

LOT 2 (No.151A) SAMSON STREET, WHITE GUM VALLEY DEVELOPMENT APPLICATION

<u>DWG No.</u>	<u>TITLE</u>	<u>SHEET SIZE</u>
01	COVER SHEET	A3
02	FEATURE SITE SURVEY	A3
03	SITE DEMOLITION PLAN	A3
04	SITE PLAN	A3
05	GROUND FLOOR PLAN	A3
06	ELEVATIONS	A3

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29 Jul 2026



DRAWING TITLE:

COVER PAGE

DESIGN BY: C.BORNIA

DATE: 17.07.26

DRAWING No.:

1 OF 6

SHEET SIZE: A3

Bornia Design

Mobile: 0422 044 465
Email: claudio@borniadesign.com.au

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WARNING!
BOUNDARY RE-ESTABLISHMENT
SURVEY
REQUIRED TO CONFIRM LOT
BOUNDARY
POSITION AND DIMENSIONS.

LOT 1828
RESIDENCE
WELL
CLEAR

LOT 2
BRICK &
IRON
RESIDENCE

LOT 1839
RESIDENCE
WELL
CLEAR

LOT 1
BRICK &
IRON
RESIDENCE

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DA0292/26

29 Jul 2026

FEATURE SITE SURVEY

SAMSON STREET



A| U4/3 Wicks Street, Bayswater WA 6053
P| PO Box 102, Bassendean WA 6934
M| 0433 304 648
E| admin@tsasurveys.com.au
W| www.tsasurveys.com.au
ABN| 56 645 650 666

IMPORTANT NOTES:

1. The information on this drawing is current at the date of survey.
2. All services are to be confirmed with relevant authorities. This include without limitation; Sewerage / Water / Drainage / Electrical / Gas & Communications
3. Further Limitations / Interests / Encumbrances / Notifications may be listed on the Certificate of Title.
4. Original lot dimensions taken from Landgate Survey Plans.
5. Boundary Re-establishment Survey required to confirm lot boundary position and dimensions.
6. The sole purpose of this plan is for presentation to WAPC for process of application for subdivision to produce a conditional approval.
7. Final lot numbers, dimensions and areas may vary due to WAPC requirements, government authority conditions and final field survey.
8. This plan is for the purpose of application and in no way represents WAPC conditional approval.
9. TSA Surveys does not accept liability for loss or damage to any person or corporation who may rely on this plan for any purpose.
10. Permission is required from TSA Surveys for the reproduction or copying of this plan.

Scale: 1:200 at A3



0 5 7.5 10 15

PROJECT NAME:
RIENIETS RESIDENCE

PROJECT ADDRESS:
LOT 2 (No. 151A)
SAMSON STREET, WHITE GUM VALLEY
(CITY OF FREMANTLE)

DRAWING TITLE:

FEATURE SITE SURVEY

DRAWING No.:
2 OF 6

CLIENT:
RIENIETS

STAGE:
DEVELOPMENT APPLICATION

DESIGN BY: C.BORNIA

DATE 17.07.26

SCALE: 1:200

SHEET SIZE: A3

00	17.07.26	DA PLANS
01	15.04.26	DESIGN PLANS
00	17.03.26	CONCEPT FLOOR PLAN
REV.	DATE	DESCRIPTION

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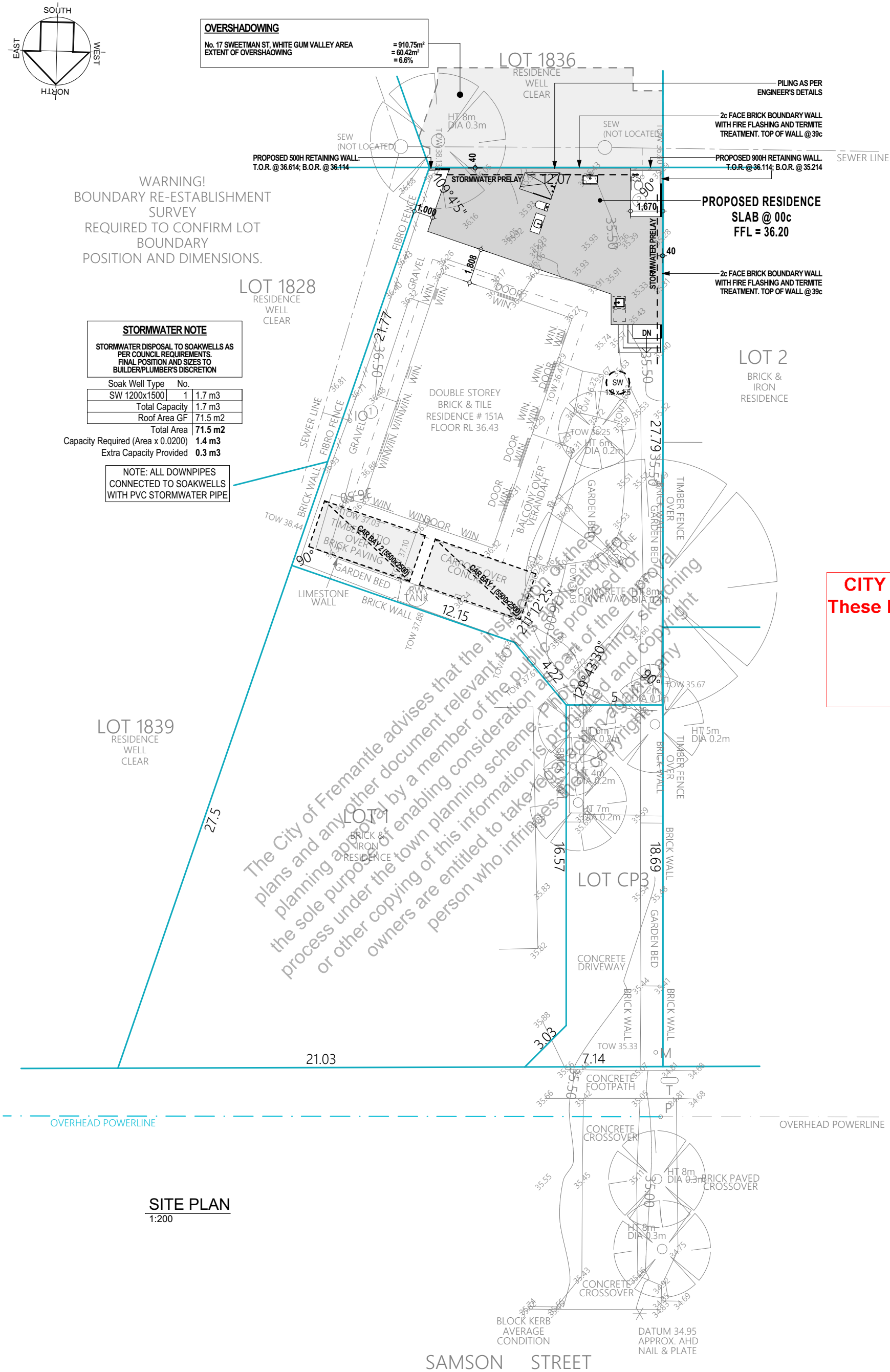


SITE DEMOLITION PLAN

1:200

00	17.07.26	DA PLANS	
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00	17.03.26	CONCEPT FLOOR PLAN	
REV.	DATE	DESCRIPTION	

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RIENIETS RESIDENCE		LOT 2 (No. 151A) SAMSON STREET, WHITE GUM VALLEY (CITY OF FREMANTLE)		SITE DEMO PLAN		3 of 6	
CLIENT:		STAGE:		DESIGN BY: C.BORNIA		SCALE: 1:200	
RIENIETS		DEVELOPMENT APPLICATION		DATE 17.07.26		SHEET SIZE: A3	



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CLIENT:
RIENIETS

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(CITY OF FREMANTLE)

STAGE:
DEVELOPMENT APPLICATION

DRAWING TITLE:
SITE PLAN

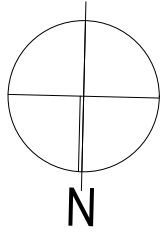
DESIGN BY: **C.BORNIA**
DATE: **17.07.26**

DRAWING No.:
4 OF 6

SCALE: **1:200**
SHEET SIZE: **A3**

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GROUND FLOOR PLAN
1:1002
1

5

3
4

AREAS		
ZONE	AREA	PERIMETER
ANCILLARY ACC.	61.72	36.77
	61.72 m ²	36.77 m

SITE COVERAGE:

Total Lot Area	= 395.5m ²
C.P.	= 95.79m ²
1/2 C.P.	= 47.9m ²
Total Lot Area	= 443.4m ²
Existing Residence	= 89.78m ²
Proposed Ancillary Acc.	= 61.70m ²
Site Coverage Provided	= 151.48m ²
	= (34.16%)
Open Space	= 65.84%

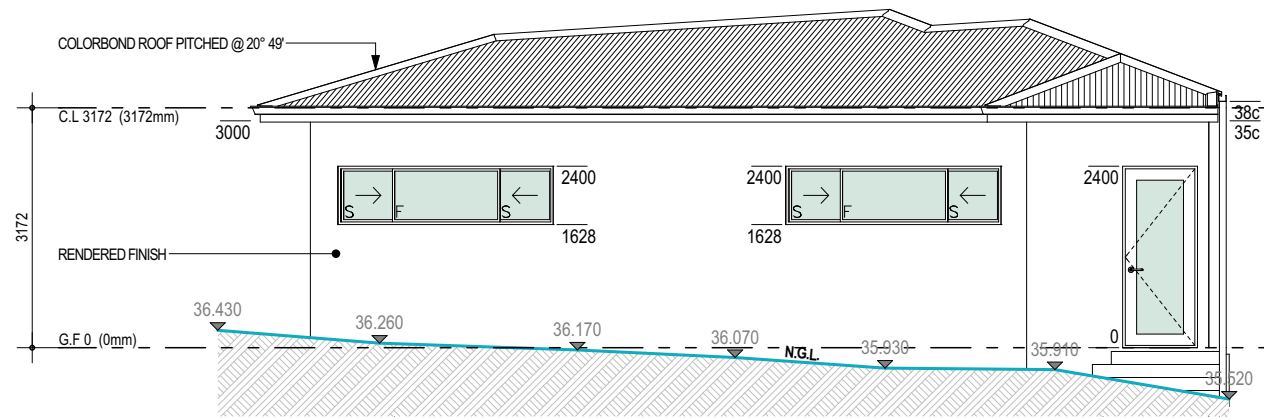
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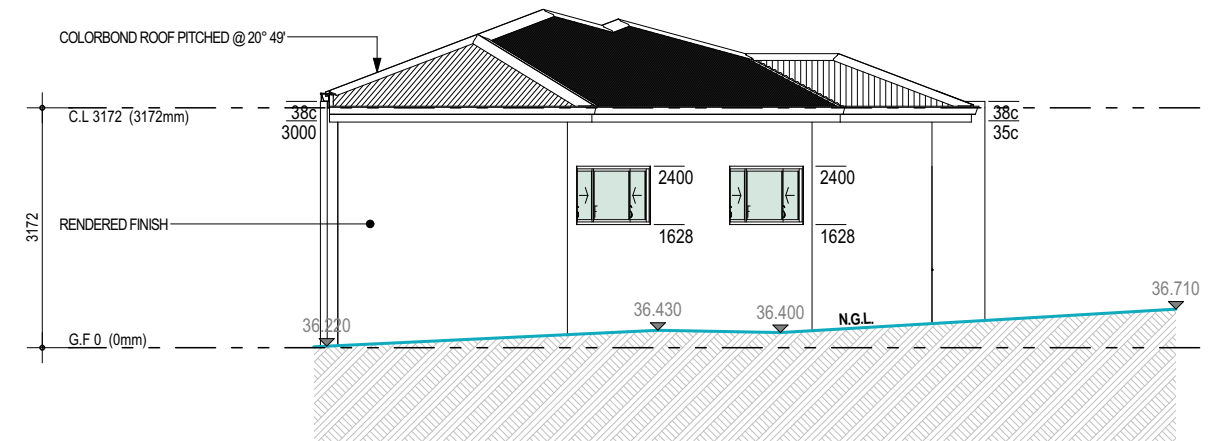
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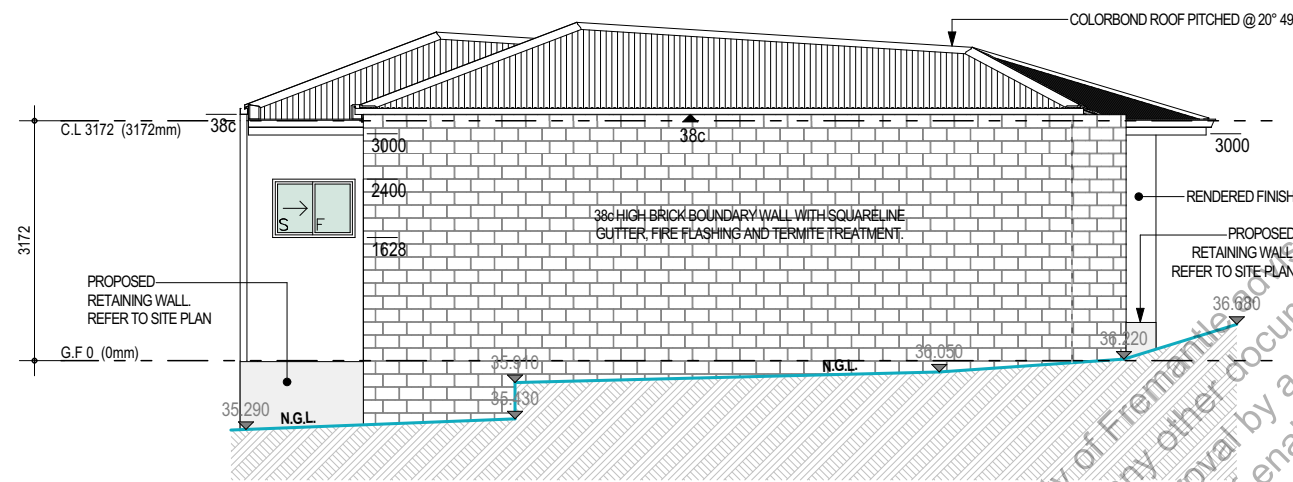
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**1 NORTH ELEVATION (FRONT)**

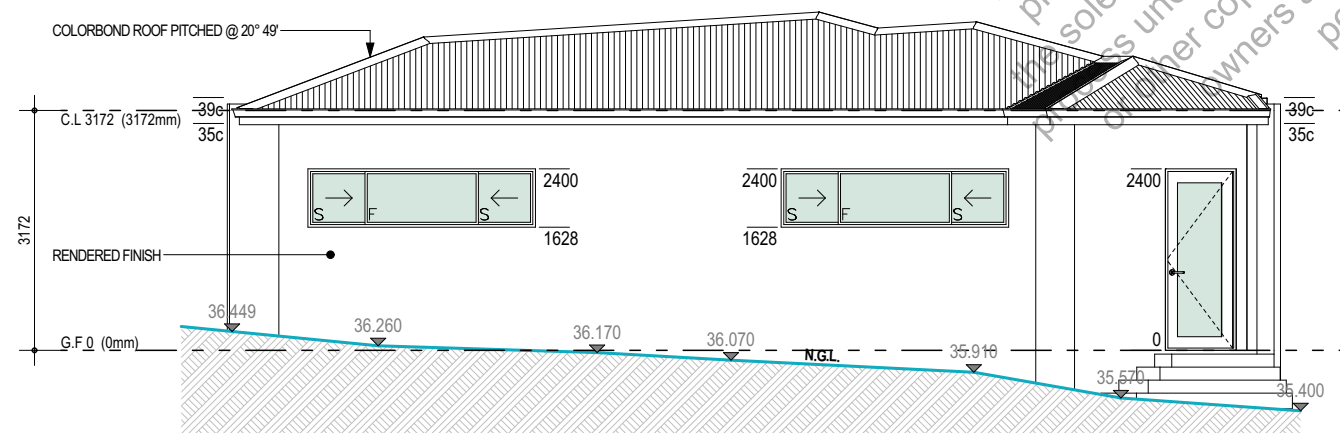
1:100

**2 EAST ELEVATION (SIDE)**

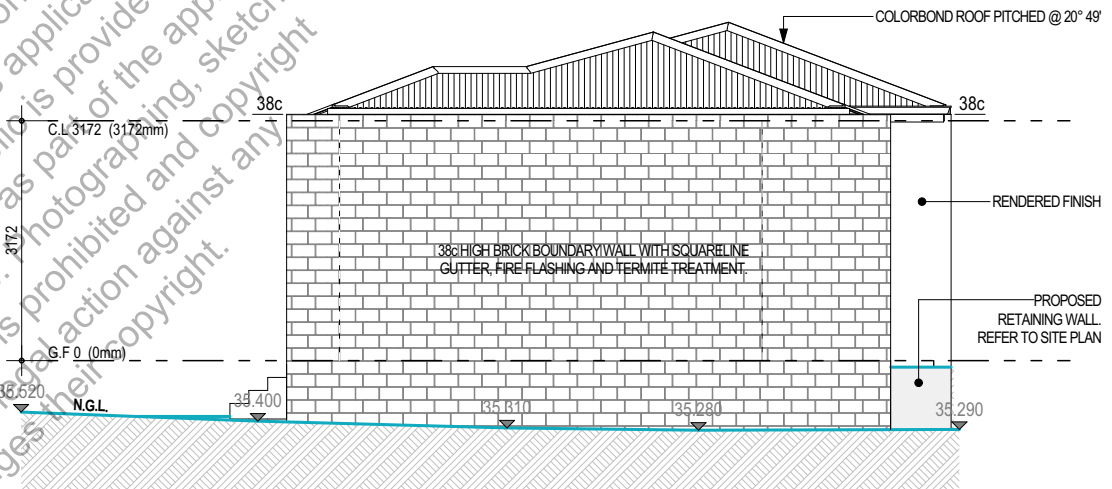
1:100

**3 SOUTH ELEVATION (REAR)**

1:100

**5 NORTH ELEVATION (FRONT)**

1:100

**4 WEST ELEVATION (SIDE)**

1:100

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