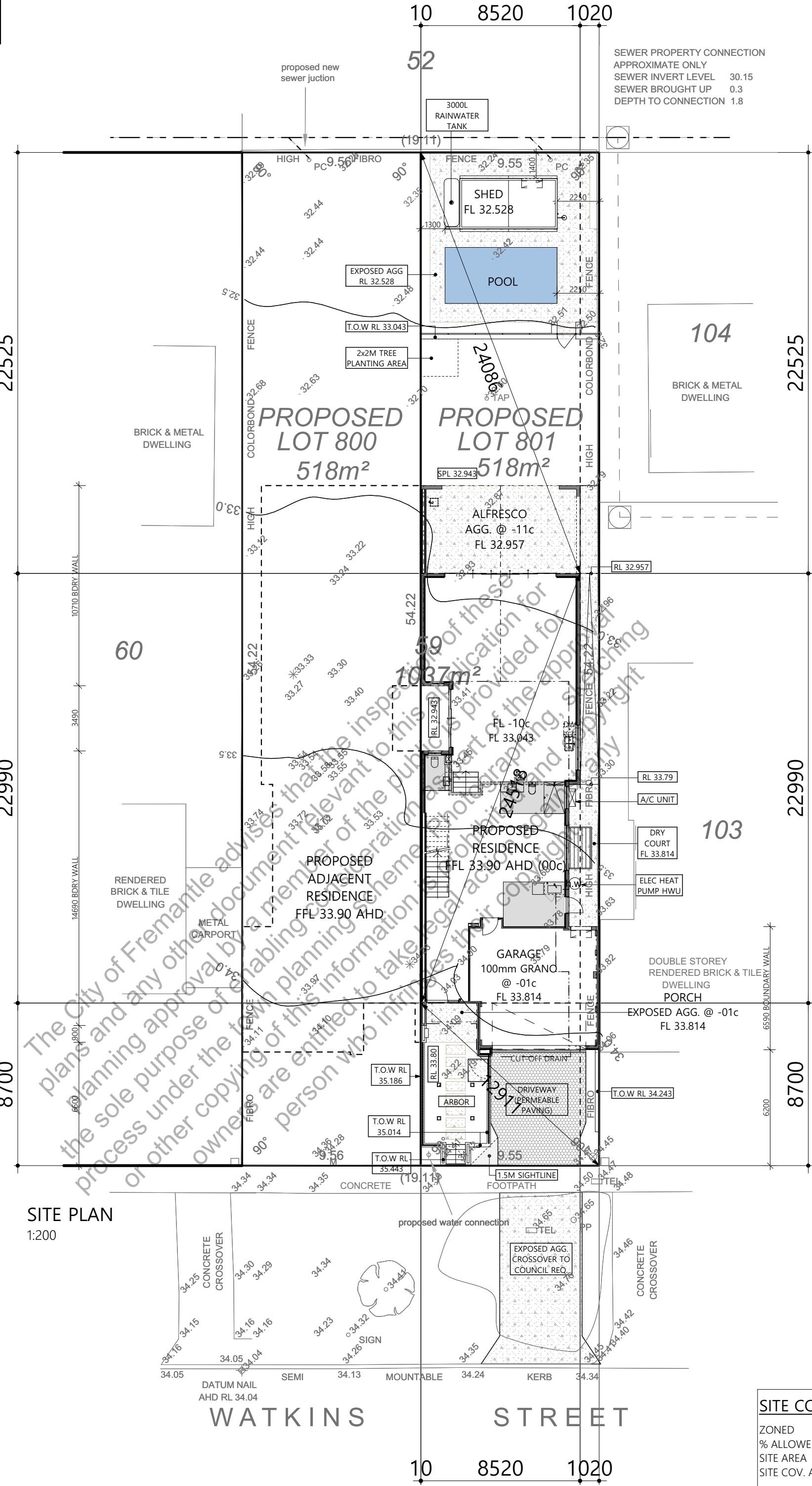
PROPOSED GREEN TITLE
SUBDIVISION

NOTE: THIS CONTOUR AND FEATURE
SURVEY HAS BEEN PREPARED FOR
THE PURPOSE OF APPLICATION TO
THE WAPC. ALL BUILDINGS AND
STRUCTURES TO BE REMOVED

SERVICE LEGEND				
DRAINAGE				
COMBO PIT				
GRATE				
SIDE ENTRY PIT				
STORM WATER MANHOLE				
ELECTRICITY				
CABLE DOME				
CABLE MANHOLE				
CABLE PIT				
CONSUMER POLE				
LIGHT POLE				
POWER POLE				
STAY POLE				
STAY WIRE ANCHOR				
O/H POWER LINE				
GAS				
GAS MANHOLE				
GAS MARKER				
GAS METER				
GAS VALVE				
SEWERAGE				
SEWER MANHOLE				
PROPERTY CONNECTION				
SEWER LINE				
TELECOMMUNICATION				
TEL / COMMS MANHOLE				
TEL / COMMS MARKER				
TEL / COMMS PIT				
WATER				
FLUSH POINT				
HYDRANT				
STOP VALVE				
TAP				
WATER MARKER				
WATER METER				
WATER LINE				
SURVEY				
DATUM				
PEG FOUND				
OTHER				
AWNING / EAVES				
ROOF RIDGE				
FLOOR RL				
WINDOW / DOOR				
BANK - BOTTOM				
BANK - TOP				
SERVICE RECORD				
SERVICE	STATUS			
	LOCATED	AVAILABLE	NO SERVICE	CONFIRM
WATER				
SEWERAGE				
GAS				
TEL / COMM				
POWER				
U/G				
O/H				
SERVICES MARKED CONFIRM REQUIRE BUILDER / CLIENT TO CONFIRM POSITION AND / OR AVAILABILITY ON SITE.				

NOTE:
APPROXIMATE AHD LEVEL DERIVED
FROM SEWERAGE MANHOLE 2453

WARNING!
BOUNDARY RE-ESTABLISHMENT SURVEY
REQUIRED TO CONFIRM LOT BOUNDARY
POSITION AND DIMENSIONS.



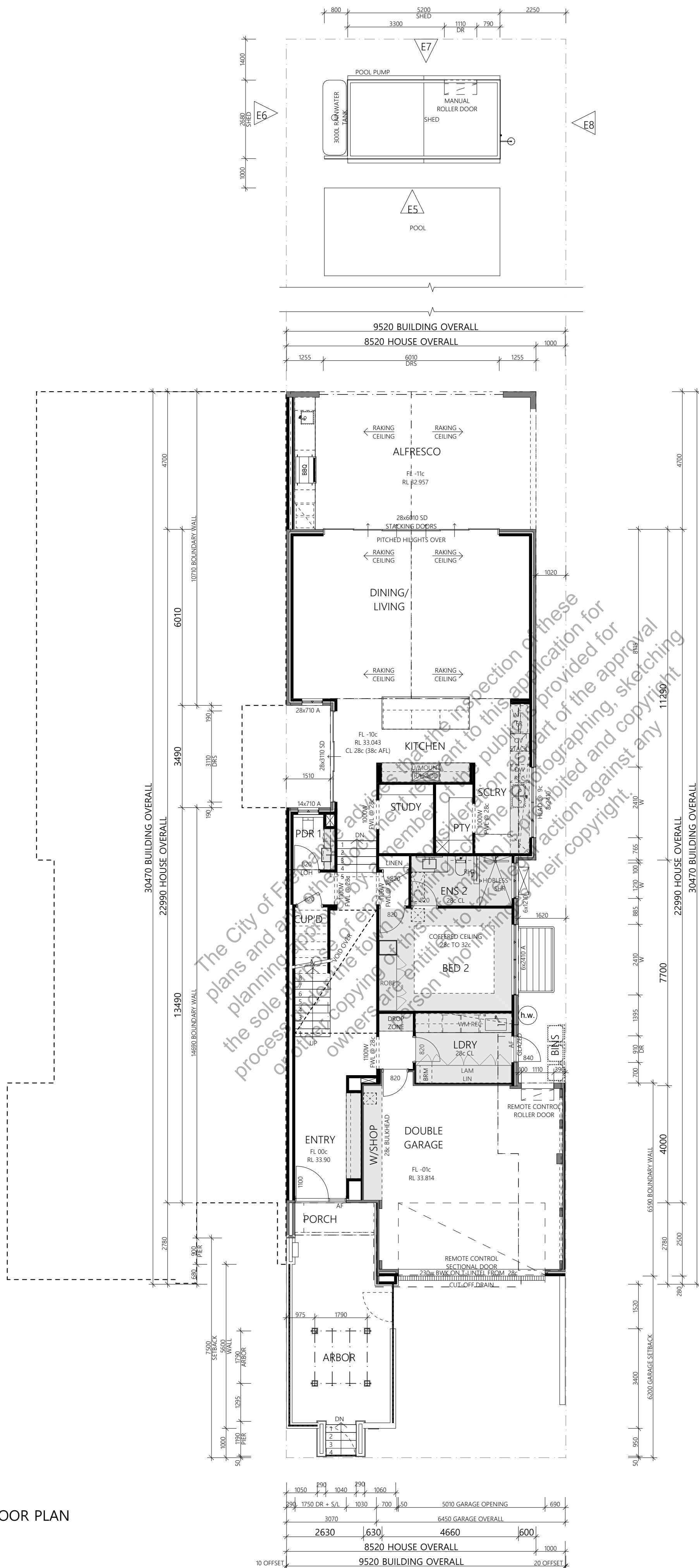
CITY OF FREMANTLE
These Plans Form Part of

DA0256/26

1 July 2026

CLIENT : BONI HOMES			SURVEYED ON : 11 / 03 / 2026		PO Box 3484, Success WA 6964 email: admin@perthlicensedsurveys.com.au phone: (08) 9437 6043
ADDRESS : LOT 59 (126) WATKINS STREET			SURVEYOR : WJM		
SUBURB : WHITE GUM VALLEY		AUTHORITY : CITY OF FREMANTLE	DRAFTER : WJM		
BUILDERS / CLIENTS: SITE SURVEY only. The information shown on this plan is current as at the date of survey. Boundary information, easements etc. to be verified from the Certificate of Title, Plan / Diagram or a Boundary Repeg. Boundary position approximate only. Location of boundary pegs or fences in relation to the boundary lines are not guaranteed. Sewer / Drainage may vary from schematic presentation, clearances to be checked on site. Services information to be confirmed with relevant AUTHORITIES. For underground services - ring "DIAL BEFORE YOU DIG" for confirmation of those services.			LEGAL PLAN : P 6351 CERT. / TITLE : 1150 / 460		
SCALE : 1:250 @ A3 Portrait			</		

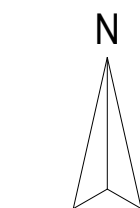
PROPOSED	126 WATKINS STREET, WHITE GUM VALLEY			DRAWING	SITE PLAN		A2	REV	DATE	SHEET	DESCRIPTION	DR	CH	REV	DATE	SHEET	DESCRIPTION	DR	CH	REV	DATE	SHEET	DESCRIPTION	DR	CH	REV	DATE	SHEET	DESCRIPTION	DR	CH			
				0	16/06/26	ALL	ISSUED FOR DEVELOPMENT APPROVAL																											
CLIENT				JOB NO:	THO146		SCALE	1:200																										
PERMIT AUTHORITY	FREMANTLE			DWG NO:	THO146.3		REV NO:	0																										
				COPYRIGHT: This design & drawing remains the sole property of Claire Webster Design and shall not be copied, sold or circulated in any format without express written consent from Claire Webster.																														
																					</													



CITY OF FREMANTLE
These Plans Form Part of

DA0256/26

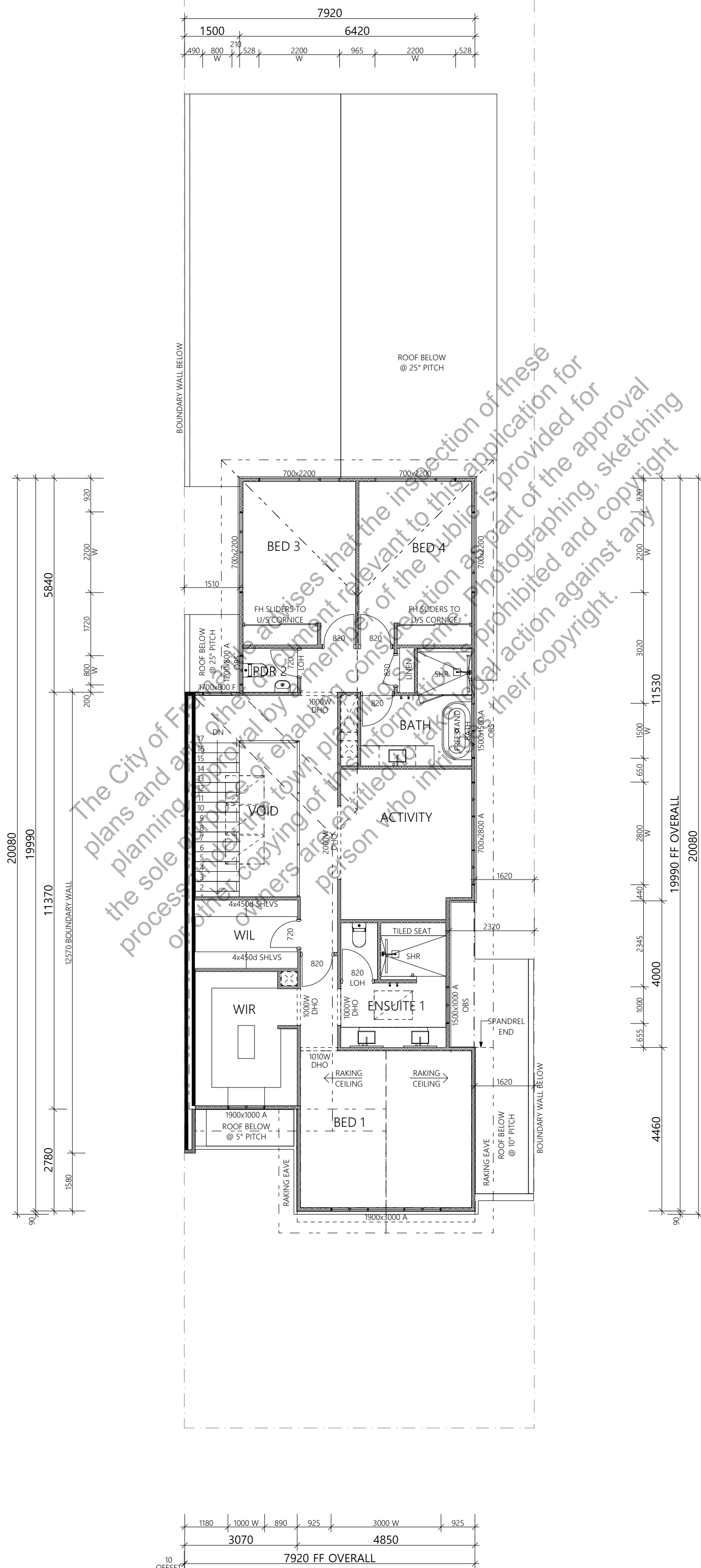
1 July 2026



GROUND FLOOR PLAN
1:100

PROPOSED	126 WATKINS STREET, WHITE GUM VALLEY	DRAWING	GROUND FLOOR PLAN		A2	REV	DATE	SHEET	DESCRIPTION	DR	CH	REV	DATE	SHEET	DESCRIPTION	DR	CH	REV	DATE	SHEET	DESCRIPTION	DR	CH	REV	DATE	SHEET	DESCRIPTION	DR	CH
						0	16/06/26	ALL	ISSUED FOR DEVELOPMENT APPROVAL	CW																			
CLIENT		JOB NO:	THO146		SCALE	1:100																							
		DWG NO:	THO146.4		REV NO:	0																							
PERMIT AUTHORITY	FREMANTLE	COPYRIGHT: This design & drawing remains the sole property of Claire Webster Design and shall not be copied, sold or circulated in any format without express written consent from Claire Webster.																											
		DISCLAIMER: PLEASE NOTE THAT WHILE DUE CARE WAS TAKEN IN PREPARING THIS SET OF PLANS AND ELEVATIONS, ANY CONSTRUCTION WORK, ALTERATIONS OR RENOVATIONS SHOULD BE RE-CHECKED BEFORE COMMENCING ANY WORK TO ENSURE ACCURACY. DISCREPANCIES SHOULD BE RESOLVED IMMEDIATELY.																											

CITY OF FREMANTLE
These Plans Form Part of
DA0256/26
1 July 2026



DESIGN NOTES

THE FOLLOWING APPLY UNLESS NOTED OTHERWISE ON THE PLANS.

- IN-SITU SUSPENDED CONCRETE SLAB (FIRST FLOOR)
- CEILING HEIGHTS (AFL):
GF 32c U.O.N.
FF 2657mm U.O.N.
- EXTENT OF RENDERED BRICKWORK SHOWN SHADED

- WINDOW HEAD HEIGHTS (AFL):
GF 28c U.O.N.
FF 2400mm U.O.N.
- INTERNAL DOOR HEIGHTS (AFL):
GF 2340mm U.O.N.
FF 2340mm U.O.N.
- LOCATION OF A/C DUCTS & PENETRATIONS SUBJECT TO INSTALLERS DESIGN

GENERAL NOTES:

- * FINAL HOUSE POSITION IS SUBJECT TO COUNCIL AND /OR DEVELOPER APPROVAL
- * FINAL DESIGN IS SUBJECT TO COMPLIANCE WITH BCA ENERGY EFFICIENCY REQUIREMENTS
- * SMOKE ALARM DEVICES SHALL BE INSTALLED TO: COMPLY WITH AS3586-2014SMOKE ALARMS USING AC SUPPLY, TRANSMITTED LIGHT OR IONISATION - INTER-CONNECTED AND CONNECTED (HARDWIRED) TO THE CONSUMER MAINS AND HAVE A STAND-BY POWER SUPPLY
- LOCATION OF THE SMOKE ALARM DEVICES SHALL BE SHOWN ON THE PLAN
- ALL EXHAUST FLUMES / VENTS TO BE EXPOSED TO THE EXTERNAL AIR
- * REFER TO STRUCTURAL ENGINEERS DRAWINGS FOR STRUCTURAL DETAILS & LAYOUT
- * FINAL LOCATION OF BEAMS / COLUMNS / ROOF MEMBERS, REFER TO ENG. DRAW'S
- * ALL FIRST FLOOR BEDROOM WINDOWS TO HAVE 125mm RESTRICTED OPENINGS AS PER ALUMINIUM WINDOW SCHEDULES STANDARD 2022 PART 11.3.7
- * SC - DENOTES STRUCTURAL COLUMN
- DP - DENOTES SHS DROPPERY / SHS
- REFER ENGINEER'S DETAILS

<u>AREAS</u>		
	AREA (m ²)	PERIM (m)
GROUND FLOOR		
FLOOR AREA	161.96	66.96
GARAGE	44.33	
ALFRESCO	40.04	
PORCH	3.68	
TOTAL GF AREA:	250.01 m ²	
FIRST FLOOR		
FLOOR AREA	138.23	57.22
TOTAL FF AREA:	138.23 m ²	
TOTAL OVERALL:	388.24 m ²	
<u>ROOF AREAS</u>		
	AREA (m ²)	PERIM (m)
GF ROOF	121.96	41.18
FF ROOF	163.37	52.78
	285.33 m ²	93.96 m

DISCLAIMER:
PLEASE NOTE THAT WHILE DUE CARE WAS TAKEN IN PREPARING THIS SET OF PLANS AND ELEVATIONS, ANY CONSTRUCTION WORK, ALTERATIONS OR RENOVATIONS SHOULD BE RE-CHECKED BEFORE COMMENCING ANY WORK TO ENSURE ACCURACY.
DISCREPANCIES SHOULD BE RESOLVED IMMEDIATELY.

NOTES

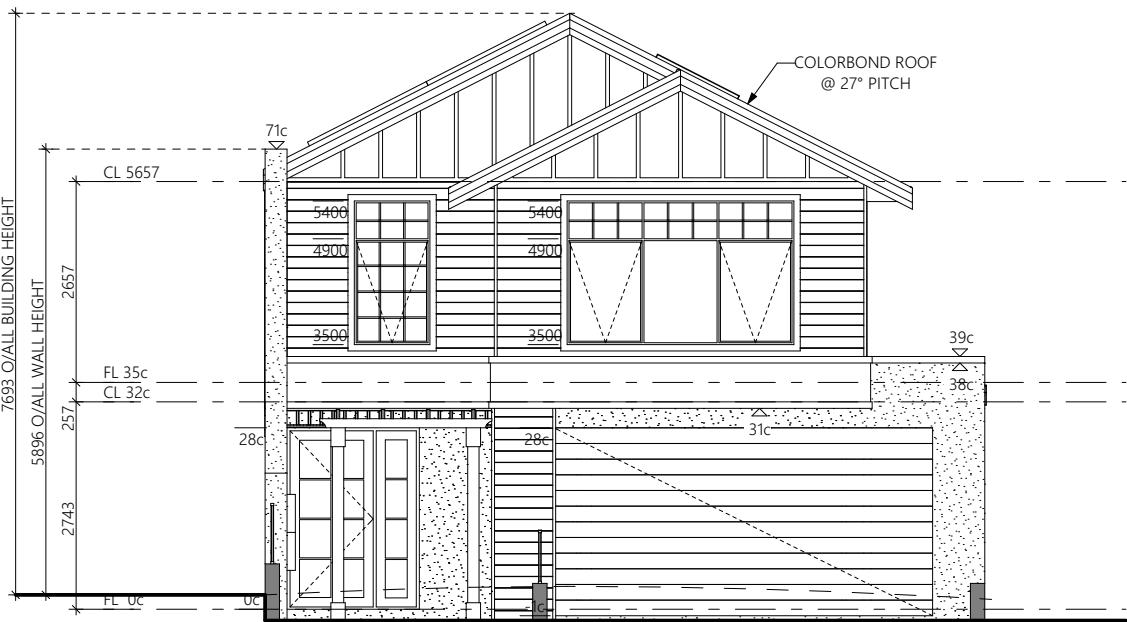
THE FOLLOWING APPLY UNLESS NOTED OTHERWISE ON THE PLANS.

- ROOF COVER : COLORBOND
- ROOF PROFILE: CUSTOM ORB
- ROOF PITCH: 27° PITCH

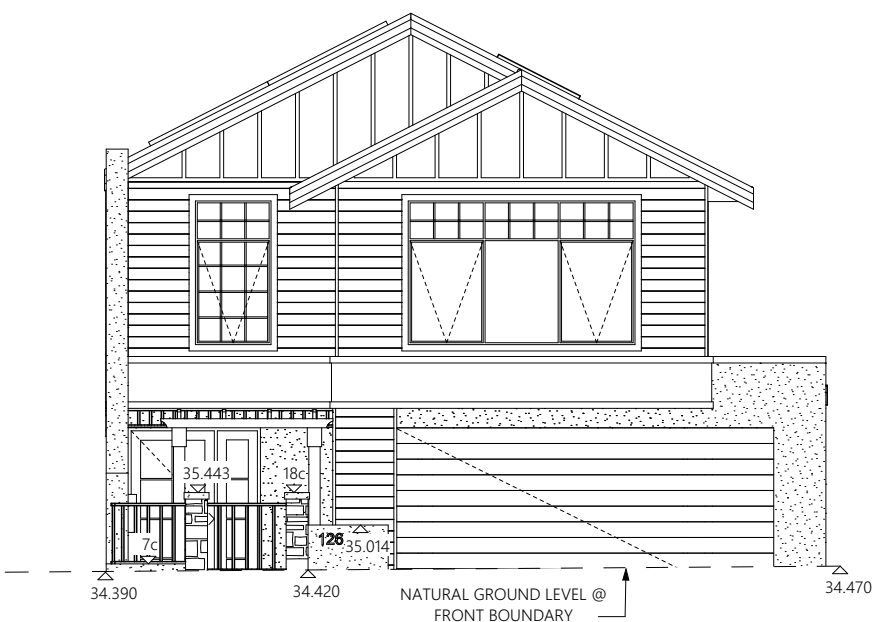
- EXTERNAL COLOURS SHOWN FOR ILLUSTRATION PURPOSES ONLY
- EXTERNAL DOORS AS PER SPEC
- ALL FIRST FLOOR BEDROOM WINDOWS TO HAVE 125mm RESTRICTED OPENINGS AS PER ABCB HOUSING PROVISIONS STANDARD 2022 PART 11.3.7

EXTERNAL WALL LEGEND

- 2c FACE BRICK (1/3 BOND)
- RENDER TONE 1
- HARDIES LINEA '180'
- WEATHERBOARDS
- HARDIES FINE TEXTURE CLADDING OR SIMILAR



ELEVATION 1 (SOUTH)
1:100



ELEVATION 1 (WITH FENCING)
1:100



