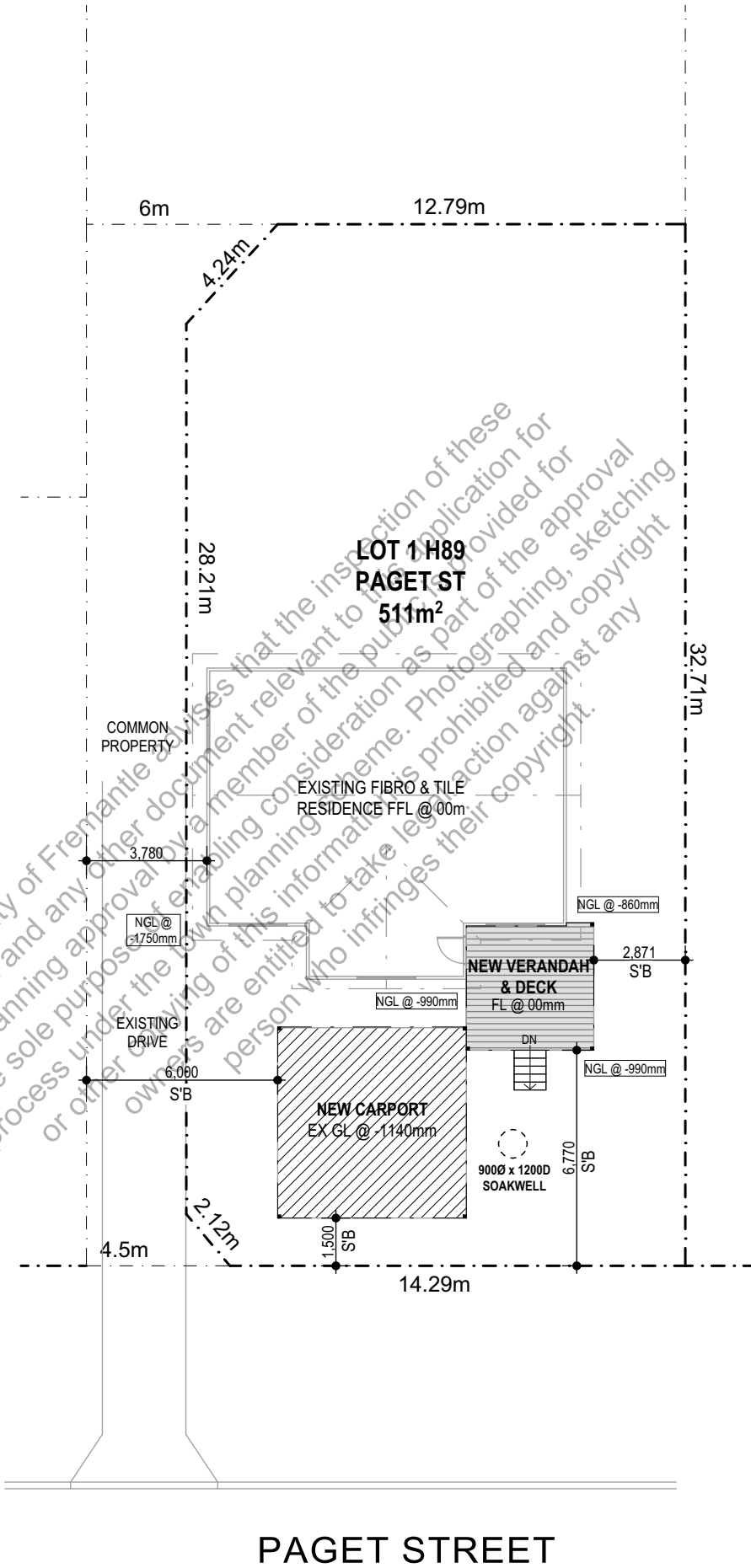


- GENERAL NOTES:
- CONFIRM ALL DIMENSIONS ON SITE PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
 - REFER TO ENGINEERS DRAWINGS FOR ALL STRUCTURAL REQUIREMENTS.
 - NOTIFY DESIGNER IF ANY DISCREPANCIES OCCUR.
 - HEAD CONTRACTOR TO ENSURE THAT ALL WORK COMPLIES WITH CURRENT AUSTRALIAN BUILDING CODES AND RELEVANT AUSTRALIAN STANDARDS.
 - NUMBER AND POSITION OF DOWNPIPES APPROX. ONLY AND TO BUILDERS DISCRETION.
- CONSTRUCTION NOTES:
- ALL BRICKWORK (INCLUDING BRICK VENEER) SHALL BE IN ACCORDANCE WITH AS3700-MASONRY CODE.
 - ALL TIMBER FRAMING SHALL BE IN ACCORDANCE WITH A.S.1684
 - UNLESS OTHERWISE APPROVED ROOF FRAMING SHALL BE TRADITIONAL TIMBER FRAMED CONSTRUCTION.
 - ELECTRICIAN TO SUPPLY AND INSTALL APPROVED HARD WIRED & INTERCONNECTED SMOKE ALARMS IN ACCORDANCE WITH A.S.3786
 - ELECTRICIAN TO SUPPLY AND INSTALL MECHANICAL VENTILATION TO REQUIRED WET AREA IN ACCORDANCE WITH A.S.1668.2 ALL VENTS TO BE DUCTED TO OUTSIDE.
 - ALL GAS FITTINGS AND OUTLETS TO BE IN ACCORDANCE WITH GAS STANDARD (GAS FITTINGS & CONSUMER GAS INSTALLATIONS) REGULATIONS 1999
 - ALL CABINETWORK TO FUTURE DETAIL (BY OWNER)
 - EXCEPT FOR SINGLE SKIN MASONRY OR SINGLE SKIN CONCRETE, WHERE A PLIABLE BUILDING MEMBRANE IS NOT INSTALLED IN AN EXTERNAL WALL, THE PRIMARY WATER CONTROL LAYER MUST BE SEPARATED FROM WATER SENSITIVE MATERIALS BY A DRAINED CAVITY. PLIABLE BUILDING MEMBRANE TO COMPLY WITH AS4200.1 INSTALLED TO AS4200.2 WITH A VAPOUR PERMEANCE OF NOT LESS THAN 0.143 UG/ N.S
 - ALL GLAZING SHALL BE CARRIED OUT IN ACCORDANCE WITH HPS PART 8.3 & AS20417 & AS 1288
 - WATERPROOFING OF WET AREAS SHALL BE IN ACCORDANCE WITH HPS PART 10.2 AND AS 3740
 - VAPOUR BARRIER MUST BE INSTALLED UNDER SLAB ON GROUND CONSTRUCTION IN ACCORDANCE W/ HPS 4.2.8 AND AS2870
 - WC'S SHALL BE CONSTRUCTED IN ACCORDANCE WITH HPS 10.4.2
 - CORROSION PROTECTION FOR STEEL MEMBERS SHALL BE IN ACCORDANCE WITH HPS 6.3.9
 - WALL TIES TO HPS 5.6.5, LINTELS TO HPS 5.6.7
 - DOWNPIPE LOCATIONS AND NUMBERS ARE INDICATIVE ONLY. ALL GUTTERS AND DOWNPIPES MUST BE MANUFACTURED AND INSTALLED TO HPS PART 7.4
 - ALL STORMWATER MUST BE CONTAINED ON SITE
 - TERMITE TREATMENT INCLUDING PHYSICAL BARRIER TO WALLS ON BOUNDARIES TO COMPLY W/ AS3660.1 WITH DURABLE NOTICE TO HPS 3.4.3
 - ROOF TILES TO AS2049 INSTALLED AS PER AS2050
 - DAMP PROOF COURSES AND FLASHING AS PER HPS 5.7.3 & AS/NZS 2904 INSTALLED IN ACCORDANCE W/ HPS 5.7.4
 - EXHAUST SYSTEMS TO COMPLY WITH HPS 10.8.2



CITY OF FREMANTLE
These Plans Form Part of

DA0283/26

24 July 2026

- NOTE:
- SOAKWELL LOCATIONS SHOWN AS A GUIDE ONLY & TO BE CONFIRMED BY CONTRACTOR ON SITE PRIOR TO CONSTRUCTION.
 - CONFIRM NUMBERS AND LOCATIONS OF DOWNPIPES AND RAIN WATER HEADS ON SITE.
 - STORMWATER TO BE DESIGNED & INSTALLED TO BCA & LG REQUIREMENTS.

SITE PLAN
SCALE 1:200



CHECK ALL DIMENSIONS ON SITE PRIOR TO COMMENCEMENT OF WORK
CHECK STRUCTURE WITH ENG./BUILDER BEFORE CONSTRUCTION
CHECK COMPLIANCE/APPROVAL OF WORKS WITH COUNCIL OR
REG. BODY BEFORE CONSTRUCTION

NEW CARPORT, DECK & VERANDAH
89 PAGET STREET, HILTON
SITE PLAN

COUNCIL DRAWING

REV AMENDMENT

JOB NUMBER 26169

DATE JUNE 26

(DRAWING on A3)

REDUCTION

DRAWING No.

A01

- GENERAL NOTES:
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 - EXHAUST SYSTEMS TO COMPLY WITH HPS 10.8.2

FLOOR AREAS:

	Area (m2)
VERANDAH	15.68
CARPORT	35.37
	51.05 m²



FLOOR PLAN

SCALE 1:100



PAGET STREET

CHECK ALL DIMENSIONS ON SITE PRIOR TO COMMENCEMENT OF WORK
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REG. BODY BEFORE CONSTRUCTION

NEW CARPORT, DECK & VERANDAH
89 PAGET STREET, HILTON
FLOOR PLAN

COUNCIL DRAWING

REV AMENDMENT

JOB NUMBER 26169

DATE JUNE 26

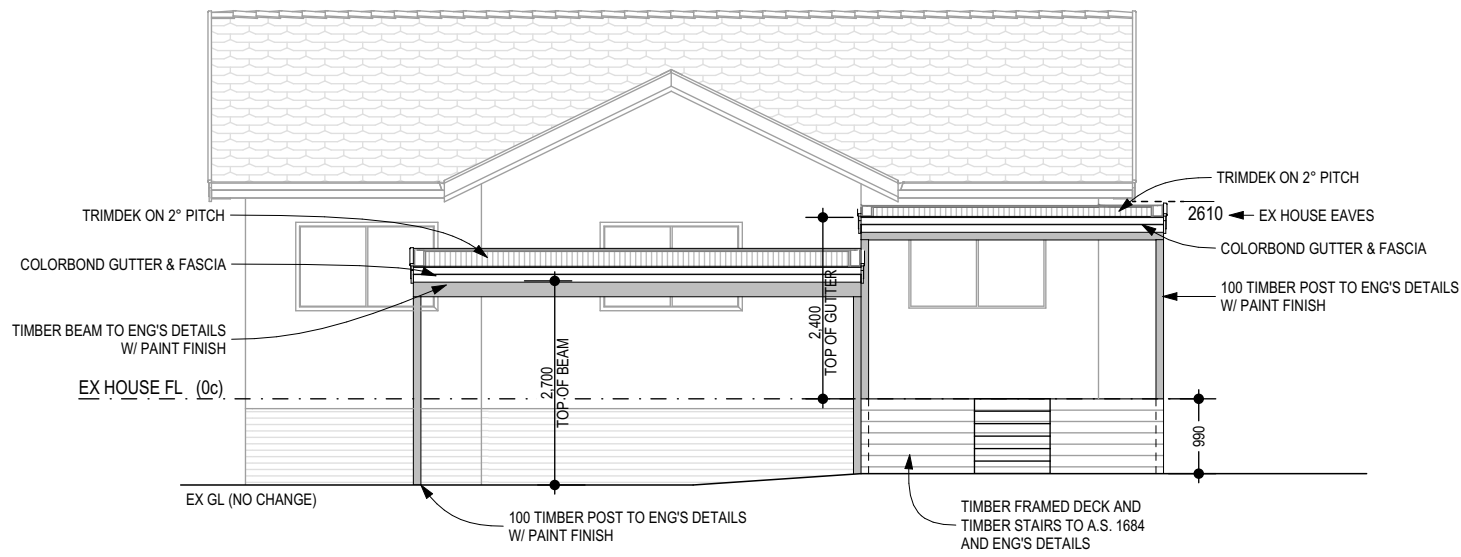
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REDUCTION

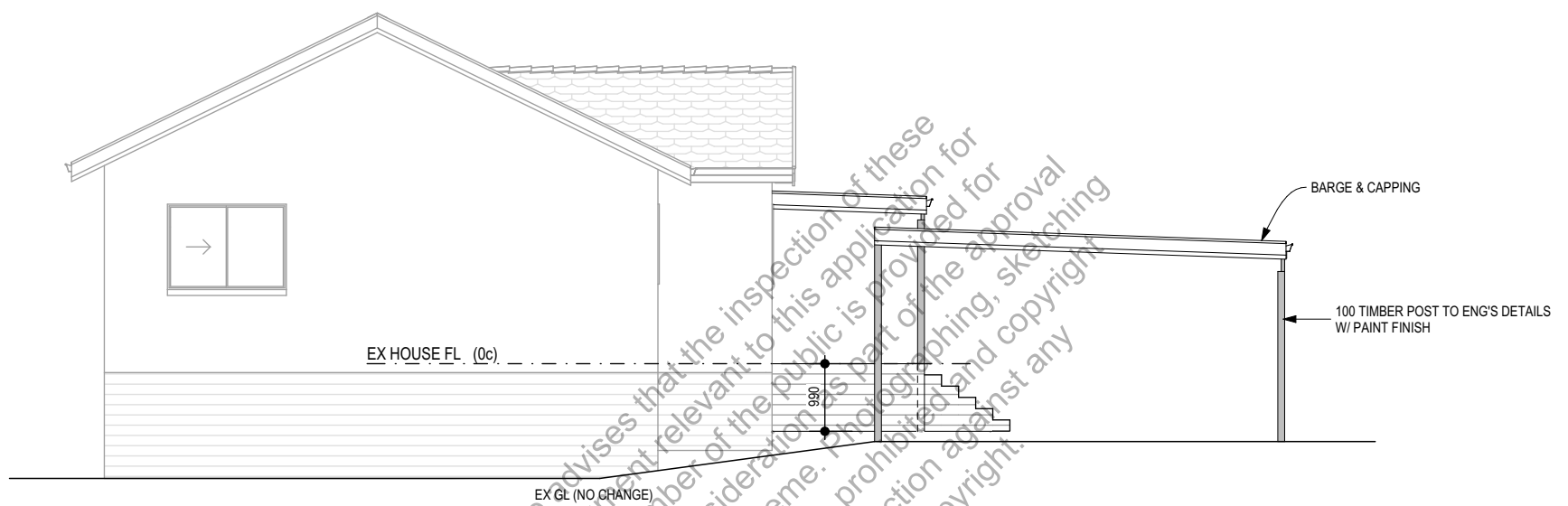
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A02

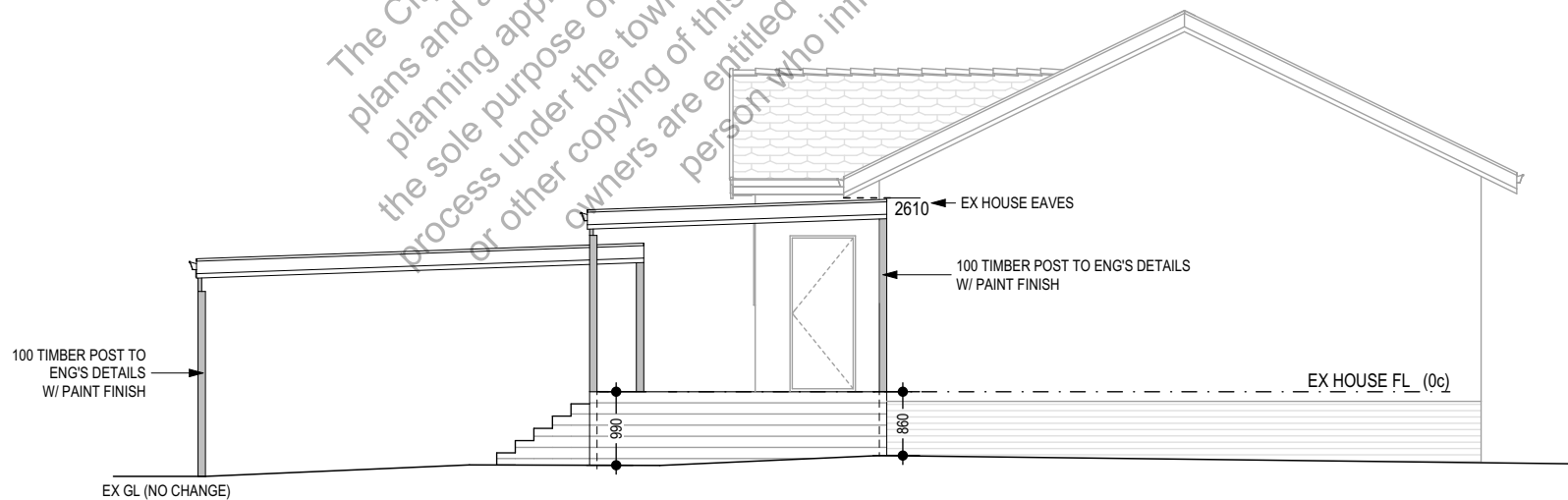
CORE
Building Surveyors
Approvals Made Easy



ELEVATION 1
SCALE 1:100



ELEVATION 2
SCALE 1:100



ELEVATION 3
SCALE 1:100

CITY OF FREMANTLE
These Plans Form Part of

DA0283/26

24 July 2026

1. Corrosion Protection for steel members shall be in accordance with HPS 6.3.9.
2. Downpipe locations and numbers are indicative only. All Gutters and downpipes must be manufactured and installed to HPS Part 7.4. & AS/NZS 3500.3
3. All storm water will be contained on site
4. Termite treatment including physical barrier to walls on boundaries to comply with AS3660.1 with durable notice to HPS 3.4.3
5. Metal roof cladding shall be installed in accordance with AS 1562.1.
6. Stairs shall be constructed in accordance with HPS 11.2.2.
7. The slip-resistance treatment to stair treads, ramps and landings must be in accordance with HPS 11.2.4
8. Balustrades shall be constructed in accordance with HPS 11.3.3. & 11.3.4
9. Handrails shall be provided in accordance with HPS 11.3.5 where required.



CHECK ALL DIMENSIONS ON SITE PRIOR TO COMMENCEMENT OF WORK CHECK STRUCTURE WITH ENG./BUILDER BEFORE CONSTRUCTION CHECK COMPLIANCE/APPROVAL OF WORKS WITH COUNCIL OR REG. BODY BEFORE CONSTRUCTION		COUNCIL DRAWING		DATE
REV		AMENDMENT		DATE
JOB NUMBER 26169		DATE JUNE 26		REDUCTION
(DRAWING on A3)				DRAWING No.
NEW CARPORT, DECK & VERANDAH 89 PAGET STREET, HILTON ELEVATIONS				A03